

A 3D architectural rendering of a modern, two-story house. The house has a dark grey, gabled roof with a wide overhang. The exterior walls are finished with light beige horizontal siding. On the left side, there is a large front porch supported by white columns, with a white railing. To the right of the porch, there is a balcony with a white railing. The house has several windows, including a large multi-paned window on the balcony and smaller windows on the ground floor. The front yard is landscaped with a green hedge, a wooden fence, and several trees, including a large tree on the left and a palm tree on the right. The sky is blue with white clouds.

 <p>YOUR STYLE DESIGNER HOME ADDITIONS</p> <h1 style="margin: 0;">9938 5611</h1> <p>www.yourstyle.com.au</p>			
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ABN 92 003 918 116 • ACN 003 918 116 BUILDER LICENCE • 60007C <small>A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD</small>			
Client Name :	HEDY ARRISUENO		
Client Address :	3 FAZZOLARI, AVENUE MONA VALE 2103		
Client No. :	KIR 0824 01 DA		
All construction work to be performed in accordance with Australian Standards and Building Code of Australia 2013.			
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<p align="center"><u>Project Acceptance</u></p> <p>We agree to these works in accordance with Your Style's Building Specification & Quote Document and this Design.</p> <p>Signed..... Date: Monday, 14 April 2025 Your Style Designer Home Additions _____</p> <p>Signed..... Date: Monday, 14 April 2025 Client's signature _____</p> <p>Signed..... Date: Monday, 14 April 2025 Client's signature _____</p>			
Drawing Title :	PERSPECTIVES		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	
Plot Date :	Monday, 14 April 2025	Drawing No. :	1
File Location:	ARR 0824 05 DA.pln		
<p><b style="color: red;">Your Style Construction Certificate Excludes: Items in red and/or listed here do not form part of Your Style's Construction Certificate and will not be approved for construction under Your Style's Construction Certificate and will require a separate CC Application.</p> <div style="border: 1px solid red; height: 100px;"></div>			

SITE CALCULATIONS

Site area = 638m²
Landscape Open Space = 306m²
Impervious & Excluded Area = 332m²
Landscape Open Space =48%

EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

- NOTES:
1. THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY UNLESS STATED. THE LOCATION OF BUILDINGS RELATIVE TO THE BOUNDARIES HAS BEEN DETERMINED AND ARE SHOWN ON THE PLAN.
 2. POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
 3. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. RELEVANT AUTHORITIES ARE TO BE NOTIFIED PRIOR TO ANY DEVELOPMENT
 4. BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY A FIELD SURVEY.
 5. CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
 6. NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
 7. CONTOUR INTERVAL 0.2m MINOR 1.0m MAJOR
 8. ORIGIN OF LEVELS: SSM 167704 RL 19.046 A.H.D.
 9. THE SPREAD AND HEIGHT OF TREES SHOWN ARE INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT ADDITIONAL DETAILED SURVEY.
 10. BEARINGS SHOWN ARE RELATED TO MAP GRID OF AUSTRALIA (M.G.A.) NORTH

(C) EASEMENT TO DRAIN WATER 1.8 WIDE (R298452)

REFERENCE: 12231/24 1223124.DWG	STUTCHBURY JAUQUES PTY LTD LAND SURVEYING CONSULTANTS P.O. BOX 7249, WARRINGAH MALL NSW 2100 PH: 8976 1600 E-MAIL: info@stutchbury.net.au
REG'D SURVEYOR	

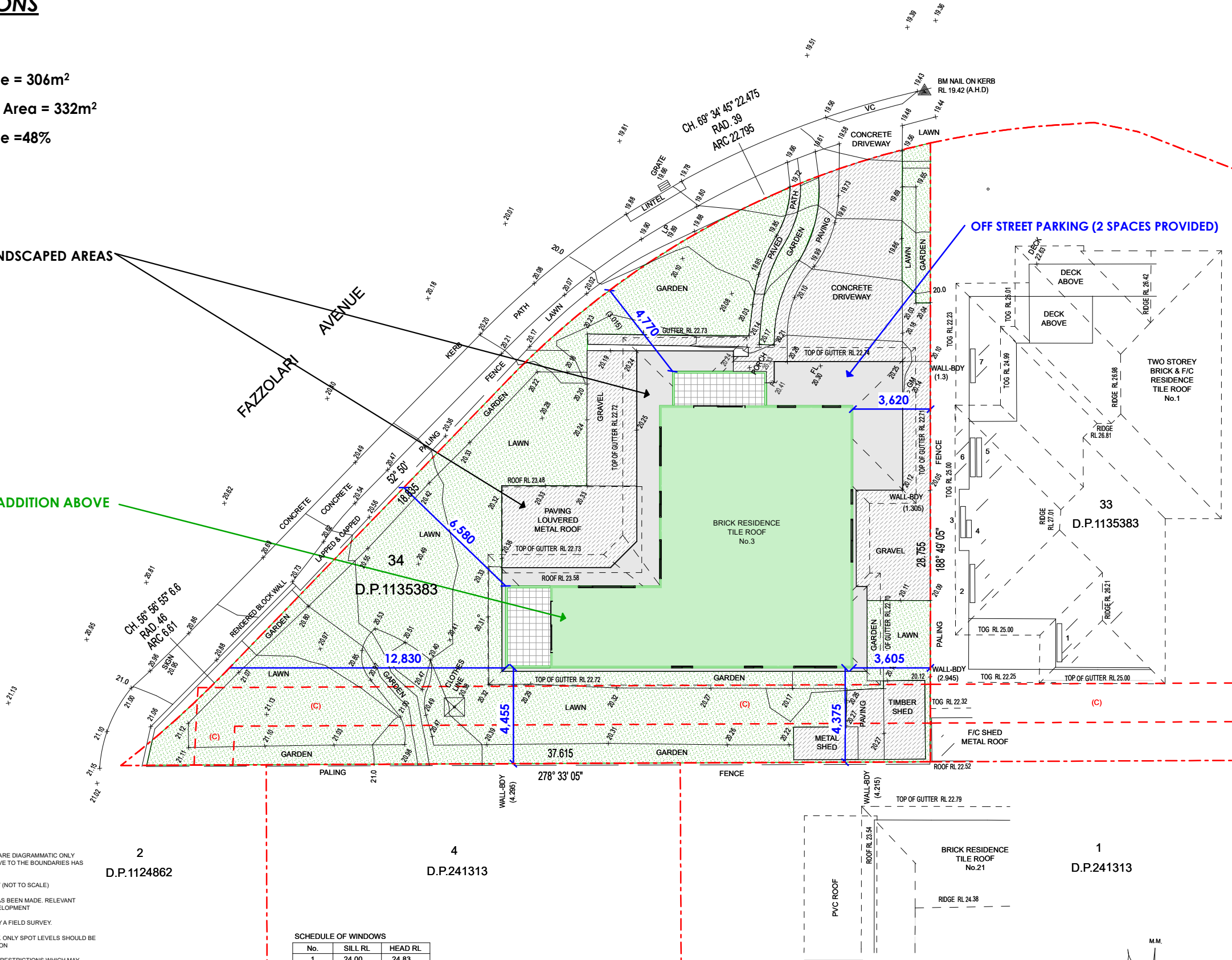
DATE: 02/12/2024	CLIENT: YOUR STYLE
SCALE: 1:100	PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY
DATUM: A.H.D.	LOT 34 D.P.1135383
SITE AREA: 637.8 m ²	No.3 FAZZOLARI AVENUE, MONA VALE
SHEET 1 OF 1 SHEETS	LGA: NORTHERN BEACHES

DAVID STUTCHBURY
REGISTERED SURVEYOR
IDENTIFICATION No: SU002051

SCHEDULE OF WINDOWS		
No.	SILL RL	HEAD RL
1	24.00	24.83
2	20.75	22.10
3	21.19	22.09
4	23.62	24.83
5	20.74	22.09
6	23.62	24.83
7	20.71	22.06

