

14 September 2010  
Pittwater Council  
PO Box 882  
MONA VALE NSW 2103

Dear Sir or Madam

Re Lodgement of CC2010/217 for DA N0391/09

Please find attached all required documentation relied upon to issue Construction Certificate and Notice of Commencement for the above development

Part 4A Lodgement Fee \$30 00 payable to Council

Copy of Home Owner's Warranty Insurance

Sydney Water approval

- 1 Construction Certificate Plans including amendments required by condition B24 & C7
- 1 Structural Engineer's Plans & certificate of adequacy
- 1 Geotechnical Form 2
- Hydraulic Engineers/Stormwater Drainage Plans
- Receipt for payment of Long Service Levy
- Schedule of external finishes
- 1 copy of Dilapidation Reports

1 copy of Basix Certificate

Yours faithfully

Craig Formosa

\$30 PRC REC 28812  
16/9/10



## CONSTRUCTION CERTIFICATE # 2010-217

Approved 14/09/10

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received	31/8/10				
Council	Pittwater				
Development Consent No	391/09	Date Approved	16/6/10		
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa BPB0124		
Accreditation Body	Building Professionals Board				
<b>APPLICANT DETAILS</b>					
Name	Fiona Champion	Ph No	0418 642 683		
Address	18 McKenzie Street Lindfield				
<b>OWNER DETAILS</b>					
Name	Fiona Champion				
Address	18 McKenzie Street Lindfield				
<b>DEVELOPMENT DETAILS</b>					
Subject Land	114 Whale Beach Road Whale Beach	Lot No	82	DP	10782
Description of Development	Renovation/extension of house				
Class of Building	1a 10a 10b	Value of Work	\$1 200 000		
<b>BUILDER DETAILS</b>					
Name	Peter Best Constructions				
Address	49/28 Barcoo Street Chatswood				
Contact Number	9417 1666	License No	33892		
<b>APPROVED PLANS &amp; DOCUMENTS</b>					
Plans Prepared By	Jackson Architects				
Drawing Numbers	CC01 – CC09 Rev A	Dated	8/7/09		
Engineer Details Prepared By	Civil & Structural Engineers Design Service Pty Ltd	Jack Hodgson Consultants Pty Limited			
Drawing Numbers	S 09 22225 2B 4B 5C OSD (C)	Form 2	Dated	16/7/10	27/8/10
Basix Certificate No	A80009	Dated	24/3/10		
<b>CERTIFICATION</b>					
I Craig Formosa as the certifying authority am satisfied that					
(a) The requirements of the regulations referred to in s81A (5) have been complied with That is work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act and					
(b) Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986					
Signed		Date 14/09/10			



Home Warranty  
Insurance Fund



Certificate of Insurance

Ruhusu Pty Ltd  
49/28 Barcoo Street  
ROSEVILLE NSW 2069  
Australia

Builder's Copy  
Policy Number    **HWI78270542**  
Date of Issue        14/09/2010  
Broker Payment Reference    ZDA R9931  
Builder's Job Number        N/A

Form 1  
Sections 92 and 96  
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

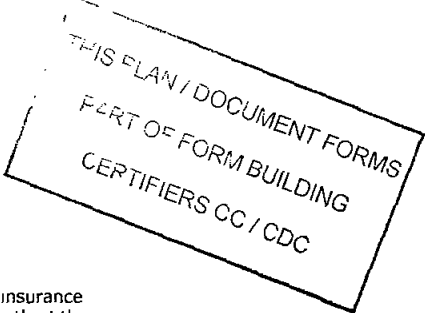
Contract of Insurance Complies With    Sections 92 and 96  
Of The    Home Building Act 1989  
Issued By    Vero Insurance Limited (ABN 48 005 297 807) as agent  
for and on behalf of the NSW Self Insurance Corporation  
(SICorp) (ABN 97 369 689 650) who is responsible for the  
management of the Home Warranty Insurance Fund

Building Contract Details

Contract Date    31/08/2010  
Declared Building Contract Value    \$2,483 662 50  
(Refer policy for indemnity limit)  
Carried out By    Ruhusu Pty Ltd  
Trading As    Peter L M Best Constructions  
ABN    66 736 143 495  
Licence Number    33892  
For    Fiona Champion  
In Respect Of    Alterations and Additions  
At    House Number 114  
Whale Beach Road  
WHALE BEACH NSW 2107

Permit Authority    Form Building Certifiers Pty Ltd

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.



COI000772651

Generated    14/09/2010

Signed for and on behalf of the Insurer

B → D →

Insurer: Vero Insurance Limited (ABN 48 005 297 807) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for the management of the Home Warranty Insurance Fund



Home Warranty Insurance Fund



Certificate of Insurance

Fiona Champion  
16 Mackenzie Street  
LINDFIELD NSW 2070  
Australia

Owner's Copy  
Policy Number **HWI78270542**  
Date of Issue 14/09/2010

Form 1  
Sections 92 and 96  
Home Building Act 1989

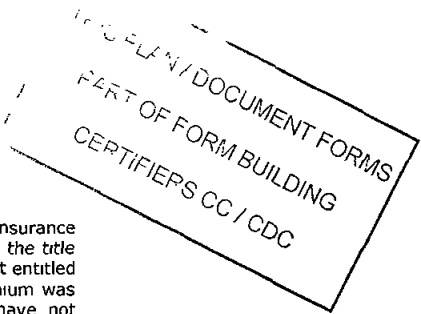
CERTIFICATE IN RESPECT OF INSURANCE

Contract of Insurance Complies With	Sections 92 and 96
Of The	Home Building Act 1989
Issued By	Vero Insurance Limited (ABN 48 005 297 807) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for the management of the Home Warranty Insurance Fund

Building Contract Details

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Declared Building Contract Value	\$2,483,662.50 (Refer policy for indemnity limit)
Carried out By	Ruhusu Pty Ltd
Trading As	Peter L M Best Constructions
ABN	66 736 143 495
Licence Number	33892
For	Fiona Champion
In Respect Of	Alterations and Additions
At	House Number 114 Whale Beach Road WHALE BEACH NSW 2107
Permit Authority	Form Building Certifiers Pty Ltd

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording. If you have not received a copy of the policy wording please contact the Insurer Vero Warranty a division of Vero Insurance Limited.



