



Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

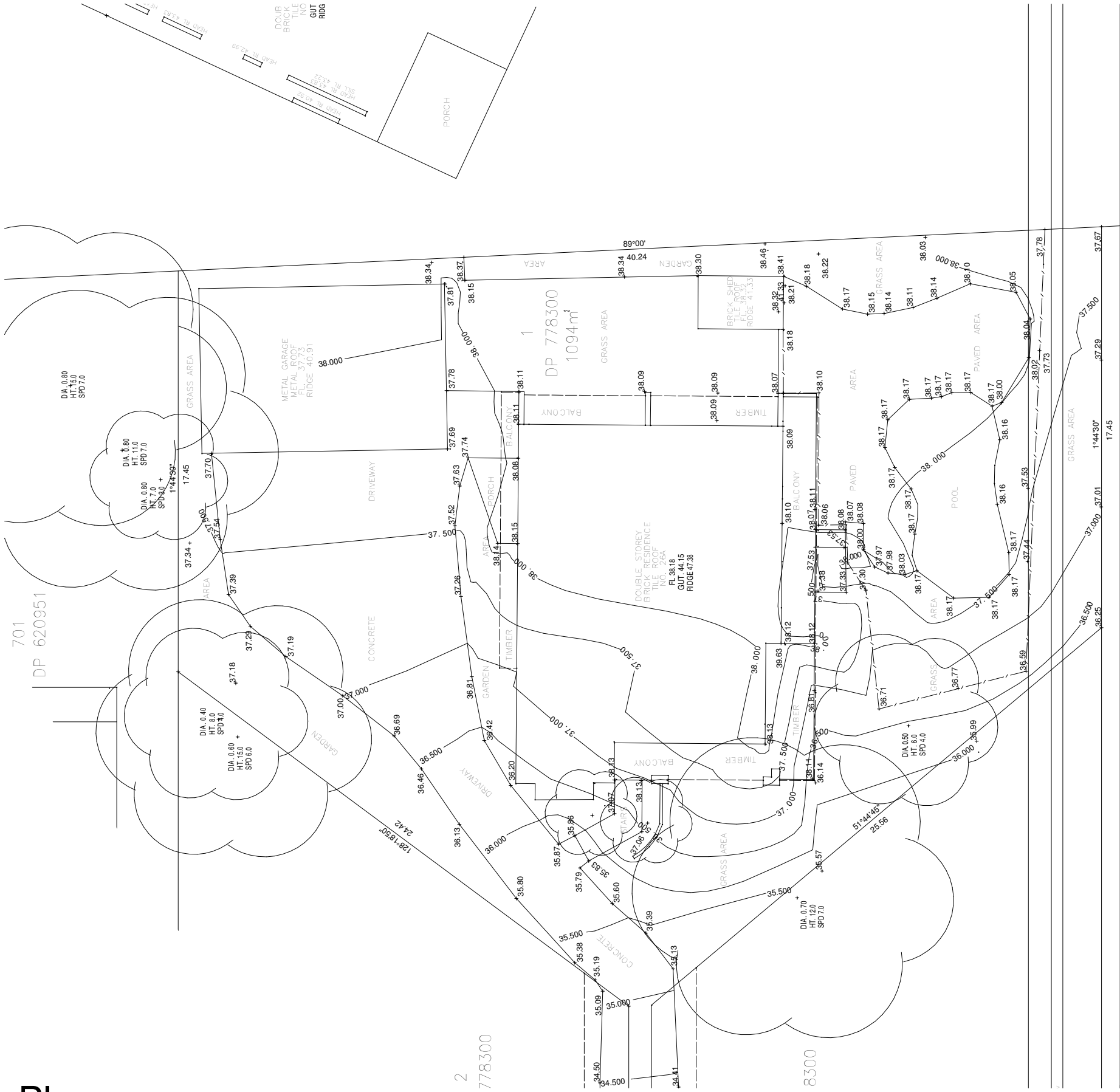
Sheet List			
Sheet No	Sheet Name	Revision	Current Revision Date
00	Cover Page	E	10/04/2025
01	Survey Plan	E	10/04/2025
02	Site Analysis Plan	E	10/04/2025
03	Site Plan & Roof Plan	E	10/04/2025
04	Ground Floor Plan	E	10/04/2025
05	First Floor Plan	E	10/04/2025
06	Elevations	E	10/04/2025
07	Elevations	E	10/04/2025
08	Sections	E	10/04/2025
09	Sectional View Diagrams	A	10/04/2025
10	Shadow Diagrams June 21st	E	10/04/2025
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12	Calculation Plans (FSR)	E	10/04/2025
13	Landscape Calculation Plan	E	10/04/2025
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15	Demolition & Erosion, Sediment & Control Plan	B	10/04/2025
16	External Finishes Schedule	E	10/04/2025
17	Perspectives	E	10/04/2025
18	Window Schedule & Basix Commitments	E	10/04/2025
19	Basix Commitments	C	10/04/2025

BASIX SUMMARY	
WATER	
SHOWER HEAD	3 STAR
TOILET FLUSHING SYSTEMS	4 STAR
KITCHEN TAPS	5 STAR
BATHROOM TAPS	5 STAR
RAIN WATER TANK SIZE	2500L
INDIGENOUS / LOW WATER USE SPECIES (m2)	NONE
ENERGY	
HOT WATER SYSTEM	ELECTRIC HEAT PUMP +
VENTILATION SYSTEM	INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF MANUAL SWITCH ON/OFF
COOLING SYSTEM	1-PHASE AIR CONDITIONING
HEATING SYSTEM	1-PHASE AIR CONDITIONING
CLOTHES LINE	OUTDOOR
COOKTOP TYPE	ELECTRIC
OVEN TYPE	ELECTRIC
PV SYSTEM SIZE	NO

1

Survey Plan

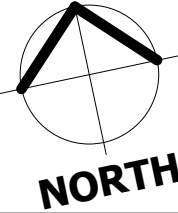
1 : 200



SURVEY PLAN PREPARED BY CHAMI & ASSOCIATES
DATE: 16/04/2024
DRAWING NUMBER: 4341CD

No.	Description	Date
A	Draft	3/10/2024
B	Development Application	24/10/2024
C	Basix Added	7/11/2024
D	RFI	25/11/2024
E	RFI	10/04/2025

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Survey Plan

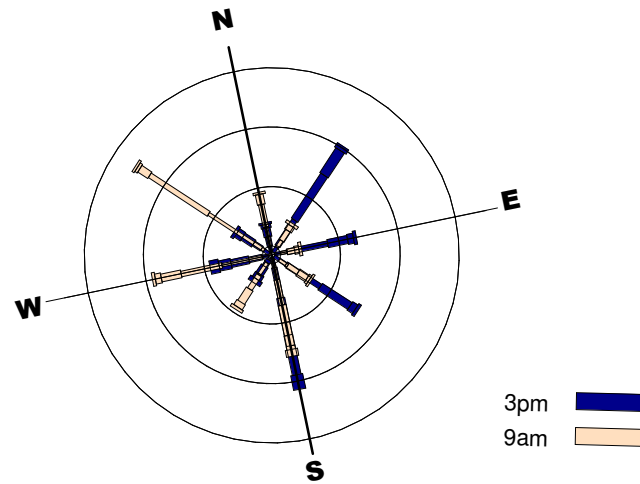
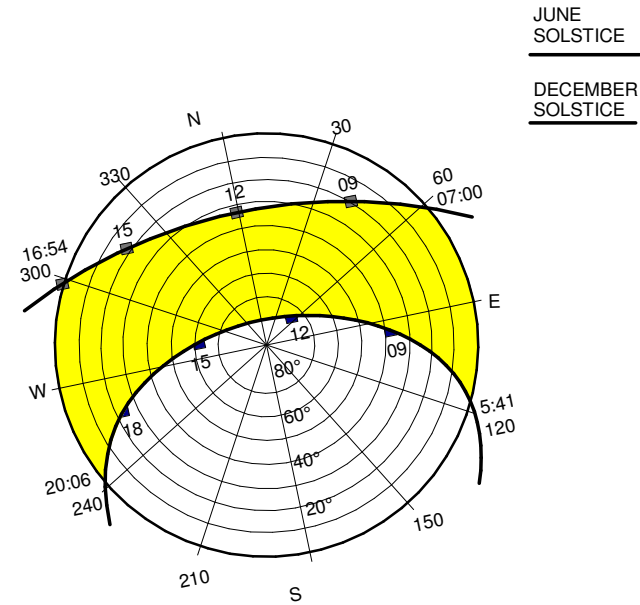
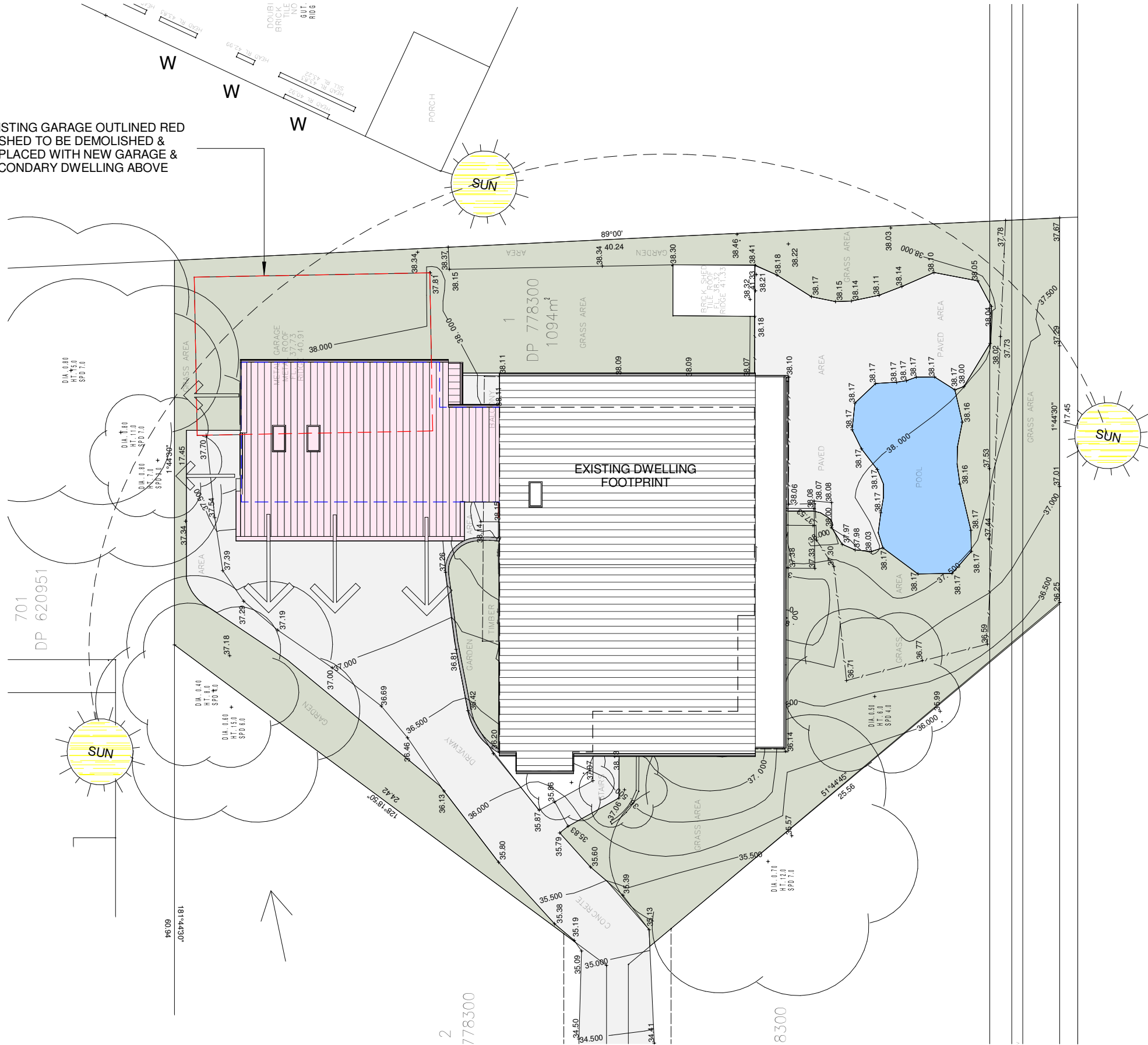
Demoliton of Garage & Contruction of new Garage & Attached
Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	01
Scale	1 : 200 @ A3	Issue.	E
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			