- LEGEND
- | | | | |
|------|---------------------|-----|--------------------------|
| AC | - AIR CONDITIONER | MH | - MANHOLE |
| DPC | - DAMP PROOF COURSE | PB | - POWER BOX |
| EBOX | - ELECTRICITY BOX | PC | - PRAM CROSSING |
| EP | - ELECTRICITY PIT | PP | - POWER POLE |
| FL | - FLOOR LEVEL | SMH | - SEWER MANHOLE |
| GM | - GAS METER | SO | - STORMWATER OUTLET |
| GS | - GAS SERVICE | SV | - STOP VALVE |
| GP | - GULLY PIT | SW | - STORMWATER |
| HW | - HOT WATER HEATER | TEL | - TELECOMMUNICATIONS PIT |
| HYD | - HYDRANT | VC | - VEHICLE CROSSING |
| IC | - INSPECTION COVER | WM | - WATER METER |
| LH | - LAMP HOLE | WS | - WATER SERVICE |
| LP | - LIGHT POLE | | |

SITE PLAN



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Your Style Designer Home Additions

Signed..... Date: Monday, 14 April 2025
Client's signature

Signed..... Date: Monday, 14 April 2025
Client's signature

Drawing Title :	SITE PLAN		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Monday, 14 April 2025	Drawing No. :	2
File Location:	ARR 0824 05 DA.pln		

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-
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GROUND FLOOR PLAN



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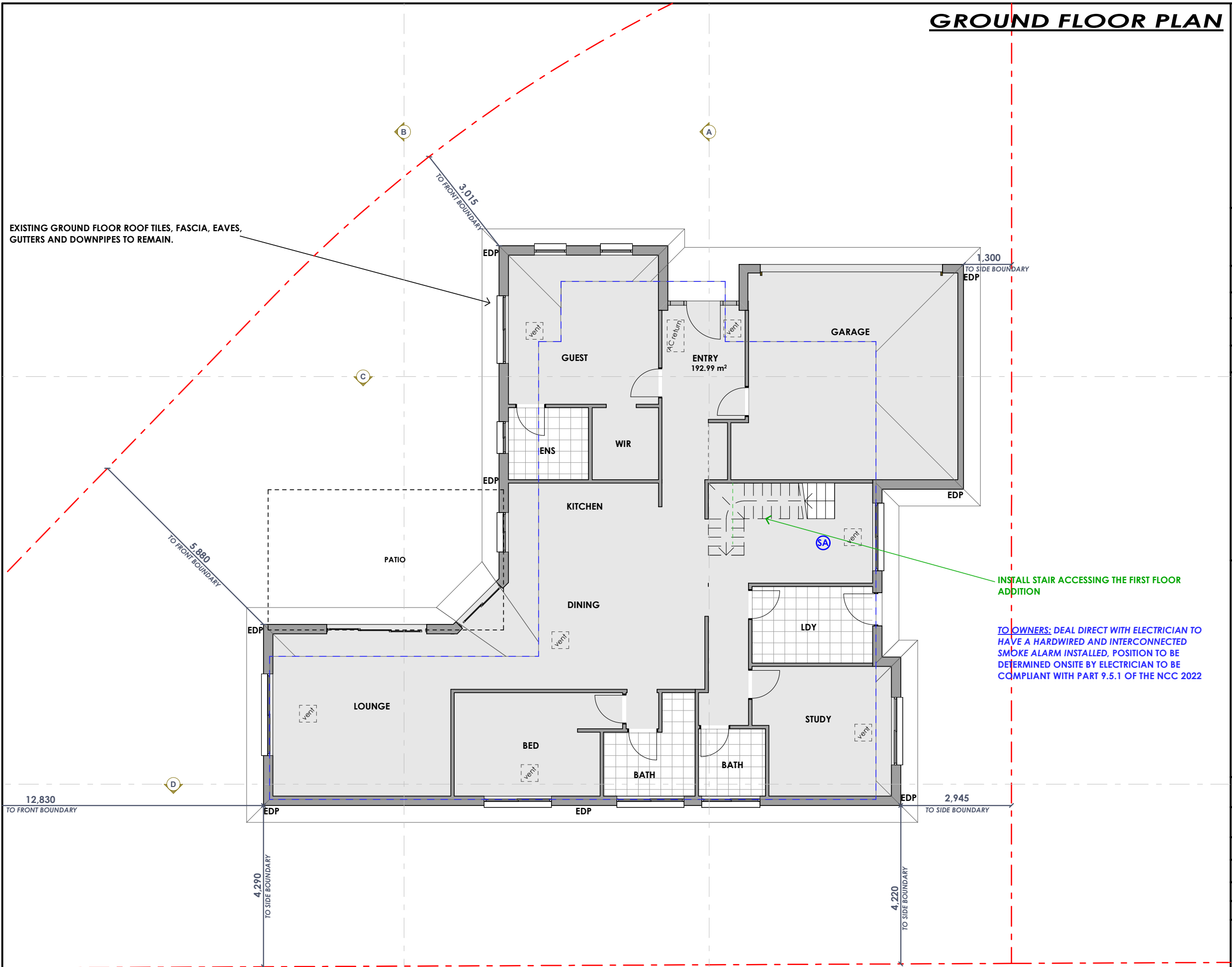
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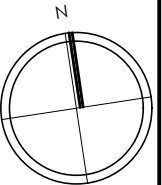
Drawing Title :	GROUND FLOOR PLAN		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Monday, 14 April 2025	Drawing No. :	5
File Location:	ARR 0824 05 DA.pln		

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EXISTING GROUND FLOOR ROOF TILES, FASCIA, EAVES, GUTTERS AND DOWNPIPES TO REMAIN.



- = To Your Style (proposed alterations)
- = Proposed Alterations (To Owners)
- = Existing Home



First Floor Addition

- External walls - James Hardie
- Roof - New Profile concrete roof tiles
- Windows - Residential Aluminium