COI000772652 Generated 14/09/2010

Signed for and on behalf of the Insurer

B → D

Insurer Vero Insurance Limited (ABN 48 005 297 807) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for the management of the Home Warranty Insurance Fund

# BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number A80009

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate or in the commitments have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Director General  
Date of issue Wednesday 24 March 2010



THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

## Description of project

Project address	
Project name	09064_JA_Skinner-Champion_Avalon_Issue B
Street address	114 Whale Beach Road Whale Beach 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 10782
Lot number	82
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50 000 or more includes a pool (and/or spa)

Pool and Spa		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank				
The applicant must install a rainwater tank of at least 2154 litres on the site. This rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 185 square metres of roof area.			✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.			✓	✓
Outdoor swimming pool				
The swimming pool must be outdoors.		✓	✓	✓
The swimming pool must not have a capacity greater than 63 kilolitres.		✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.			✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.				✓

Fixtures and systems

Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent compact fluorescent or light-emitting-diode (LED) lamps	✓	✓
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Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating	✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating	✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating	✓	

Construction

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup> b) insulation specified is not required for parts of altered construction where insulation already exists

Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor	nil				
external wall cavity brick	nil				
external wall brick veneer	R1 16 (or R1 70 including construction)				
internal wall shared with garage single skin masonry (R0 18)	nil				
flat ceiling pitched roof	ceiling R1 45 (up) roof foil backed blanket (55 mm)	medium (solar absorptance 0 475 - 0 70)			
flat ceiling flat roof concrete/plasterboard internal	ceiling nil (up) roof 50 mm foil backed polystyrene board	light (solar absorptance < 0 475)			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows glazed doors and shading devices in accordance with the specifications listed in the table below	✓	✓	✓
Relevant overshadowing specifications must be satisfied for each window and glazed door			
The following requirements must also be satisfied in relation to each window and glazed door			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions	✓	✓	✓
Each window or glazed door with improved frames, or polytlic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions The description is provided for information only Alternative systems with complying U-value and SHGC may be substituted	✓	✓	✓
For projections described in millimetres the leading edge of each eave pergola verandah balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill	✓	✓	✓
For projections described as a ratio the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35	✓	✓	✓
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed	✓	✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated unless the pergola also shades a perpendicular window The spacing between battens must not be more than 50 mm	✓	✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below	✓	✓	✓
Windows and glazed doors glazing requirements			

Glazing requirements

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W1	NE	14.4	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear (or U-value 7.63 SHGC 0.75)		
W2	NE	8.64	0	0	projection/height above sill ratio >=0.43	standard aluminium single clear (or U-value 7.63 SHGC 0.75)		
W3	NE	6.6	0	0	external louvre/blind (adjustable)	standard aluminium, single clear (or U-value 7.63 SHGC 0.75)		
W4	NE	6.96	0	0	external louvre/blind (adjustable)	standard aluminium single clear, (or U-value 7.63, SHGC 0.75)		
W5	NW	1.08	3.28	2.16	none	standard aluminium single pyrolytic low-e, (U-value 5.7 SHGC 0.47)		
W6	SW	8.28	0	0	external louvre/blind (adjustable)	standard aluminium single clear, (or U-value 7.63, SHGC 0.75)		
W7	SW	1.44	0	0	none	standard aluminium single clear (or U-value 7.63, SHGC 0.75)		
W8	SW	3.77	0	0	projection/height above sill ratio >=0.43	standard aluminium single clear, (or U-value 7.63 SHGC 0.75)		
W9	SW	1.85	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)		
W10a	NW	4.8	5.5	5.5	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value 7.63 SHGC 0.75)		
W10b	NW	9.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium single clear (or U-value 7.63 SHGC 0.75)		
W11	SW	10.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single clear (or U-value 7.63 SHGC 0.75)		
W13	NE	16.07	0	0	projection/height above sill ratio >=0.43	standard aluminium single clear, (or U-value 7.63, SHGC 0.75)		

Glazing requirements

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W14	NE	12.5	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)
W15	NE	11.48	0	0	external louvre/blind (adjustable)	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)
W16	SW	7.35	0	0	external louvre/blind (adjustable)	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)
W17	SW	15.56	0	0	projection/height above sill ratio >=0.29	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)
W18	SW	11.73	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)

Legend

In these commitments, 'applicant' means the person carrying out the development

Commitments identified with a "✓" in the 'Show on DA plans' column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled before a final occupation certificate for the development may be issued



**C & SITE-IT**

**Civil & Structural Engineering Design Services Pty. Ltd.**

ABN 62 051 307 852

3 Wanniti Road BELROSE NSW 2085

Email [civilandstructural@bigpond.com](mailto:civilandstructural@bigpond.com)

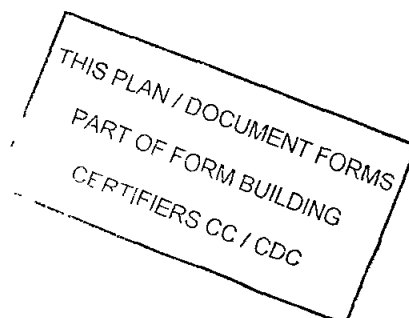
Tel 02 9975 3899 Fax 02 99751943

Web [www.civilandstructural.com.au](http://www.civilandstructural.com.au)

29<sup>th</sup> August 2010

Skinner & Champion  
16 Mackenzie Street  
LINDFIELD NSW 2070

Dear Sir & Madam,



**Re**

**Alterations & Additions at 114 Whale Beach Road, Whale Beach  
CERTIFICATE OF STRUCTURAL ADEQUACY**

I, Edward A Bennett, practicing structural Engineer, hereby certify that I have inspected the above existing dwelling structure and I am able to certify that the existing foundations and structural components are structurally adequate to support the additional loads imposed by the alterations & additions

I have been engaged to inspect during construction, such that on completion of the works I will be in a position to offer a "Certificate of Structural Adequacy"

**Full Name of Designer**  
**Qualifications**  
**Address of Designer**  
**Business Telephone No**  
**Name of Employer**

**Edward Arthur Bennett**  
**M I E Aust CPE NPER 198230**  
**3 Wanniti Road, Belrose NSW 2085**  
**02 99753899 Fax No 02 99751943**  
**Civil & Structural Engineering Design Services Pty Ltd**