EXISTING GARAGE OUTLINED RED
DASHED TO BE DEMOLISHED &
REPLACED WITH NEW GARAGE &
SECONDARY DWELLING ABOVE



LEGEND

PROPOSED DWELLING

VIEWS

calm >10<20 >30<40
>0<10 >20<30 >40 km/hr WINDS km/h

TRAFFIC NOISE

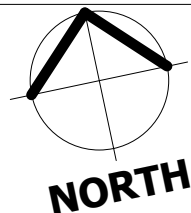
NEIGHBOURING WINDOWS

1 Site Analysis Plan

1 : 200

No.	Description	Date
A	Draft	3/10/2024
B	Development Application	24/10/2024
C	Basix Added	7/11/2024
D	RFI	25/11/2024
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Site Analysis Plan

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Secondary Dwelling above

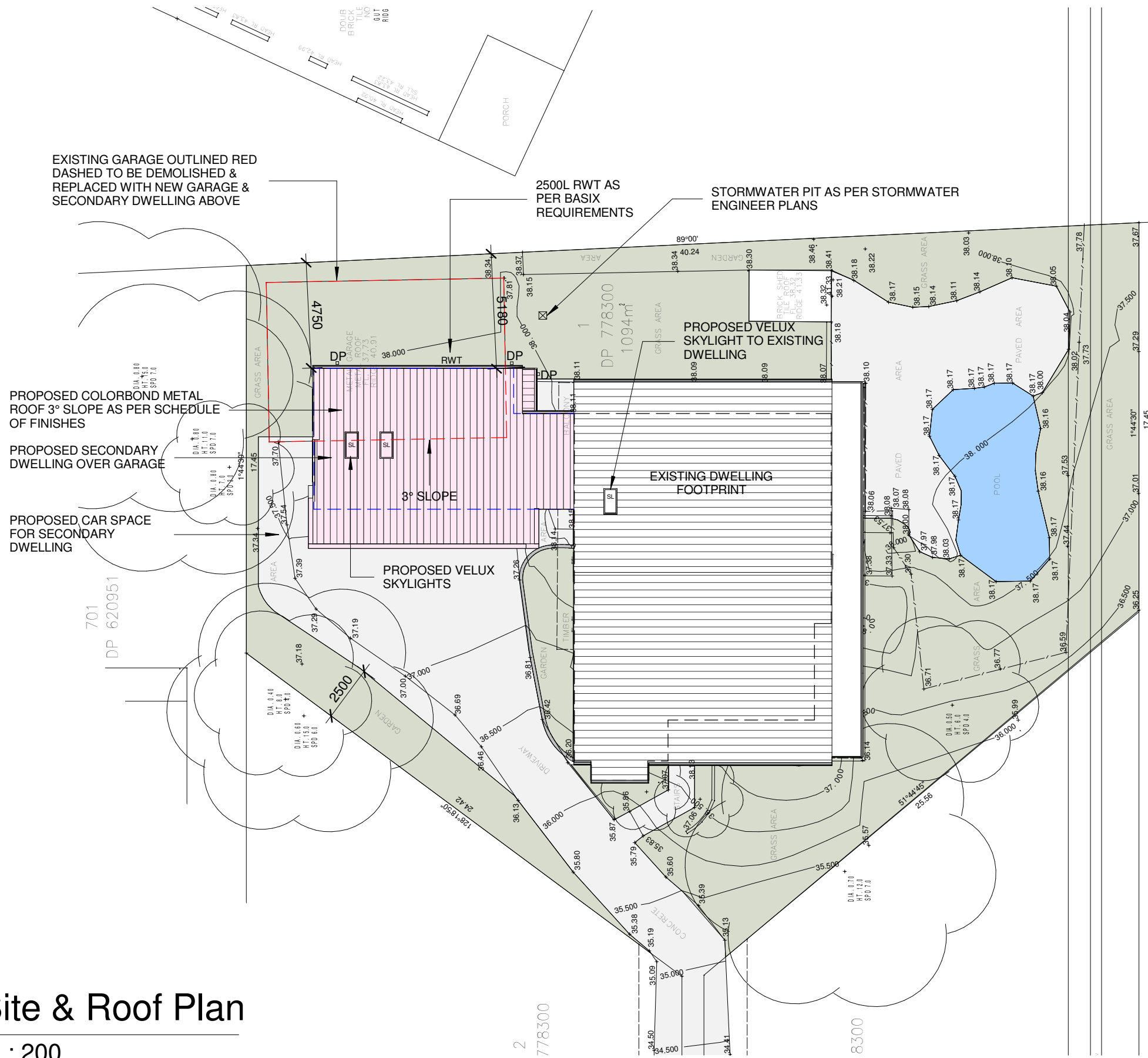
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Job No.	2499	Sheet No.	02
Scale	1 : 200 @ A3	Issue.	E
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1 Site & Roof Plan

1 : 200



No.	Description	Date
A	Draft	3/10/2024
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D	RFI	25/11/2024
E	RFI	10/04/2025

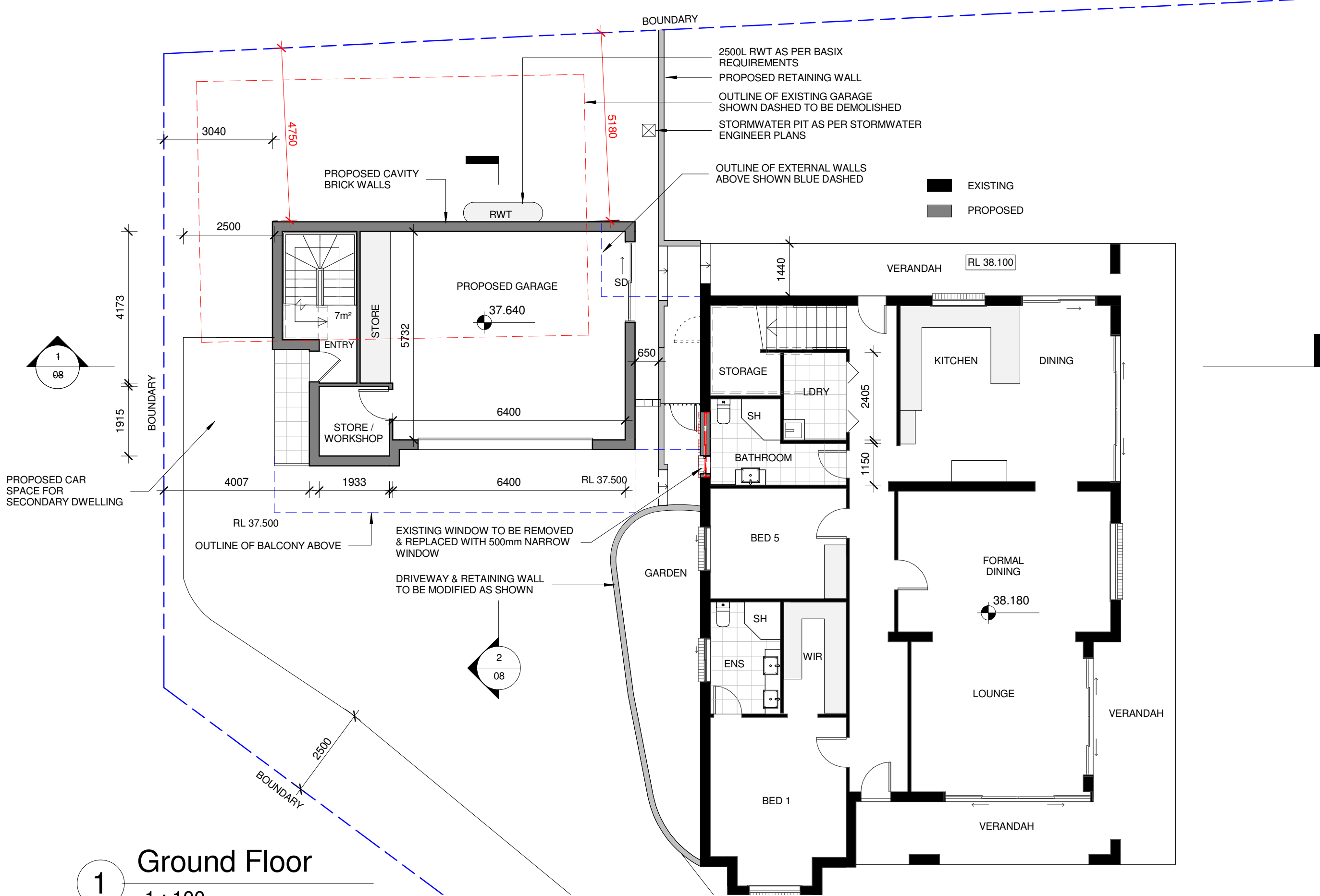
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Site Plan & Roof Plan
Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above
26A Lakeview Pde Warriewood NSW 2102