COVERED TILED DECKS WITH TWIN 90x90mm CORNER POSTS, CLADDED HANDRAIL WALL, TOP CAP AND TOP RAIL WITH TWIN POST DETAIL

WATERPROOF AND TILE DECK WITH FLOOR WASTE AND SPITTER OUTLET ONTO LOWER. DECK WATERPROOFING AS PER AS.4654-2012

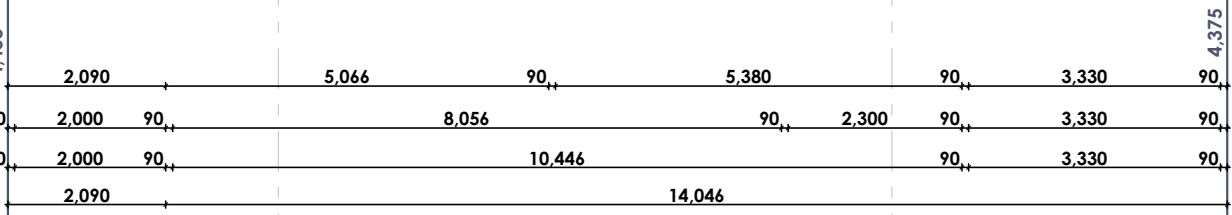
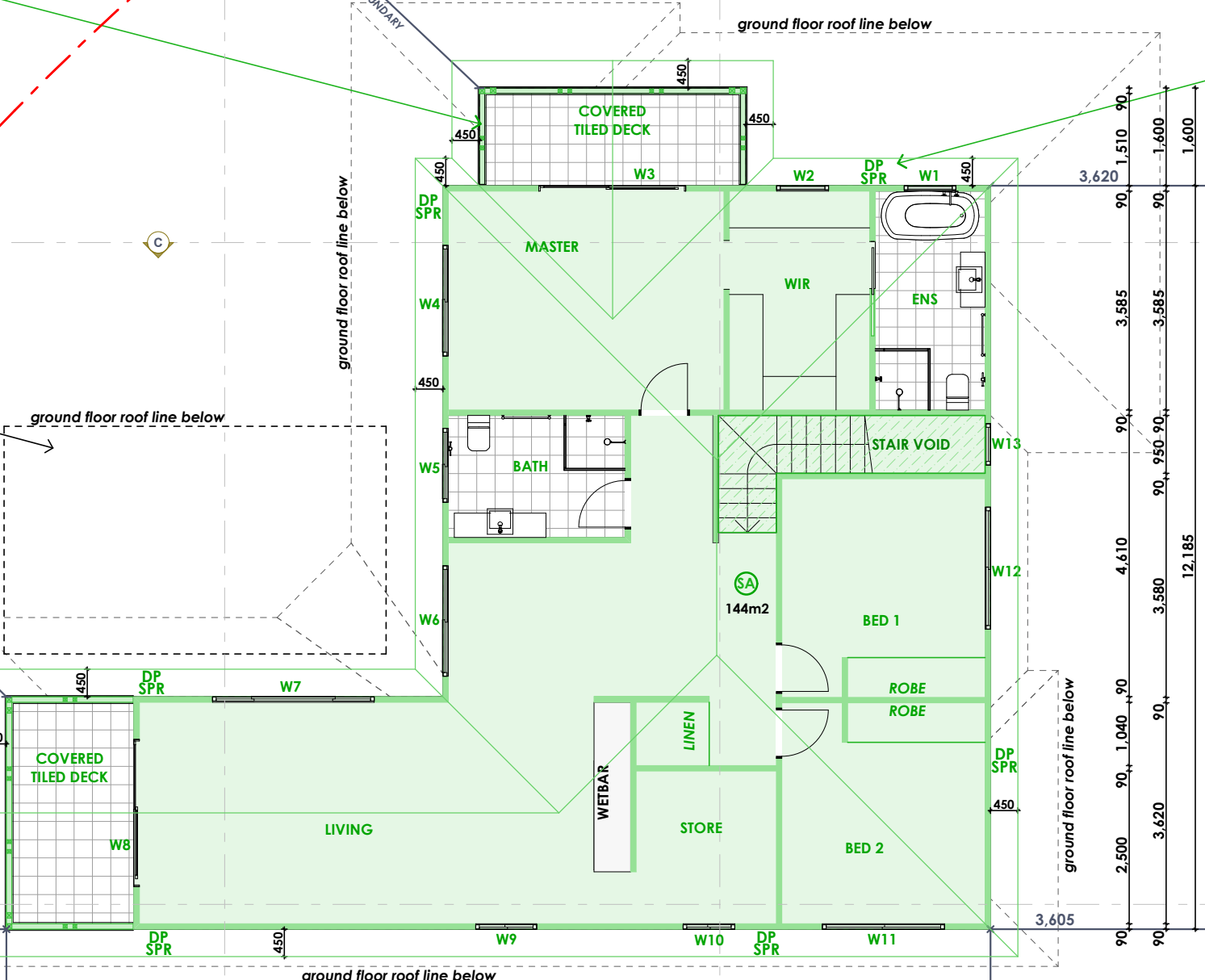
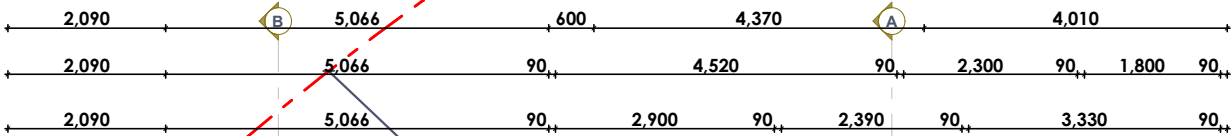
DECK STEP DOWN FROM INTERNAL FLOOR LEVEL OF 50mm MINIMUM.

SARKING TO BE INSTALLED ON THE EXTERNAL SIDE OF WALL FRAMES AND INSULATION AS PER 10.8.1 OF THE NCC 2022

EXISTING PERGOLA TO REMAIN

WINDOWS AND EXTERNAL GLAZED DOORS TO 8.2 OF THE NCC 2022

- = To Your Style (proposed alterations)
- = Proposed Alterations (To Owners)
- = Existing Home

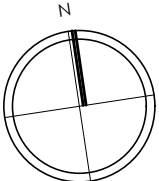


FIRST FLOOR PLAN

FIRST FLOOR ROOF TO HAVE GUTTERS WITH DOWNPIPES AND SPREADERS (DP SPR) ONTO EXISTING LOWER ROOFS.

WET AREAS TO HAVE MECHANICAL VENTILATION AS PER 10.8.2 OF THE NCC 2022

HARDWIRED AND INTERCONNECTED SMOKE ALARM TO BE INSTALLED, POSITION TO BE DETERMINED ONSITE BY ELECTRICIAN TO BE COMPLIANT WITH PART 9.5.1 OF THE NCC 2022



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Drawing Title :	FIRST FLOOR PLAN		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Monday, 14 April 2025	Drawing No. :	6
File Location:	ARR 0824 05 DA.pln		

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ELEVATIONS (NORTH & SOUTH)

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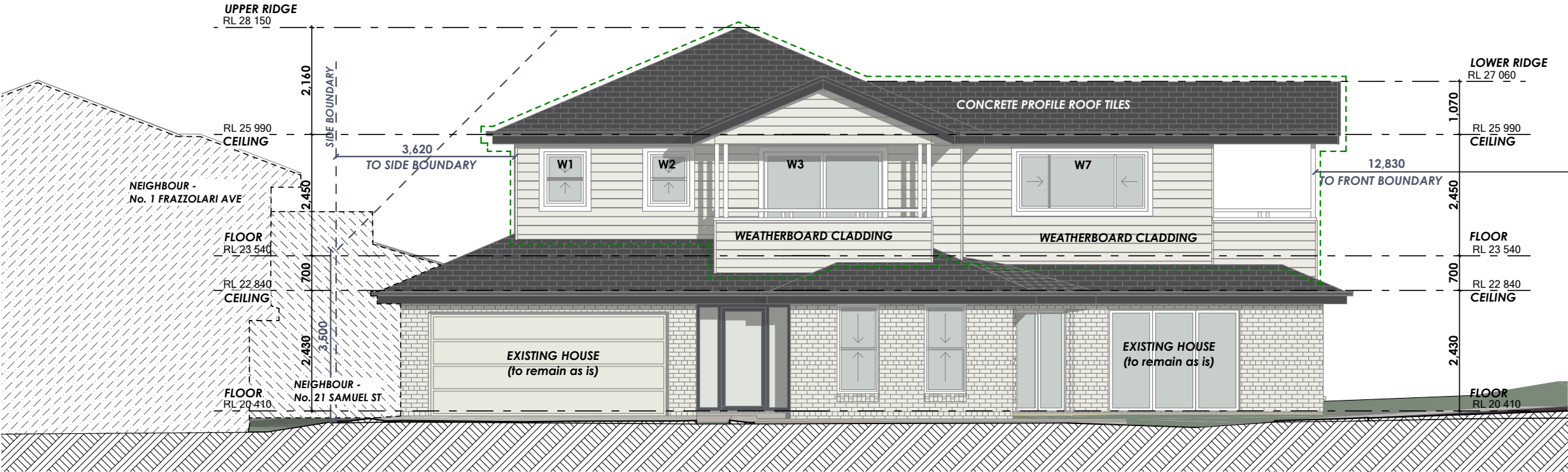
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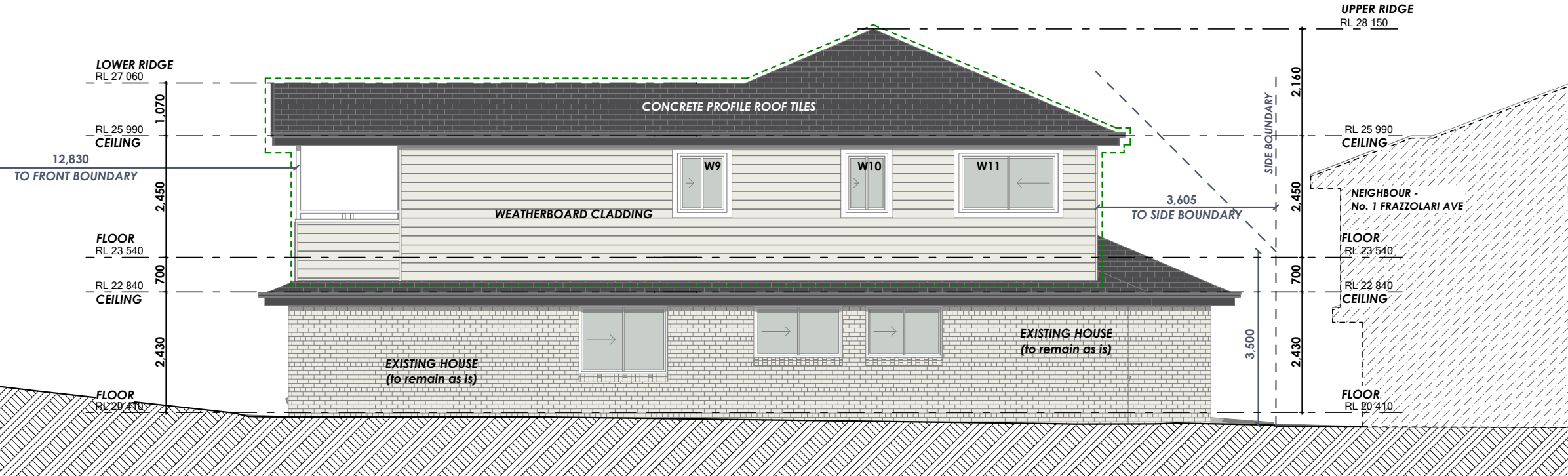
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Drawing Title :	ELEVATIONS		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Monday, 14 April 2025	Drawing No. :	7
File Location:	ARR 0824 05 DA.pln		