Yours faithfully,

E A Bennett M I E (Aust) NPER 198230, RPEQ 4540 & BPB 0820

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO 2 – PART B - To be submitted with detailed design for construction certificate**

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I Jack Hodgson on behalf of Jack Hodgson Consultants Pty Ltd  
(insert name) (trading or company name)

on this the 27<sup>TH</sup> AUGUST 2010  
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater – 2009 and I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans in accordance for the Construction Certificate Stage and that I am satisfied that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto  
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

**Geotechnical Report Details**

Report Title RISK ANALYSIS & MANAGEMENT FOR PROPOSED RENOVATIONS AT 114 WHALE BEACH ROAD WHALE BEACH VU 26348

Report Date 29<sup>TH</sup> JULY 2009

Author BEN WHITE

**Documentation which relates to or is relied upon in report preparation**

ARCHITECTURAL PLANS PREPARED BY JACKSON ARCHITECTS NUMBERED SK100-SK102 REV B DATED JUNE 2009

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified

JACK HODGSON

(name)

  
(signature)

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk

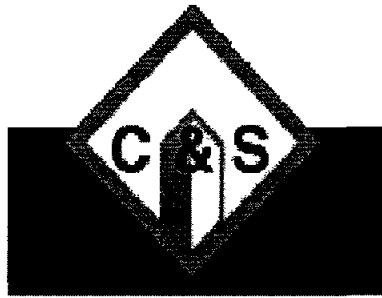
Signature

Name Jack Hodgson

Chartered Professional Status M Eng Sc F I E Aust

Membership No 149788

Company Jack Hodgson Consultants Pty Ltd



# **CIVIL AND STRUCTURAL ENGINEERING DESIGN SERVICES PTY LTD**

## **SPECIAL PURPOSE PROPERTY INSPECTION REPORT**

**Australian Standard 4349.2**

THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

<b>Client</b>	<b>Skinner &amp; Champion</b>
<b>Project Address</b>	<b>114 Whale Beach Road Whale Beach</b>

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## **SPECIAL CONDITIONS OF REPORT/INSPECTION SERVICES BY CIVIL AND STRUCTURAL ENGINEERING DESIGN SERVICES PTY LTD**

This report is based on a visual inspection only, and is given in good faith. This report is a technical report only where indicated as a Special Purpose, Property Inspection Report (which excludes pre purchase inspection reports and all other items excluded by specific indication in compliance with clause 4.3 of A S 4349.2 – 1995). In respect of this report the Consultant shall be liable only to the applicant and only for negligence of the Consultant, otherwise the Consultant does not accept liability for any error in or omission from the report.

This Report does not include a valuation and is not intended to give any indication as to compliance or otherwise with Ordinances made pursuant to the Local Government Act and/or the Building Code of Australia 1994 and or specific sizes of any component in the structure (unless otherwise stated).

This report is provided for the private and confidential use of the above mentioned applicant only and should not be used or relied upon by any other person. THE REPORT IS SUBJECT TO COPYRIGHT, and the applicant is warned against any use which constitutes a breach of this copyright.

No Estimated costs will be given in this report for repairs and/or renewing.

The visual inspection of the property will not include frame, joinery or other components of the structure which are covered, unexposed or inaccessible. Therefore, the Consultant cannot report that any such part of the property is free from defect or termite attack or any structural impairment nor non-compliance of codes and is not liable as such.

Inspection for dampness is visual and moisture meters are not required. The Consultant is not responsible for concealed dampness that is not evident at the time of inspection, nor notified of prior to contract.

If it is suspected that asbestos or toxic substances exist, entry into certain areas will not be made (Please see Occupational Health and Safety Act and Code of Practice).

Access which is not in accordance with the Occupational Health and Safety Act will be classified as no access.

There is no visual inspection below ground level. Diagnostic inspections form a separate report/contract and cost. Limited visual appraisal does not indicate full inspection and is regarded as concealed.

Searches which are normally carried out by the conveyancer are not included in this report.

Sewerage diagrams and construction drawings must be supplied prior to the inspection if examination is required. No departure or breach of codes will be reported on unless as so specified on the report booking sheet for any item within a Special Purpose Property Inspection and Report under clause 4.3 of A S 4349.2 - 1995.

### **CRITICAL INFORMATION TO APPLICANT**

The applicant should at all times, be aware that this report serves as a visual report only unless otherwise stated as a diagnostic investigation. The disclaimers as stated under the conditions of this report on

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previous pages cover the applicant in so far as the inspection request that are applicable under Clause 4.2 of Australian Standards 4349.2

If at any time the applicant requires a further upgrading of this report or an addendum to this report, then a new application form would normally be applicable

Should the applicant require any further diagnostic drawings, specifications and/or consider that any matters arising out of the report, then a further application and report would be applicable

The Consultant does not assume any liability for omissions in statements made by the applicant at the building site and/or at the time of application which may have an impact or effect on statements made within this report. Should the applicant wish to vary a statement and/or make an alteration to any particular within the report, then such alteration would be required to be conveyed to the Consultant in writing. Any such variation or alteration to the report may be the subject of re-application

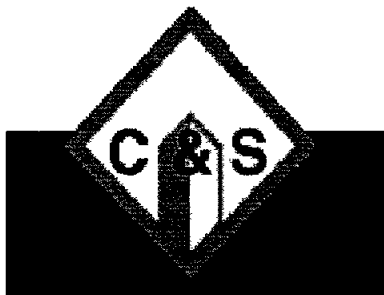
These special notes, as listed below, will assist you in understanding some of the technical difficulties which inspection services may be restricted to from time to time. At the time of inspection and/or application, please ensure the following have been attended to and/or state that you require them to be reported on

- 1      Ensure that buildings allow access to all structural members for easy inspections
- 2      A follow up inspection of concealed areas would be advisable (after access has been provided)
  
- 3      Asbestos is found in materials such as 'A.C.' (fibro), vinyl tiles, vinyl sheeting, linoleum tiles, linoleum sheeting, asbestos insulation, asbestos pipe lagging, vermiculite, and where such materials are found care must be taken in their removal (see O.H. & S., Section 16.2, item 3.5 of the Asbestos Code of Practice and guidance notes)

Proprietor/Consultant

Signature





## **Civil & Structural Engineering Design**

**Services Pty. Ltd**

ABN 62 051 307 852

3 Wanniti Road  
BELROSE NSW 2085

Tel 9975 3899

1<sup>st</sup> September 2010

Skinner & Champion  
C/- Mark Jackson

#D-10-23076

Dear Sir & Madam,

Re Alterations & Additions at 114 Whale Beach Road, Whale Beach

Dilapidation Surveys – Nos 112 Whale Beach Road, Whale Beach

I, Edward A Bennett, practicing Civil, Structural, Environmental & Geotechnical Engineer confirm that we have inspected the above properties on the 28<sup>th</sup> August 2010, for the purpose of identifying any structural cracking or problems associated with the existing properties above, all as required by Council Conditions in preparation for the construction certificate for the above project. This inspection was carried out in the presence of the owner. An arrangement had been made to interview the owner at this time however no one was present so internal access was unavailable and a photographic record of the external aspects were taken, with the object of following up with another date for the internal inspection.

