



Additions & Alterations For Angela Wheeler

4 Eurella Avenue, North Balgowlah, NSW

Stage: Development Approval Stage

Drawing Schedule

DA00	Cover Sheet
DA01	General Notes
DA02	Site Analysis
DA03	Existing Site Plan
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Revision Schedule

Revision	Date	Amendments
A	01.02.2021	For Client's Review
B	05.03.2021	General Amendments - As Per Client's Comments
C	24.03.2021	General Amendments - As Per Client's Comments
D	13.07.2021	General Amendments - As Per Client's Comments
E	12.08.2021	Issued for Pre-DA Meeting
F	02.12.2021	General Amendments - As Per Client's Comments
G	10.12.2021	General Amendments - As Per Client's Comments
H	23.01.2022	Issued for Coordination
J	12.04.2022	Survey Updated

BE ADVISED : SOME CLAUSES IN THIS SPECTIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

- 1.0 GENERAL
- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND UNLESS OTHERWISE STATED ON THE PLANS SHALL BE NEW AND THE BEST OF THE THEIR RESPECTIVE KIND AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORM PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7 ENSURE THAT SUBSTRATES ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE SUBSTRATES IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE SUBSTRATES ON WHICH FINISHES ARE APPLIED.
- 1.8 CONTRACTOR IS TO SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF THE RESPECTIVE WORKS.
- 1.9 CONTRACTOR IS RESPONSIBLE FOR THE PROGRESSIVE CLEAN UP DURING AND AFTER THE COMPLETION OF RESPECTIVE WORKS.

- 2.0 EARTHWORKS
- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR BUILDER. PROVIDE SUITABLE CLEAN FILL AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGLE OF 45 DEGREES DOWN FROM THE BOTTOM EDGE OF THE FOOTING.
- 2.3 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

- 3.0 CONCRETE
- 3.1 ALL CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS.
- 3.2 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.3 PROVIDE A PROPRIETARY VAPOUR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

- 4.0 TERMITE PROTECTION
- 4.1 PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.
- 4.2 BUILDER SHALL PROVIDE "BIFLEX" OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

- 5.0 BRICKWORK
- 5.1 BRICK WORK SHALL COMPLY WITH :
- AS 3700 MASONRY CODE
- AS A123 MASONRY CODE
- 5.2 BRICK GAUGE 7 STANDARD COURSES = 600mm. MORTAR FOR MASONRY CONSTRUCTION
- 5.3 TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm.
- 5.4 VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH A CONTINUOUS FILLER STRIP.
- 5.5 CAVITIES TO BE KEPT CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 5.6 FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHING AND CAVITY FILL KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHING.
- 5.7 PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK.
- 5.8 SETOUT BRICKWORK ACCURATELY, PLUMP, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC TO BE TRUE, PLUMB AND IN LINE WITH PERPENDS TRUE LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MERGIN OF 12mm OR GREATER THAN 50mm.
- 5.9 PROVIDE 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 5.10 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.

- 5.11 BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:
- WHEREVER SHOWN ON DRAWINGS
 - CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED)
 - OVER LINTELS TO EXPOSED OPENINGS – EXTEND THE FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE
 - OVER ROOF – EXTEND THE FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.
 - DOOR/WINDOW STILES – EXTEND THE FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
 - STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY: VERTICAL FLASHING CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300m WIDE.
 - FOR HORIZONTAL STRUCTURES/SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS
 - AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAF.
- 5.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.
- 5.13 UNLESS OTHERWISE SHOWN ON DRAWINGS
- EXTERNAL FACE WORK: 230x110x76mm
- WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS
- WINDOW HEADS: SOLID FACEBRICK COURSE

6.0 LINTELS		
MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

- 7.0 CARPENTRY WORK
- 7.1 ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 7.2 REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 7.3 SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

- 8.0 ROOFING
- 8.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 8.2 GUTTER, FASCIA, DOWNPIPES, FLASHING SHALL BE IN LONGEST POSSIBLE LENGTHS
- 8.3 ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 8.4 ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHING, FLUMES THROUGH ROOF.
- 8.5 FIX GUTTERS & FLASHING TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH .
- 8.6 SEAL BETWEEN OVERLAPPING FLASHING; FLASHING TURNED DOWN OVER BASE OR APRON FLASHING; FLASHING OVER METAL ROOF; FLASHING OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

- 9.0 WINDOWS/GLAZING
- 9.1 UNLESS OTHERWISE STATED ON THE DRAWINGS WINDOW FRAMES SHALL BE ALUMINIUM RESIDENTIAL OR COMMERCIAL IN SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER.
- 9.2 ALLOW FOR FLYSCREENS TO BE FITTED TO ALL WINDOWS.
- 9.3 ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS A COMPLETE UNIT.
- 9.4 WHERE RELEVANT WINDOWS ARE TO COMPLY WITH THE SPECIFICATIONS PROVIDED BY THE THERMAL PERFORMANCE ASSESSOR.
- 9.5 CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS.
- 9.6 WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

- 10.0 JOINERY
- 10.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 10.2 EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 10.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

General Notes

Additions & Alterations

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- 11.0 CEILINGS
- 11.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- 11.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE.
- 11.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 11.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS SHOWN ON THE DRAWINGS.

- 12.0 PLASTERING
- 12.1 INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN & FRIDGE RECESSES ETC SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 12.2 PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 12.3 SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 12.4 PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK.
- 12.5 EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING).
- 12.6 NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 12.7 PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

- 13.0 FLOORING FINISHES
- 13.1 CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE.
- 13.2 PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, ANGLE TRIMS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE.
- 13.3 PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED AND POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS AND FINISHES SCHEDULE.

- 14.0 SIGNAGE
- 14.1 WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 14.2 "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

- 15.0 PAVING
- 15.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
 - CUT, FILL & COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
 - PROVIDE BRICK EDGE RETAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK
 - TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 15.2 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 15.3 UNLESS NOTED PAVING PATTERN IS TO CLIENTS DETAIL
- 15.4 BRICK PAVERS SHALL BE:
- TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
- PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

- 16.0 ENERGY EFFICIENCY
- 16.1 INSULATION MUST FORM A CONTINUOUS BARRIER WITH CEILINGS, WALLS AND FLOORS BY ABUTTING OR OVERLAPPING ADJOINING INSULATION.
- 16.2 INSULATION MUST NOT ADVERSELY AFFECT DOMESTIC SERVICES OR FITTINGS.
- 16.3 REFLECTIVE INSULATION IS TO BE PROVIDED WITH A MINIMUM 25mm AIRSPACE AND IS FITTED CLOSE TO OPENINGS SUCH AS WINDOWS/DOORS ETC. AND IS PROVIDED WITH ADEQUATE SUPPORT.
- 16.4 BULK INSULATION MUST MAINTAIN ITS POSITION, THICKNESS. ENSURE THAT CEILING INSULATION OVERLAPS UN-INSULATED WALLS.
- 16.5 CONSTRUCTION JOINTS, SUCH AS BETWEEN WALL AND FLOOR, ARE TO BE TIGHT FITTING OR SEALED USING CAULKING OR JOINERY ITEMS SUCH AS SKIRTING OR CORNICES.
- 16.6 EXHAUST FANS ARE TO BE FITTED WITH A SELF CLOSING DAMPER.
- 16.7 ROOF LIGHTS MUST BE SEALED WITH WEATHERPROOF SEALS.
- 16.8 HEATED WATER PIPING MUST BE THERMALLY INSULATED AND PROTECTED AGAINST THE WEATHER AND SUN.
- 16.9 INTERNAL HEATED WATER PIPING TO HAVE AN R VALUE OF 0.2
- 16.10 ENCLOSED SUB-FLOOR AND ROOF SPACE TO HAVE AN R VALUE OF 0.45



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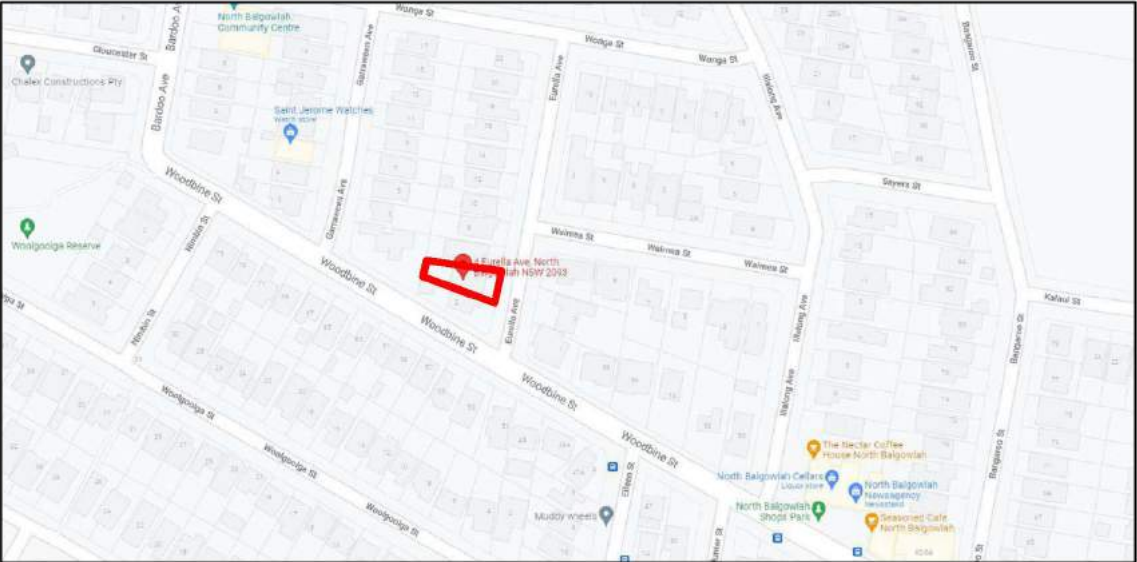
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Rev J
Date: 12.04.2022
Drawn By AJ
Amendment Survey Updated