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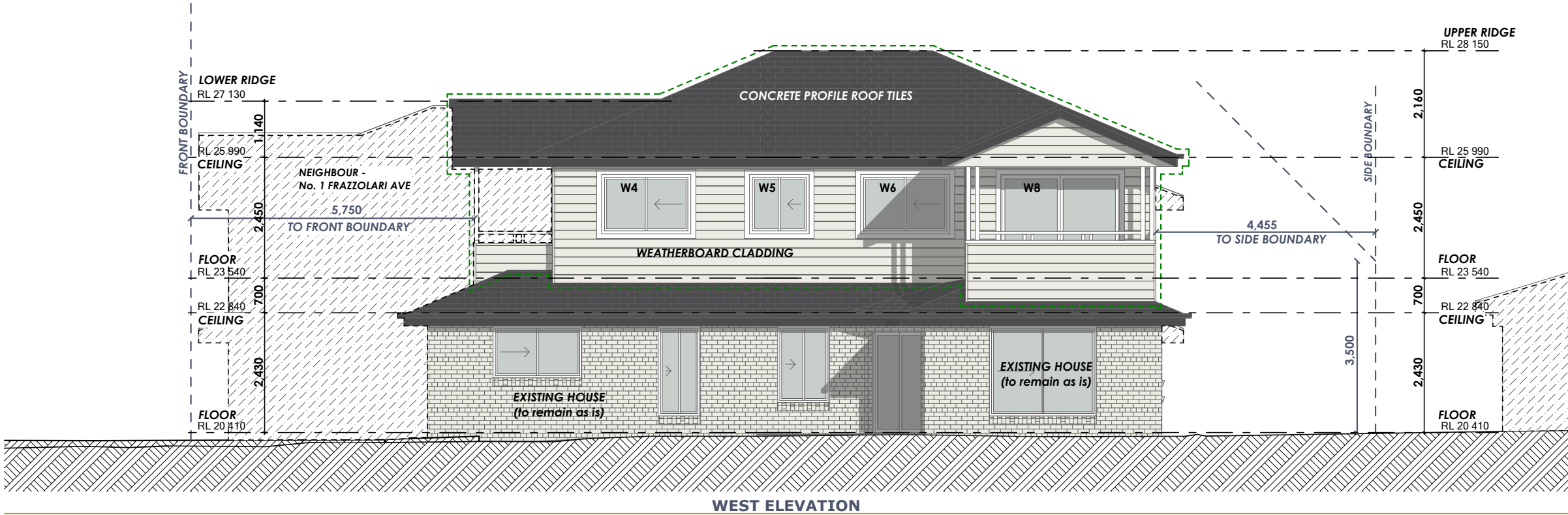
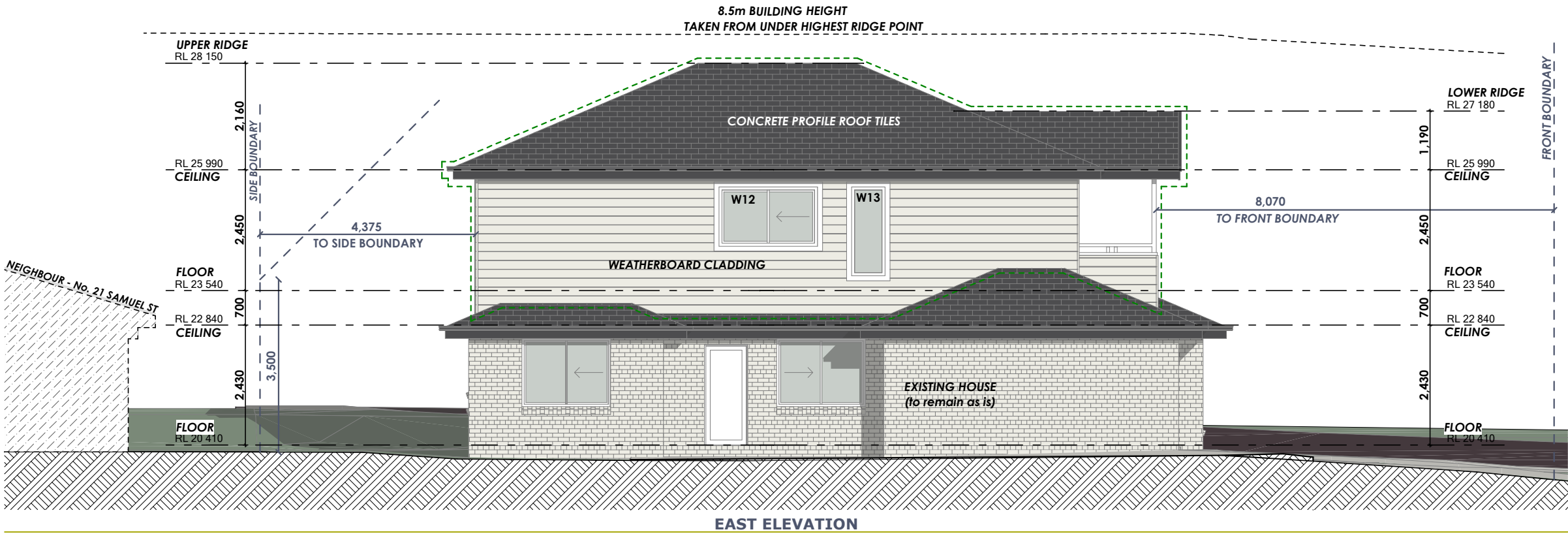


NORTH ELEVATION



SOUTH ELEVATION

ELEVATIONS (EAST & WEST)



