ALTERATIONS and ADDITIONS: to EXISTING DETACHED STYLE SINGLE STOREY RENDERED HOUSE at No.2 NEW STREET EAST BALGOWLAH NSW 2093

SYMBOLS + COLOURS:

- OUTLINE OF DEMOLITION.
- BOUNDARY LINE - AS SURVEYED
- METAL / TILE — NEW ROOF
- EXISTING TO REMAIN
- DIRECTION OF ROOF FALL
- DIRECTION OF STORMWATER
- DIRECTION OF SURFACE FALL
- 900 — ACHIEVED SETBACK DIMENSION
- YELLOW - TIMBER BASED
- GREEN - CONCRETE BASED
- RED - MASONRY BASED
- BLUE - METAL BASED
- ORANGE - DEMOLITION
- PINK - GENERAL PAVEMENT
- EARTHWORK
- LIGHT GREEN - PERM. LANDS.

THE INFORMATION PROVIDED ON THESE PLANS HAVE BEEN PRODUCED BASED ON THE INFORMATION PROVIDED TO US BY THE CLIENT, and THE CLIENT'S CONSULTANTS.

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ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK or FABRICATION OF ITEMS.

LEGEND:

AFFL	ABOVE FINISHED FLOOR LEVEL	H	HIGH
BAL	BALUSTRADE	HDR	HANDRAIL
BG	BOX GUTTER - TO ENGINEER'S DETAILS	MDR	METAL DECK ROOF SHEETING
BLD	BUILDING	MTL	METAL SHEET
BSN	BASIN	O/H	OVERHEAD
BWK#	BRICKWORK-COLOUR/FINISH	PAR	PARAPET
COL	COLUMN	PAV	PAVEMENT
CONC	CONCRETE	PF	PAINT FINISH
COS	CONFIRM ON SITE	PP	POWER POLE
CPT	CARPET	R	RENDER
DP	DOWNPIPE	RR	ROOF RIDGE
DR	DRYER	RL	RELATIVE LEVEL
Ex.	EXISTING	RT	ROOF TILE
FB	FACE BRICK	RWO	RAINWATER OUTLET
FC#	FIBRE CEMENT SHEETING-TYPE	SHR	SHOWER
FCL	FINISHED CEILING LEVEL	TD	TIMBER DECK
FFL	FINISHED FLOOR LEVEL	TF	TIMBER FLOOR
FLUE	FIRE PLACE FLUE	TFAS	TOP OF FASCIA
FP	FIRE PLACE - INTERNAL	TG	TOP OF GUTTER
GL	GLASS-TO BASIX REQUIREMENTS	TILE	TILED FLOORING
		TYP	TYPICAL
		TW	TOP OF WALL
		WC	WATER CLOSET *TOILET SUITE*
		WIN	WINDOW
		WM	WASHING MACHINE
		VNTY	VANITY

SITE AREA: 550.1m²
SITE WIDTH: 12.19m

PLANNING: MANLY LEP & DCP 2013
-Land Zoning: R2 - Low Density Residential
-FSR: 0.45:1 (247.5m²)
-Site Coverage: Open Space requirement. Max SC. 247.55m²
-Height of Building: 8.5m
-Heritage: Not an Item; Not within a Heritage Conservation Area, and is not a Contributory Item.
-Bushfire Prone Land: Yes is within Bushfire Prone Land
-Flood Risk: Low and Medium Risk
-No. of storeys: Max. 2
-Building Envelope: no less than 1/3 of proposed height
-Landscape ratio: Open Space Area 3 (OS3): 55% = 302.55m², 35% of that to be Landscaped (with 25% max. above ground-balcony or the like). 3m min. dimension, 1m spoil depth and at least a 12sqm clear space.
-Front setback: Prevailing Setback - neighbouring carport
-Side setback: 1/3 of wall height
-Rear setback: 8m
-Private Open Space: 18m², rear and level to building.
- Foreshore Building Line / Scenic Protection: Yes
- Acid Sulfate Soils: Class 5
- Geotechnical Hazard: Not in Landslip Risk
- Biodiversity: N/A
- Pool: N/A - Existing Pool - no new work
- Secondary Dwelling: N/A

4. REAR VIEW OF EXISTING BUILDING

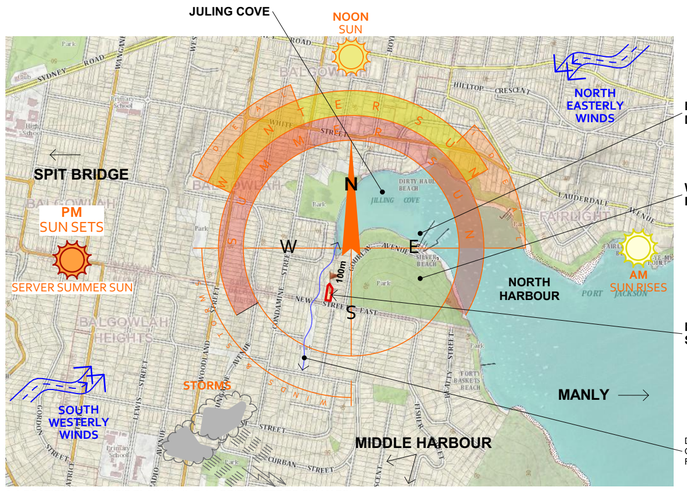
3. AERIAL VIEW - sourced from SIX MAPS

2. STREETVIEW - BUILDING TO BE RETAINED

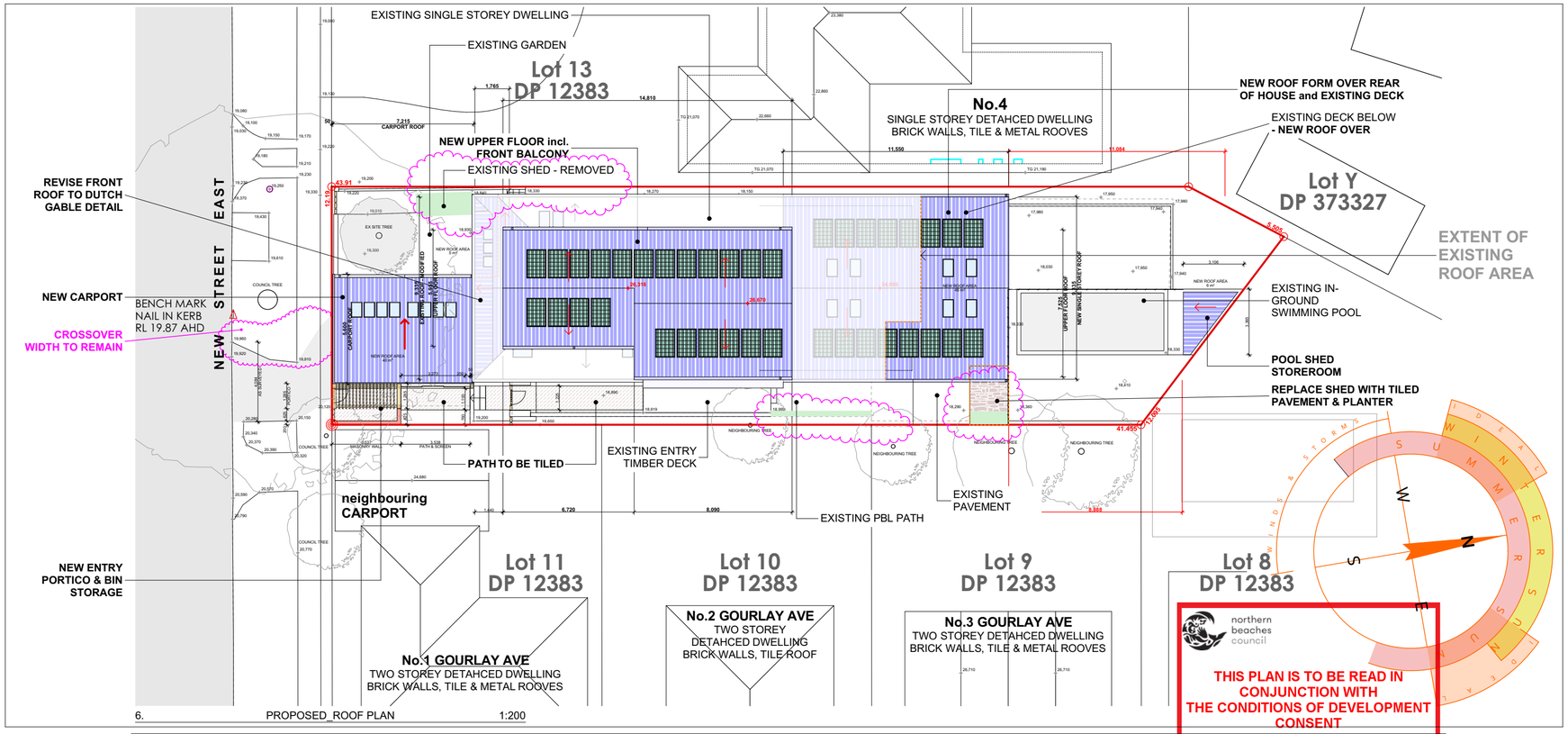
2 NEW STREET EAST, BALGOWLAH 2093

ALTERATIONS and ADDITIONS:

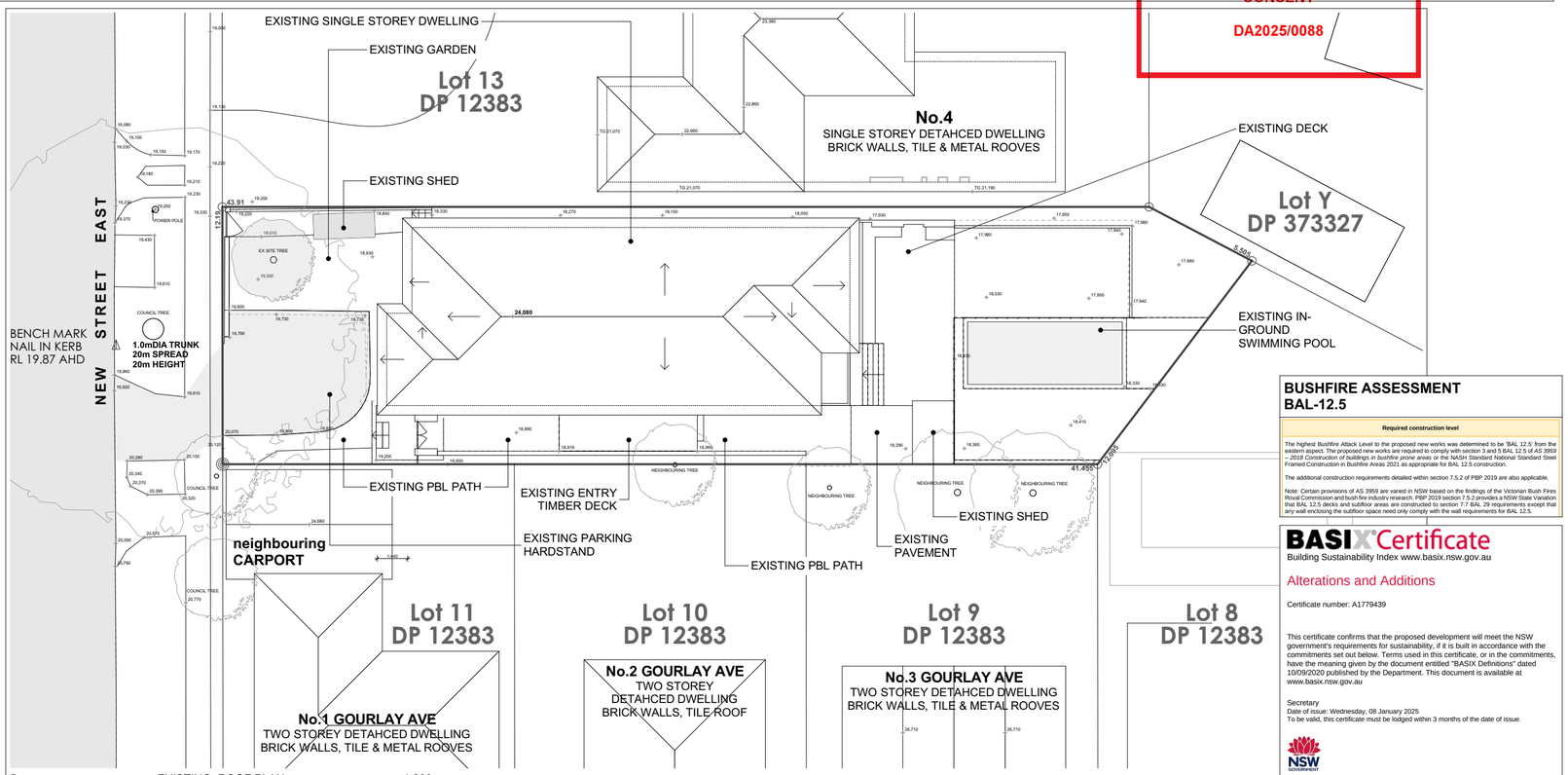
Works Include:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept



1. LOCATION & ANALYSIS PLAN (North Point ORIENTATED TO SIX MAPS)



6. PROPOSED_ROOF PLAN 1:200



5. EXISTING_ROOF PLAN 1:200

BUSHFIRE ASSESSMENT
BAL-12.5

Required construction level

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Note: Certain provisions of AS 3959 are varied in NSW based on the findings of the Victorian Bush Fires Royal Commission and bush fire industry research. PBP 2019 section 7.5.2 provides a NSW State Variation that BAL 12.5 decks and subfloor areas are constructed to section 7.7 BAL 29 requirements except that any wall enclosing the subfloor space need only comply with the wall requirements for BAL 12.5.

BASIX® Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1779439

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 08 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW GOVERNMENT

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
G	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	26.11.2024				
F	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	15.11.2024				
E	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	14.11.2024				
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C	RP	UPPER FLOOR ISSUED FOR CONSIDERATION	25.02.2022	J	RP	DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION	20.03.2025
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A	RP	ISSUED FOR INITIAL REVIEW	10.01.2022	H	RP	DEVELOPMENT APPLICATION SUBMISSION	09.01.2025

GENERAL NOTES
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DEVELOPMENT APPLICATION
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DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP: **LOT 12; DP 12383**
COUNCIL: **NORTHERN BEACHES COUNCIL**
MANLY

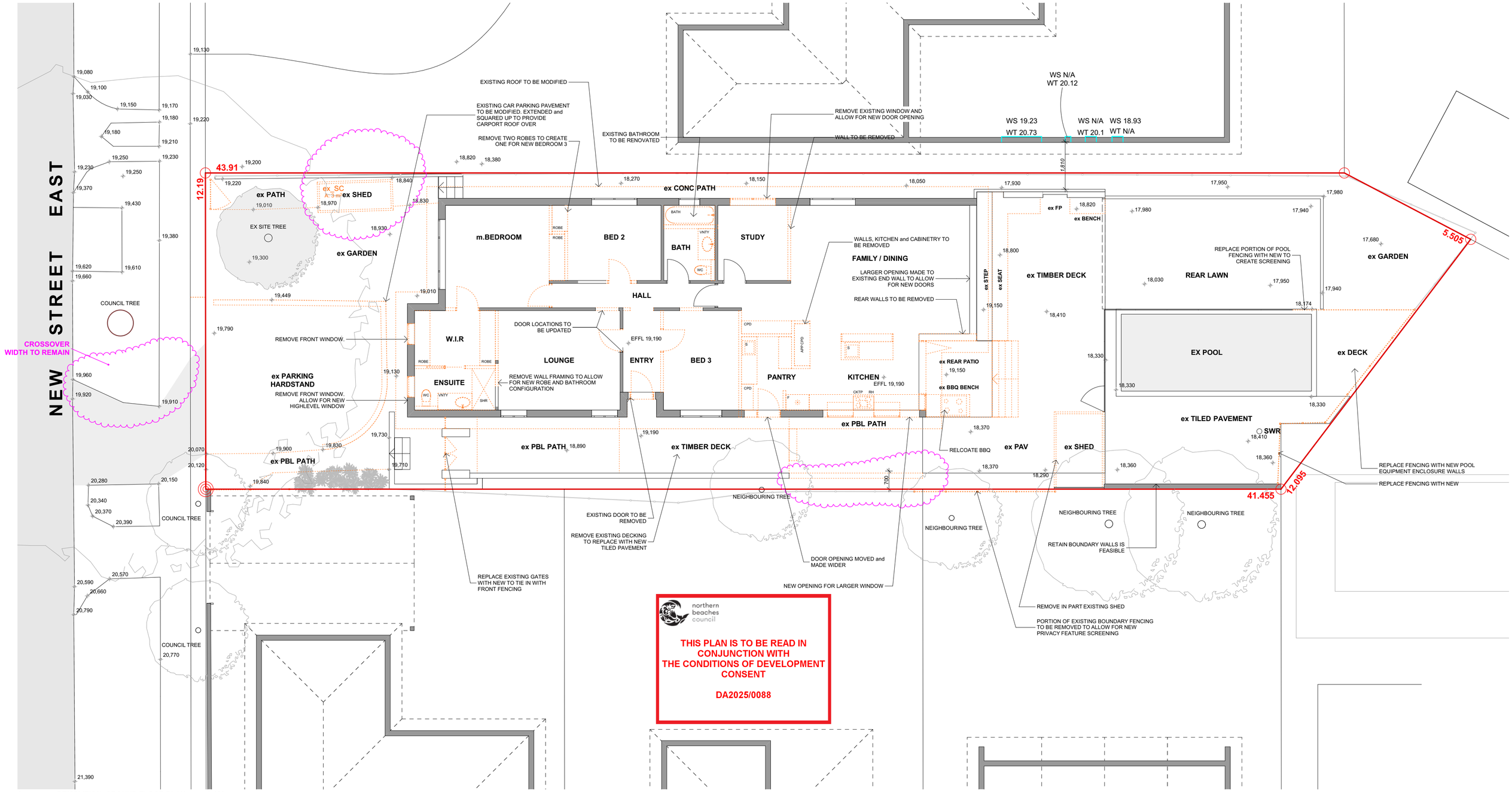
PROJECT
ALTERATIONS and ADDITIONS:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept

2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021	TITLE	Sheet No	Issue
SCALE	AS NOTED @ A2	SITE ANALYSIS & COVER SHEET	DA-100	K
DRAWN	R.P.			



2. DEMOLITION_GROUND FLOOR PLAN 1:100

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DEMOLITION NOTE:
ALL DEMOLITION WORKS TO BE DONE IN ACCORDANCE WITH AS2601 and CONSENT AUTHORITY CONDITIONS.

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DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP
LOT 12; DP 12383

COUNCIL
NORTHERN BEACHES COUNCIL
MANLY

MEASUREMENTS HAVE NOT BEEN CHECKED. ALL DIMENSIONS TO BE CONFIRMED PRIOR TO DESIGN DEVELOPMENT.