This was a visual inspection only and includes a digital photographic record. Refer *APPENDIX 1*. Photographs taken are available to any concerned party on diskette subject to the approval by you. This report is not to be misread as a statement of the condition of Properties surveyed, nor used for any other purpose other than as a record of the condition of the Property or parts only of the property on this date (refer special conditions above), however, it has been limited as described above. This was intended to be a brief survey highlighting obvious items and is not to be misread as an exhaustive or forensic study.

### **OBSERVATIONS**

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Refer appendix 'A'

As observed the dwelling structure was a single storey timber framed building on brick foundations

Several areas of cracked brickwork was observed indicating some differential settlement problems possibly due to the foundations residing on reactive clay

This dwelling appears in a condition of poor maintenance with a potentially dangerous brick retaining wall at the roadway entrance staircase at risk of collapse

Yours faithfully,



E A Bennett M I E Aust CPE - NPER 198230, AGS, BPB 0820

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**CURRICULUM VITAE OF EDWARD BENNETT**

Personal information	3 Wanniti Road, Belrose NSW 2085 Managing director of Civil & Structural – 0407753899 Married to June Brooks - Company Secretary
Personal Information	Nationality Australian Age 64 years Place of Birth Sydney
Education	1954 - 1960 Leaving Certificate Sydney, NSW, then Bachelor of Science (Technology) in Civil Engineering UNI of NSW 1967
Professional experience	Since 1972 Member of the Institution Engineers Australia Chartered professional Engineer NPER 198230 Registered professional Engineer Qld No 4541 Registered professional Engineer NT No 38496ES Registered professional Engineer VIC No EC25923
Additional professional activities	Member of Australian Geomechanics Society Member of ACDC - Alternative disputes resolution & Expert Witness Geotechnical Assessments Swimming Pool Expert for SPASA
Professional memberships	Director of Board of Roseville Lawn Tennis Club
Community activities	Member of Lions Club of Frenchs Forest  Past Director Swimming Pool & Spa Association NSW Mediator DFT
Business Activities	Currently Managing Director - Civil and Structural Design Services Pty Ltd ABN 62 051 307 852

**Education**

- In 1967 I obtained a Bachelor of Science (Technology) in Civil Engineering from the  
University of NSW

**Professional Associations**

- 
- Since 1972 I have been a member of the Institution Engineers Australia
  - I am a chartered Professional Engineer NPER3 No 198230
  - I am a member of the Australian Geomechanics Society
  - Since 2001 I have been a member of the Swimming Pool & Spa Association of New South Wales and in 2002 I was a director of that organisation
  - I have attained experience as a mediator when Building Services were a separate entity from the DFT and I am currently registered with the expert witnesses association
  - I am registered in Queensland RPEQ 4541, The Northern Territory 38496ES and Victoria EC 25923

#### **Professional experience**

- 1961 - 1968 Public Service as a cadet engineer and then a graduate engineer with the MWS&DB, now Sydney Water, having been awarded my degree by part-time studies at the Uni of NSW in 1967
  - 1968 – 1978 I worked for Auscenco, Graham Evans, James Wallace, Christie Excavations and Hughes Bros as a Project Manager in the Civil and Building Construction I gained knowledge and experience from these employers always in a supervisory role from 1968 to 1978, whereupon after this period, I decided to become self employed and started a civil and building company
  - In 1979, I decided to commence a Civil Engineering and Building Company based on my past experience in contracting I sought out smaller civil & commercial works and buildings under contract and was successful on several public works department projects as an accredited contractor In 1983, I launched my company into the domestic building area and completed many new dwellings, alterations & additions and swimming pools and decided to cease building operations during the 1985 recession period
  - In 1985 – 1987, under contract, I became the structural engineer for one of the leading swimming Pool companies at the time, Crystal Pools, then at Thornleigh
  - From 1987 under Ted Bennett & Associates I worked for many other growing companies in the building and swimming pool industries as their consulting engineer
-

---

and assisted in transitioning a supplier of above-ground pools into design and constructing reinforced concrete pools, who have become the largest swimming pool in the Southern Hemisphere - Blue Haven Pools

- From 1991 up until the present having formalised my roles from contractor to designer, opening a registered company in 1991 and have operated since then as sole director of Civil & Structural Engineering Design Services Pty Ltd. Currently, we are operating strongly within the Sydney area and extending as far north as Port Stephens and south to Canberra on all types civil and structural design detailing for Domestic, Commercial Building and Civil Engineering Projects
- More recently, my endeavours have taken me into other areas outside NSW and now I have experienced working in Queensland, Northern Territory, Victoria and Western Australia through client networking in these other areas
- I am the Reference Engineer for EPC of Queensland involving the use of Macro Fibres as an alternative to reinforcing steel in concrete structures
- I am the Reference Engineer for ECO-BLOCK (ICF) Building construction


#### REFEREES

Ray Awadallah – Manager BHP - 0297280444

Bill King – Builder - 0407 285641

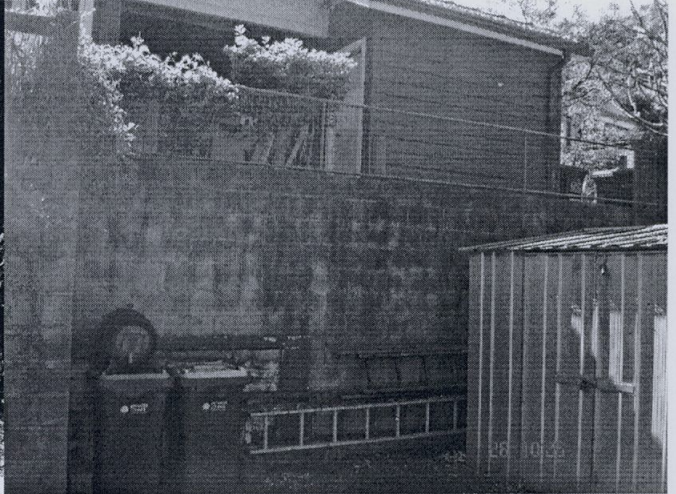
Paul Cleveland – Manager EPC – 1300 131 158