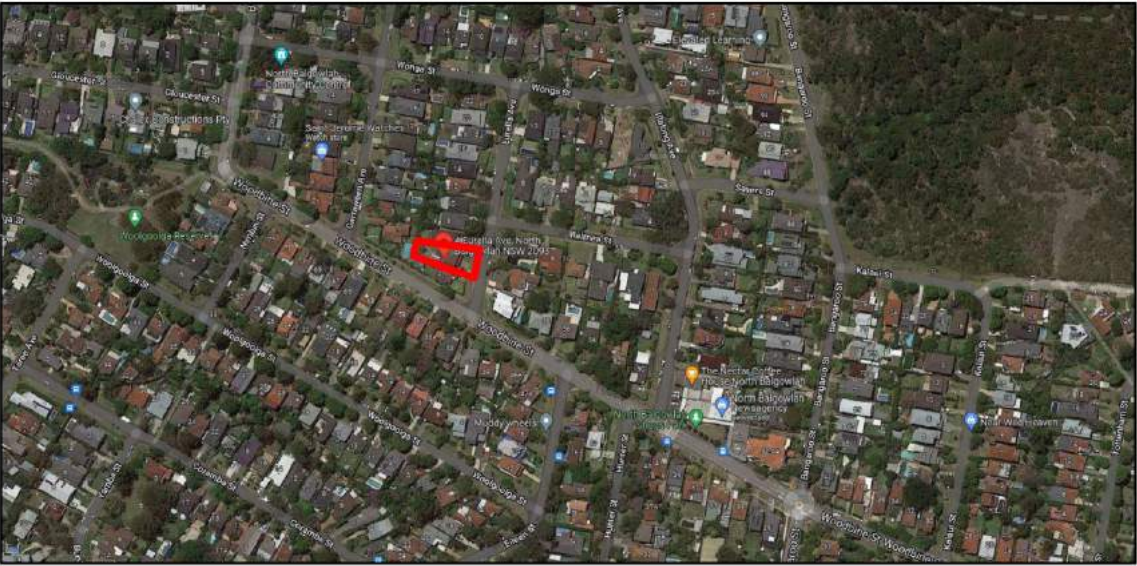
COMPLIANCE TABLE				
ADDRESS	4 EURELLA AVENUE, NORTH BALGOWLAH, NSW			
LOT & DP/SP	LOT 89, DP 13871			
COUNCIL	NORTHERN BEACHES			
SITE AREA	482.1m² - REFER TO SURVEY FOR DETAILS			
FRONTAGE	16.21m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIES
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	NO CHANGE	N/A
MINIMUM LOT SIZE	600m²	482.1m²	NO CHANGE	N/A
FLOOR SPACE RATIO	N/A	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	8.05m	NO CHANGE	YES
DCP				
SIDE BOUNDARY SETBACKS	0.90m	NORTH: 0.925m SOUTH: 2.58m	NO CHANGE SOUTH: 0.90m	YES YES
FRONT BOUNDARY SETBACK	6.5m	EAST: 7.14m	NO CHANGE	N/A
REAR BOUNDARY SETBACK	6.0m	WEST: 19.13m	WEST: 12.91	YES
LANDSCAPED AREA	40%		FRONT: 141.2m² BACK: 68.1m² TOTAL: 209.3m² = 43.4%	YES
REFER TO S.E.E REPORT FOR DETAILS				



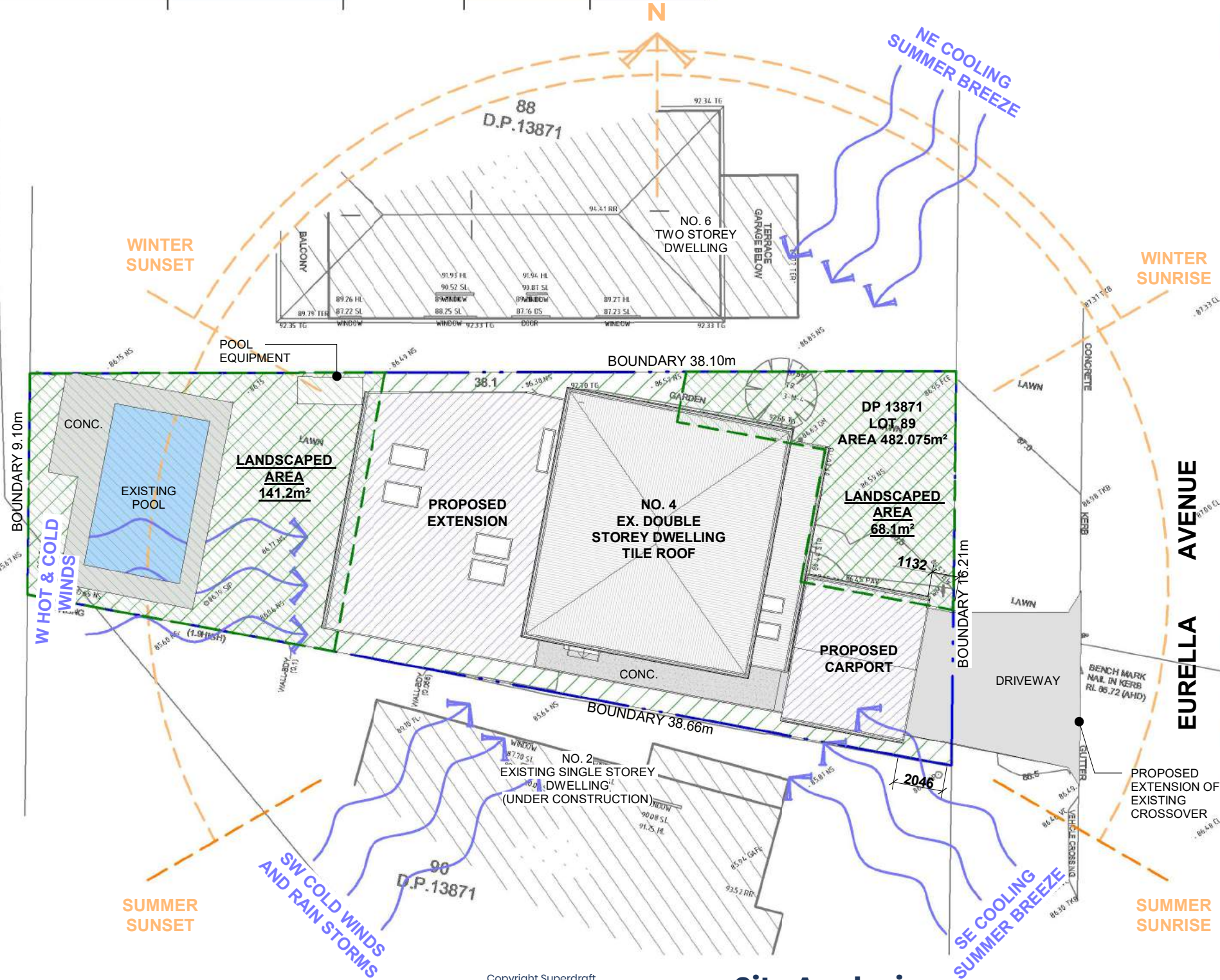
STREET VIEW



LOCATION MAP



AERIAL MAP



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Site Analysis

Additions & Alterations

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Adrian Joon
SDI-0007
DA02
As indicated


Rev
Date:
Drawn By
Amendment


J
12.04.2022
AJ
Survey Updated







LEGEND

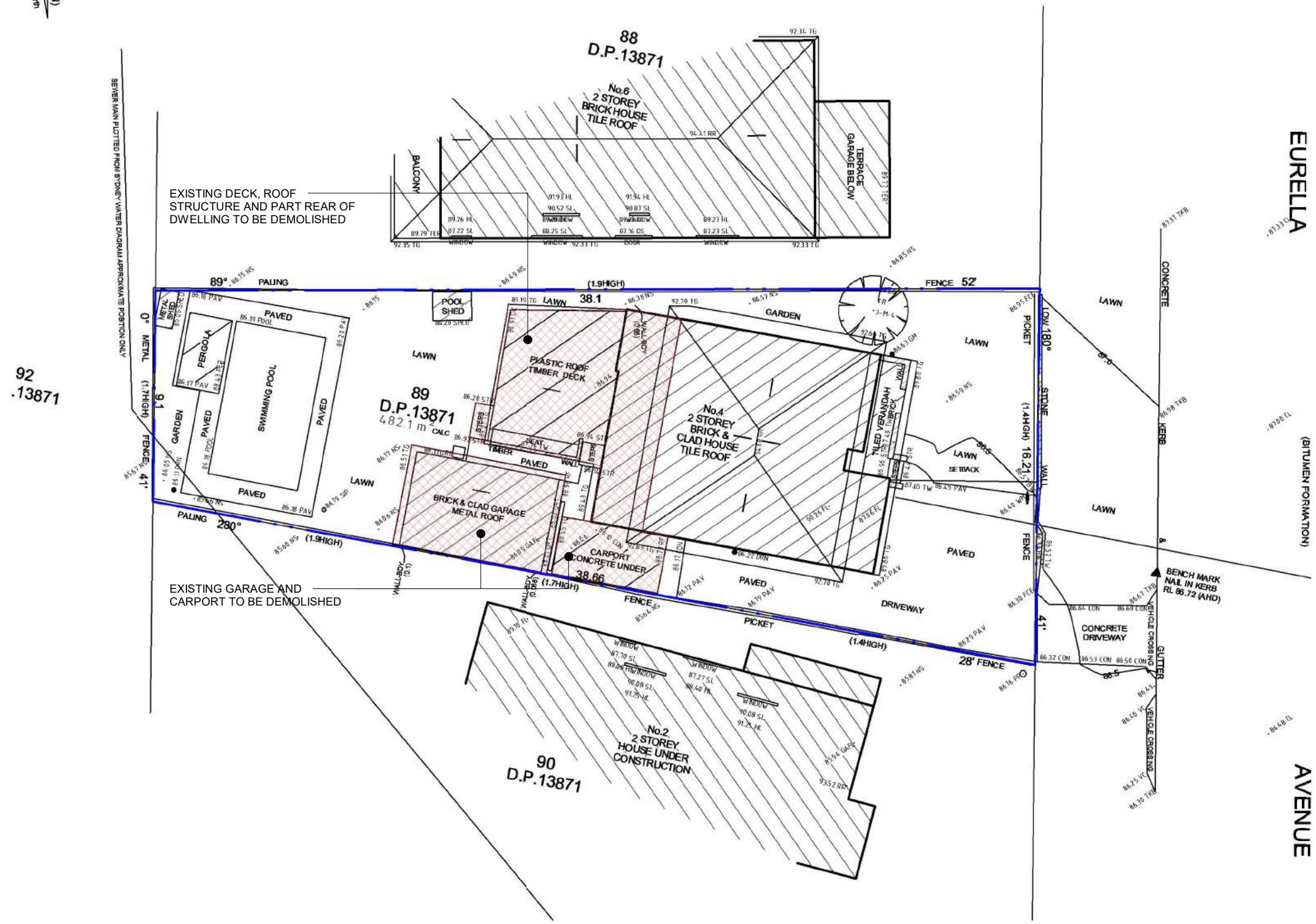
 TO BE DEMOLISHED

 EXISTING ELEMENTS

 EXISTING TREE TO REMAIN

 EXISTING TREE TO BE REMOVED

REFER TO LANDSCAPE DRAWINGS OR LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS



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Existing Site Plan

Additions & Alterations

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Adrian Joon
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FLOOR LEVELS ARE TO BE CHECKED ON SITE.
REFER TO SURVEY DRAWINGS FOR DETAILS