PROJECT
ALTERATIONS and ADDITIONS:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept
2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021	TITLE	Sheet No	Issue
SCALE	AS NOTED @ A2	**DEMOLITION GROUND FLOOR PLAN**	DA-102	**K**
DRAWN	R P			

BUSHFIRE ASSESSMENT
BAL-12.5

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northern beaches council

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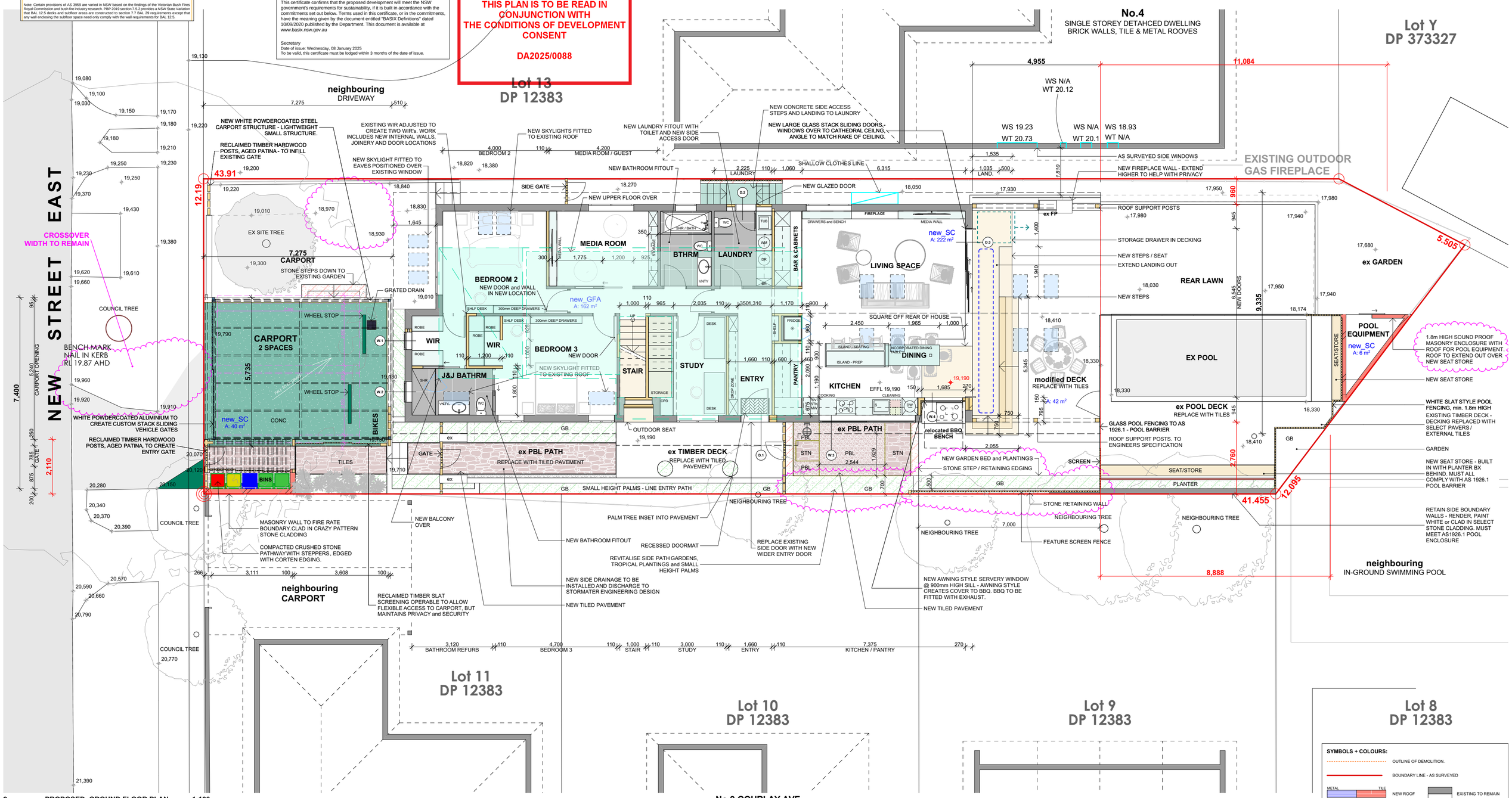
DA2025/0088



2. PROPOSED_GROUND FLOOR PLAN 1:100

SYMBOLS + COLOURS:

- OUTLINE OF DEMOLITION.
- BOUNDARY LINE - AS SURVEYED
- NEW ROOF (METAL / TILE)
- EXISTING TO REMAIN
- DIRECTION OF ROOF FALL
- DIRECTION OF STORMWATER
- DIRECTION OF SURFACE FALL
- 900 ACHIEVED SETBACK DIMENSION
- YELLOW - TIMBER BASED
- RED - MASONRY BASED
- ORANGE - DEMOLITION
- EARTHWORK

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DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP: LOT 12; DP 12383
COUNCIL: NORTHERN BEACHES COUNCIL
MANLY

PROJECT: ALTERATIONS and ADDITIONS:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept
2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT: M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021	TITLE	Sheet No	Issue
SCALE	AS NOTED @ A2	PROPOSED GROUND FLOOR PLAN	DA-103	K
DRAWN	R P			

BUSHFIRE ASSESSMENT
BAL-12.5

Required construction level
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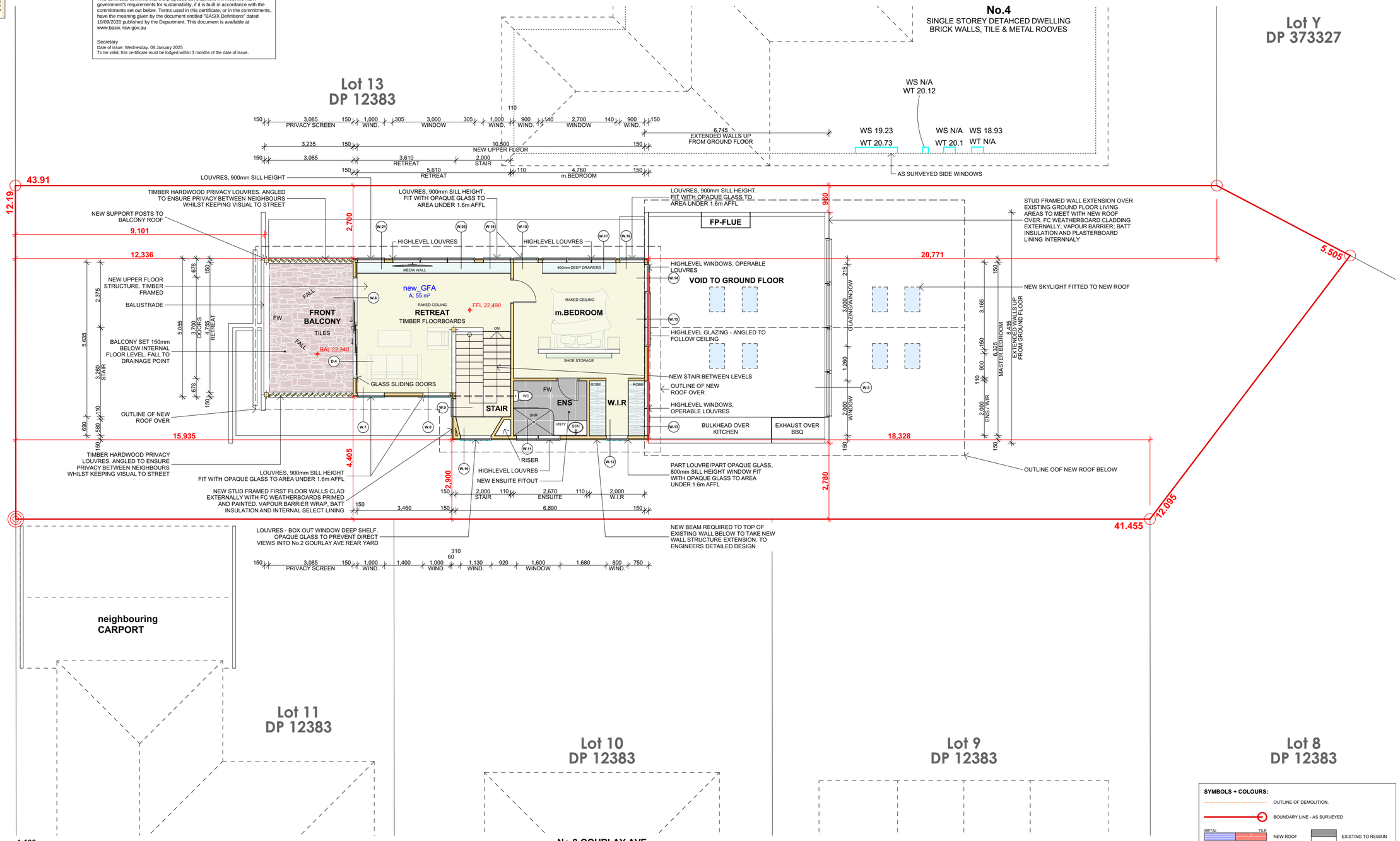

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0088

3. PROPOSED_FIRST FLOOR PLAN 1:100

No.1 GOURLAY AVE
TWO STOREY DETAHCED DWELLING
BRICK WALLS, TILE & METAL ROOVES

No.2 GOURLAY AVE
TWO STOREY
DETAHCED DWELLING
BRICK WALLS, TILE ROOF

No.3 GOURLAY AVE
TWO STOREY DETAHCED DWELLING
BRICK WALLS, TILE & METAL ROOVES

SYMBOLS + COLOURS:

- OUTLINE OF DEMOLITION.
- BOUNDARY LINE - AS SURVEYED
- METAL / TILE — NEW ROOF
- EXISTING TO REMAIN
- DIRECTION OF ROOF FALL
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ISSUE	BY	DESCRIPTION	DATE
H	RP	**DEVELOPMENT APPLICATION SUBMISSION**	**09.01.2025**

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COUNCIL
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2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021
SCALE	AS NOTED @ A2
DRAWN	R.P

TITLE
PROPOSED NEW FIRST FLOOR PLAN

Sheet No: DA-104
Issue: **H**

91.35m² OF NEW ROOF AREA

112.15m² (20.3%) OF DEEP SOIL LANDSCAPING AREA

REFER TO ENGINEERS STORMWATER DESIGN TO DRAINAGE AND DISCHARGE LAYOUT

ALL NEW ROOF AREAS TO HAVE METAL GUTTERS TO COLLECT WATER RUNOFF TO UNDERGROUND UPVC PIPE (min. 100dia). ENSURE APPROPRIATELY DIVERTED TO NEW RAINWATER TANK and OVERFLOW TO APPROVED DISCHARGE POINT.
ALL TO ENGINEER'S SPECIFICATION AND IN ACCORDANCE WITH THE MOST CURRENT EDITION OF AS3500

STORMWATER FROM RAINWATER TANK OVERFLOW TO CONNECT TO EXISTING SITE STORMATER SYSTEM. DIVERTED TO EXISTING STREET DISCHARGE POINT, WHERE LOCATED ADJACENT TO SITE - ALL TO ENGINEER'S SPECIFICATION and DETAILED DESIGN, AND COUNCIL'S CONDITIONS OF CONSENT.

NORTHERN and REAR LOW CORNER OF SITE TO BE FITTED WITH ABSORPTION TRENCH THAT COLLECTS AND SLOW REALEASES WATER INTO GARDENS and ANY EXCESS INTO THE SITE STORMWATER SYSTEM TO MITIGATE SURFACE WATER AND PREVENT NEIGHBOURING SITES BEING INUNDATED

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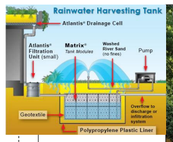
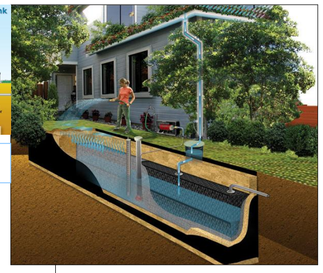
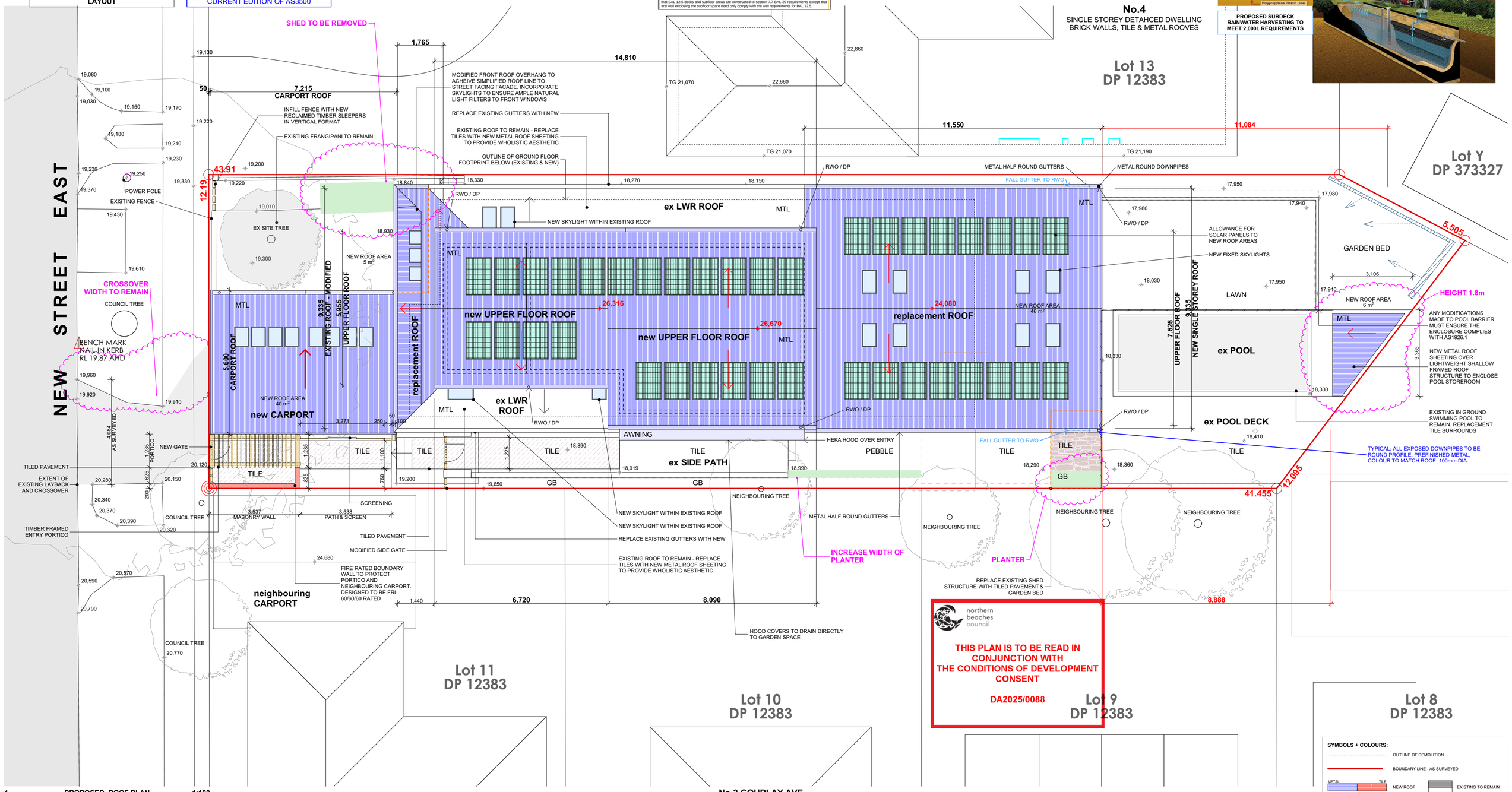
Alterations and Additions

Certificate number: A1779439





PROPOSED SUBDECK RAINWATER HARVESTING TO MEET 2,000L REQUIREMENTS



4. PROPOSED_ROOF PLAN 1:100

No.1 GOURLAY AVE
TWO STOREY DETAHCED DWELLING
BRICK WALLS, TILE & METAL ROOVES

No.2 GOURLAY AVE
TWO STOREY
DETAHCED DWELLING
BRICK WALLS, TILE ROOF

No.3 GOURLAY AVE
TWO STOREY DETAHCED DWELLING
BRICK WALLS, TILE & METAL ROOVES

ISSUE	BY	DESCRIPTION	DATE
G	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	26.11.2024
F	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	15.11.2024
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B	RP	ISSUED FOR CLIENT APPROVAL	24.02.2022
A	RP	ISSUED FOR INITIAL REVIEW	10.01.2022

ISSUE	BY	DESCRIPTION	DATE
K	RP	**DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION**	**31.03.2025**
J	RP	DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION	20.03.2025
i	RP	DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION	07.03.2025
H	RP	DEVELOPMENT APPLICATION SUBMISSION	09.01.2025

GENERAL NOTES

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DEVELOPMENT APPLICATION
- NOT FOR APPROVALS or CONSTRUCTION

DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP
LOT 12; DP 12383

COUNCIL
NORTHERN BEACHES COUNCIL
MANLY

PROJECT
ALTERATIONS and ADDITIONS:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept
2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021
SCALE	AS NOTED @ A2
DRAWN	R.P

TITLE
PROPOSED ROOF PLAN incl. STORMWATER CONCEPT

Sheet No: DA-106

Issue: K

SYMBOLS:

- SEDIMENT / SECURITY FENCE, REFER TO FIGURE 3.
- SAND BAGS, SEDIMENT CONTROL
- PORTA LOO - SERVICED FORTNIGHTLY
- OFF STREET CONSTRUCTION VEHICLE PARKING DURING CONSTRUCTION.
- CONSTRUCTION WASTE MANAGEMENT BIN LOCATION PICK UP FROM THE STREET.
- COVERED STOCKPILES DURING CONSTRUCTION
- TREE PROTECTION
- EXISTING ELEMENTS TO BE DEMOLISHED

SOIL CONSERVATION NOTES:
TYPICAL
a) Prior to any clearing or excavation a temporary sediment trap arrangment shall be made to ensure the capture of any water bourne material generated from the site.
b) Provide a sediment fence as shown on this plan.
c) Where possible do not extend land disturbance activities of any essential construction activity.

DURING CONSTRUCTION
f) Siltation protection described above shall be maintained during the course of construction.
g) Newly constructed pits shall be protected from any sediment entry.
h) Once in place, no siltation protection shall be removed without council approval.
i) After each storm, all sediment traps shall be cleaned and replaced if required.
j) Building operations such as brick cutting, washing tools or brushes and mixing mortor are not permitted on public roadways or footways or in any other locations which could lead to the discharge of materials into the stormwater drainage system.
k) Stockpiles of topsoil, sand, aggregate, soil or other material shall not be located on any drainage line or easment, natural watercourse, footpath or roadway.
l) Installation of gutters, downpipes and the connection of downpipes to the stormwater disposal system to be done prior to the fixing of roof cladding.
m) Other methods of sediment controls may be required by the council and shall be complied with.