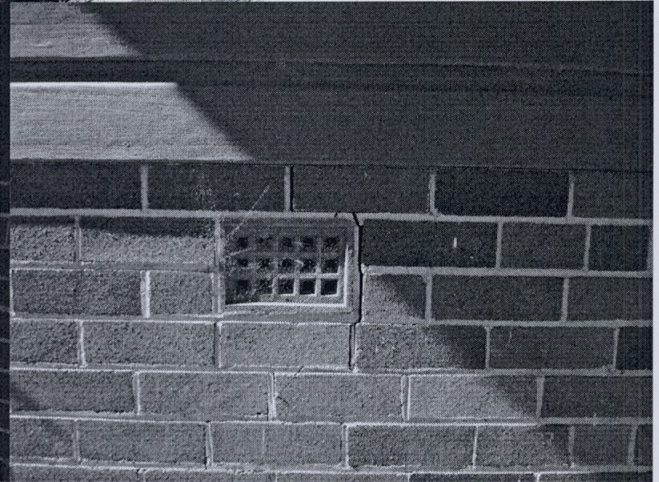
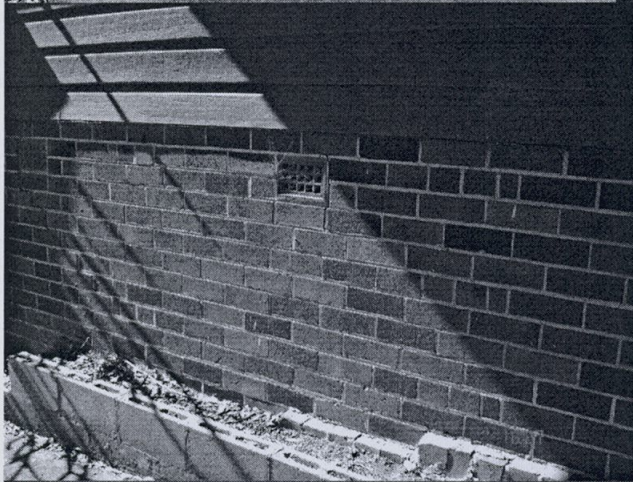
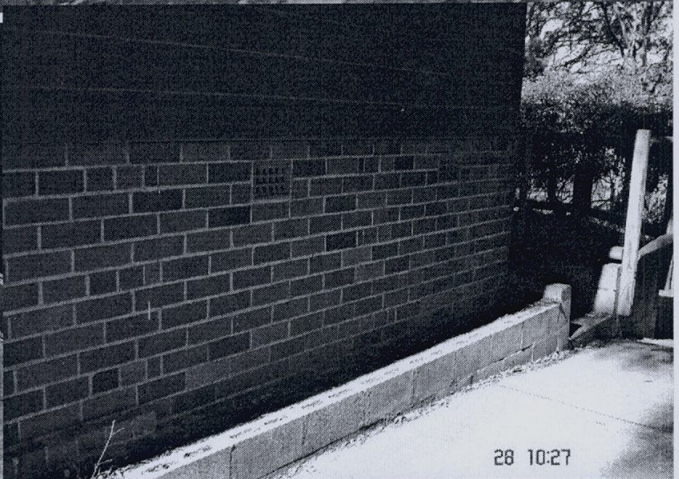
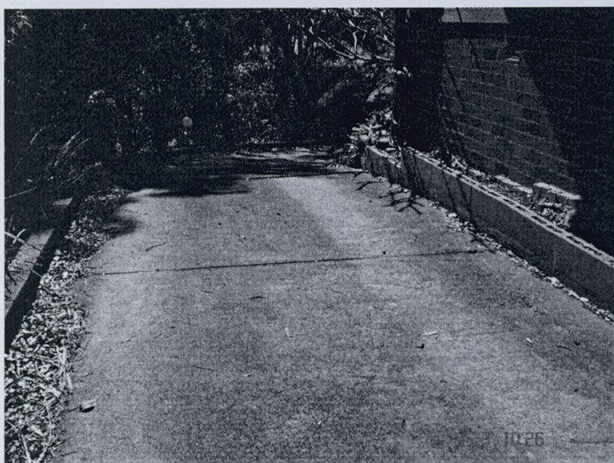
Steve Fava – Manager Eco-Block - 0418 248 323

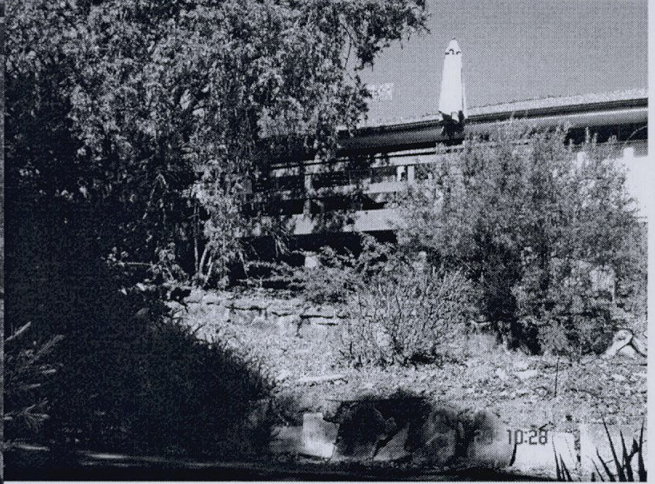
Yours faithfully, 

E A Bennett M I E Aust CPE - NPER 198230 AGS

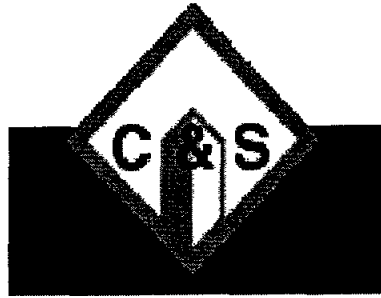
## APPENDIX 1











**CIVIL AND STRUCTURAL  
ENGINEERING DESIGN SERVICES  
PTY LTD**

**SPECIAL PURPOSE PROPERTY  
INSPECTION REPORT**

**Australian Standard 4349 2**

THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

<b>Client</b>	<b>Skinner &amp; Champion</b>
<b>Project Address</b>	<b>114 Whale Beach Road Whale Beach</b>