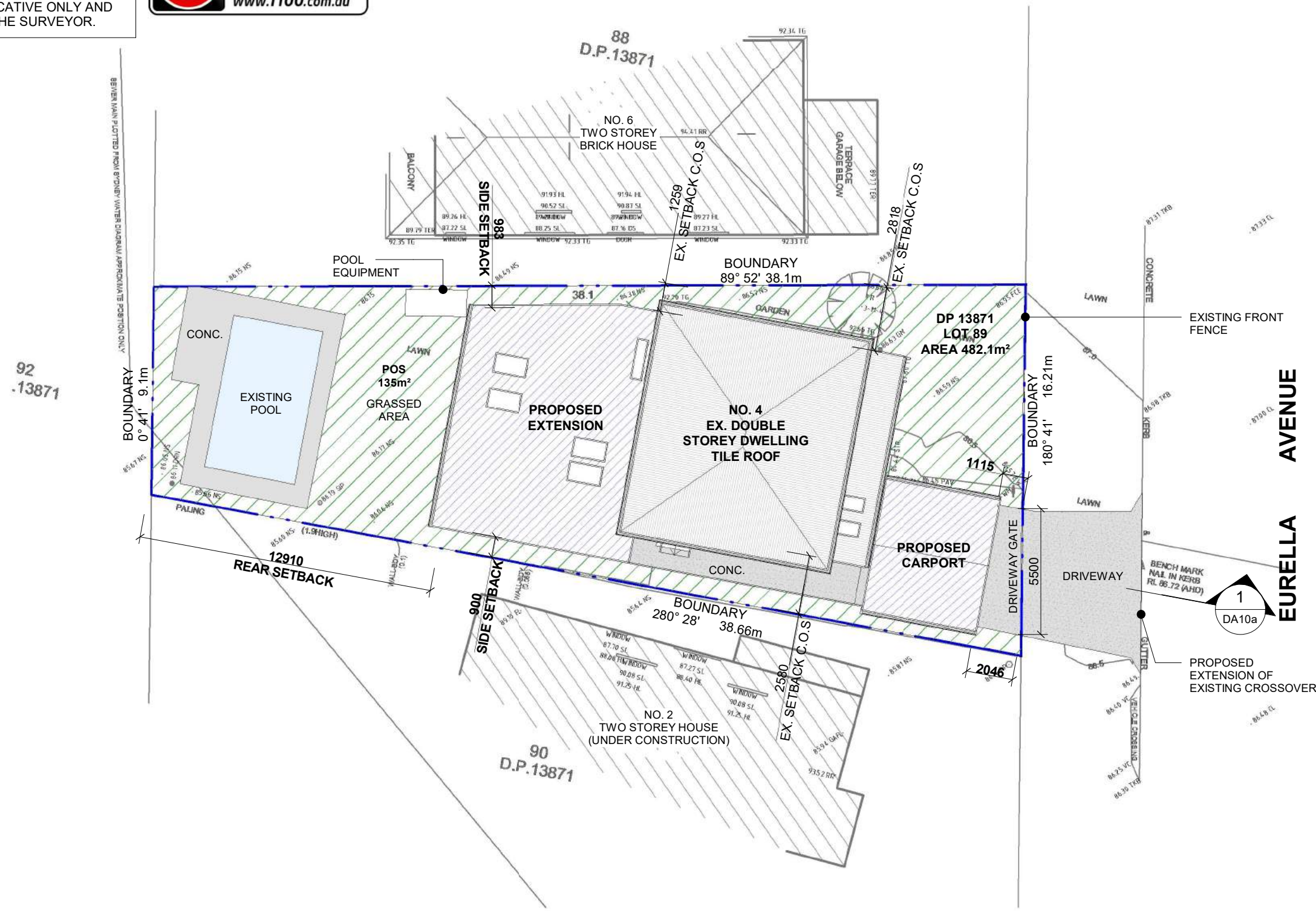
TERMITE TREATMENT TO BE PROVIDED IN
ACCORDANCE WITH A.S 3660.1 & A.S 3660.2

REFER TO STRUCTURAL ENGINEER'S DRAWINGS
AND DETAILS FOR ALL STRUCTURAL ELEMENTS

SURVEY DRAWINGS TAKE PRECEDENCE OVER
ARCHITECTURAL DRAWINGS FOR BUILDING
SETBACKS TO BOUNDARIES. ALL BUILDING
SETBACKS ARE SHOWN INDICATIVE ONLY AND
ARE TO BE CHECKED BY THE SURVEYOR.

BUILDER IS TO CONNECT NEW DOWNPIPES INTO
EXISTING SWD VIA 100mm DIAMETER PVC SWD -
BUILDER TO VERIFY EXISTING SWD LOCATION
ON SITE PRIOR TO WORKS COMMENCING

CONNECT ALL STORMWATER TO LEGAL
POINT OF DISCHARGE.



Proposed Site Plan

Additions & Alterations

Development Approval Stage

Angela Wheeler

4 Eurella Avenue, North Balgowlah, NSW

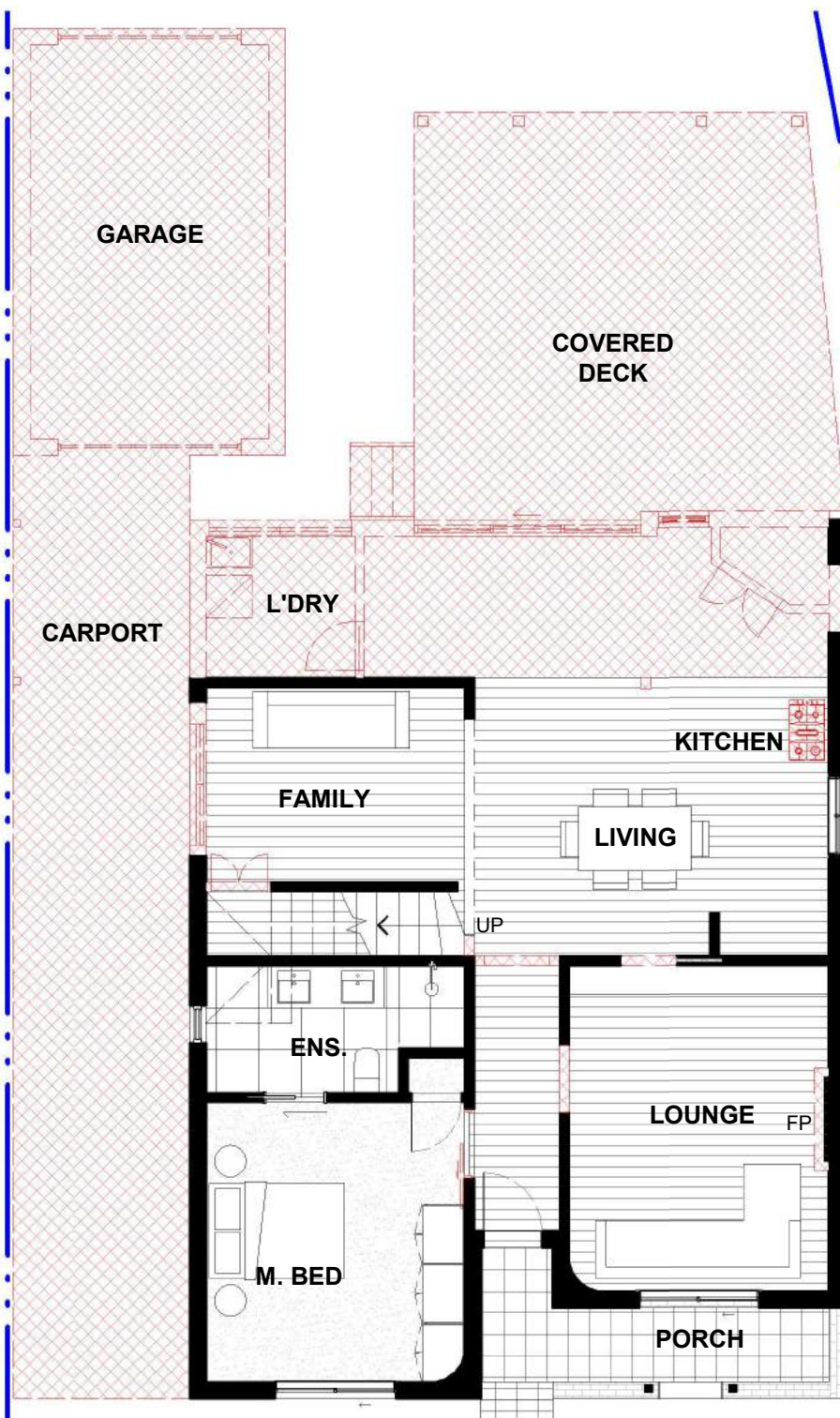
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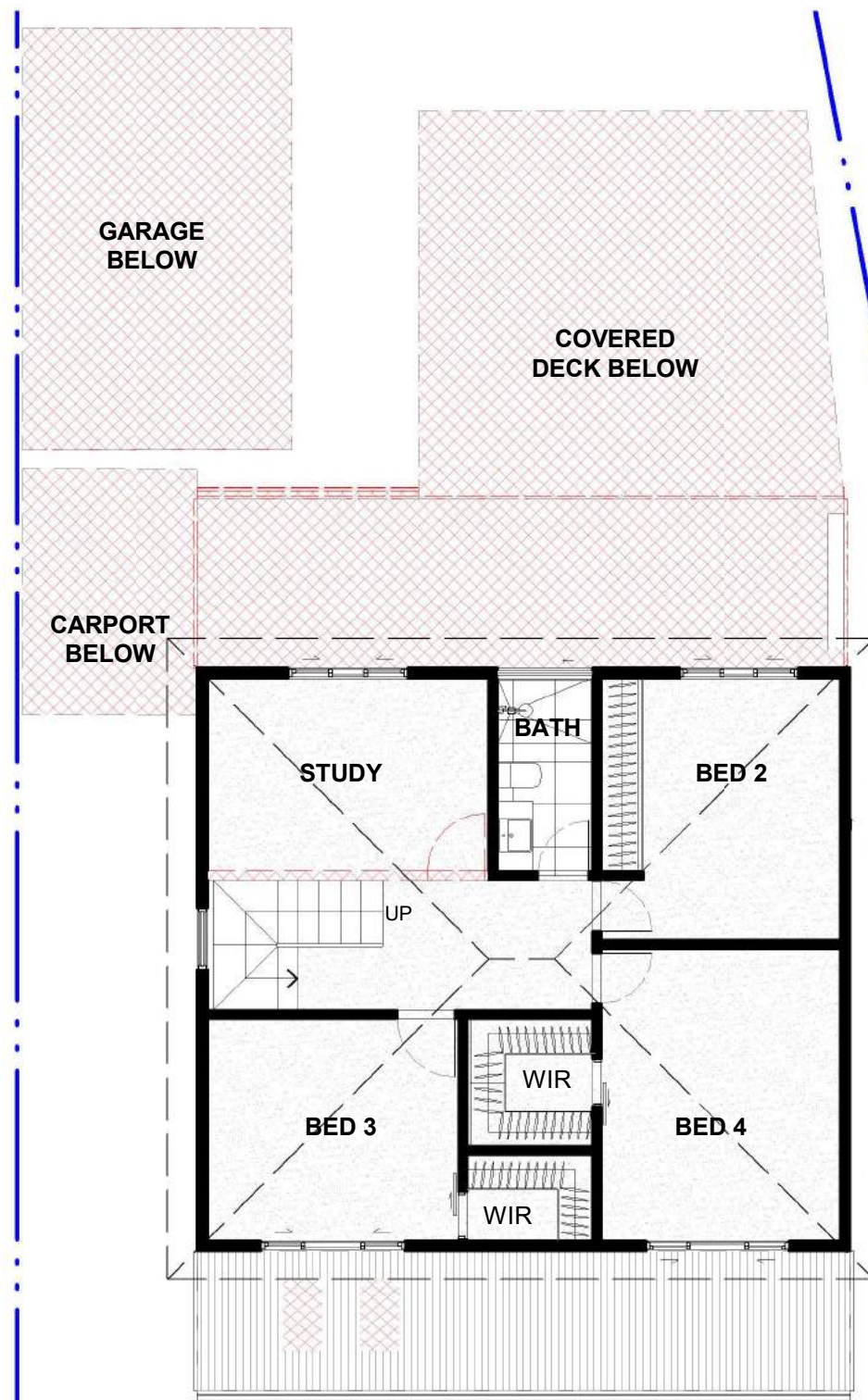
LEGEND