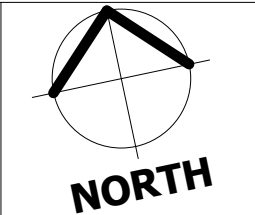
Job No.	2499	Sheet No.	03
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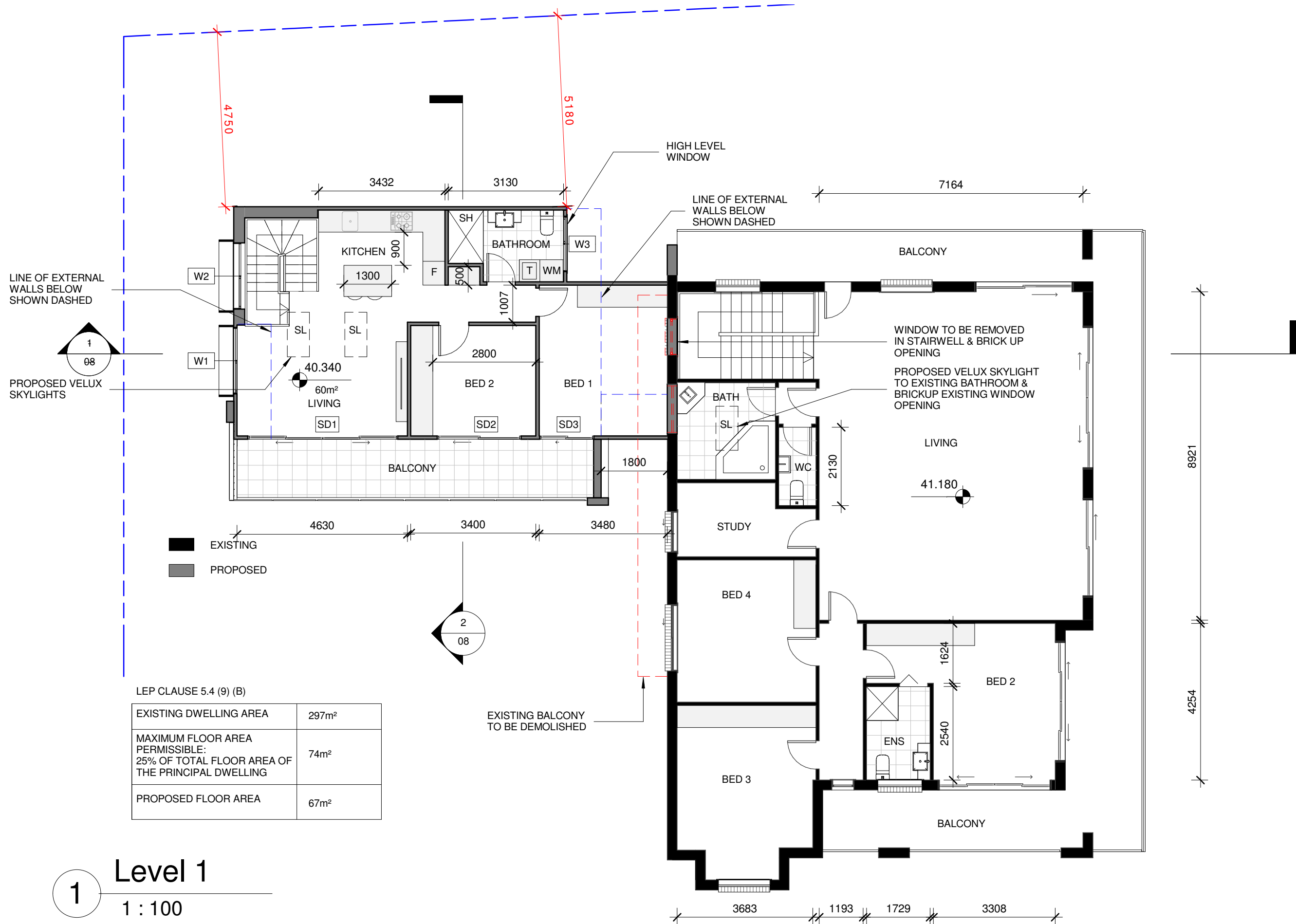
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Ground Floor Plan
Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above
26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	04
Scale	1 : 100 @ A3	Issue.	E
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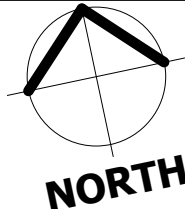


1 Level 1
1 : 100

No.	Description	Date
A	Draft	3/10/2024
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First Floor Plan

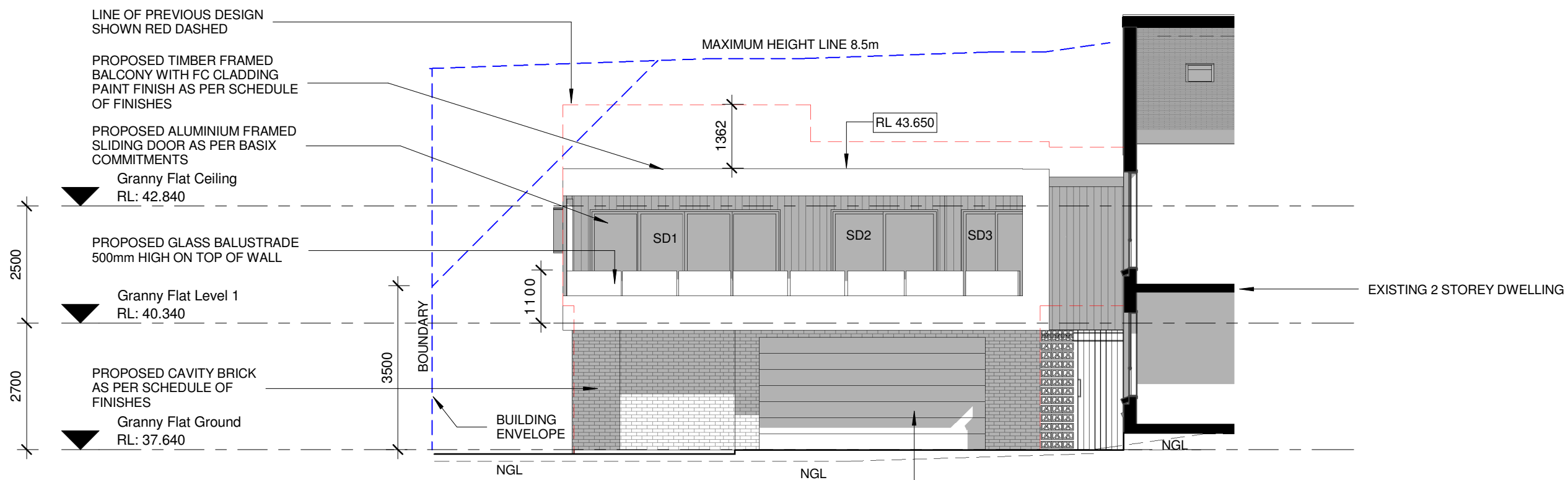
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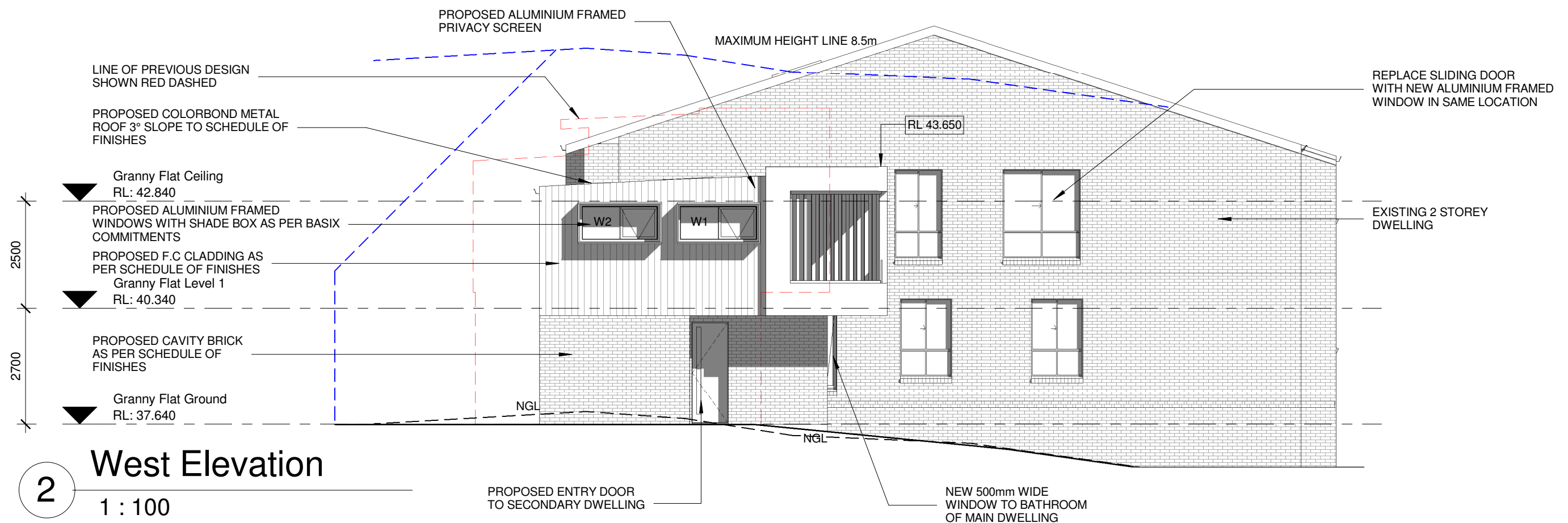
Job No.	2499	Sheet No.	05
Scale	1 : 100 @ A3	Issue.	E

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1 South Elevation
1 : 100



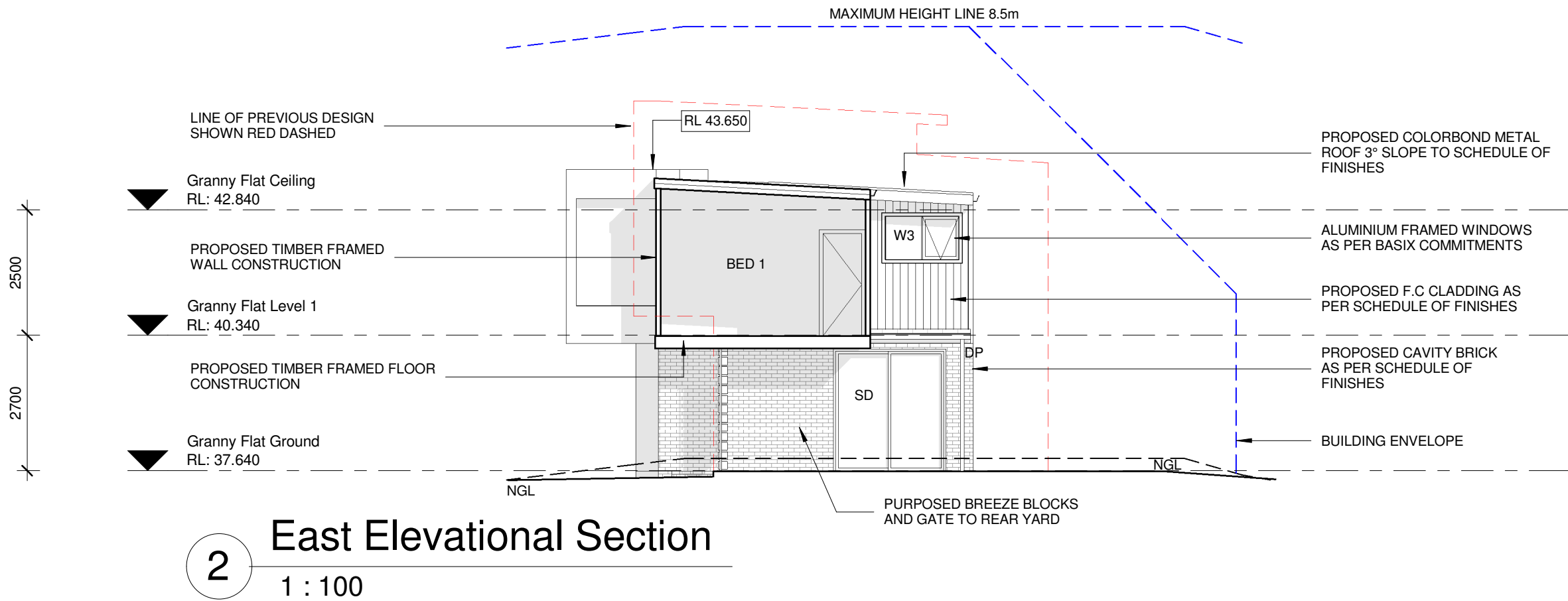
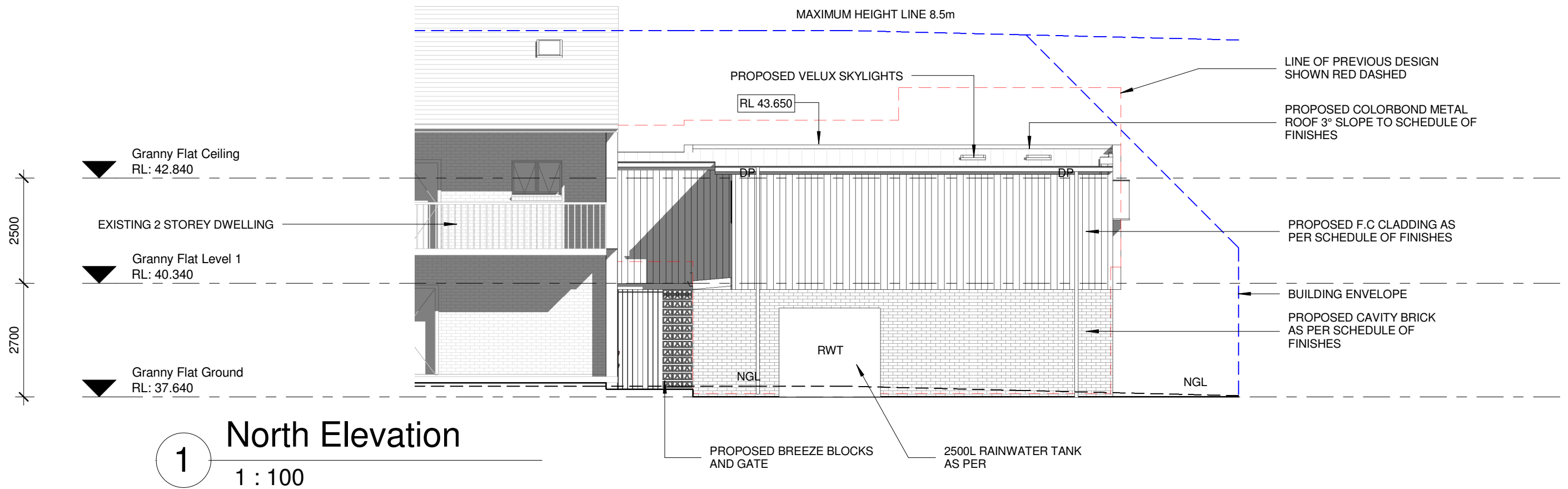
2 West Elevation
1 : 100