---

## **SPECIAL CONDITIONS OF REPORT/INSPECTION SERVICES BY CIVIL AND STRUCTURAL ENGINEERING DESIGN SERVICES PTY LTD**

This report is based on a visual inspection only, and is given in good faith. This report is a technical report only where indicated as a Special Purpose, Property Inspection Report (which excludes pre purchase inspection reports and all other items excluded by specific indication in compliance with clause 4.3 of A S 4349.2 – 1995). In respect of this report the Consultant shall be liable only to the applicant and only for negligence of the Consultant, otherwise the Consultant does not accept liability for any error in or omission from the report.

This Report does not include a valuation and is not intended to give any indication as to compliance or otherwise with Ordinances made pursuant to the Local Government Act and/or the Building Code of Australia 1994 and or specific sizes of any component in the structure (unless otherwise stated).

This report is provided for the private and confidential use of the above mentioned applicant only and should not be used or relied upon by any other person. THE REPORT IS SUBJECT TO COPYRIGHT, and the applicant is warned against any use which constitutes a breach of this copyright.

No Estimated costs will be given in this report for repairs and/or renewing.

The visual inspection of the property will not include frame, joinery or other components of the structure which are covered, unexposed or inaccessible. Therefore, the Consultant cannot report that any such part of the property is free from defect or termite attack or any structural impairment nor non-compliance of codes and is not liable as such.

Inspection for dampness is visual and moisture meters are not required. The Consultant is not responsible for concealed dampness that is not evident at the time of inspection, nor notified of prior to contract.

If it is suspected that asbestos or toxic substances exist, entry into certain areas will not be made (Please see Occupational Health and Safety Act and Code of Practice).

Access which is not in accordance with the Occupational Health and Safety Act will be classified as no access.

There is no visual inspection below ground level. Diagnostic inspections form a separate report/contract and cost. Limited visual appraisal does not indicate full inspection and is regarded as concealed.

Searches which are normally carried out by the conveyancer are not included in this report.

Sewerage diagrams and construction drawings must be supplied prior to the inspection if examination is required. No departure or breach of codes will be reported on unless as so specified on the report booking sheet for any item within a Special Purpose Property Inspection and Report under clause 4.3 of A S 4349.2 - 1995.

### **CRITICAL INFORMATION TO APPLICANT**

The applicant should at all times, be aware that this report serves as a visual report only unless otherwise stated as a diagnostic investigation. The disclaimers as stated under the conditions of this report on

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previous pages cover the applicant in so far as the inspection request that are applicable under Clause 4 2 of Australian Standards 4349 2

If at any time the applicant requires a further upgrading of this report or an addendum to this report, then a new application form would normally be applicable

Should the applicant require any further diagnostic drawings, specifications and/or consider that any matters arising out of the report, then a further application and report would be applicable

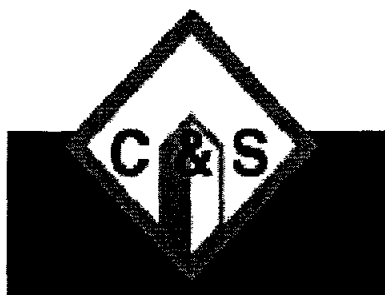
The Consultant does not assume any liability for omissions in statements made by the applicant at the building site and/or at the time of application which may have an impact or effect on statements made within this report. Should the applicant wish to vary a statement and/or make an alteration to any particular within the report, then such alteration would be required to be conveyed to the Consultant in writing. Any such variation or alteration to the report may be the subject of re-application

These special notes, as listed below, will assist you in understanding some of the technical difficulties which inspection services may be restricted to from time to time. At the time of inspection and/or application, please ensure the following have been attended to and/or state that you require them to be reported on

- 1        Ensure that buildings allow access to all structural members for easy inspections
- 2        A follow up inspection of concealed areas would be advisable (after access has been provided)
  
- 3        Asbestos is found in materials such as 'A C ' (fibro), vinyl tiles, vinyl sheeting, linoleum tiles. linoleum sheeting, asbestos insulation, asbestos pipe lagging, vermiculite, and where such materials are found care must be taken in their removal (see O H & S , Section 16 2, item 3 5 of the Asbestos Code of Practice and guidance notes)

Proprietor/Consultant

Signature 



## **Civil & Structural Engineering Design**

**Services Pty. Ltd** ABN 62 051 307 852

3 Wanniti Road  
BELROSE NSW 2085

Tel 9975 3899

1<sup>st</sup> September 2010

Skinner & Champion  
C/- Mark Jackson

#D-10-23076

Dear Sir & Madam,

Re Alterations & Additions at 114 Whale Beach Road, Whale Beach

Dilapidation Surveys – Nos 116 Whale Beach Road, Whale Beach

I, Edward A Bennett, practicing Civil, Structural, Environmental & Geotechnical Engineer confirm that we have inspected the above properties on the 28<sup>th</sup> August 2010, for the purpose of identifying any structural cracking or problems associated with the existing properties above, all as required by Council Conditions in preparation for the construction certificate for the above project. This inspection was carried out in the presence of the owner. External access was available at the time.

This was a visual inspection only and includes a digital photographic record. Refer *APPENDIX 1*. Photographs taken are available to any concerned party on diskette subject to the approval by you. This report is not to be misread as a statement of the condition of Properties surveyed, nor used for any other purpose other than as a record of the condition of the Property or parts only of the property on this date (refer special conditions above), however, it has been limited as described above. This was intended to be a brief survey highlighting obvious items and is not to be misread as an exhaustive or forensic study.