- TO BE DEMOLISHED
- EXISTING ELEMENTS



1 EXISTING GROUND FLOOR PLAN

1 : 100



2 EXISTING FIRST FLOOR PLAN

1 : 100

Existing / Demolition Plan

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SITE INFORMATION

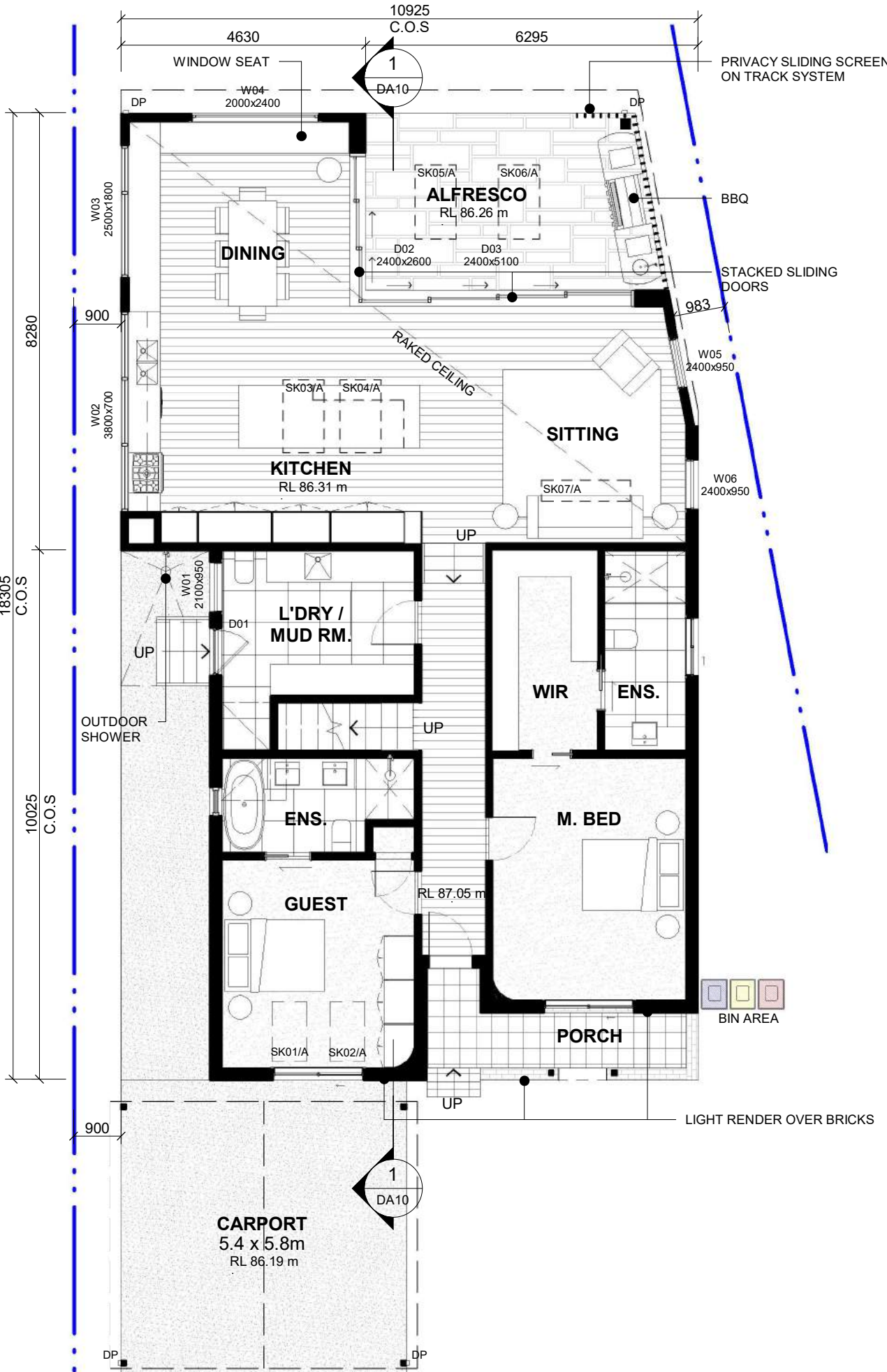
EXISTING RESIDENCE - GROUND FLOOR	97m²
EXISTING RESIDENCE - FIRST FLOOR	72m²
TOTAL EXISTING	169m²
EXISTING FRONT PORCH	8m²
EXISTING ALFRESCO	33m²
EXISTING GARAGE	19m²
PROPOSED RESIDENCE - GROUND FLOOR	141m²
PROPOSED RESIDENCE - FIRST FLOOR	72m²
TOTAL NEW RESIDENCE	213m²
PROPOSED FRONT PORCH	8m²
PROPOSED ALFRESCO	18m²
PROPOSED CARPORT	30m²
TOTAL RESIDENCE	213m²
SITE AREA	482.075m²
SITE COVERAGE	209m²
	43%

SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAIL PLANS FOR SPECIFIC PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO CIVIL ENGINEERS DOCUMENTATION.

DEMOLITION NOTES

- CAP OFF EXISTING PLUMBING AND ELECTRICAL WORKS AS NECESSARY BY CERTIFIED TRADESPERSON.
- MODIFIED BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
- EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.
- MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.
- INVESTIGATION SHOULD BE UNDERTAKEN BEFORE ALL WORKS THAT REQUIRES EXCAVATION.



1 PROPOSED GROUND FLOOR PLAN
1 : 100

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Proposed Floor Plans

Additions & Alterations
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2 PROPOSED FIRST FLOOR PLAN
1 : 100

ALL EXISTING STRUCTURAL ELEMENTS WHICH ARE AFFECTED BY THE PROPOSED WORKS, ARE TO BE CHECKED BY THE STRUCTURAL ENG. TO DETERMINE THE STRUCTURAL INTEGRITY.

REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND DETAILS FOR ALL STRUCTURAL ELEMENTS

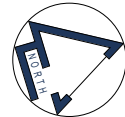
ALL CEILING HEIGHTS ARE TO COMPLY AND BUILT IN ACCORDANCE WITH THE NCC VOL. 2 PART 3.8.2



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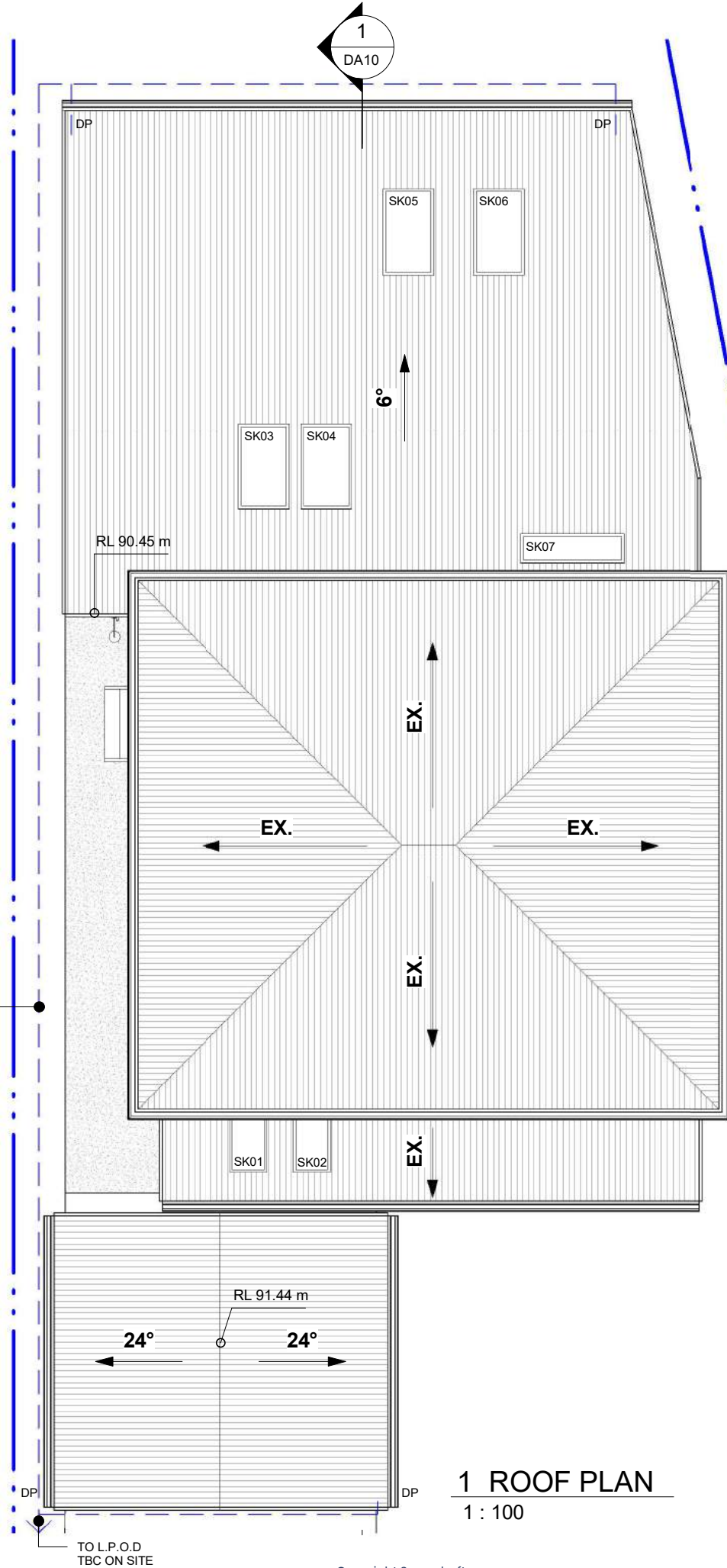
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Job No: SDI-0007
Page No: DA06
Scale @A3 1:100

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Drawn By AJ
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STORMWATER NOTE:

- ALL DRAINS SHALL RUN TO THE LEGAL POINT OF DISCHARGE AND SHALL CONFORM TO LOCAL COUNCIL REQUIREMENTS, THE B.C.A AND AS3500.3-2018
- 90mm Ø UPVC STORMWATER PIPES GENERALLY, 100mm Ø UPVC TO DRIVEWAYS
- MINIMUM FALL OF 1:80 WITH 300mm COVER
- DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES
- STORMWATER DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500.3-2018