No.	Description	Date
A	Draft	3/10/2024
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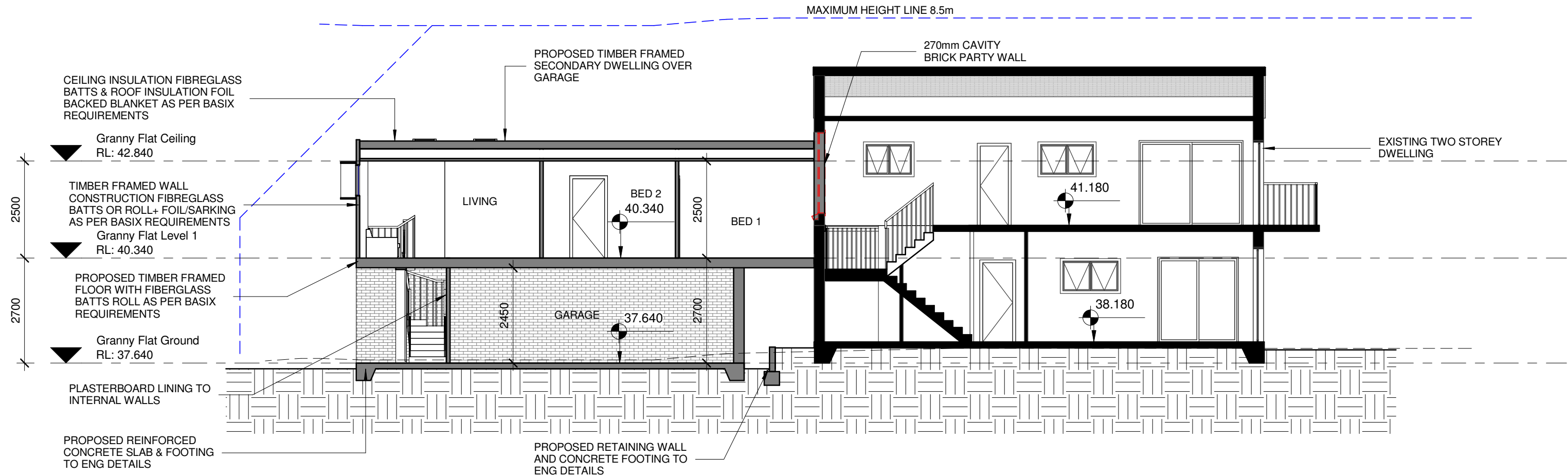
Elevations		Job No.	2499	Sheet No.	06
Demoliton of Garage & Contruaction of new Garage & Attached Secondary Dwelling above		Scale	1 : 100 @ A3	Issue.	E
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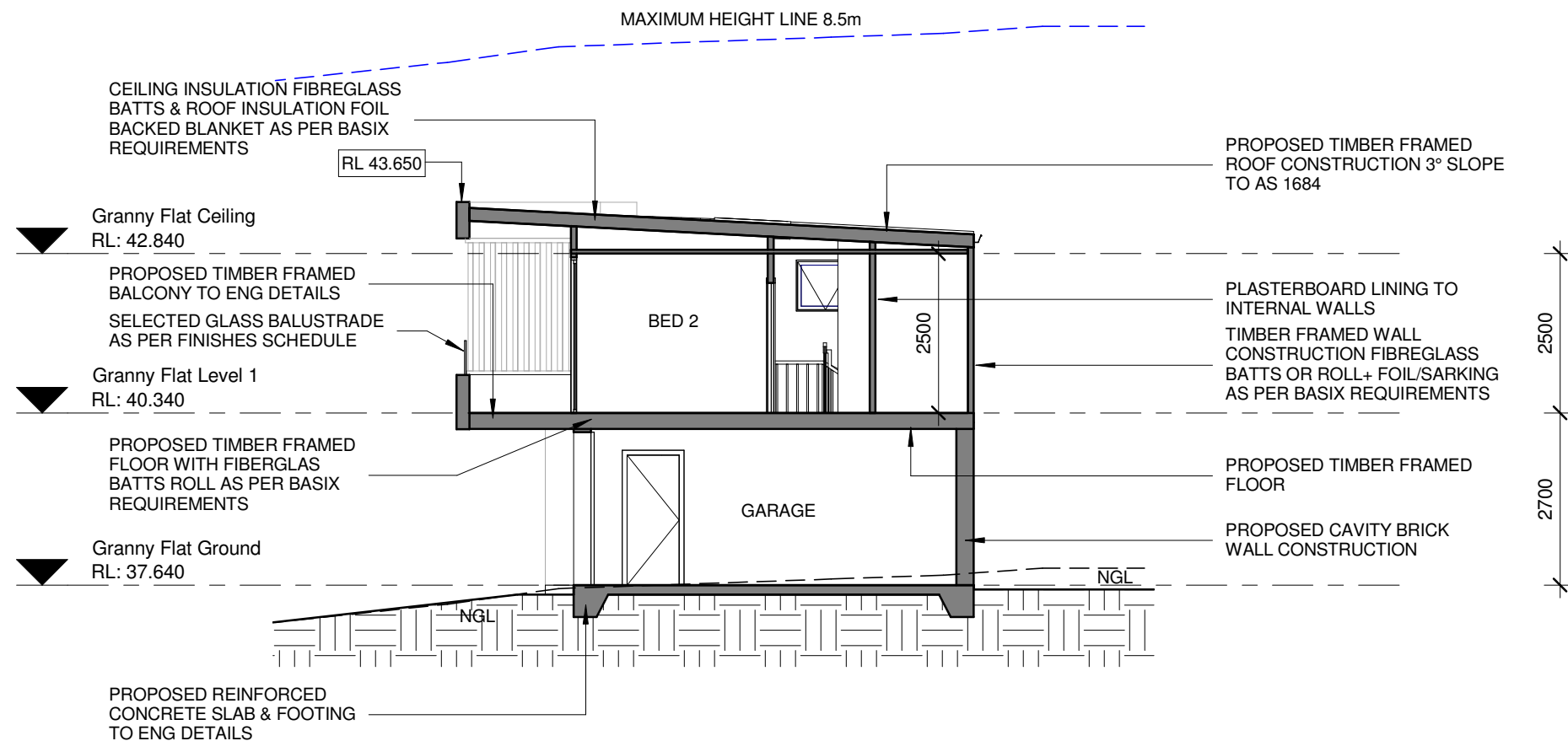


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B	Development Application	24/10/2024		26A Lakeview Pde Warriewood NSW 2102	A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			
C	Basix Added	7/11/2024						
D	RFI	25/11/2024						
E	RFI	10/04/2025						

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1 Section 1
1 : 100



2 Section 2
1 : 100

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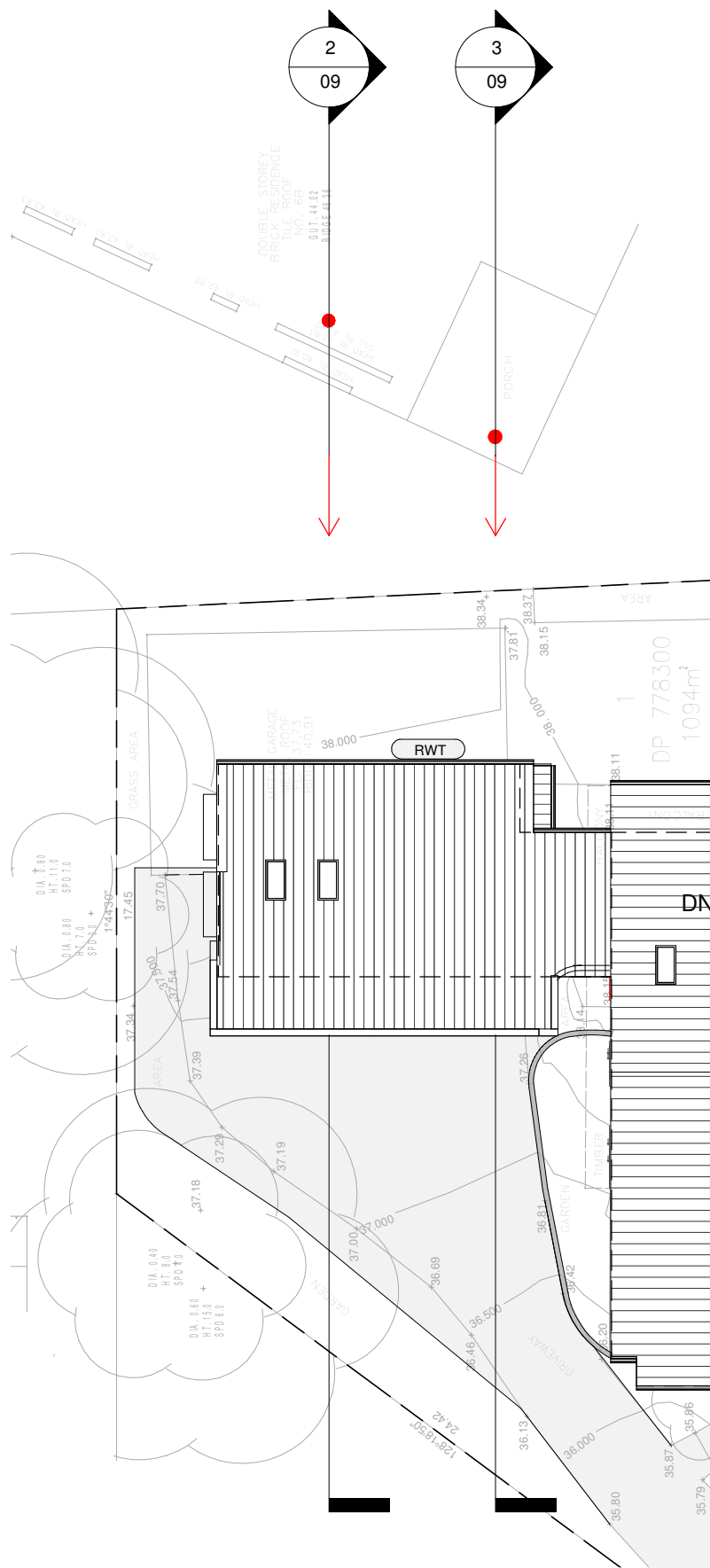
Sections