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Drawing Title : ELEVATIONS

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

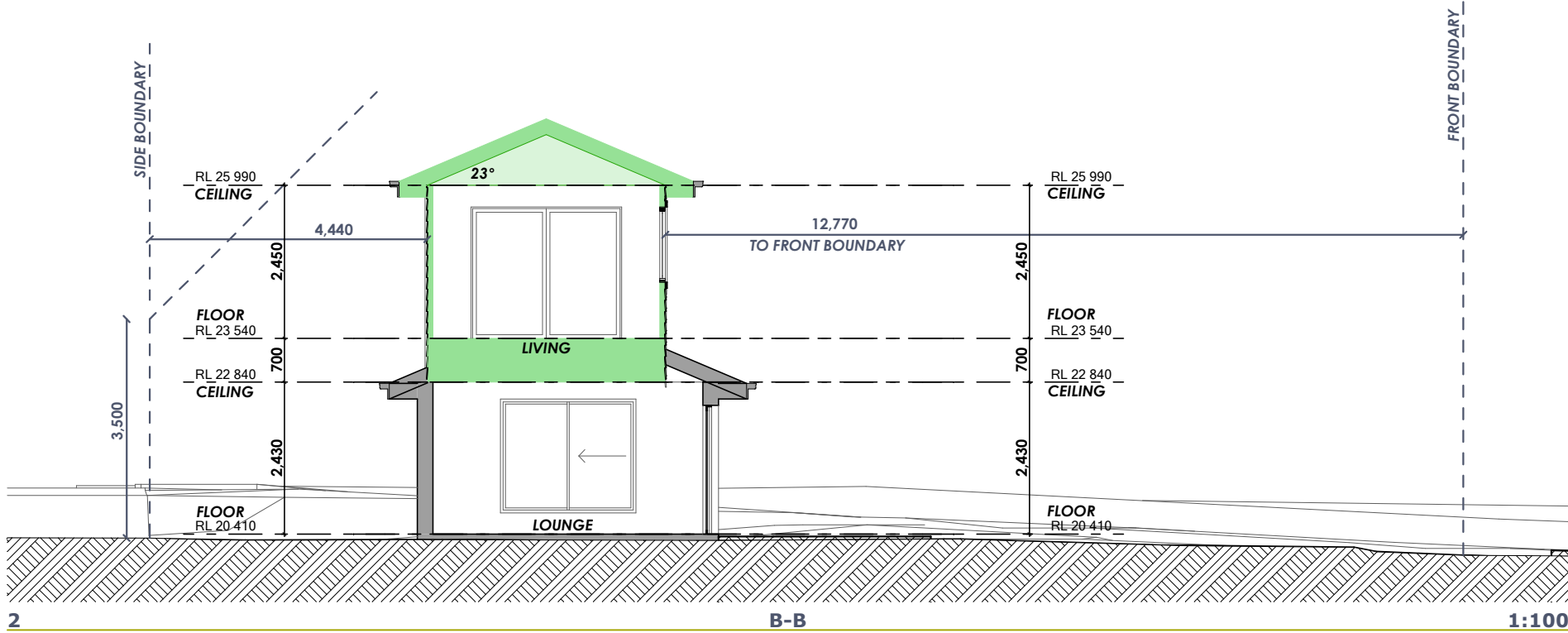
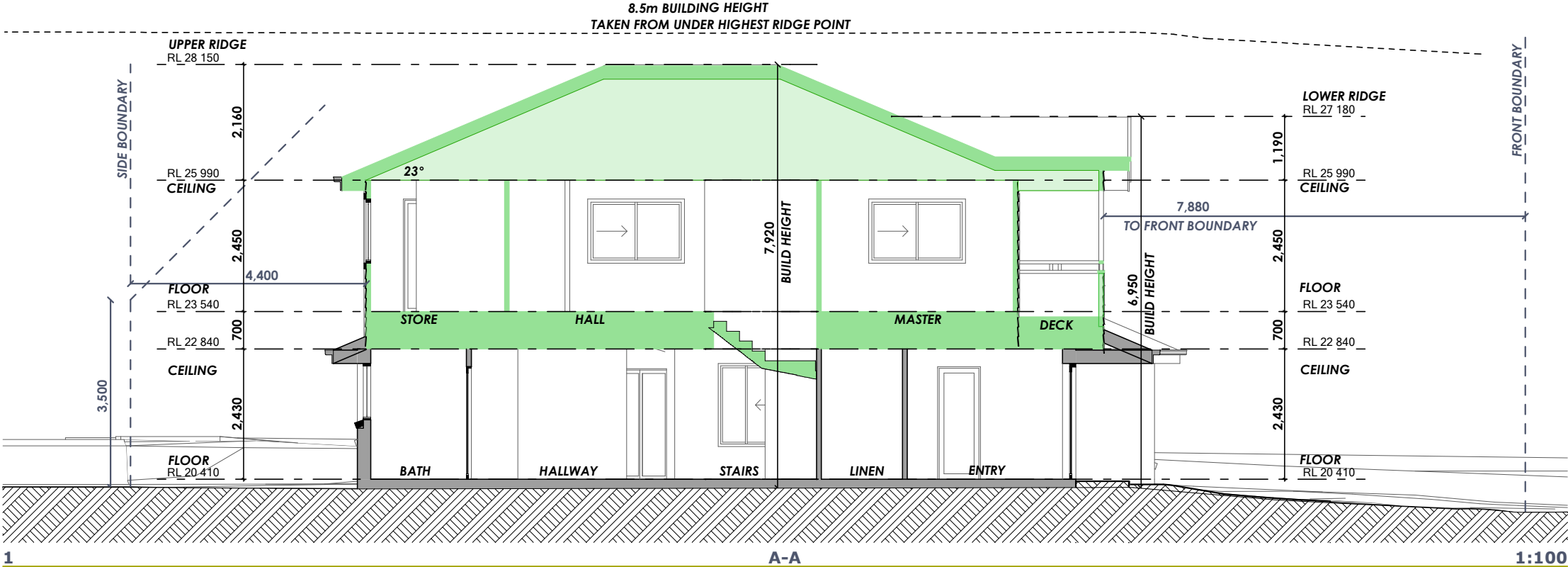
Status : DA STAGE Scale : 1:100

Plot Date : Monday, 14 April 2025

File Location: ARR 0824 05 DA.pln Drawing No. : 8

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SECTIONS (A-A & B-B)



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Signed..... Date: Monday, 14 April 2025