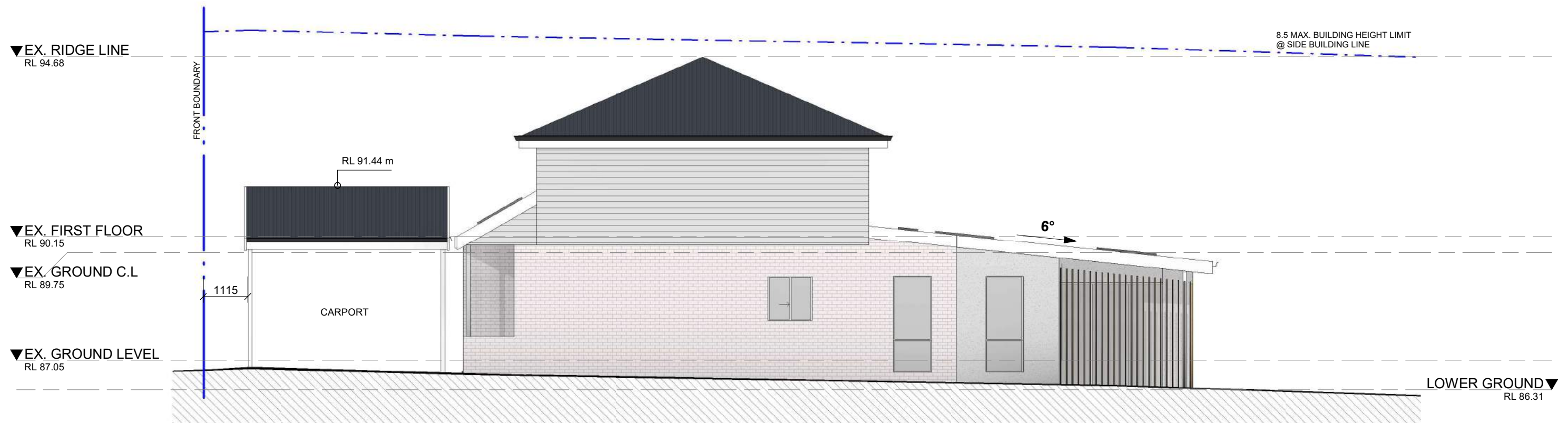


1 ROOF PLAN
1 : 100

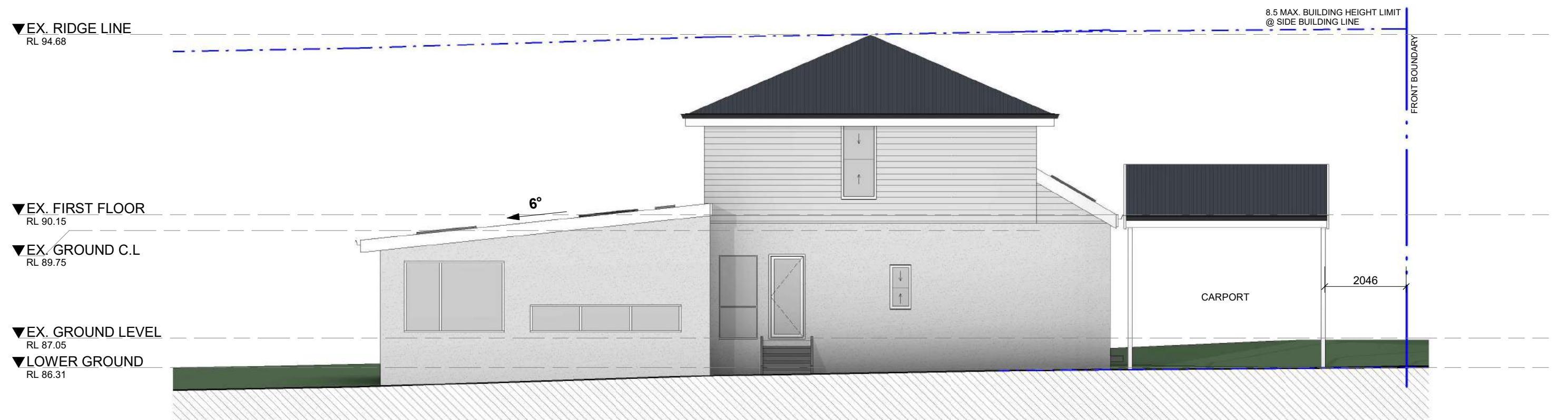


2 ROOF PLAN 3D BIRDSEYE VIEW





1 NORTH
1 : 100



2 SOUTH
1 : 100

Elevations – North & South

Additions & Alterations

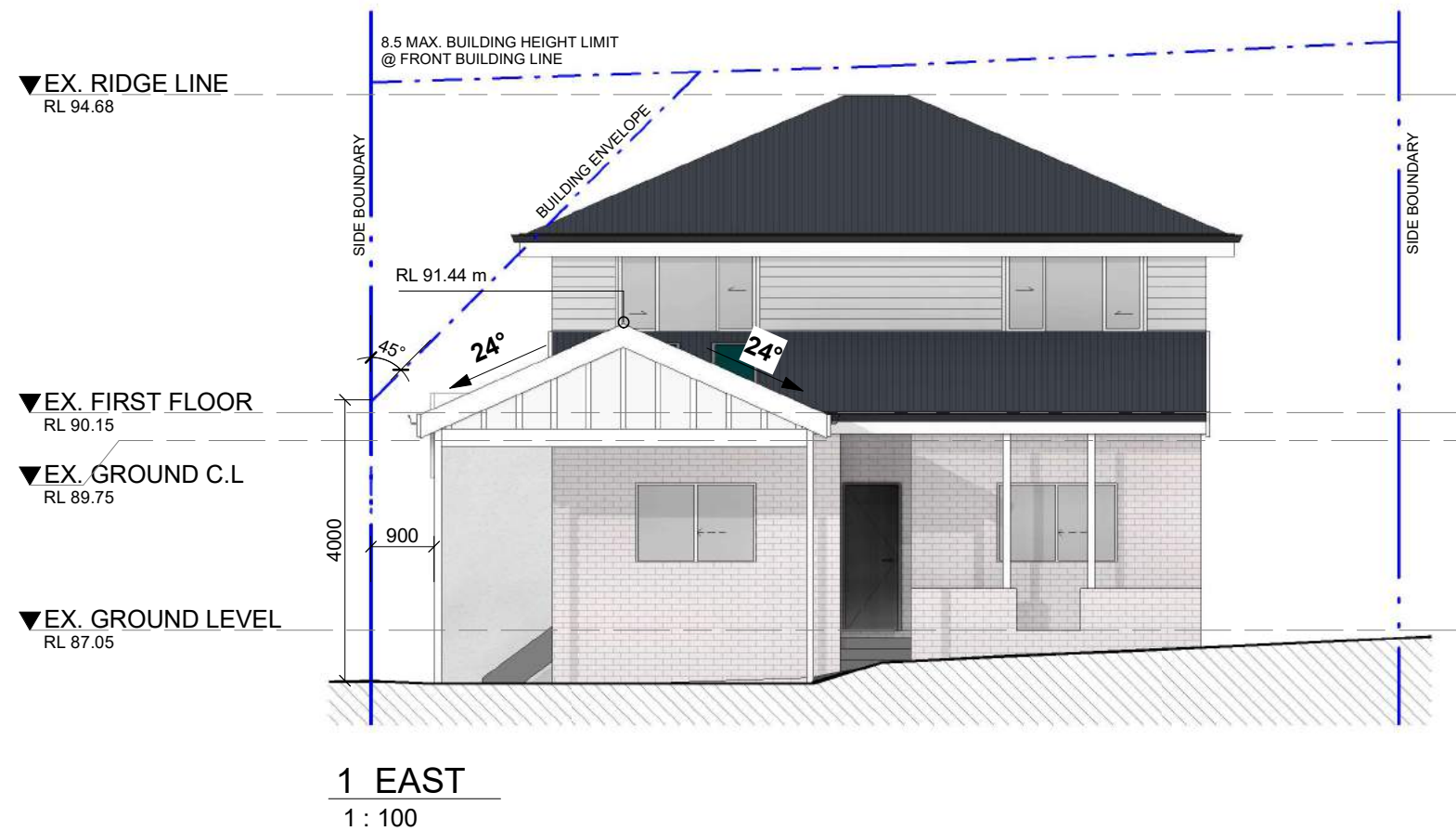
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Angela Wheeler

4 Eureka Avenue, North Balgowlah, NSW

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Elevations – East & West

Additions & Alterations

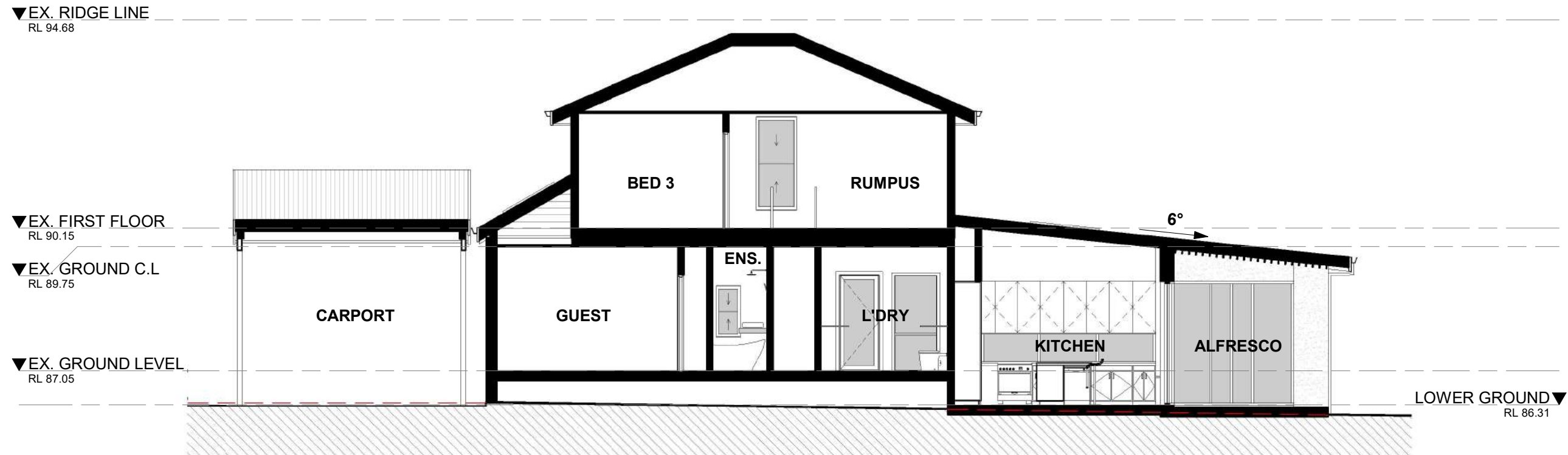
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4 Eurella Avenue, North Balgowlah, NSW