Demoliton of Garage & Contruaction of new Garage & Attached Secondary Dwelling above

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Job No.	2499	Sheet No.	08
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1

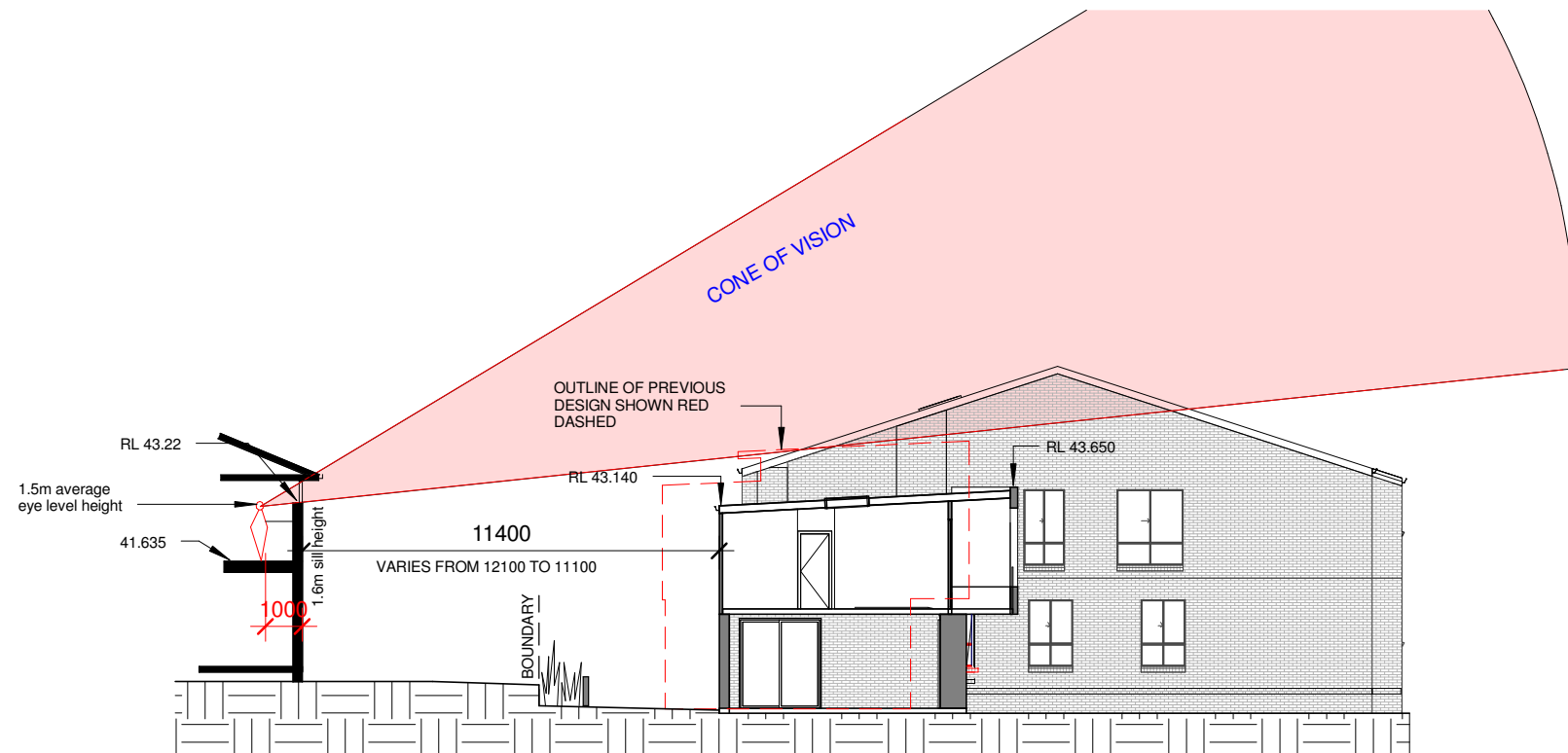
Key Map Diagram

1 : 200

2

View via neighbour highlight window

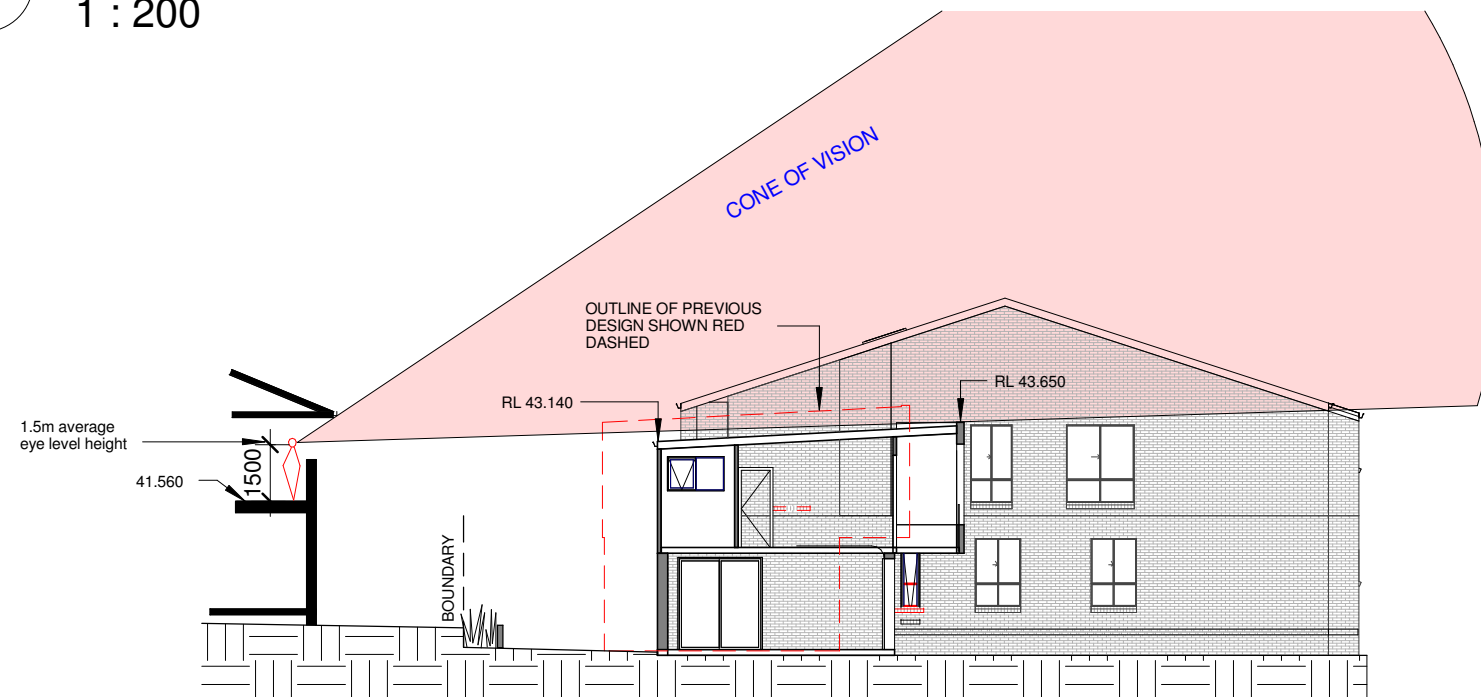
1 : 200



3

Side boundary neighbour view from balcony

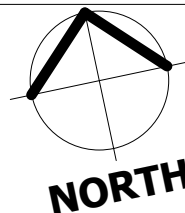
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No.	Description	Date
A	RFI	10/04/2025

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Sectional View Diagrams

Demoliton of Garage & Contruaction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

Job No. 2499

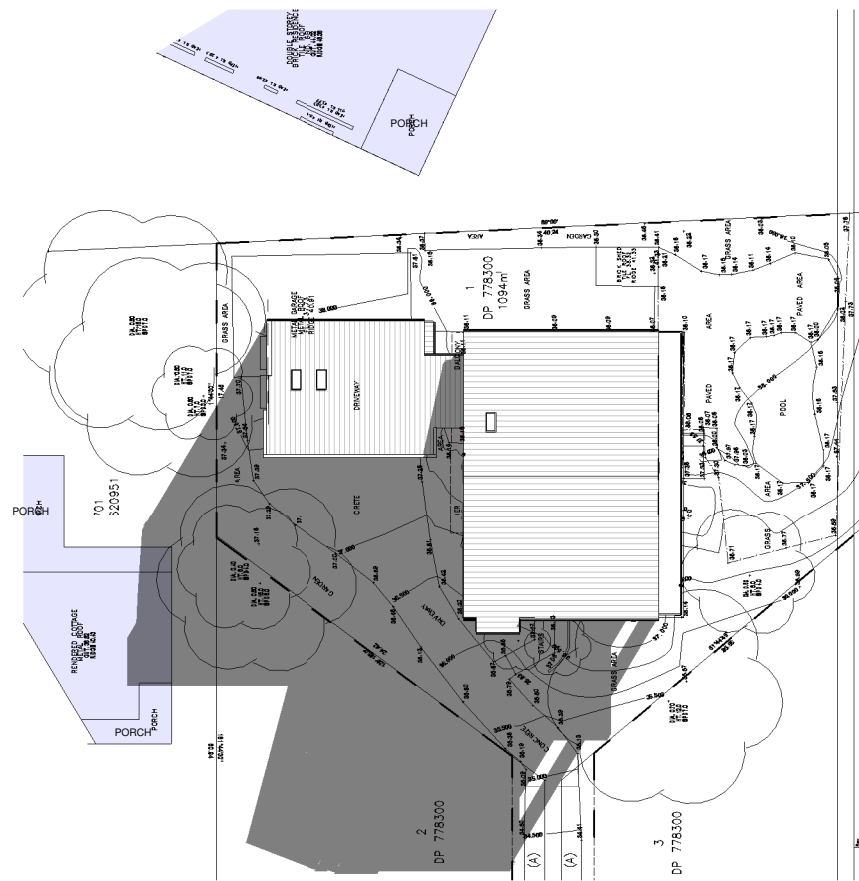
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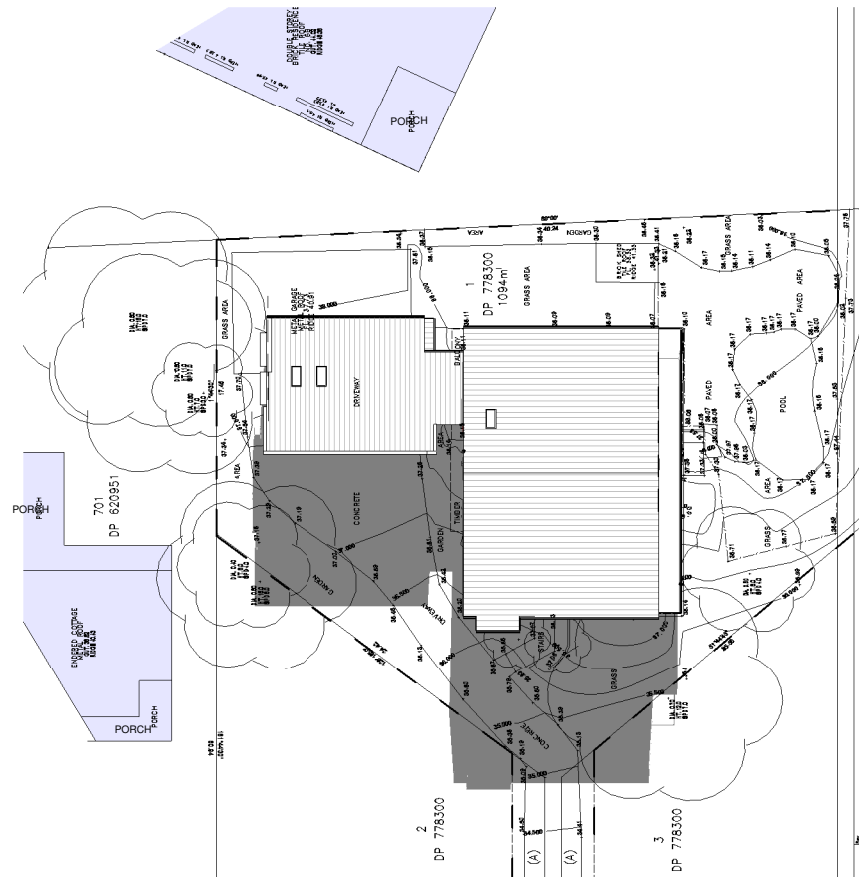
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Issue. A