Client's signature

Drawing Title : SECTIONS

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale : 1:100

Plot Date : Monday, 14 April 2025

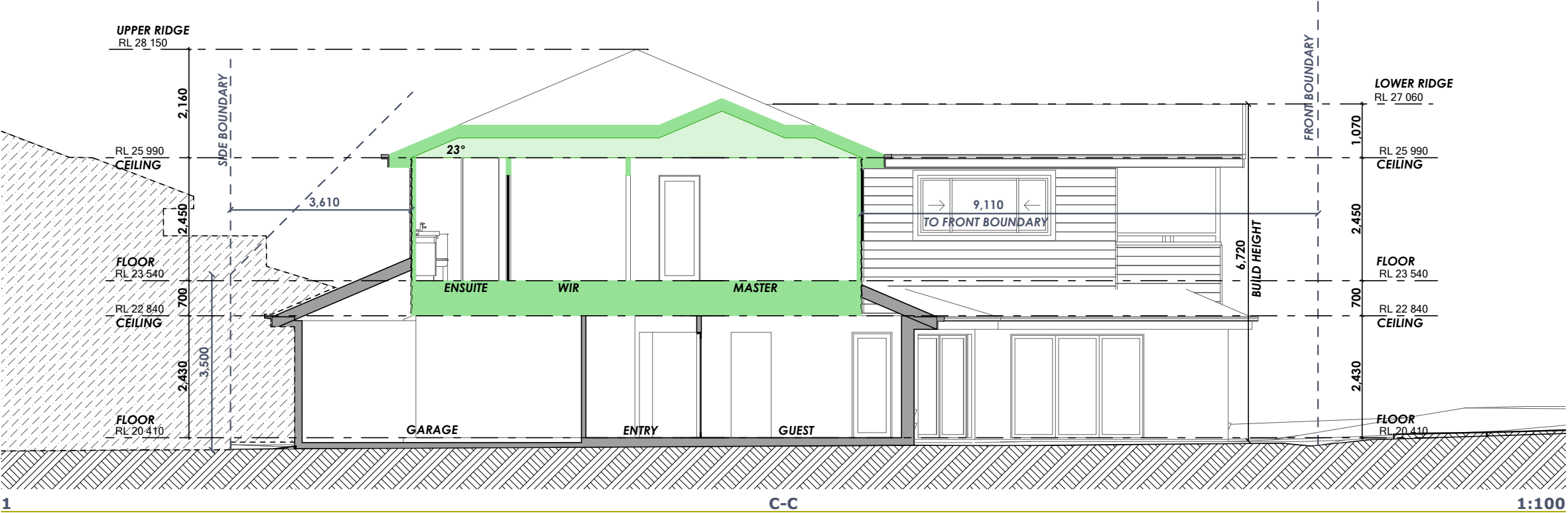
Drawing No. : 9

File Location: ARR 0824 05 DA.pln

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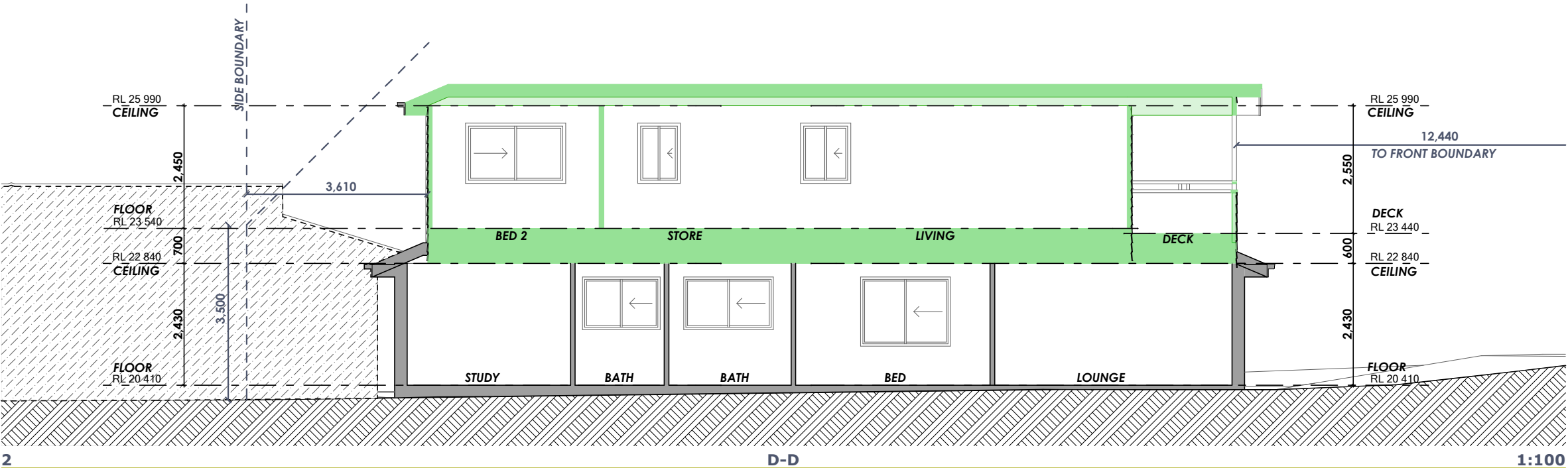
SECTIONS (A-A & B-B)



1

C-C

1:100



2

D-D

1:100



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Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Monday, 14 April 2025	Drawing No. :	10
File Location:	ARR 0824 05 DA.pln		

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SHADOWS DIAGRAMS 21 JUNE - 9am

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Signed..... Date: Monday, 14 April 2025
Client's signature

Drawing Title : SHADOWS 21 JUNE 9am

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE Scale : 1:200

Plot Date : Monday, 14 April 2025 Drawing No. : 13

File Location: ARR 0824 05 DA.pln

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EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

= Proposed Shadows

= Existing Shadows

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(C) EASEMENT TO DRAIN WATER 1.8 WIDE (R298452)

REFERENCE: 12231/24
STUTCHBURY JAUQUES PTY LTD
LAND SURVEYING CONSULTANTS
P.O. BOX 7249, WARRINGAH MALL NSW 2100
PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 02/12/2024
SCALE: 1:100
DATUM: A.H.D.
SITE AREA: 637.8 m²
SHEET 1 OF 1 SHEETS
CLIENT: YOUR STYLE
PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY
LOT 34 D.P.1135383
No.3 FAZZOLARI AVENUE, MONA VALE
LGA: NORTHERN BEACHES

No.	SILL RL	HEAD RL
1	24.00	24.83
2	20.75	22.10
3	21.19	22.09
4	23.62	24.83
5	20.74	22.09
6	23.62	24.83
7	20.71	22.06

DAVID STUTCHBURY
REGISTERED SURVEYOR
IDENTIFICATION No: SU002051

- LEGEND
- | | | | |
|------|---------------------|-----|--------------------------|
| AC | - AIR CONDITIONER | MH | - MANHOLE |
| DPC | - DAMP PROOF COURSE | PB | - POWER BOX |
| EBXP | - ELECTRICITY BOX | PC | - PRAM CROSSING |
| EP | - ELECTRICITY PIT | PP | - POWER POLE |
| FL | - FLOOR LEVEL | SMH | - SEWER MANHOLE |
| GM | - GAS METER | SO | - STORMWATER OUTLET |
| GS | - GAS SERVICE | SV | - STOP VALVE |
| GP | - GULLY PIT | SW | - STORMWATER |
| HW | - HOT WATER HEATER | TEL | - TELECOMMUNICATIONS PIT |
| HYD | - HYDRANT | VC | - VEHICLE CROSSING |
| IC | - INSPECTION COVER | WM | - WATER METER |
| LH | - LAMP HOLE | WS | - WATER SERVICE |
| LP | - LIGHT POLE | | |



SHADOWS DIAGRAMS 21 JUNE - 12pm



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EMAIL : sales@yourstyle.com.au
WEB : www.yourstyle.com.au
ABN 92 003 918 116 • ACN 003 918 116
BUILDER LICENCE • 6007C
A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

Client Name : HEDY ARRISUENO

Client Address : 3 FAZZOLARI, AVENUE MONA VALE 2103

Client No. : KIR 0824 01 DA

All construction work to be performed in accordance with Australian Standards and Building Code of Australia 2013.

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Project Number: KIR 0824 01 DA Included Pages: 1 -

Signed..... Date: Monday, 14 April 2025

Client's signature

Project Acceptance

We agree to these works in accordance with Your Style's Building Specification & Quote Document and this Design.

Signed..... Date: Monday, 14 April 2025

Your Style Designer Home Additions

Signed..... Date: Monday, 14 April 2025

Client's signature

Signed..... Date: Monday, 14 April 2025

Client's signature

Drawing Title : SHADOWS 21 JUNE 12pm

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE Scale : 1:200

Plot Date : Monday, 14 April 2025 Drawing No. : 14

File Location: ARR 0824 05 DA.pln

Your Style Construction Certificate Excludes:
Items in red and/or listed here do not form part of Your Style's Construction Certificate and will not be approved for construction under Your Style's Construction Certificate and will require a separate CC Application.

EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

= Proposed Shadows

= Existing Shadows

NOTES:

1. THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY UNLESS STATED. THE LOCATION OF BUILDINGS RELATIVE TO THE BOUNDARIES HAS BEEN DETERMINED AND ARE SHOWN ON THE PLAN.