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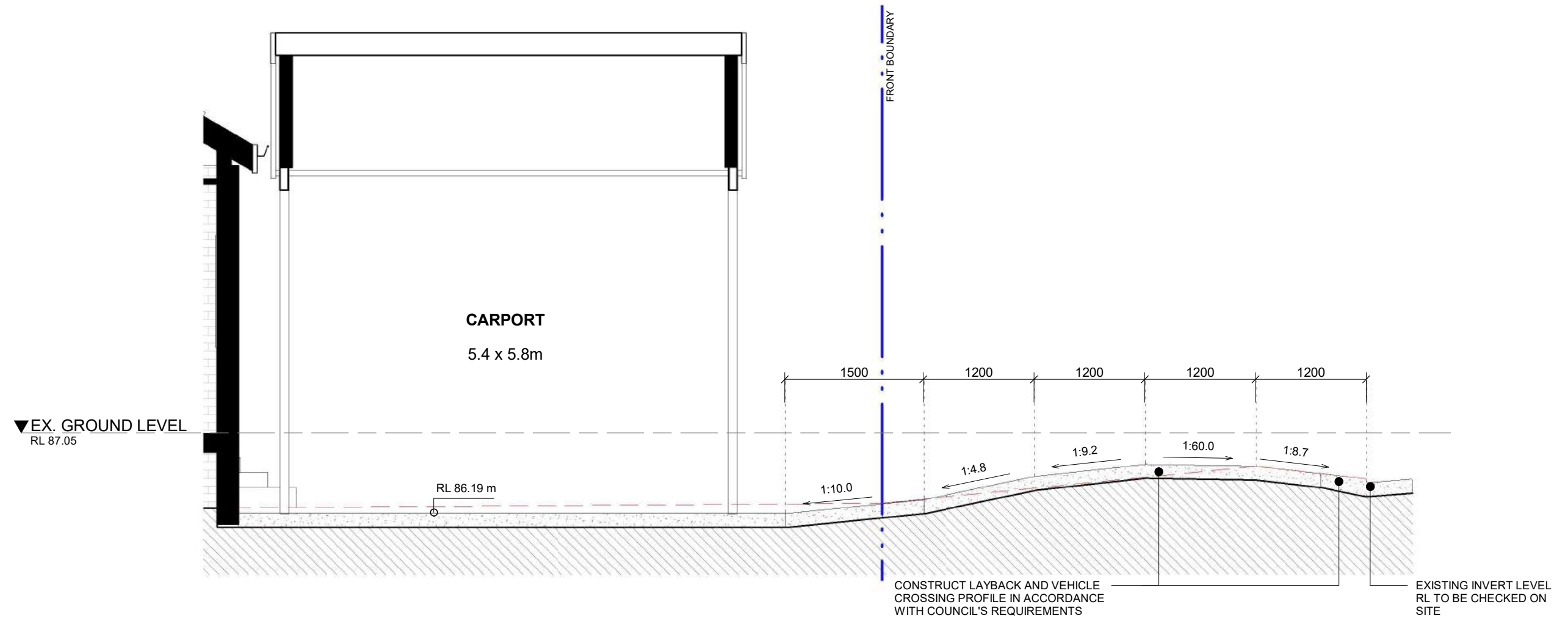
1 SECTION A-A
1 : 100

INSULATION NOTES:

PROVISION OF THERMAL INSULATION TO BE PROVIDED AS REQUIRED BY B.C.A. REGULATION F6.2. & BASIX REPORT REFER TO BASIX REPORT FOR DETAILS.

DESIGN REQUIREMENTS AND SPECIFICATION:

CONSTRUCTION	ADDITIONAL INSULTATION REQUIRED (R-VALUE)	OTHER SPECIFICATIONS
- CONCRETE SLAB ON GROUND FLOOR	NIL	
- FLOOR ABOVE EXISTING DWELLING	NIL	
- EXTERNAL WALL: BRICK VENEER	R1.16 (OR R1.70 INCLUDING CONSTRUCTION)	
- EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R1.30 (OR R1.70 INCLUDING CONSTRUCTION)	
- FLAT CELING, PITCHED ROOF	CEILING: R2.50 (UP), ROOF: FOIL/SARKING	DARK (SOLAR ABSORPTANCE >0.70)



1 DRIVEWAY SECTION
1 : 50



1 3D PERSPECTIVE 01



2 3D PERSPECTIVE 02



3 3D PERSPECTIVE 03



4 3D PERSPECTIVE 04

External Finishes Schedule

Additions & Alterations

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MATERIAL SCHEDULE

CODE	ELEMENT	MATERIAL / FINISHES
MR-ST	ROOF	PRECOLOURED ROOF SHEETING COLOUR: - COLORBOND "IRON STONE" OR SIMILAR
G01	GUTTER	PRECOLOURED STEEL "TRIMLINE" OR "QUAD" COLOUR: - COLORBOND "IRON STONE" OR SIMILAR
E-BR01	WALL	EXISTING WALL BRICKWORK. PAINT FINISH COLOUR: - DULUX "TERRACE WHITE" OR SIMILAR
E-WB01	WALL	EXISTING WALL WEATHERBOARD PAINT FINISH COLOUR: - DULUX "TERRACE WHITE" OR SIMILAR
R01	WALL	RENDERED WALL COLOUR: - DULUX "TERRACE WHITE" OR SIMILAR
TRIM01	TRIM	TRIM DETAILS COLOUR: - DULUX "VIVID WHITE" OR SIMILAR
CG	GLASS	CLEAR (NON TINTED)

NOTE:
ALL MATERIALS, PRODUCTS AND COLOURS MAY SLIGHTLY VARY ON SITE.

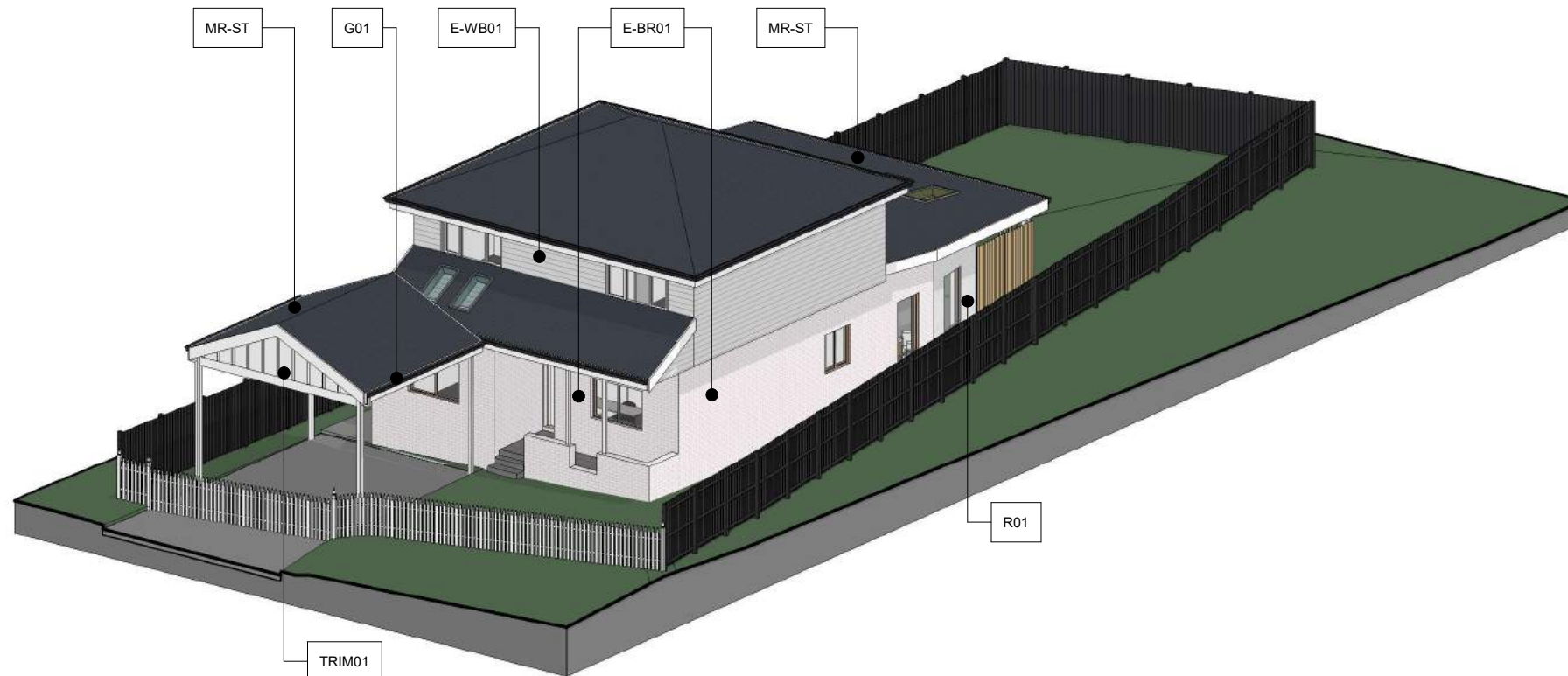
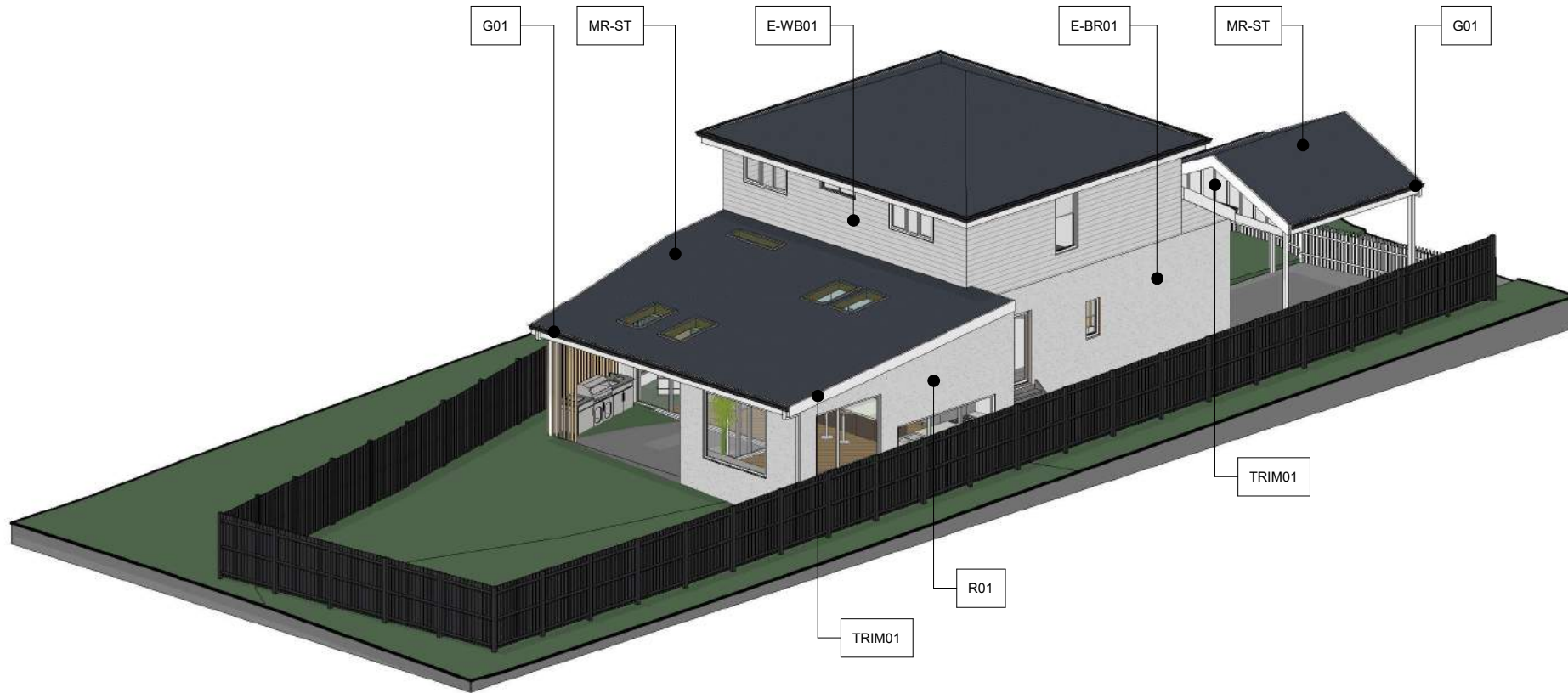
SAMPLE COLOURS:



COLORBOND "IRON STONE"



COLORBOND "TERRACE WHITE"