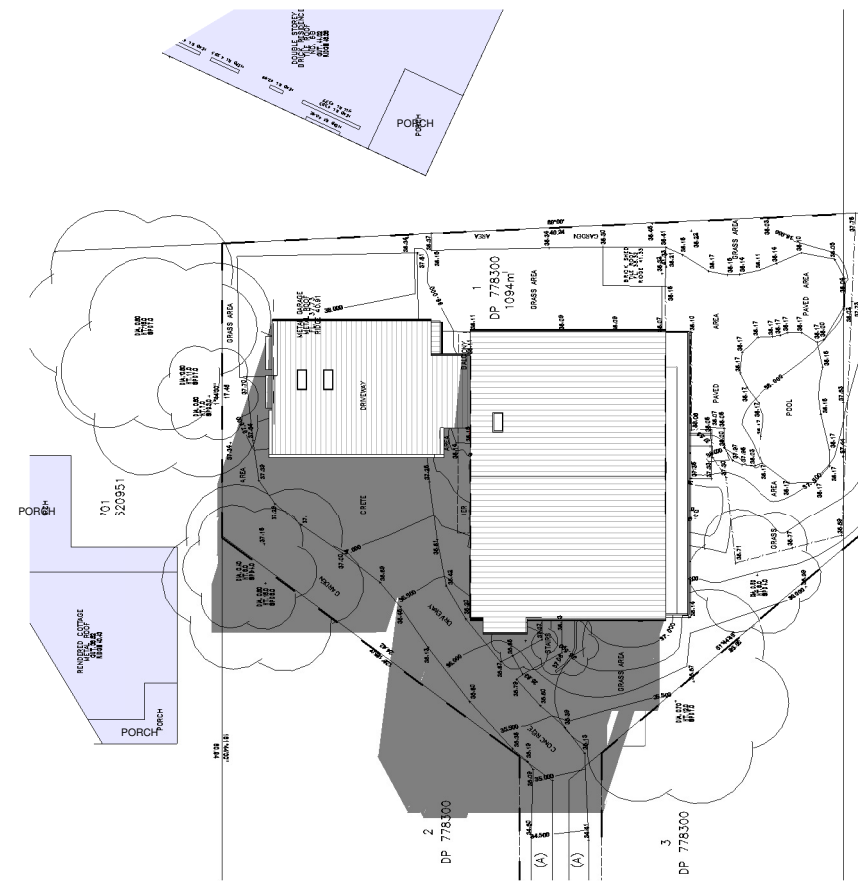
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SHADOW DIAGRAM 9AM



SHADOW DIAGRAM 11AM



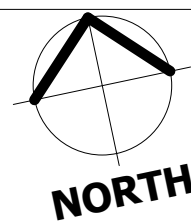
SHADOW DIAGRAM 10AM



SHADOW DIAGRAM 12PM

No.	Description	Date
A	Draft	3/10/2024
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Shadow Diagrams June 21st

Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102


Job No. 2499

Scale 1 : 450 @ A3

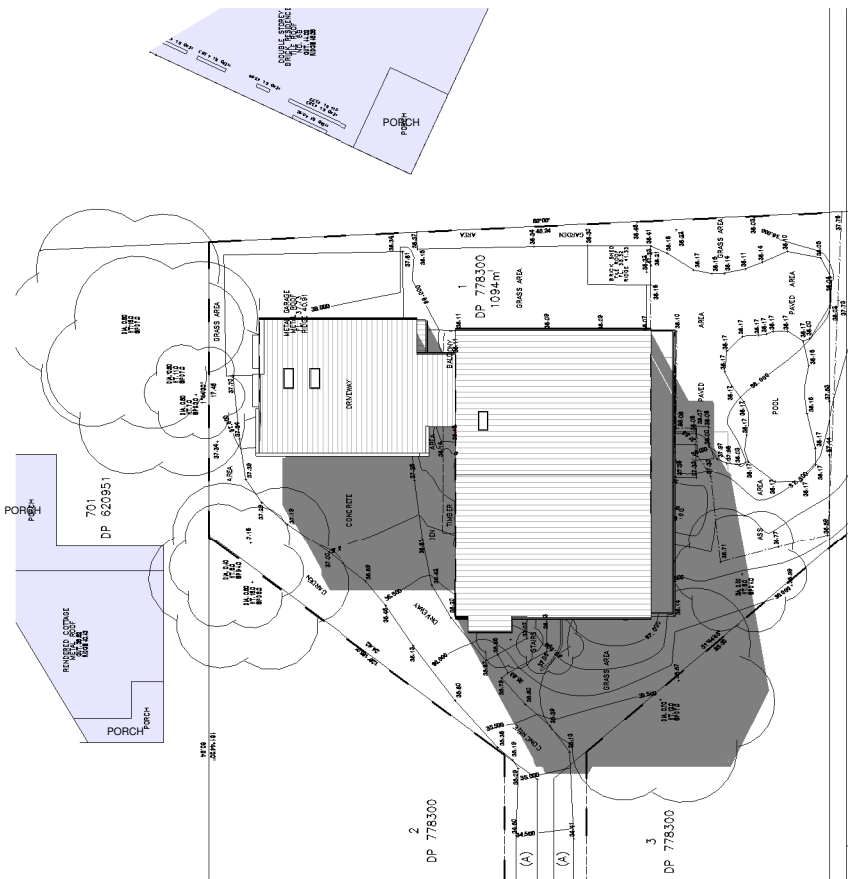
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Nominated Architects:
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Sheet No. 10