### ***OBSERVATIONS***

Refer appendix 'A'

As observed the dwelling structure was a single storey timber framed building on brick foundations with a suspended concrete balcony

The building was in good condition with only minor cracking to brickwork indicating some movement possibly due to the foundations residing on reactive clay overlying rock

Yours faithfully,



E A Bennett M I E Aust CPE - NPER 198230, AGS, BPB 0820

#### **CURRICULUM VITAE OF EDWARD BENNETT**

Personal information 3 Wanniti Road, Belrose NSW 2085

Managing director of Civil & Structural – 0407753899

Married to June Brooks - Company Secretary

Personal Information	Nationality Australian Age 64 years Place of Birth Sydney
Education	1954 - 1960 Leaving Certificate Sydney, NSW, then Bachelor of Science (Technology) in Civil Engineering UNI of NSW 1967
Professional experience	Since 1972 Member of the Institution Engineers Australia Chartered professional Engineer NPER 198230 Registered professional Engineer Qld No 4541 Registered professional Engineer NT No 38496ES Registered professional Engineer VIC No EC25923
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Bill King – Builder - 0407 285641

Paul Cleveland – Manager EPC – 1300 131 158

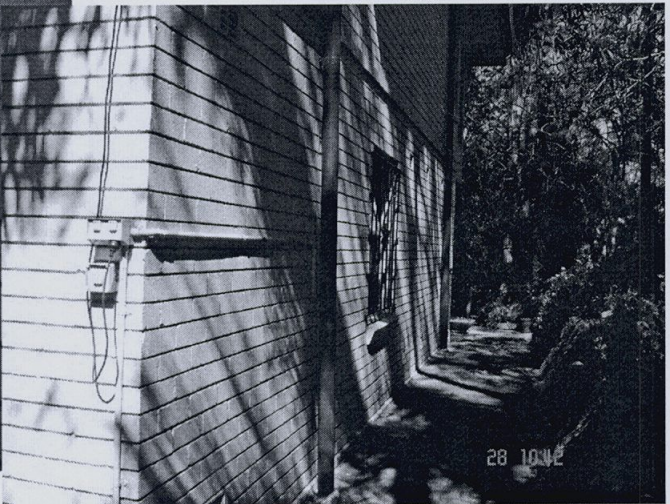
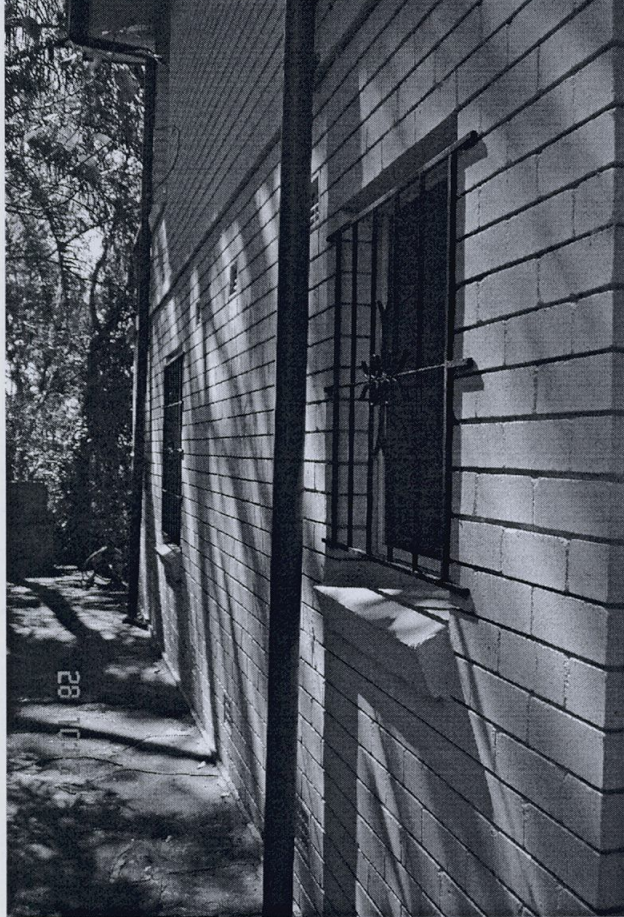
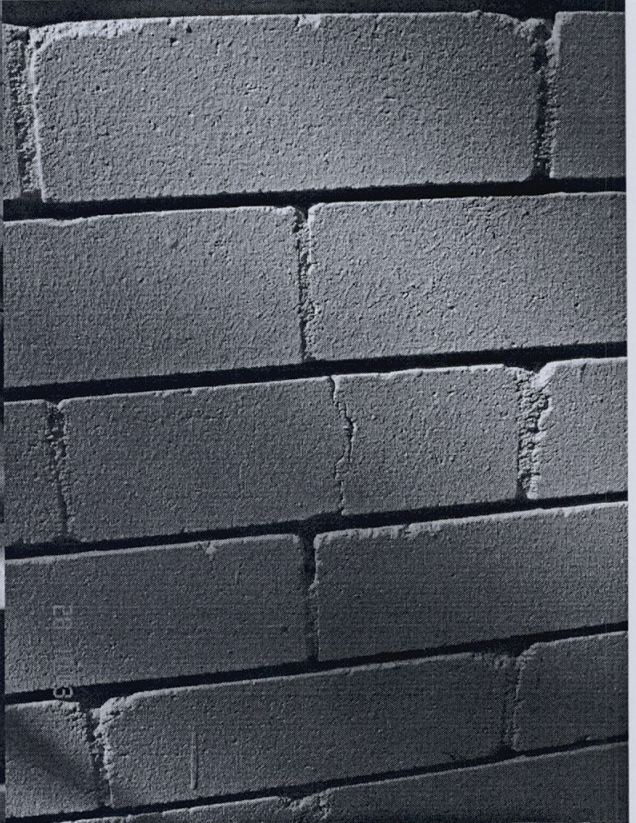
Steve Fava – Manager Eco-Block - 0418 248 323