BUILDER TO ENSURE ROAD ACCESS IS AVAILABLE AT ALL TIMES FOR LOCAL RESIDENTS.

WHERE EXISTING TREES ARE TO BE RETAINED; TREE PROTECTION TO BE PUT IN PLACE THROUGHOUT CONSTRUCTION PROGRAM.

PORT-A-LOO ON SITE DURING ENTIRE CONSTRUCTION PERIOD; MUST BE REGULALRY MAINTAINED.

SKIP BIN and OTHER WASTE/RECYCLING MANAGEMENT BINS FOR PICK-UP & COLLECTION - ACCESSIBLE FROM ROAD.

OFF STREET CONSTRUCTION VEHICLE PARKING AREA (UTE or CAR SPOT); OR 1 x MEDIUM RIGID VEHICLE SPOT (CONFIRM HEIGHT CLEARANCES). MUST HAVE ALL VEHICLES CLEANED - FREE OF DEBRIS AND SOIL/DUST WHEN EXITING THE SITE.

TYPICAL NOTE: EXISTING ELEMENTS and AREAS SHOWN IN ORANGE / DOTTED AREA TO BE DEMOLISHED/ALTERED.

ALL MATERIALS and PRODUCT STOCKPILES TO FRONT - MUST BE SECURE and COVERED AT ALL TIMES.

SNAD BAGS TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION. REFER FIGURE 1

SITE ACCESS. ENSURE VEHICLES THAT LEAVE SITE ARE CLEANED AND AREN'T TRACKING DEBRIS, SEDIMENT ALONG ROADWAY.

FIGURE 1

CONSTRUCTION BARRIER FENCING IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS, APPROPRIATE SIGNAGE AND ACCESS GATES TO BE PUT IN PLACE.

FIGURE 2

PROTECT SEWER LAMP HOLE WITH SANDBAGS

FIGURE 1: FOR LIMITING RUN OFF TO LOWER NEIGHBOURING SITES

FOR DUST CONTROL, FABRIC MESH APPLIED TO FENCES IN ACCORDANCE WITH FIGURE 2

FENCING MUST ENCLOSE SITE BOUNDARIES WHERE NO FENCING CURRENTLY EXISTS. DUST MESH and LOCKABLE ACCESS POINTS AS NEEDED.

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0088

PARKING NOTE:
CONSTRUCTION VEHICLES WILL UTILISE STREET PARKING TO NEW STREET, WHERE UNABLE TO ACCESS ON SITE.

ANY REQUIREMENT FOR DELIVERIES / WASTE MANAGEMENT WILL REQUIRE SAFE TRAFFIC CONTROL ALONG STREET

DEMOLITION NOTE:
ALL DEMOLITION WORKS TO BE DONE IN ACCORDANCE WITH AS2601 and CONSENT AUTHORITY CONDITIONS.

2. CONSTRUCTION MANAGEMENT PLAN 1:150

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
G	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	26.11.2024				
F	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	15.11.2024				
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DEVELOPMENT APPLICATION
- NOT FOR CONSTRUCTION

DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP: **LOT 12; DP 12383**
COUNCIL: **NORTHERN BEACHES COUNCIL** MANLY

PROJECT
ALTERATIONS and ADDITIONS:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept
2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

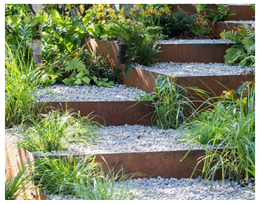
DATE: OCT 2024
SCALE: AS NOTED @ A3
DRAWN: R.P

CONSTRUCTION MANAGEMENT PLAN incl. Sediment / Erosion Control

Sheet No: DA-107
Issue: **H**

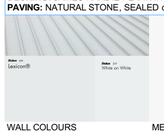




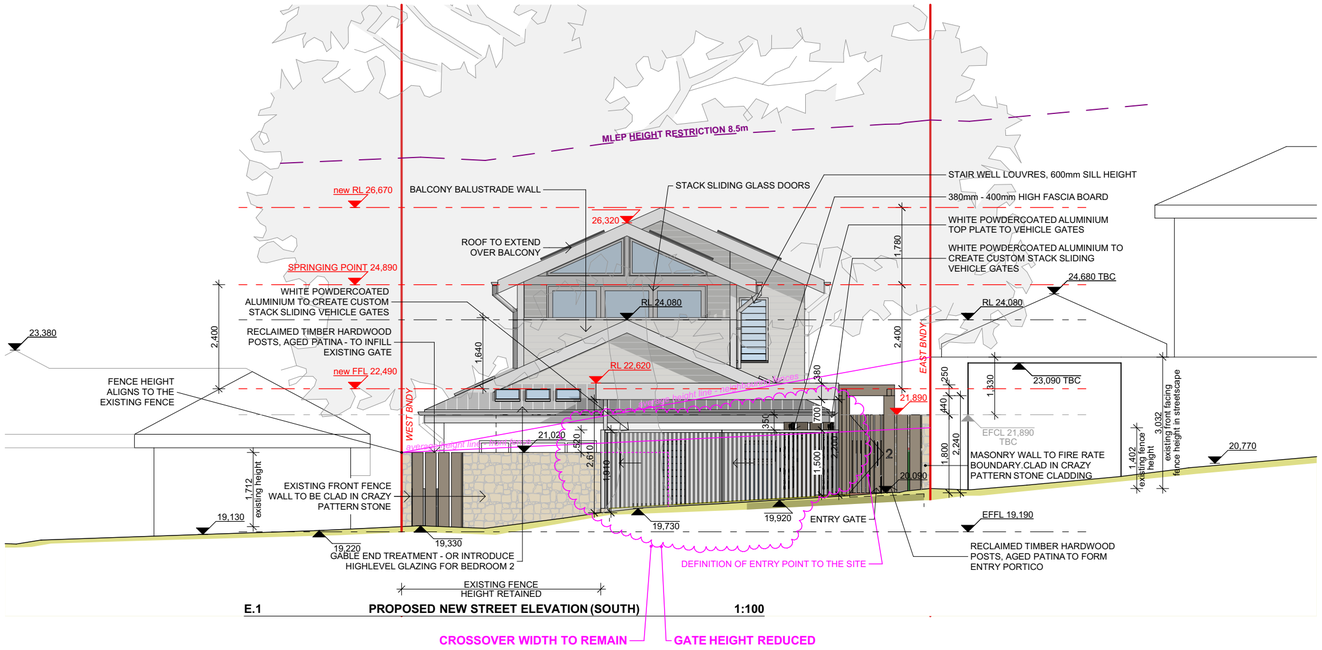
FINISHES:

ROOF: SHALE GREY (LIGHT - MATT LOW GLARE) - BCA MEDIUM CLASSIFICATION
WALLS: LEXICON or SNOW SEASON (WHITE) PAINTED RENDER
SHED WALLS: PAINTED RENDER
FASCIA: PAINTED WHITE ON WHITE or SURFMIST
CARPORT: SATIN WHITE POWDERCOAT
ROOF PLUMBING: SHALE GREY
DECKING: JAMES HARDIE PLANK IN WHITE
PAVING: NATURAL STONE, SEALED or CRUSHED GRAVEL WITH PAVERS

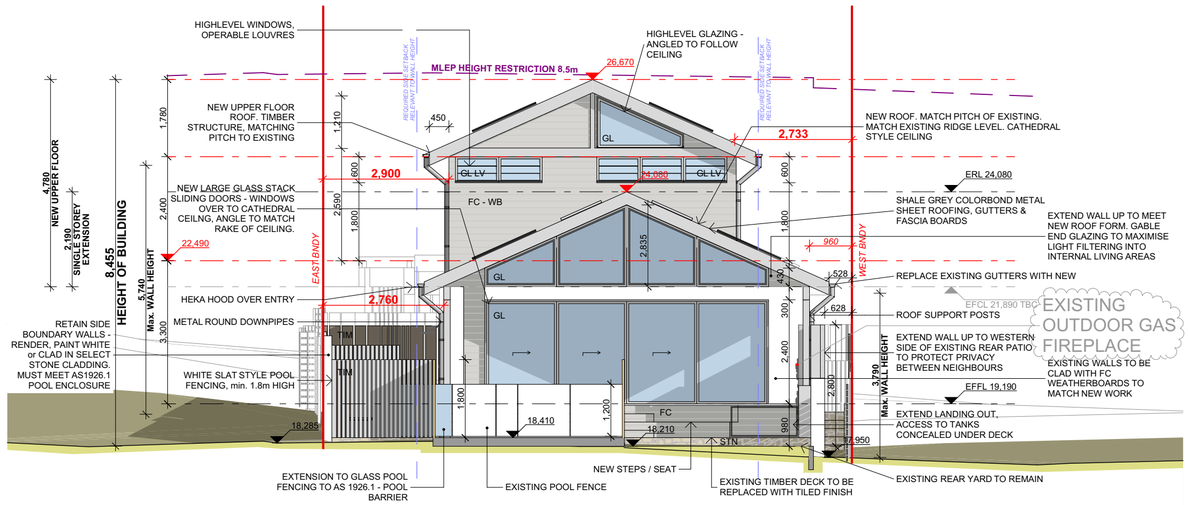


WALL COLOURS | METAL | GARDEN WALLS | SIDE PATH | PAVERS / TILES

3.4.1.5 Excessive Glare or Reflectivity Nuisance:
All external material and finishes incorporated into the development must consider and mitigate any excessive glare or reflectivity nuisance.
SHALE GREY (LIGHT - MATT LOW GLARE) - BCA MEDIUM CLASSIFICATION



E.1 PROPOSED NEW STREET ELEVATION (SOUTH) 1:100



E.3 PROPOSED_REAR ELEVATION (NORTH) 1:100

BUSHFIRE ASSESSMENT
BAL-12.5

Required construction level

The highest Bushfire Attack Level to the proposed new works was determined to be 'BAL 12.5' from the eastern aspect. The proposed new works are required to comply with section 3 and 5 BAL 12.5 of *AS 3959 – 2018 Construction of buildings in bushfire prone areas* or the NASH Standard National Standard Steel Framed Construction in Bushfire Areas 2021 as appropriate for BAL 12.5 construction.