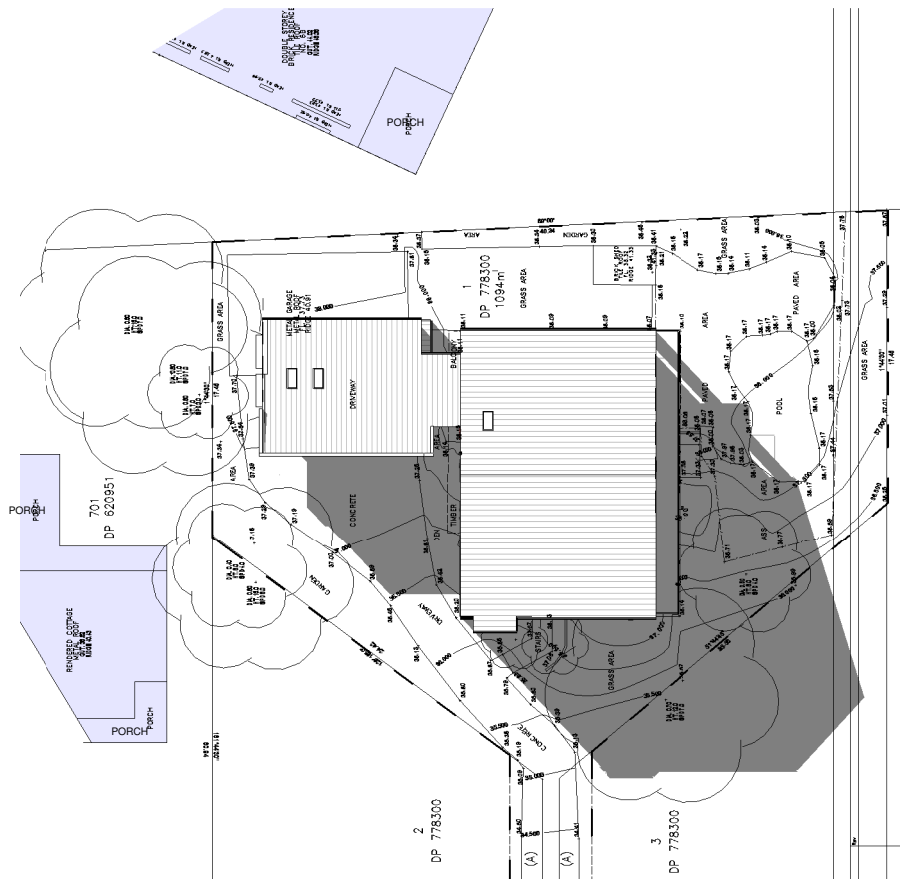
Issue. E



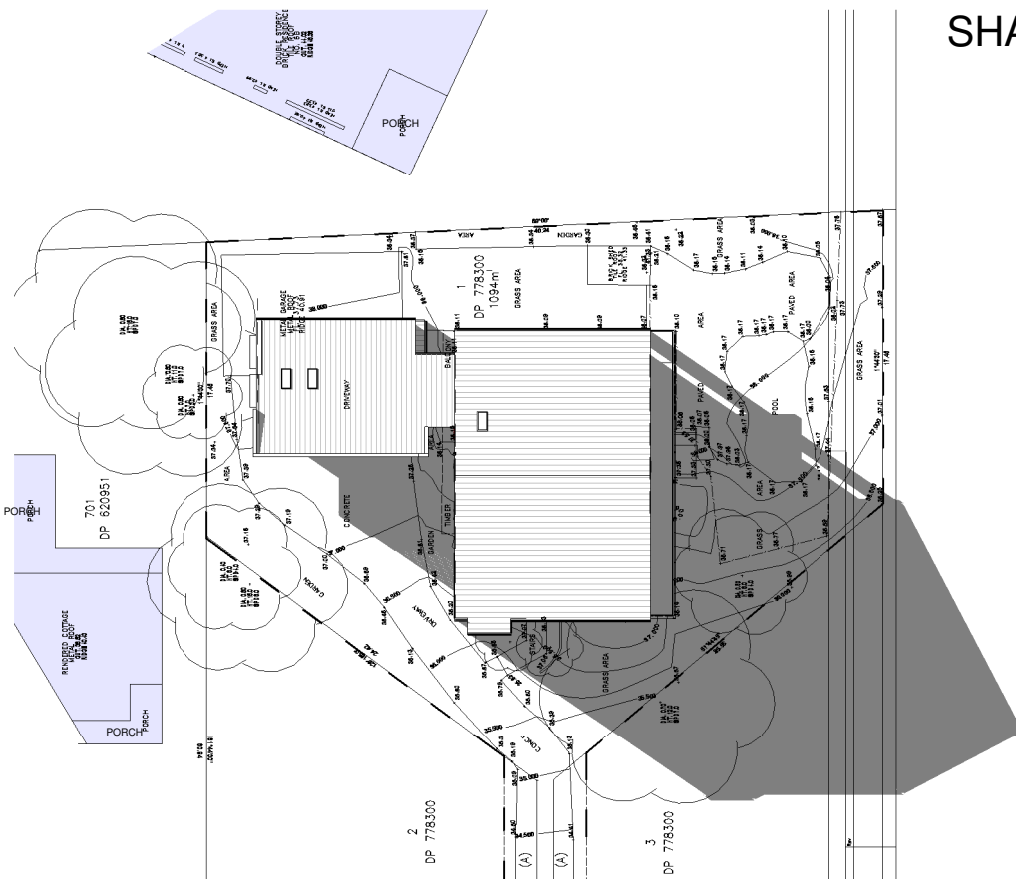
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SHADOW DIAGRAM 1pm



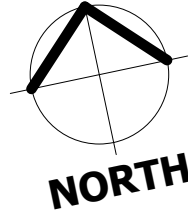
SHADOW DIAGRAM 2pm




SHADOW DIAGRAM 3pm

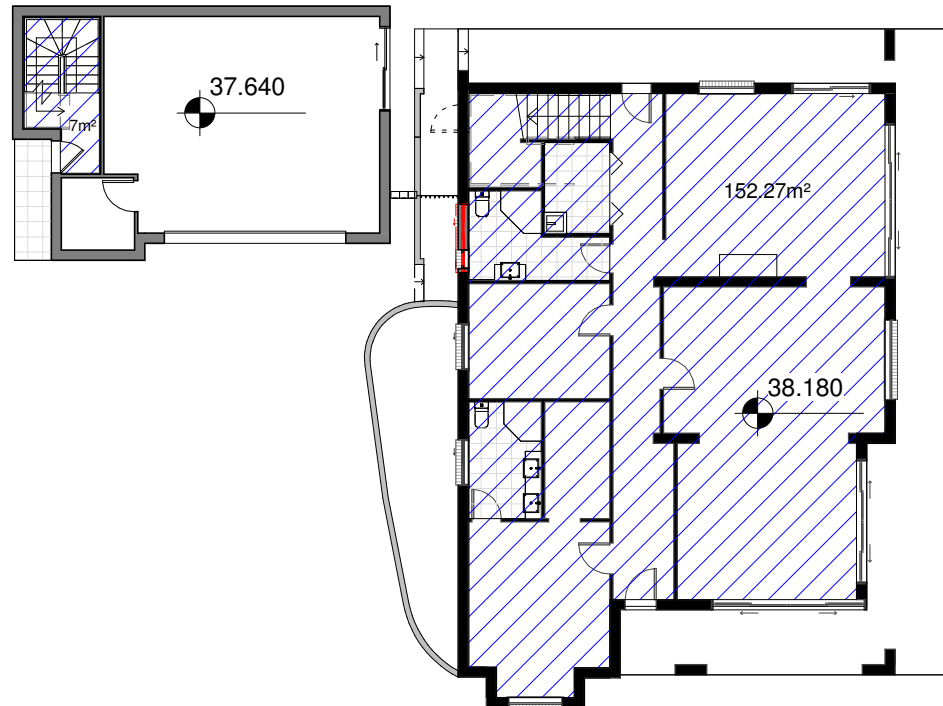
No.	Description	Date
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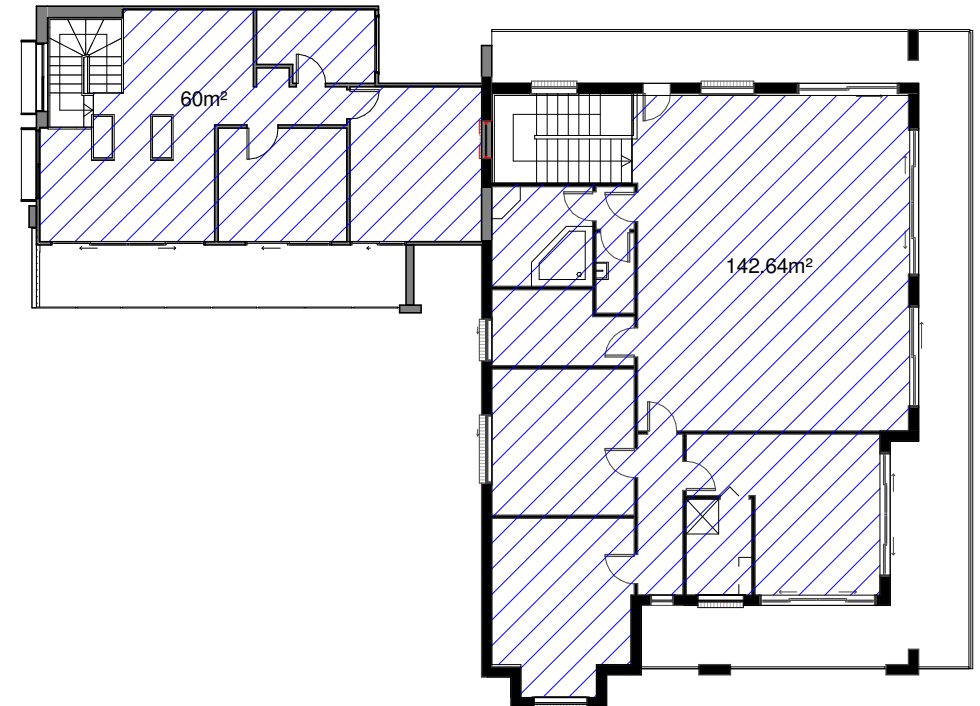


Shadow Diagrams June 21st
Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above
26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	11
Scale	1 : 450 @ A3	Issue.	E
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1 GF Calculation Plan (FSR)
1 : 200

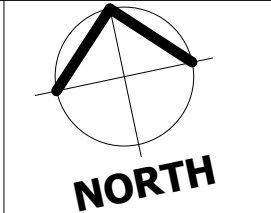


2 FF Calculation Plan (FSR)
1 : 200

FLOOR AREA CALCULATIONS	DWELLING
EXISTING DWELLING AREA	297m²
MAXIMUM FLOOR AREA PERMISSIBLE 25% OF TOTAL FLOOR AREA OF THE PRINCIPAL DWELLING	74m²
PROPOSED FLOOR AREA	67m²

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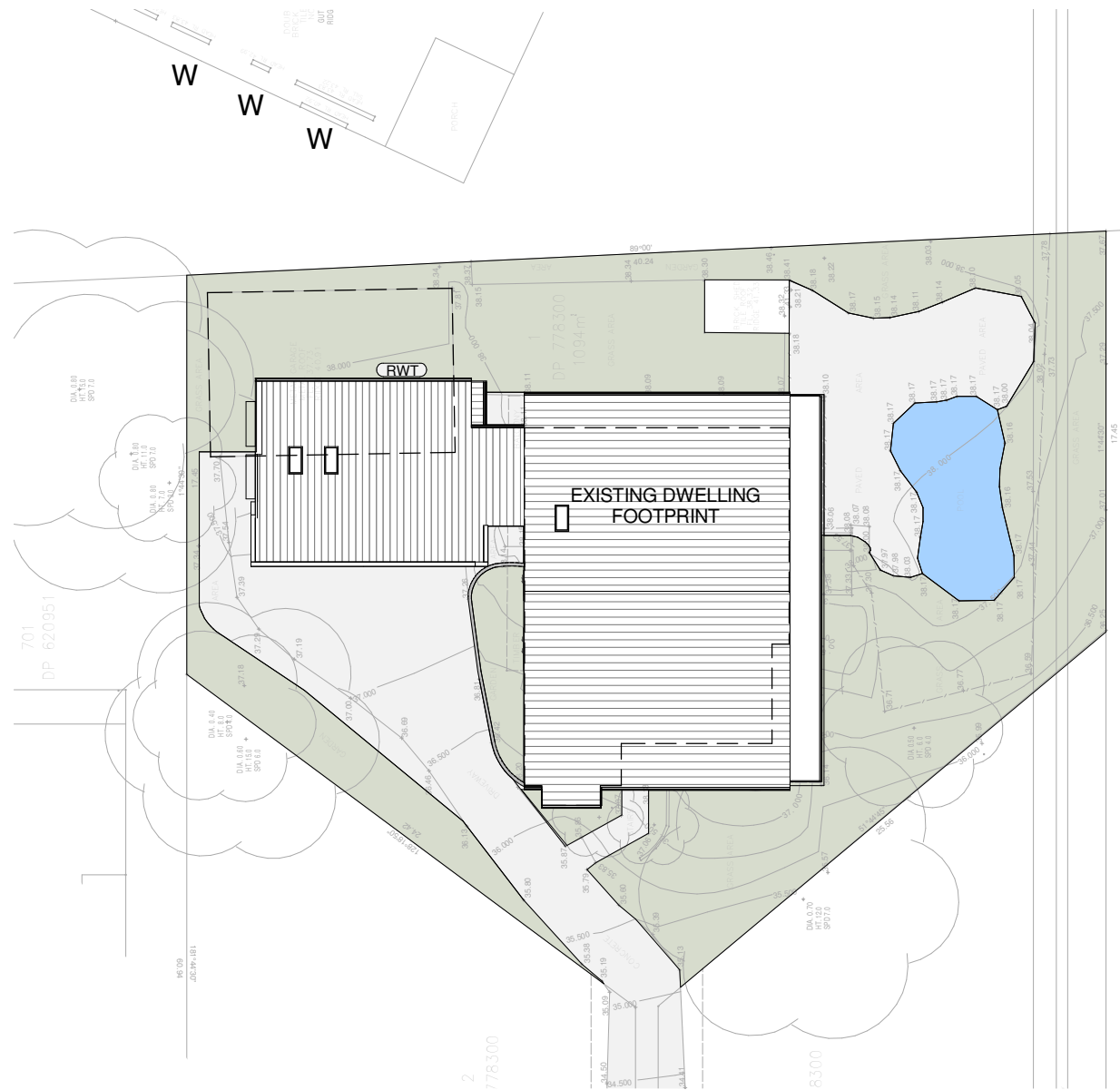
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Calculation Plans (FSR)
Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above
26A Lakeview Pde Warriewood NSW 2102

Job No. 2499	Sheet No. 12
Scale 1 : 200 @ A3	Issue. E
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1 Landscape Calculation Plan Proposed
1 : 300



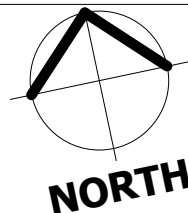
2 Landscape Calculation Plan Existing
1 : 300