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7. CONTOUR INTERVAL 0.2m MINOR 1.0m MAJOR

8. ORIGIN OF LEVELS: SSM 167704 RL 19.046 A.H.D.

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10. BEARINGS SHOWN ARE RELATED TO MAP GRID OF AUSTRALIA (M.G.A.) NORTH

(C) EASEMENT TO DRAIN WATER 1.8 WIDE (R298452)

REFERENCE: 12231/24
STUTCHBURY JAUQUES PTY LTD
LAND SURVEYING CONSULTANTS
P.O. BOX 7249, WARRINGAH MALL NSW 2100
PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 02/12/2024
SCALE: 1:100
DATUM: A.H.D.
SITE AREA: 637.8 m²
SHEET 1 OF 1 SHEETS
CLIENT: YOUR STYLE
PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY
LOT 34 D.P.1135383
No.3 FAZZOLARI AVENUE, MONA VALE
LGA: NORTHERN BEACHES

SCHEDULE OF WINDOWS

No.	SILL RL	HEAD RL
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7	20.71	22.06

DAVID STUTCHBURY
REGISTERED SURVEYOR
IDENTIFICATION No: SU002051

LEGEND

AC - AIR CONDITIONER
DPC - DAMP PROOF COURSE
EBOX - ELECTRICITY BOX
EP - ELECTRICITY PIT
FL - FLOOR LEVEL
GM - GAS METER
GS - GAS SERVICE
GP - GULLY PIT
HW - HOT WATER HEATER
HYD - HYDRANT
IC - INSPECTION COVER
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PP - POWER POLE
SMH - SEWER MANHOLE
SO - STORMWATER OUTLET
SV - STOP VALVE
SW - STORMWATER
TEL - TELECOMMUNICATIONS PIT
VC - VEHICLE CROSSING
WM - WATER METER
WS - WATER SERVICE

M.M.



SHADOWS DIAGRAMS 21 JUNE - 3pm

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Client Name :

HEDY ARRISUENO

Client Address :

3 FAZZOLARI, AVENUE MONA VALE 2103

Client No. :

KIR 0824 01 DA

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Project Number: KIR 0824 01 DA Included Pages: 1 -

Signed..... Date: Monday, 14 April 2025
Client's signature

Project Acceptance

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Signed..... Date: Monday, 14 April 2025
Your Style Designer Home Additions

Signed..... Date: Monday, 14 April 2025
Client's signature

Signed..... Date: Monday, 14 April 2025
Client's signature

Drawing Title :

SHADOWS 21 JUNE 3pm

Project Name :

First Floor Addition

Architect:

Your Style Designer Home Additions

Status :

DA STAGE

Scale :

1:200

Plot Date :

Monday, 14 April 2025

Drawing No. :

15

File Location:

ARR 0824 05 DA.pln

Your Style Construction Certificate Excludes:
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EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

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= Existing Shadows

- NOTES:
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 8. ORIGIN OF LEVELS: SSM 167704 RL 19.046 A.H.D.
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(C) EASEMENT TO DRAIN WATER 1.8 WIDE (R298452)

REFERENCE:

12231/24

12231/24 DETAIL.DWG

REG'D SURVEYOR

STUTCHBURY JAUQUES PTY LTD

LAND SURVEYING CONSULTANTS

P.O. BOX 7249, WARRINGAH MALL NSW 2100

PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 02/12/2024

SCALE: 1:100

DATUM: A.H.D.

SITE AREA: 637.8 m²

SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE

PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY

LOT 34 D.P.1135383

No.3 FAZZOLARI AVENUE, MONA VALE

LGA: NORTHERN BEACHES

SCHEDULE OF WINDOWS		
No.	SILL RL	HEAD RL
1	24.00	24.83
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4	23.62	24.83
5	20.74	22.09
6	23.62	24.83
7	20.71	22.06

DAVID STUTCHBURY
REGISTERED SURVEYOR
IDENTIFICATION No: SU002051

- LEGEND
- AC

DPC

EBXP

FL

GM

GS

GP

HW

HYD

IC

LH

LP
- AIR CONDITIONER

- DAMP PROOF COURSE

- ELECTRICITY BOX

- ELECTRICITY PIT

- FLOOR LEVEL

- GAS METER

- GAS SERVICE

- GULLY PIT

- HOT WATER HEATER

- HYDRANT

- INSPECTION COVER

- LAMP HOLE

- LIGHT POLE
- MH

PB

PC

PP

SMH

SO

SV

SW

TEL

VC

WM

WS
- MANHOLE

- POWER BOX

- PRAM CROSSING

- POWER POLE

- SEWER MANHOLE

- STORMWATER OUTLET

- STOP VALVE

- STORMWATER

- TELECOMMUNICATIONS PIT

- VEHICLE CROSSING

- WATER METER

- WATER SERVICE

SHADOWS DIAGRAMS 20 MARCH - 9am

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BUILDER LICENCE • 60007C
A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

Client Name :

HEDY ARRISUENO

Client Address :

3 FAZZOLARI, AVENUE MONA VALE 2103

Client No. :

KIR 0824 01 DA

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Project Number: KIR 0824 01 DA Included Pages: 1 -

Signed..... Date: Monday, 14 April 2025
Client's signature

Project Acceptance

We agree to these works in accordance with Your Style's Building Specification & Quote Document and this Design.

Signed..... Date: Monday, 14 April 2025
Your Style Designer Home Additions

Signed..... Date: Monday, 14 April 2025
Client's signature

Signed..... Date: Monday, 14 April 2025
Client's signature

Drawing Title :

SHADOWS 20 MARCH 9am

Project Name :

First Floor Addition

Architect:

Your Style Designer Home Additions

Status :

DA STAGE

Scale :

1:200

Plot Date :

Monday, 14 April 2025

Drawing No. :

16

File Location:

ARR 0824 05 DA.pln

Your Style Construction Certificate Excludes:
Items in red and/or listed here do not form part of Your Style's Construction Certificate and will not be approved for construction under Your Style's Construction Certificate and will require a separate CC Application.

EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

 = Proposed Shadows
 = Existing Shadows

- NOTES:
1. THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY UNLESS STATED. THE LOCATION OF BUILDINGS RELATIVE TO THE BOUNDARIES HAS BEEN DETERMINED AND ARE SHOWN ON THE PLAN.
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 6. NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
 7. CONTOUR INTERVAL 0.2m MINOR 1.0m MAJOR
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 10. BEARINGS SHOWN ARE RELATED TO MAP GRID OF AUSTRALIA (M.G.A.) NORTH

(C) EASEMENT TO DRAIN WATER 1.8 WIDE (R298452)

REFERENCE:

12231/24

12231/24 DETAIL.DWG

REG'D SURVEYOR

STUTCHBURY JAUQUES PTY LTD

LAND SURVEYING CONSULTANTS

P.O. BOX 7249, WARRINGAH MALL NSW 2100

PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 02/12/2024

SCALE: 1:100

DATUM: A.H.D.

SITE AREA: 637.8 m²

SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE

PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY LOT 34 D.P.1135383

No.3 FAZZOLARI AVENUE, MONA VALE

LGA: NORTHERN BEACHES

SCHEDULE OF WINDOWS		
No.	SILL RL	HEAD RL
1	24.00	24.83
2	20.75	22.10
3	21.19	22.09
4	23.62	24.83
5	20.74	22.09
6	23.62	24.83
7	20.71	22.06

DAVID STUTCHBURY
REGISTERED SURVEYOR
IDENTIFICATION No: SU002051

- LEGEND
- | | | | |
|------|---------------------|-----|--------------------------|
| AC | - AIR CONDITIONER | MH | - MANHOLE |
| DPC | - DAMP PROOF COURSE | PB | - POWER BOX |
| EBOX | - ELECTRICITY BOX | PC | - PRAM CROSSING |
| EP | - ELECTRICITY PIT | PP | - POWER POLE |
| FL | - FLOOR LEVEL | SMH | - SEWER MANHOLE |
| GM | - GAS METER | SO | - STORMWATER OUTLET |
| GS | - GAS SERVICE | SV | - STOP VALVE |
| GP | - GULLY PIT | SW | - STORMWATER |
| HW | - HOT WATER HEATER | TEL | - TELECOMMUNICATIONS PIT |
| HYD | - HYDRANT | VC | - VEHICLE CROSSING |
| IC | - INSPECTION COVER | WM | - WATER METER |
| LH | - LAMP HOLE | WS | - WATER SERVICE |
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SHADOWS DIAGRAMS 20 MARCH - 12pm