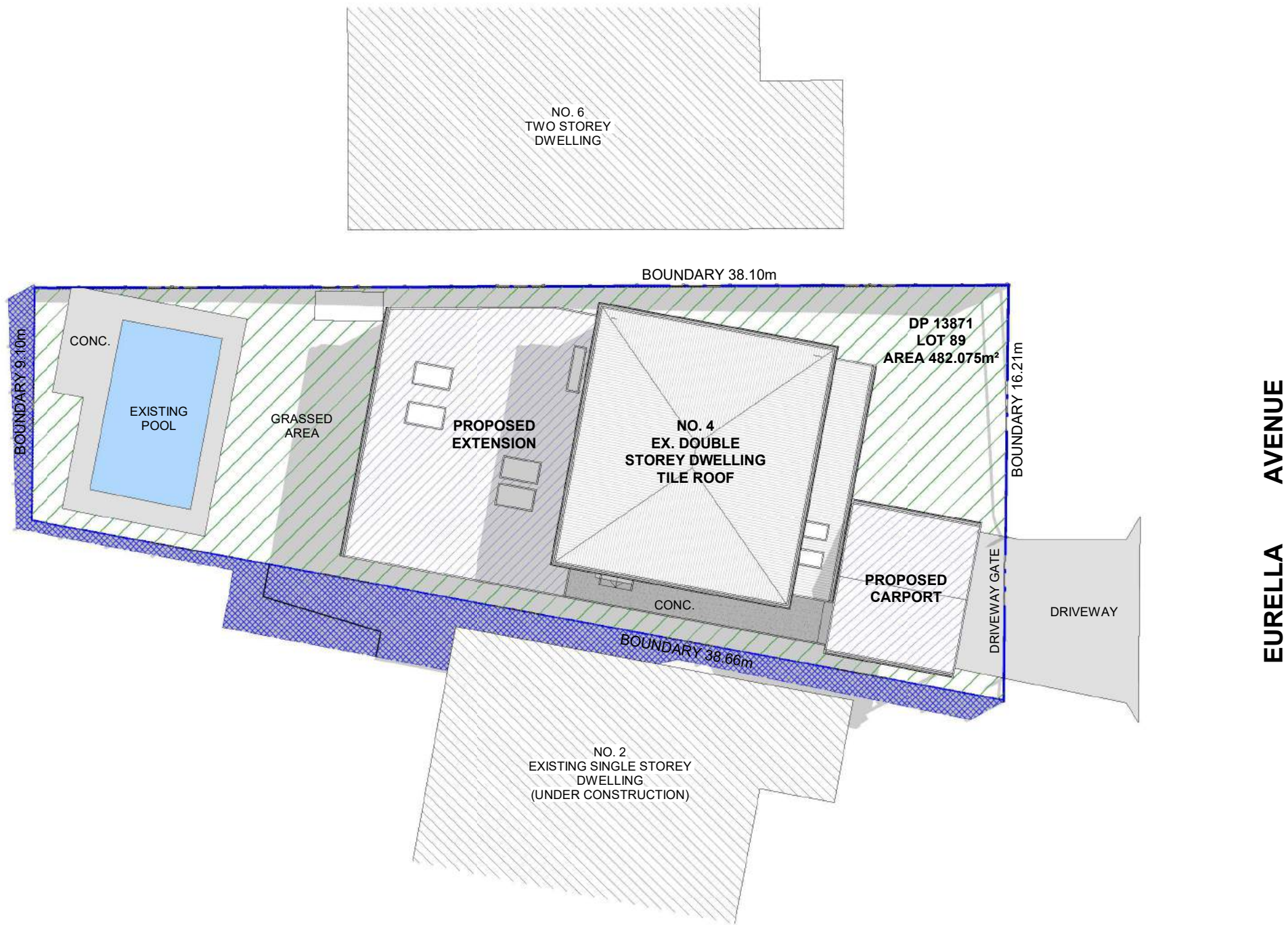
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EXISTING SHADOWS



ADDITIONAL SHADOWS



1 9AM AUTUMN EQUINOX
1 : 200

Shadow Diagram – Sheet 1

Additions & Alterations
Development Approval Stage

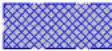
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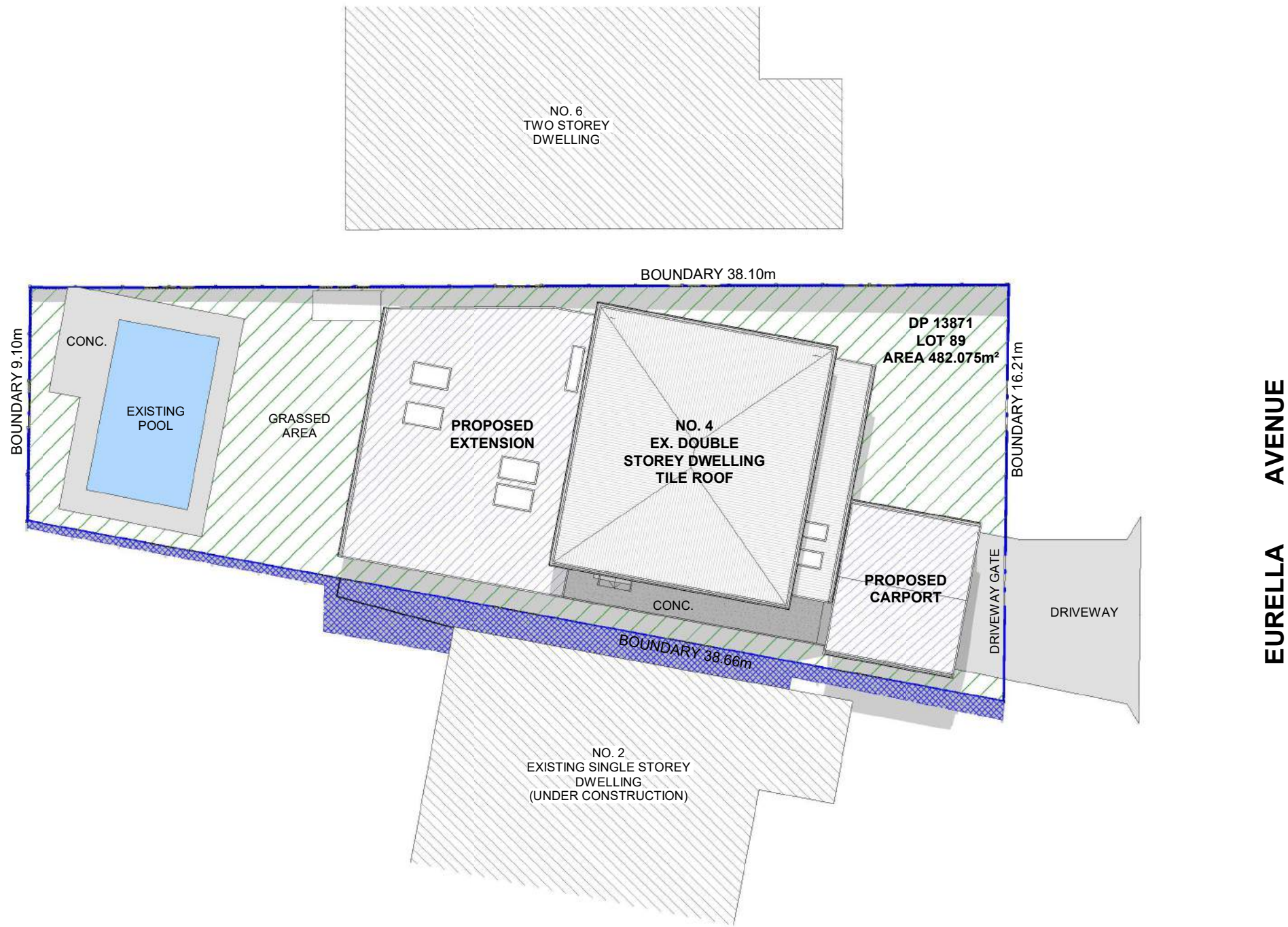
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EXISTING SHADOWS



ADDITIONAL SHADOWS



2 12PM AUTUMN EQUINOX

1 : 200

Shadow Diagram – Sheet 2

Additions & Alterations

Development Approval Stage

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4 Eurella Avenue, North Balgowlah, NSW

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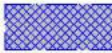


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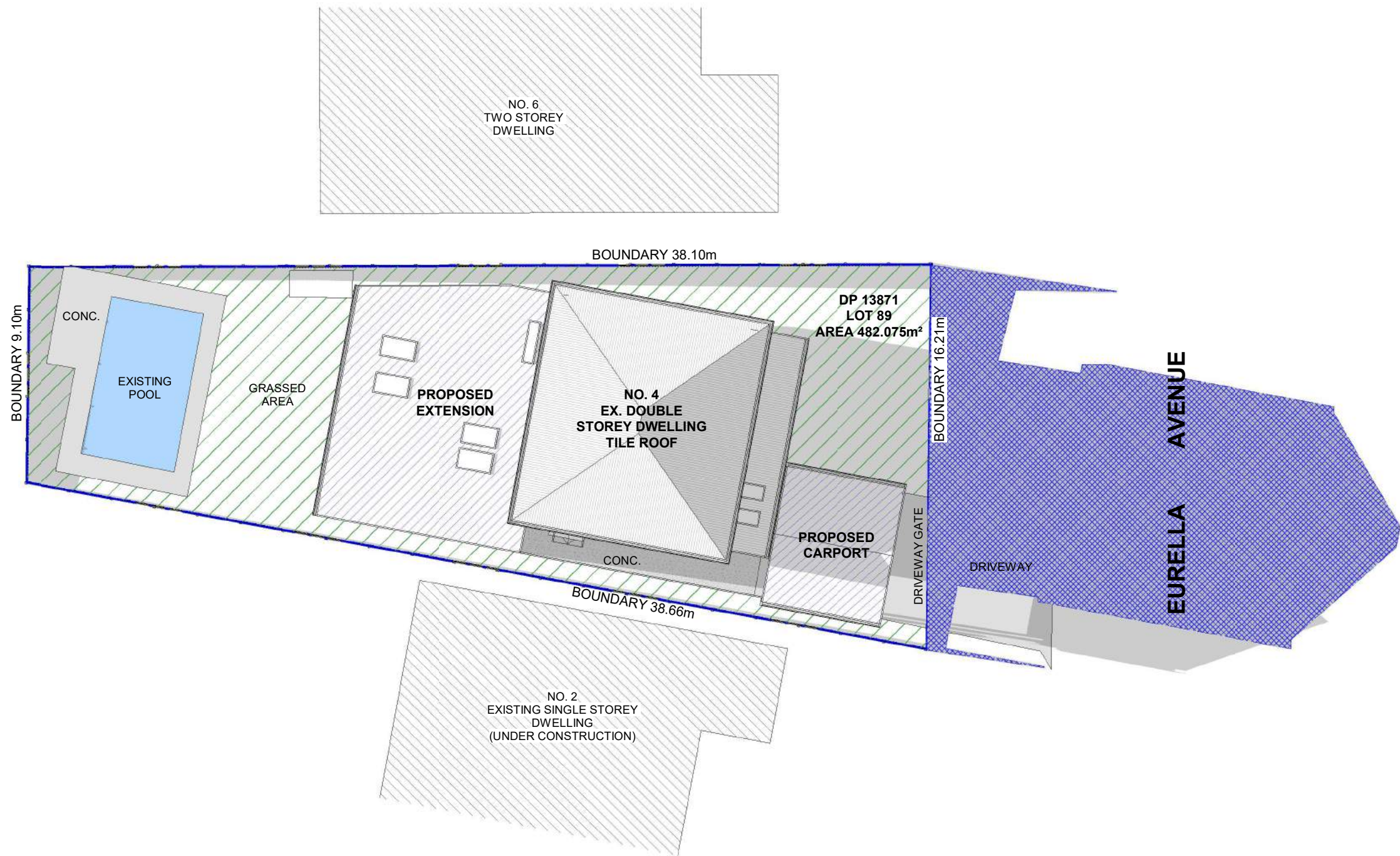
LEGEND



EXISTING SHADOWS



ADDITIONAL SHADOWS



1 3PM AUTUMN EQUINOX
1 : 200

Shadow Diagram – Sheet 3

Additions & Alterations
Development Approval Stage

Angela Wheeler
4 Eurella Avenue, North Balgowlah, NSW

Designed By Designer
Job No: SDI-0007
Page No: DA15
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Drawn By AJ
Amendment Survey Updated



GENERAL NOTES

EROSION AND SEDIMENT CONTROL
SILT FENCE AROUND PERIMETER OF THE PROPERTY AS INDICATED. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED DAILY BY SITE MANAGER.