The additional construction requirements detailed within section 7.5.2 of PBP 2019 are also applicable.

Note: Certain provisions of AS 3959 are varied in NSW based on the findings of the Victorian Bush Fires Royal Commission and bush fire industry research. PBP 2019 section 7.5.2 provides a NSW State Variation that BAL 12.5 decks and subfloor areas are constructed to section 7.7 BAL 29 requirements except that any wall enclosing the subfloor space need only comply with the wall requirements for BAL 12.5.

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1779439

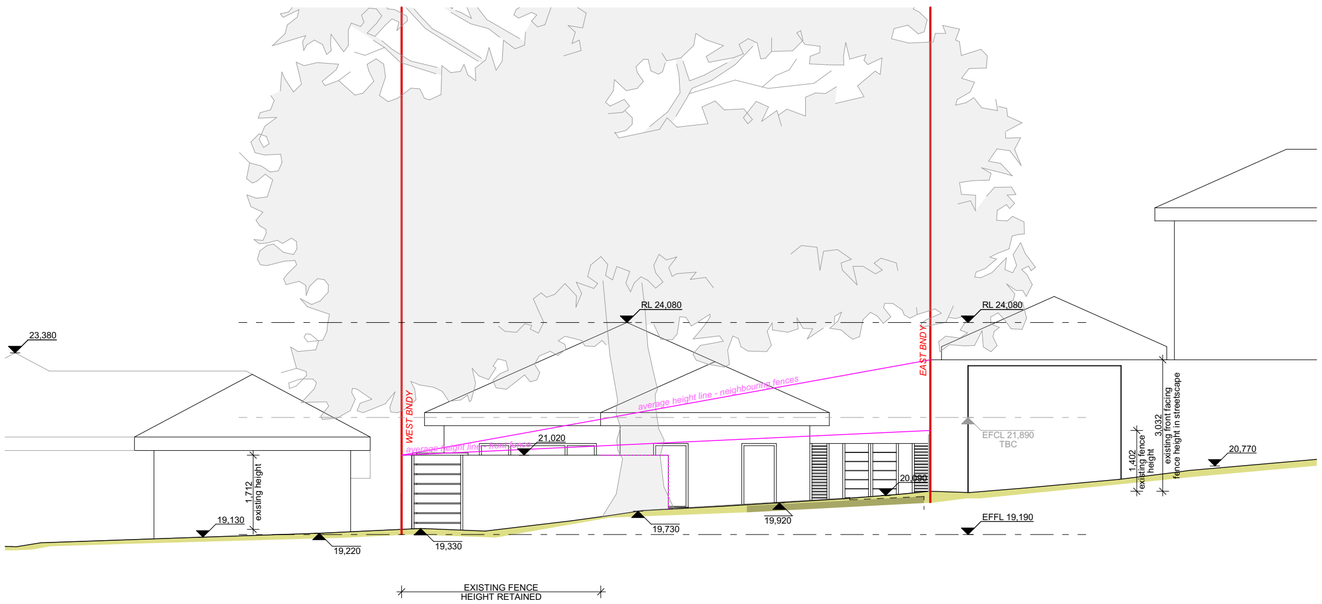
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 08 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

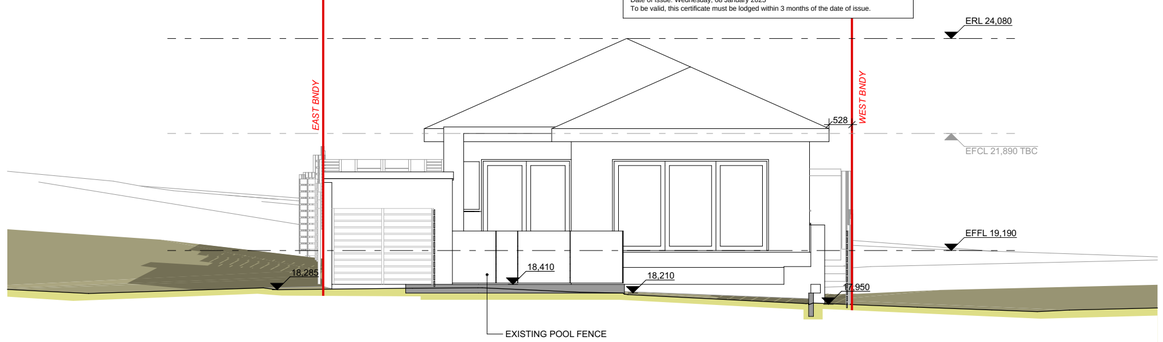
northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0088



E.1 EXISTING NEW STREET ELEVATION (SOUTH) 1:100



E.3 EXISTING_REAR ELEVATION (NORTH) 1:100

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
G	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	26.11.2024				
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DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP: **LOT 12; DP 12383**
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PROJECT
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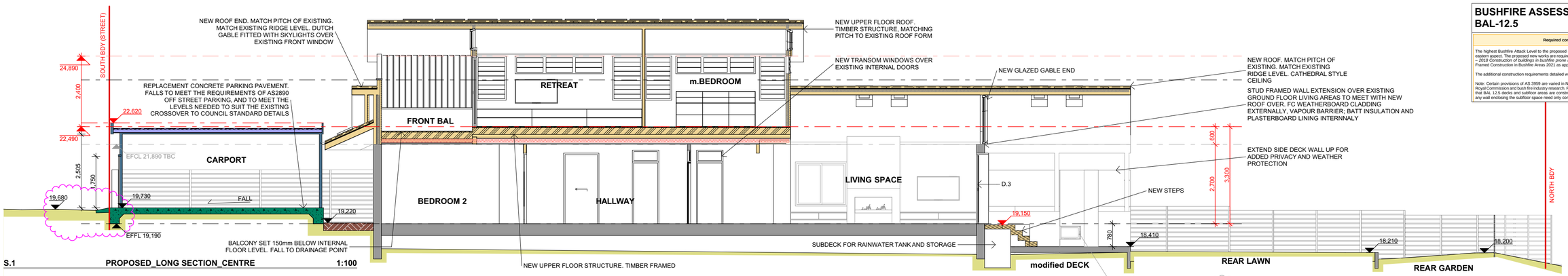
2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021
SCALE	AS NOTED @ A2
DRAWN	R.P

TITLE: **EXISTING & PROPOSED FRONT & REAR ELEVATIONS**
Sheet No: DA-110
Issue: K



S.1 PROPOSED_LONG SECTION_CENTRE 1:100

BUSHFIRE ASSESSMENT BAL-12.5

Required construction level

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E.4 PROPOSED_EAST ELEVATION 1:100

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Alterations and Additions

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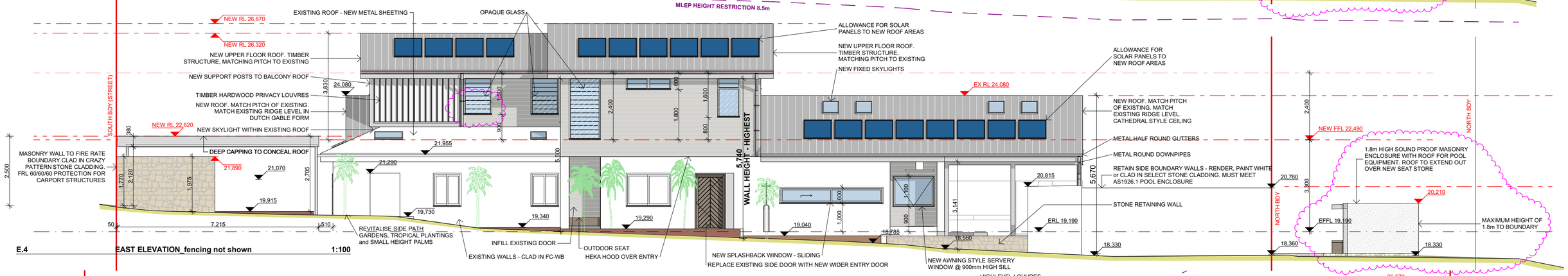
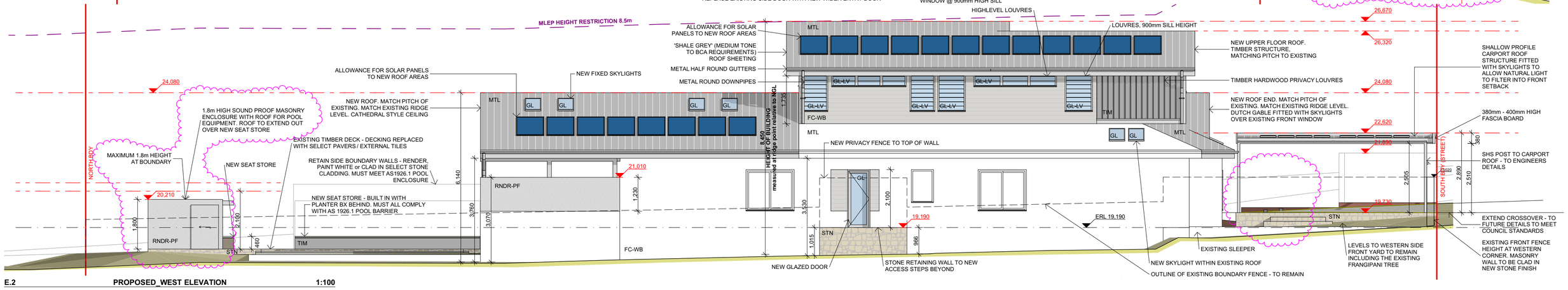