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A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

Client Name : HEDY ARRISUENO

Client Address : 3 FAZZOLARI, AVENUE MONA VALE 2103

Client No. : KIR 0824 01 DA

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Project Number: KIR 0824 01 DA Included Pages: 1 -

Signed..... Date: Monday, 14 April 2025

Client's signature

Project Acceptance

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Signed..... Date: Monday, 14 April 2025

Your Style Designer Home Additions

Signed..... Date: Monday, 14 April 2025

Client's signature

Signed..... Date: Monday, 14 April 2025

Client's signature

Drawing Title : SHADOWS 20 MARCH 12pm

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale : 1:200

Plot Date : Monday, 14 April 2025

Drawing No. : 17

File Location: ARR 0824 05 DA.pln

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EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

= Proposed Shadows

= Existing Shadows

NOTES:

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(C) EASEMENT TO DRAIN WATER 1.8 WIDE (R298452)

REFERENCE: 12231/24
STUTCHBURY JAUQUES PTY LTD
LAND SURVEYING CONSULTANTS
P.O. BOX 7249, WARRINGAH MALL NSW 2100
PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 02/12/2024
SCALE: 1:100
DATUM: A.H.D.
SITE AREA: 637.8 m²
SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE
PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY
LOT 34 D.P.1135383
No.3 FAZZOLARI AVENUE, MONA VALE
LGA: NORTHERN BEACHES

DAVID STUTCHBURY
REGISTERED SURVEYOR
IDENTIFICATION No: SU002051

SCHEDULE OF WINDOWS

No.	SILL RL	HEAD RL
1	24.00	24.83
2	20.75	22.10
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4	23.62	24.83
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7	20.71	22.06

LEGEND

AC - AIR CONDITIONER
DPC - DAMP PROOF COURSE
EBOX - ELECTRICITY BOX
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GM - GAS METER
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SHADOWS DIAGRAMS 20 MARCH - 3pm

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Client's signature

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Signed..... Date: Monday, 14 April 2025
Your Style Designer Home Additions

Signed..... Date: Monday, 14 April 2025
Client's signature

Signed..... Date: Monday, 14 April 2025
Client's signature

Drawing Title : SHADOWS 20 MARCH 3pm

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE Scale : 1:200

Plot Date : Monday, 14 April 2025 Drawing No. : 18

File Location: ARR 0824 05 DA.pln

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DATE: 02/12/2024
SCALE: 1:100
DATUM: A.H.D.
SITE AREA: 637.8 m²
SHEET 1 OF 1 SHEETS
CLIENT: YOUR STYLE
PROJECT: BOUNDARY IDENTIFICATION & LEVEL SURVEY
LOT 34 D.P.1135383
No.3 FAZZOLARI AVENUE, MONA VALE
LGA: NORTHERN BEACHES

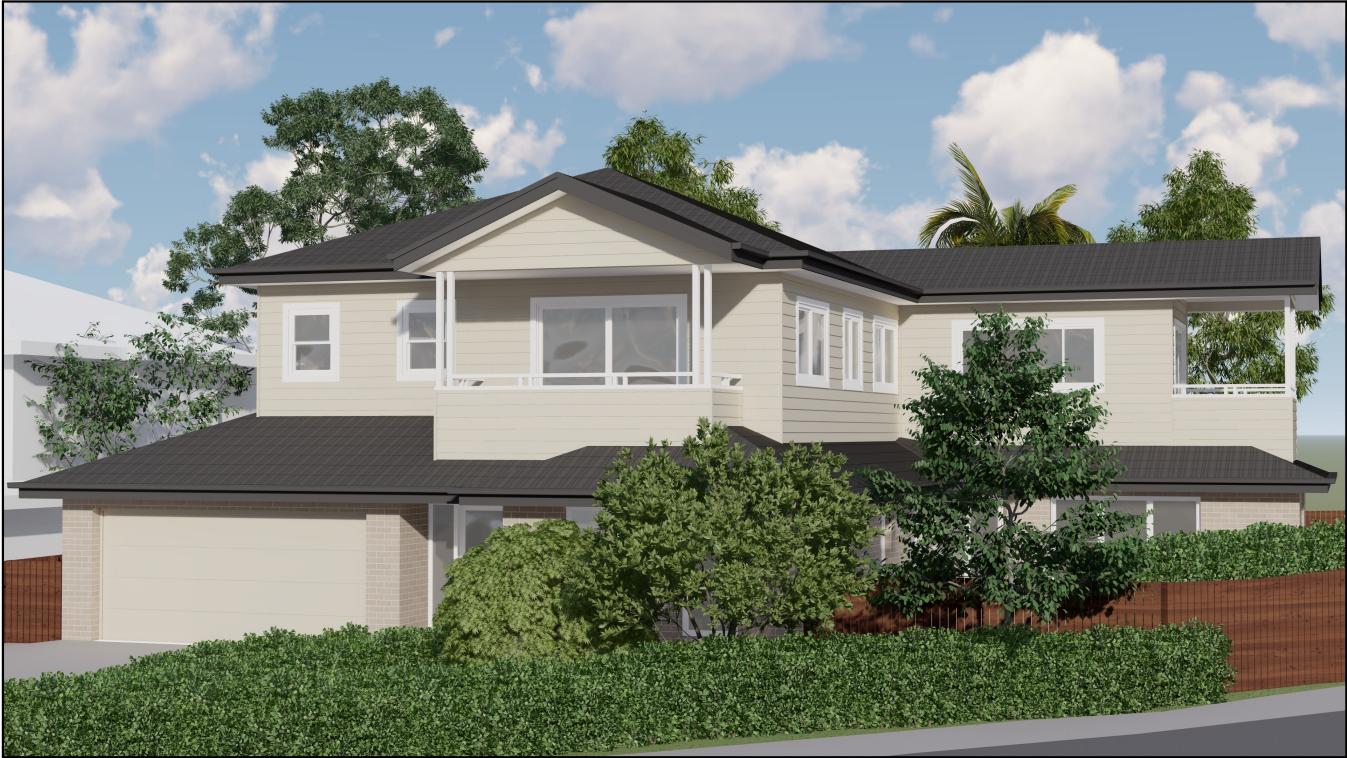
DAVID STUTCHBURY
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IDENTIFICATION No: SU002051

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- LEGEND
- | | | | |
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| EP | - ELECTRICITY PIT | PP | - POWER POLE |
| FL | - FLOOR LEVEL | SMH | - SEWER MANHOLE |
| GM | - GAS METER | SO | - STORMWATER OUTLET |
| GS | - GAS SERVICE | SV | - STOP VALVE |
| GP | - GULLY PIT | SW | - STORMWATER |
| HW | - HOT WATER HEATER | TEL | - TELECOMMUNICATIONS PIT |
| HYD | - HYDRANT | VC | - VEHICLE CROSSING |
| IC | - INSPECTION COVER | WM | - WATER METER |
| LH | - LAMP HOLE | WS | - WATER SERVICE |
| LP | - LIGHT POLE | | |



Client Name :	HEDY ARRISUENO	Drawing Title :	SCHEDULE OF FINISHES		 9938 5611 www.yourstyle.com.au
Client Address :	3 FAZZOLARI, AVENUE MONA VALE 2103	Drawing No. :	25	DRAWINGS	
Client No. :	KIR 0824 01 DA	Plot Date :	Monday, 14 April 2025	NOT TO SCALE	
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au WEB : www.yourstyle.com.au ABN 92 003 918 116 • ACN 003 918 116 BUILDER LICENCE • 60007C A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD			



EXTERNAL WALLS	DULUX - SERENA QUARTER
FASCIA	DULUX - VIVID WHITE
EAVES	DULUX - VIVID WHITE
GUTTERS	ACE - MONUMENT
DOWNPIPES	ACE - OFF WHITE
ROOF TILES	GUNMETAL
WINDOWS	PEARL WHITE