LANDSCAPE CALCULATIONS	
TOTAL SITE AREA	1094m ²
MINIMUM LANDSCAPED AREA	656.4m ² 60%
EXISTING LANDSCAPE AREA	425.3m ² 38%
PROPOSED LANDSCAPED AREA	432.3m ² 39%

VARIATION PROPOSED

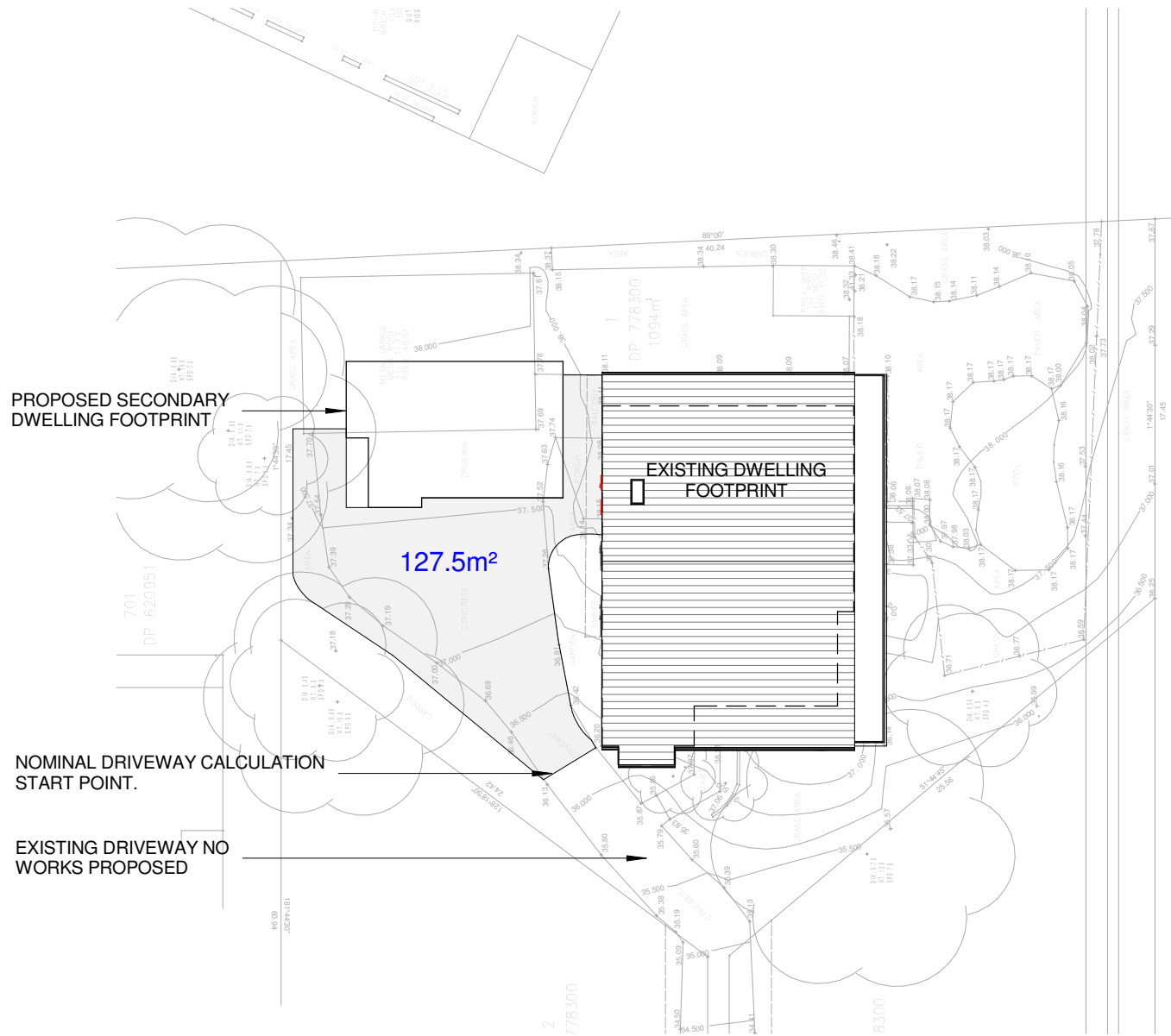
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Landscape Calculation Plan Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above 26A Lakeview Pde Warriewood NSW 2102	Job No. 2499	Sheet No. 13
	Scale 1 : 300 @ A3	Issue. E
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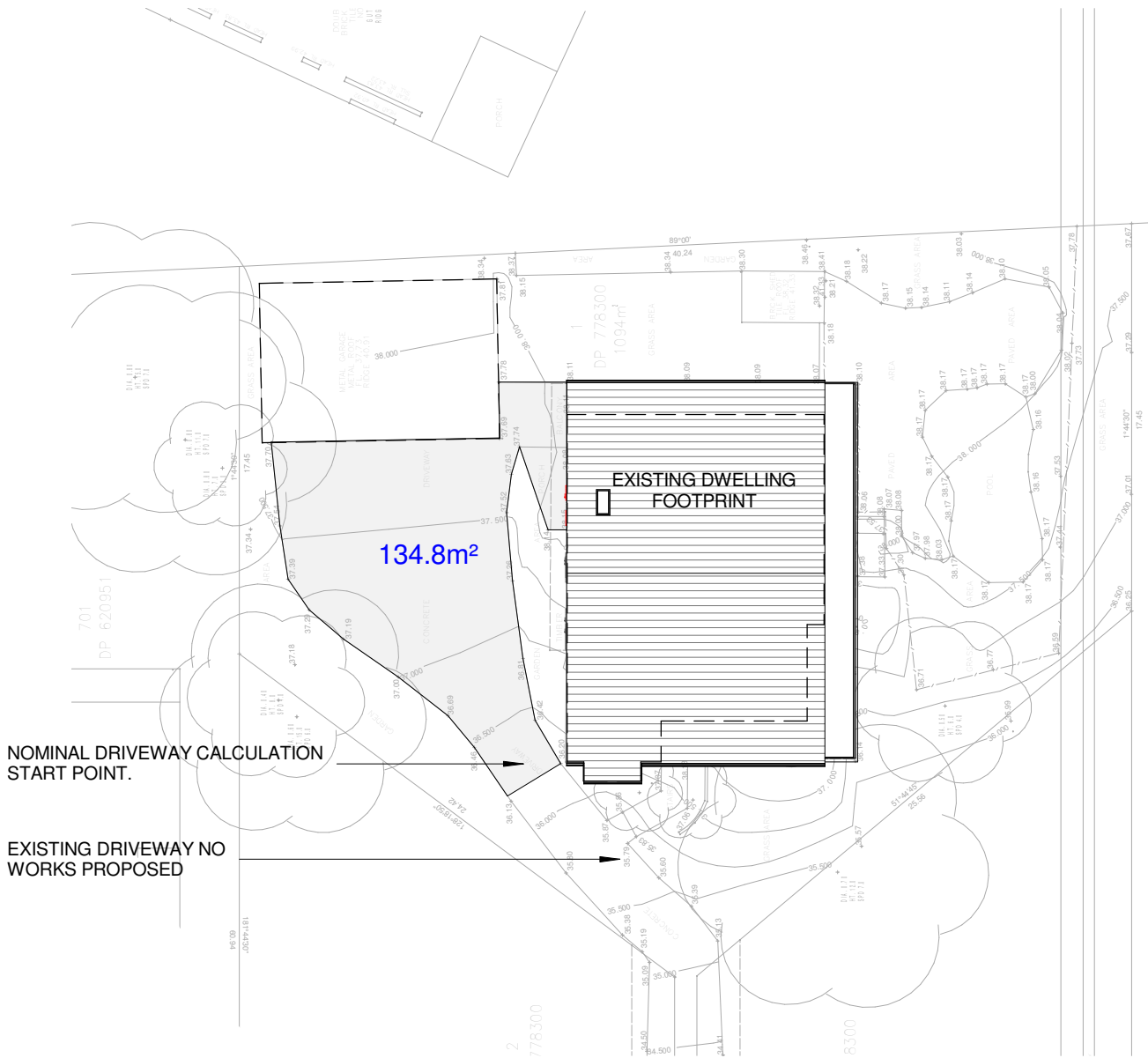
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1

Hardstand Calculation Proposed

1 : 300



2

Hardstand Calculation Existing

1 : 300

No.	Description	Date
A	RFI	10/04/2025


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Hardstand Calculations

Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	14
Scale	1 : 300 @ A3	Issue.	A
<p>A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774</p> 			




No.	Description	Date
A	Draft	3/10/2024
B	Development Application	24/10/2024
C	Basix Added	7/11/2024
D	RFI	25/11/2024
E	RFI	10/04/2025

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External Finishes Schedule

Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	16
Scale	@ A3	Issue.	E
<div><div>A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774</div><div> pagano architects</div></div>			




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Perspectives

Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	17
Scale	@ A3	Issue.	E
<p>A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774</p>			
			

Window Schedule				
Mark	Area	Height	Width	Glazing
1	1.44 m²	800	1800	Aluminium Max U-Value 3.28 SHGC 0.45
2	1.44 m²	800	1800	Aluminium Max U-Value 3.28 SHGC 0.45
3	1.35 m²	900	1500	Aluminium Max U-Value 3.28 SHGC 0.45

External Door Schedule				
Mark	Area	Height	Width	Finish
SD1	9.6m²	2400	4000	Aluminium Max U-Value 2.89 SHGC 0.48
SD2	5.28m²	2400	2200	Aluminium Max U-Value 2.89 SHGC 0.48
SD3	3.36m²	2400	1400	Aluminium Max U-Value 2.89 SHGC 0.48

3 x SKYLIGHTS @ 600 x 1200. AREA 0.72m² PER SKYLIGHT

REFER TO NatHERS CERTIFICATE NO. #HR-CSP17R-01

BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1771455S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

This certificate is a revision of certificate number 1771455S lodged to the consent authority or certifier on 04 December 2024 with application 123456.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Friday, 11 April 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate HR-CSP17R-02.

Project summary		
Project name	26A Lakeview Parade_02	
Street address	26A LAKEVIEW Parade WARRIEWOOD 2102	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP778300	
Lot no.	1	
Section no.	-	
Project type	dwelling house (attached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 41	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 70	Target 68
Materials	✔ -36	Target n/a

Certificate Prepared by
Name / Company Name: Green Rate
ABN (if applicable): 50948071327

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 90 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

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Window Schedule & Basix Commitments

Demoliton of Garage & Contruction of new Garage & Attached Secondary Dwelling above

26A Lakeview Pde Warriewood NSW 2102

Job No.	2499	Sheet No.	18
Scale	@ A3	Issue.	E

A. 1/64 Riverside Road, Chipping Norton NSW 2170
P. 02 9755 1318
E. admin@pagano.com.au
Nominated Architects:
Alfredo Pagano 6774

pagano architects

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Insulation
floor - suspended floor above garage, hard wood; frame: timber - H2 treated softwood.	74	fibreglass batts or roll
garage floor - concrete slab on ground.	40	none
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	all external walls	fibreglass batts or roll+ foil/sarking
external garage wall: cavity brick; frame: no frame.	92	none
internal wall: plasterboard; frame: timber - H2 treated softwood.	49	none
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	91.25	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✔	✔	✔

Frames	Maximum area - m2
aluminium	26
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	0
double	26
triple	0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2 star (average zone)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2 star (average zone)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

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