E.4 EAST ELEVATION_fencing not shown 1:100



E.2 PROPOSED_WEST ELEVATION 1:100

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2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021	TITLE	Sheet No	Issue
SCALE	AS NOTED @ A2	**PROPOSED SIDE ELEVATIONS & SECTION**	DA-111	**K**
DRAWN	R.P			

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

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Secretary
Date of issue: Wednesday, 08 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW GOVERNMENT

Project address	
Project name	Balgowlah Residence - ALTS & ADDS
Street address	1 NEW STREET EAST - BALGOWLAH 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 12383
Lot number	12
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is $50,000 or more, and does not include a pool (and/or spa).
N/A	N/A

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: RP Design Studio

ABN (if applicable):

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: gas instantaneous.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Windows and glazed doors glazing requirements

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D.3	N	15.7	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.5	N	7.58	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.13	N	1.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.14	N	1.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.15	N	1.51	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D.1	E	2.31	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.3	E	2.23	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.4	E	1.63	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.7	E	1.5	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.8	E	1.5	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.2	S	1.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.6	S	1.96	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.9	S	0.44	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D.2	W	1.72	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W.16	W	1.35	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W.17	W	1.62	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W.18	W	1.35	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W.19	W	1.5	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W.20	W	1.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W.21	W	1.5	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)

Glazing requirements

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

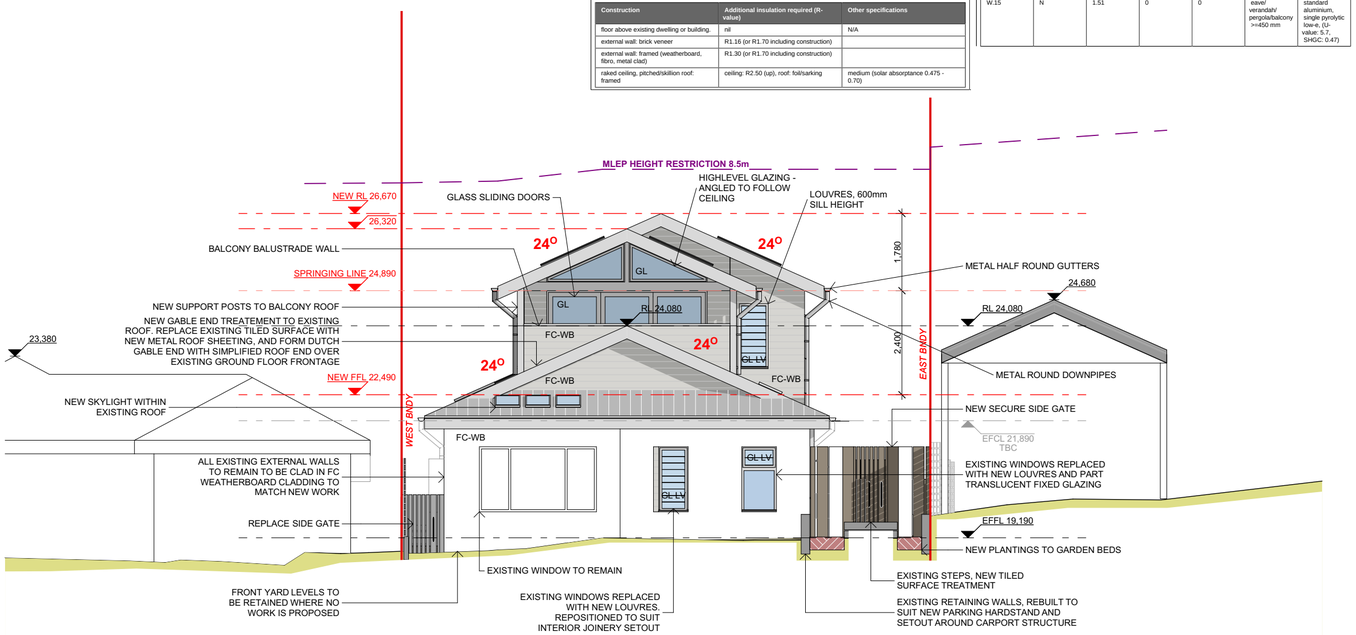
The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

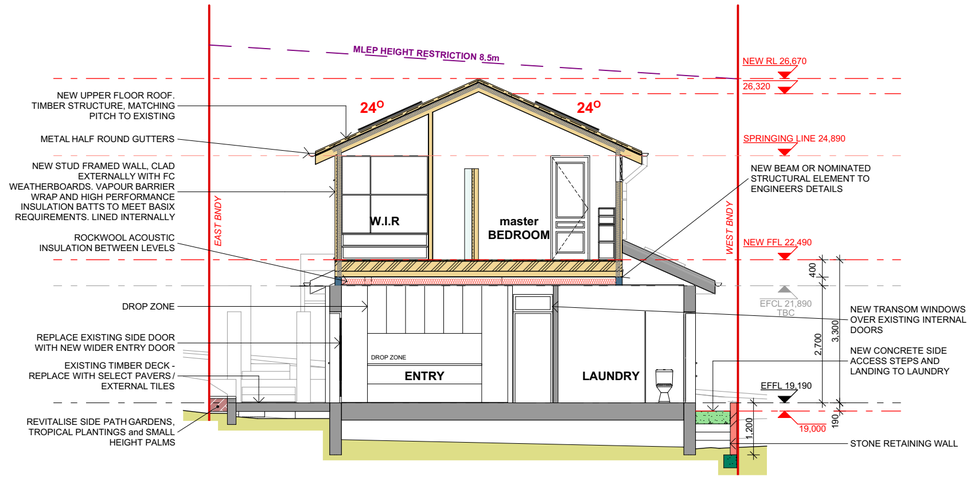
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

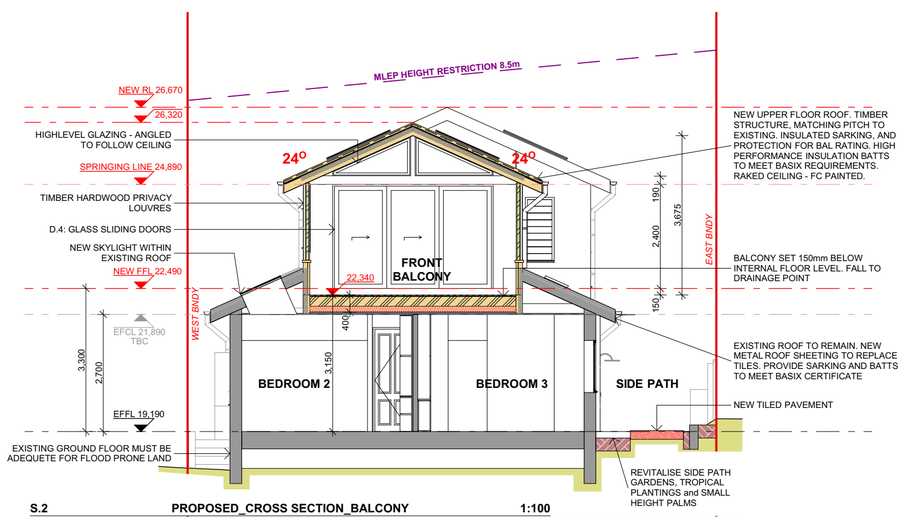
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.08	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.54	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S3	0.3	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S4	1.08	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S5	1.08	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



E.5 NEW SOUTH ELEVATION 1:100



S.4 PROPOSED_CROSS SECTION_ENTRY DOOR 1:100



S.2 PROPOSED_CROSS SECTION_BALCONY 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0088

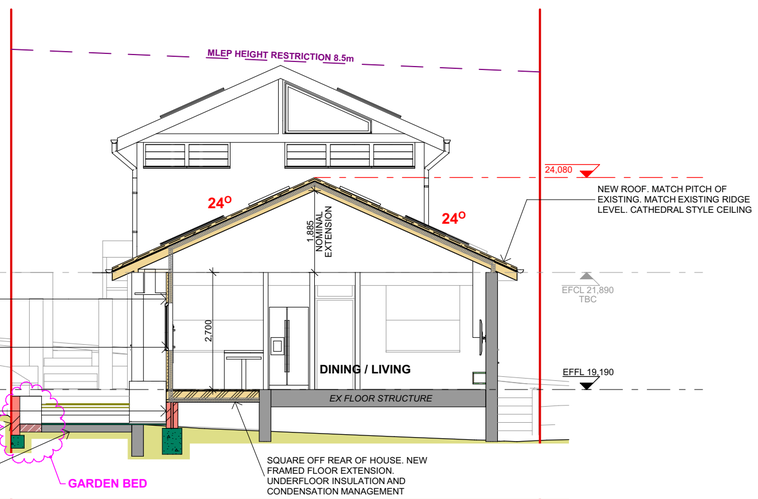
BUSHFIRE ASSESSMENT BAL-12.5

Required construction level

The highest Bushfire Attack Level to the proposed new works was determined to be 'BAL 12.5' from the eastern aspect. The proposed new works are required to comply with section 3 and 5 BAL 12.5 of *AS 3959 – 2018 Construction of buildings in bushfire prone areas* or the NASH Standard National Standard Steel Framed Construction in Bushfire Areas 2021 as appropriate for BAL 12.5 construction.