SITE ACCESS POINT PROVIDE KERB AND LAYBACK
SEDIMENT GRID SILTTRAPS

WASTE & RECYCLING MANAGEMENT
WASTE MATERIAL WILL BE STORED ONSITE UNTIL TRUCK OR SKIP IS AVAILABLE FOR PICK UP FROM STREET. MATERIALS FOR RECYCLING WILL BE SEPARATED AND STORED APPROPRIATELY SO WASTE AND RECYCLING REQUIREMENTS ARE REDUCED.

WASTE DURING CONSTRUCTION
SKIPS WILL BE POSITIONED IN THE OFF STREET PARKING AFTER CONSTRUCTION.

AFTER CONSTRUCTION WASTE AND RECYCLING BINS WILL BE STORED AT FRONT OF PROPERTY WITH ACCESS TO CLEANING FACILITIES.

COUNCIL APPROVAL WILL BE OBTAINED PRIOR TO PLACEMENT OF ANY MATERIALS ON THE FOOTPATH.

ALL STOCKPILES TO BE CLEAR OF DRAINS, GUTTERS AND FOOTPATHS.

STORMWATER AND DRAINAGE
USING EXISTING STORMWATER WILL REMAIN AS EXISTING AND ALL WORK WILL BE IN ACCORDANCE TO COUNCIL REQUIREMENTS.

DRAINAGE IS TO REMAIN AS EXISTING TO STORMWATER

ROADS AND FOOTPATH TO BE SWEEPED DAILY.

HOURS OF OPERATION NOT TO EXCEED THOSE NOTED IN COUNCIL POLICY

MATERIAL NOTES:
NO RAINFOREST TIMERS OR TIMBER CUT FROM OLD GROWTH FOREST TO BE USED IN CONSTRUCTION. GENERALLY STRUCTURAL TIMBER TO BE TREATED PINE AND COMPOSITE BEAMS.

REFER WASTE MANAGEMENT PLAN FOR RECYCLING AND MATERIALS TO BE REMOVED FROM SITE. WASTE MANAGEMENT PLAN IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.

HAZARDOUS MATERIALS AND ASBESTOS REMOVAL TO BE IN ACCORDANCE WITH REQUIREMENTS OF THE RELEVANT LEGISLATION. CODES, STANDARDS AND GUIDELINES PRIOR TO ANY DEMOLITION. PRIOR TO ANY REMOVAL OF ASBESTOS FULL DETAILS TO BE SUBMITTED TO COUNCIL ON THE METHOD OF CONTAINMENT AND CONTROL OF EMISSION OF FIBRES TO THE AIR.

ASBESTOS REMOVAL AND TRANSPORTATION WORKS ARE TO FULLY COMPLY WITH WORKCOVER NSW AND THE EPA AS WELL AS 'CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS (NOHSC:202(1988))' AND SPECIFICALLY NORTHERN BEACHES COUNCIL'S ASBESTOS POLICY AND NATIONAL OCCUPATIONAL HEALTH AND SAFETY COMMISSIONS: CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS 2000 (1988)

CONSTRUCTION MANAGEMENT
SITE DELIVERIES AND ACCESS TO BE MADE FROM THE STREET USING EXISTING ACCESS POINTS.

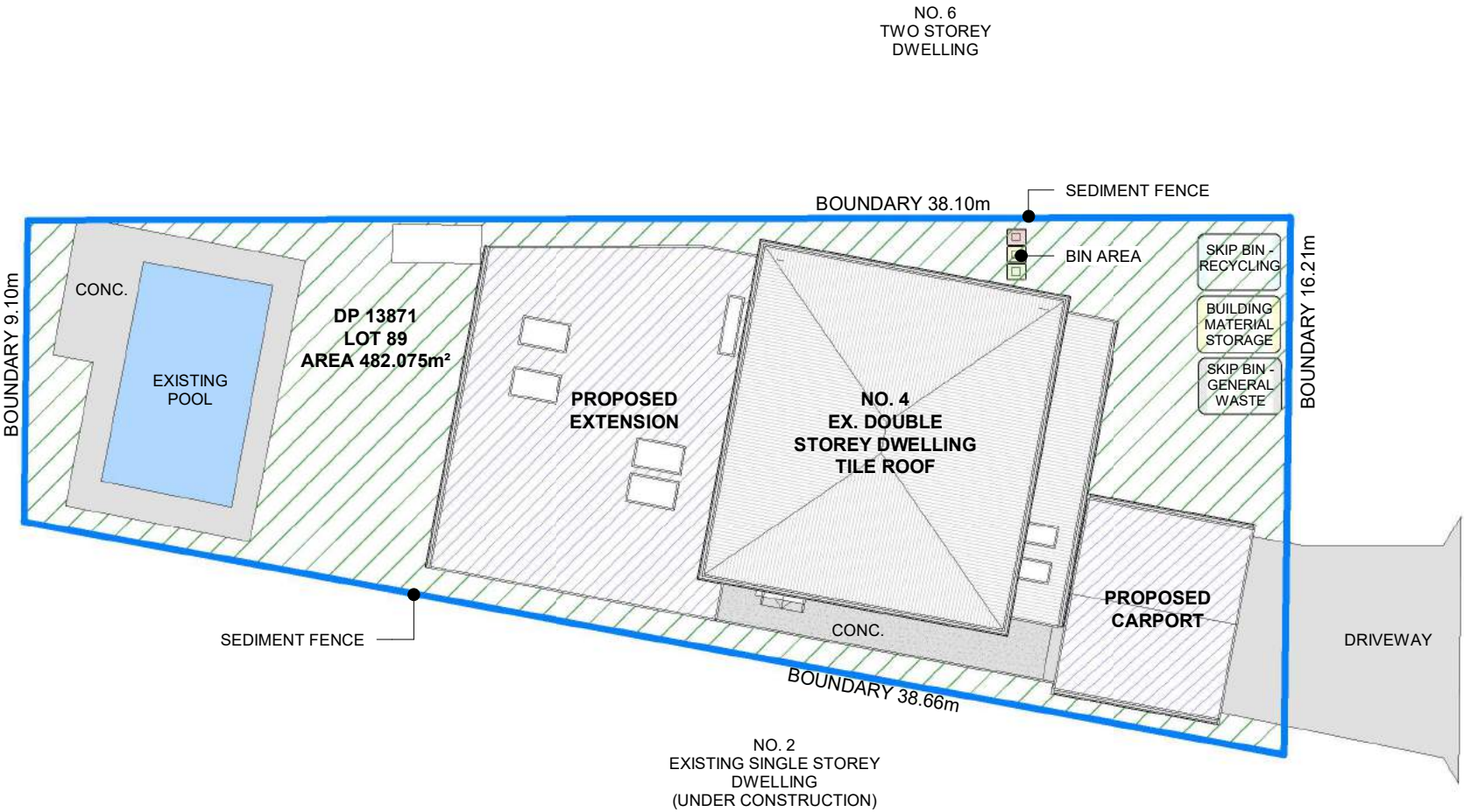
LOADING AND UNLOADING OF EXCAVATION MACHINES, FORM WORK AND BUILDING MATERIALS TO BE IN STREET USING SUITABLE WARNING SIGNS ERECTED DURING OPERATIONS.

SOIL AND EXCAVATION
MATERIAL FROM SITE IS NOT TO BE TRACKED ONTO THE ROAD BY VEHICLES/MACHINERY ENTERING OR LEAVING THE SITE. CLEAR DUST/SOIL OR OTHER CONSTRUCTION MATERIAL TO BE SWEEPED OFF PAVEMENT / ROADWAY AND CONTAINED WITHIN THE SITE.

DEMOLISHED WORKS TO BE SPRAYED WITH WATER ONTO POROUS SURFACE ONLY TO SUPPRESS DUST. COVERS TO BE MADE SECURE OVER CEMENT WHEN SITE NOT IN USE TO RESTRICT CONCRETE BLOWING AROUND

DURING DEMOLITION / CONSTRUCTION KEEP FOOTPATH & ROAD CLEAR OF VEHICLE & MATERIALS.

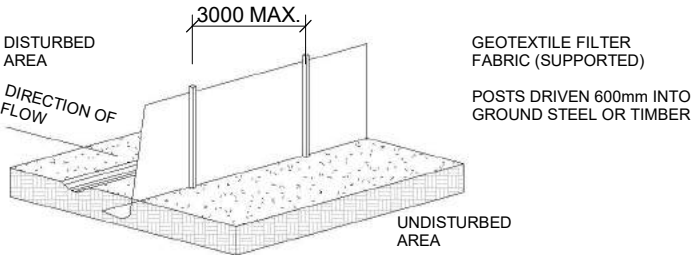
A CRANE IS NOT ANTICIPATED.



SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATION INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST EVER AREAS OF THE SITE ARE EXPOSED TO EROSION. CONTROL STRUCTURES TO BE AS DETAILED AS PER OTHERWISE REQUIRED. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX. AND SLOPE GRADIENT OF 1:2 MAX. WITH LENGTH OF 60m MAX.

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Waste Management & Sediment Erosion

Plan Additions & Alterations

Development Approval Stage

Angela Wheeler

4 Eurella Avenue, North Balgowlah, NSW

Designed By Adrian Joon
Job No: SDI-0007
Page No: DA16
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Alterations and Additions

Certificate number: A443623

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Alterations and Additions Definitions' dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 08, February 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	4 Eurella Avenue, North Balgowligh NSW
Street address	4 Eurella Avenue North Balgowligh 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 13871
Lot number	89
Section number	n/a
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Certified Energy

ABN (if applicable): 95164564210

BASIX Certificate number: A443623

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.</p>			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
floor above existing dwelling or building.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.50 (up). roof: foil/sarking	dark (solar absorbance > 0.70)			

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Glazing requirements						Show on DA Plans	Show on COCC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W01	S	1.995	3.5	1.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

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Glazing requirements						Shown on DA Plans	Shown on CCDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glaze in frame (m ²)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W02	S	2.66	3.5	1.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W03	S	4.5	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W04	W	4.8	0	0	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
D02	W	6.24	0	0	projection/height above sill ratio ≥0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D03	N	12.24	0	0	projection/height above sill ratio ≥0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W05	N	2.28	3.5	2	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W06	N	2.28	3.5	2	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
D01	S	1.995	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓
Skylights glazing requirements			

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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
SK01	0.78	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK02	0.78	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK03	1.05	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK04	1.05	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK07	0.68	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

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