The additional construction requirements detailed within section 7.5.2 of PBP 2019 are also applicable.

Note: Certain provisions of AS 3959 are varied in NSW based on the findings of the Victorian Bush Fires Royal Commission and bush fire industry research. PBP 2019 section 7.5.2 provides a NSW State Variation that BAL 12.5 decks and subfloor areas are constructed to section 7.7 BAL 29 requirements except that any wall enclosing the subfloor space need only comply with the wall requirements for BAL 12.5.



S.3 PROPOSED_CROSS SECTION_EXISTING REAR 1:100

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
G	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	26.11.2024				
F	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	15.11.2024				
E	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	14.11.2024				
D	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	01.11.2024				
C	RP	UPPER FLOOR ISSUED FOR CONSIDERATION	25.02.2022	J	RP	**DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION**	**20.03.2025**
B	RP	ISSUED FOR CLIENT APPROVAL	24.02.2022	I	RP	DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION	07.03.2025
A	RP	ISSUED FOR INITIAL REVIEW	10.01.2022	H	RP	DEVELOPMENT APPLICATION SUBMISSION	09.01.2025

GENERAL NOTES

1. ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS AND FLOOR AREAS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. DO NOT SCALE OFF DRAWINGS.
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DEVELOPMENT APPLICATION
- NOT FOR APPROVALS or CONSTRUCTION

DIAL 1100 BEFORE YOU DIG

NORTH

LOT & DP: **LOT 12; DP 12383**
COUNCIL: **NORTHERN BEACHES COUNCIL** MANLY

PROJECT
ALTERATIONS and ADDITIONS:
- Ground Floor Addition; New First Floor Addition; Internal and External Modifications; Rectifications and Improvements; and Landscape Concept
2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021	TITLE	Sheet No	Issue
SCALE	AS NOTED @ A2	PROPOSED SOUTH ELEVATION, CROSS SECTIONS & BASIX	DA-112	J
DRAWN	R.P			

PART FRONT FENCE
Reclaimed sleepers

POOL FENCE
Aluminium

BUSHFIRE ASSESSMENT BAL-12.5

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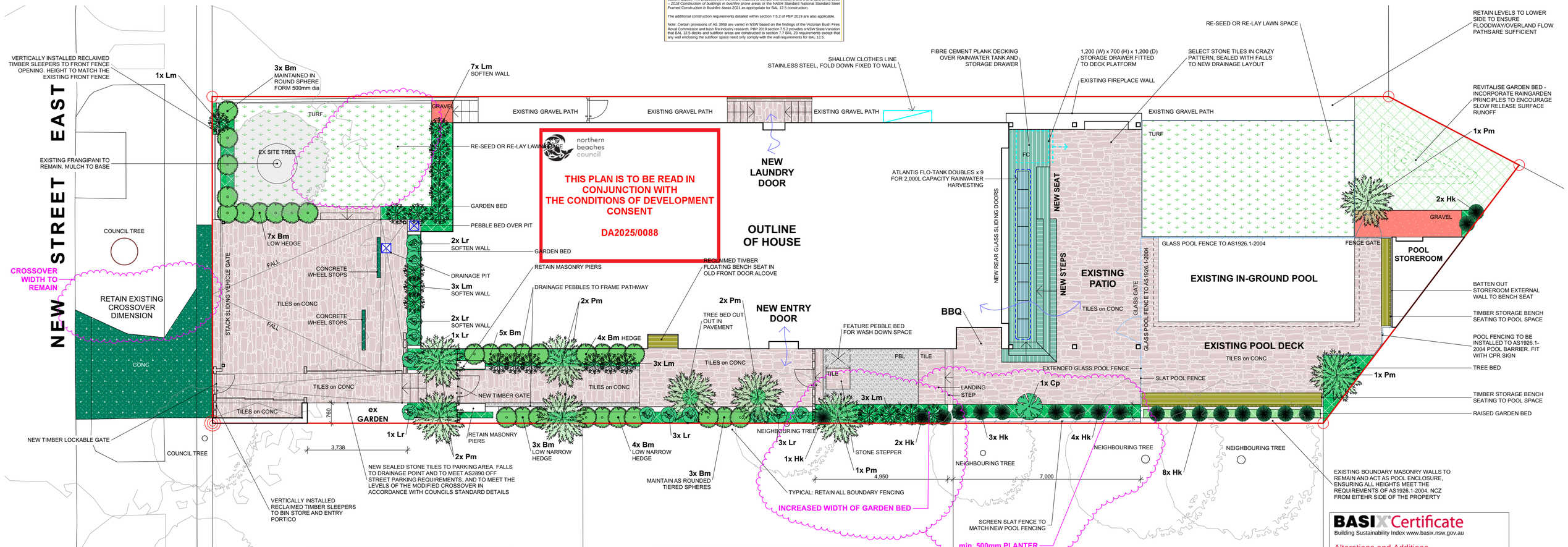


1. CONCEPT LANDSCAPE PLAN 1:100

THIS PLAN HAS BEEN PRODUCED FOR THE PURPOSES OF DEVELOPMENT APPLICATION WITH NORTHERN BEACHES COUNCIL AND IS A CONCEPT PLAN ONLY

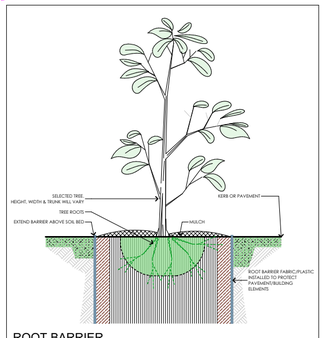
PLANT SCHEDULE - residential

PLANT SYMBOL	b.NAME	QNTY	lt / height
Bm	*BUXUS MICROPHYLLA JAPONICA* - common name: buxus hedge - description: hedging / screening - pathway and fenceline	29-30	*150mm pot size* 50-80cm spacings - manage at 0.5m height - edging plant
Hk	*HELICONIA KAWAUCHI* - tropical perennial - description: striking green long large leaf top - red/yellow/orange flowers - poolside and screening	20	*200mm pot size*
Cp	*CYCAS PALM, small variety* - description: ornamental tropical plant - poolside	1	*200mm pot size*
Lm	*LIRIOPE MUSCARI* - common name: just right Liriope - description: native strappy leaf grass - fence line and poolside	20	*200mm pot size*
Lr	*LIGULARIA RENIFORMIS* - common name: tractor seat plants - description: ornamental leaf plant - feature garden and pathway	10	*14mm pot size*
Pm	*ARCHONTOPHOENIX CUNNINGHAMIANA* - common name: bangalow palm - description: slow growing, slender trunk - entry framing	9	*300mm pot size*

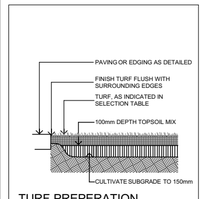
NOTES:
1. All tree stock to be sourced in accordance with tests and measurements contained within AS2303-2015 – Tree Stock for Landscape Use.

SURFACE / ELEMENTS - typical

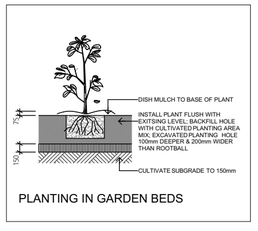
SYMBOL	NAME / DESCRIPTION
	LAWN - Winter Green Couch Turf *- High drought, high salt and wear tolerance* *Fine leaf that is soft to touch* *Dark green colour* *Low maintenance*
	PATHWAY *- Compacted crushed gravel, permeable; sand / rock drainage base (deco granite)*
	PLANTING AREA, MULCH TO TREE BASE and EXISTING PLANTS, APPROPRIATE FOR HEALTHY GROWTH. *- Topsoil, planting mixture & pebble or mulch topping as required* *- permeable*
	DECKING STEPS AND LANDING OVER RAINWATER TANK - WITH STORAGE DRAWER *- James HARDIE - Fibre Cement Plank in White*
	EDGING TREATMENT *- metal / corten shapscper edging with stakes*
	TILES / PAVERS *- stone - sealed - in crazy pattern*



ROOT BARRIER



TURF PREPERATION



PLANTING IN GARDEN BEDS

BASIX® Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1779439

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 08 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

CONCEPT PLAN FOR DEVELOPMENT APPLICATION

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D	RP	REVISED UPPER FLOOR PROPOSAL FOR CLIENT APPROVAL	01.11.2024	K	RP	**DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION**	**31.03.2025**
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2 NEW STREET EAST, **BALGOWLAH NSW, 2093**

CLIENT
M & N DeGARIS

Designer
HARGROVES DESIGN CONSULTANTS
M: 0410 669 148
E: jacqui@hargroves.com.au

DATE	DEC 2021	TITLE	Sheet No	Issue
SCALE	AS NOTED @ A2	**CONCEPT LANDSCAPE PLAN**	DA-113	**K**
DRAWN	R.P			