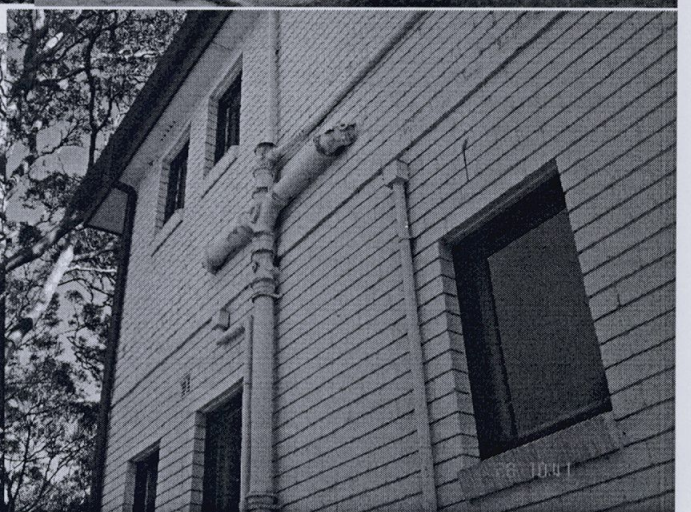
Yours faithfully, 

E A Bennett M I E Aust CPE - NPER 198230 AGS

APPENDIX 1







Levy Online Payment Receipt



Thank you for using our Levy Online payment system Your payment for this building application has been processed

Applicant Name	FIONA CHAMPION
Levy Application Reference	5008068
Application Type	DA
Application No	0391/09
Local Government Area/Government Authority	PITTWATER COUNCIL
Site Address	114 WHALE BEACH ROAD
	WHALE BEACH
	NSW
	2107
Value Of Work	\$1,200,000
Levy Due	\$4,200
Levy Payment	\$4,200
Online Payment Ref	597828945
Payment Date	2/09/2010 9 48 49 AM

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PART OF FORM BUILDING  
CERTIFIERS CC / CDC

**SCHEDULE OF EXTERNAL COLOURS AND MATERIALS**

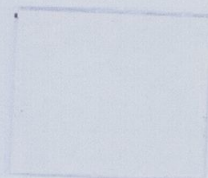
**114 WHALE BEACH ROAD, WHALE BEACH**

**FOR KEITH SKINNER AND FIONA CHAMPION**

**AUGUST 2009**

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CERTIFIERS CC / CDC

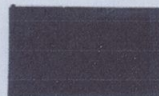
**CEMENT RENDERED/ PAINTED WALLS  
HOUSE GENERALLY  
RESENE 'AQUASHIELD'  
HALF SPANISH WHITE 9YO25**



**CEMENT RENDERED/ PAINTED WALLS  
POOL, LOWER GROUND FLOOR  
RESENE 'AQUASHIELD'  
TALISMAN 3B091**



**ALUMINIUM WINDOWS  
Dulux "Woodland Grey"  
powdercoating**



**FASCIAS AND TRIM  
RESENE 'AQUASHIELD'  
DIESEL 1GR21**

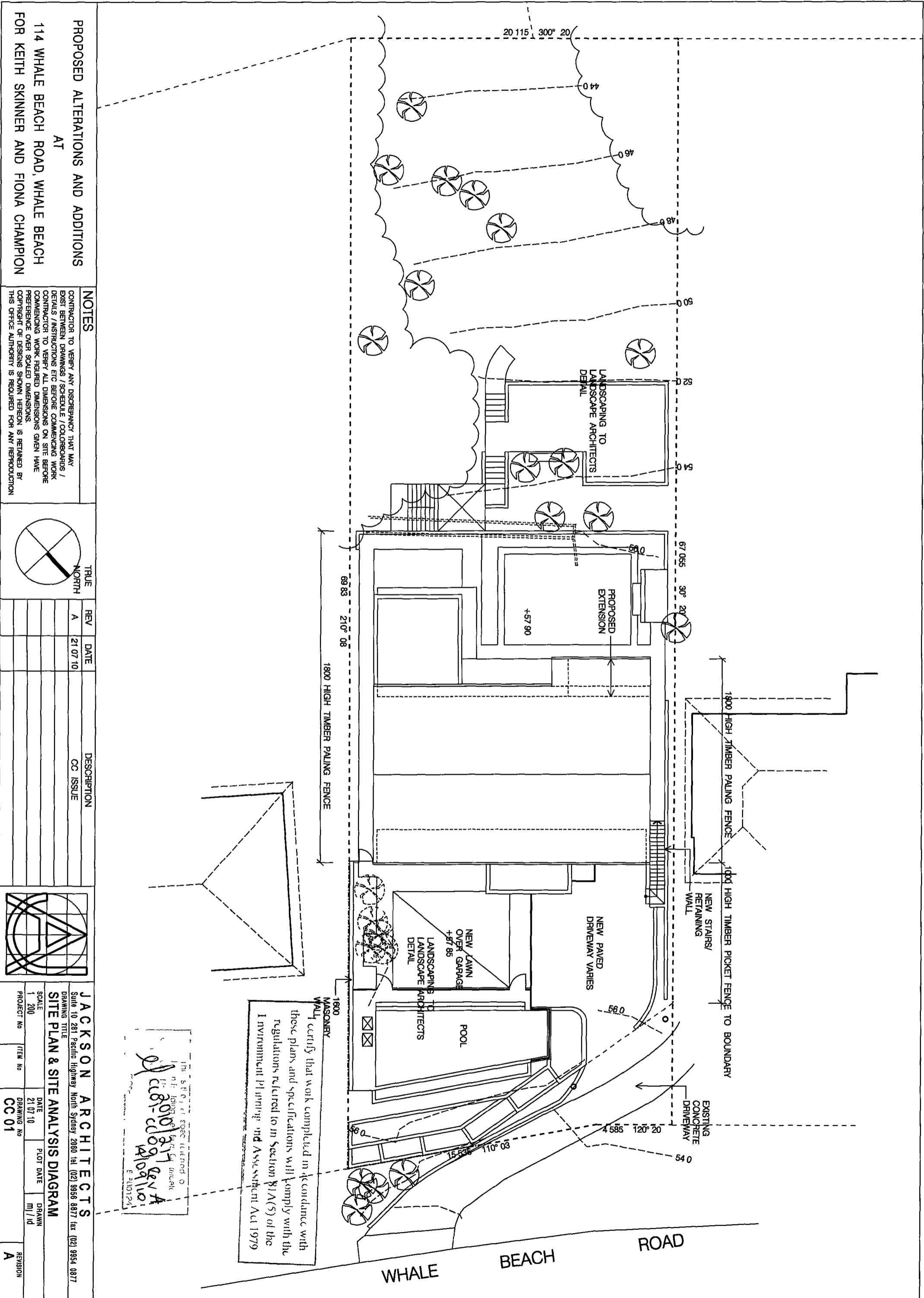


**FEATURE FIN WALL  
Sandstone facing**

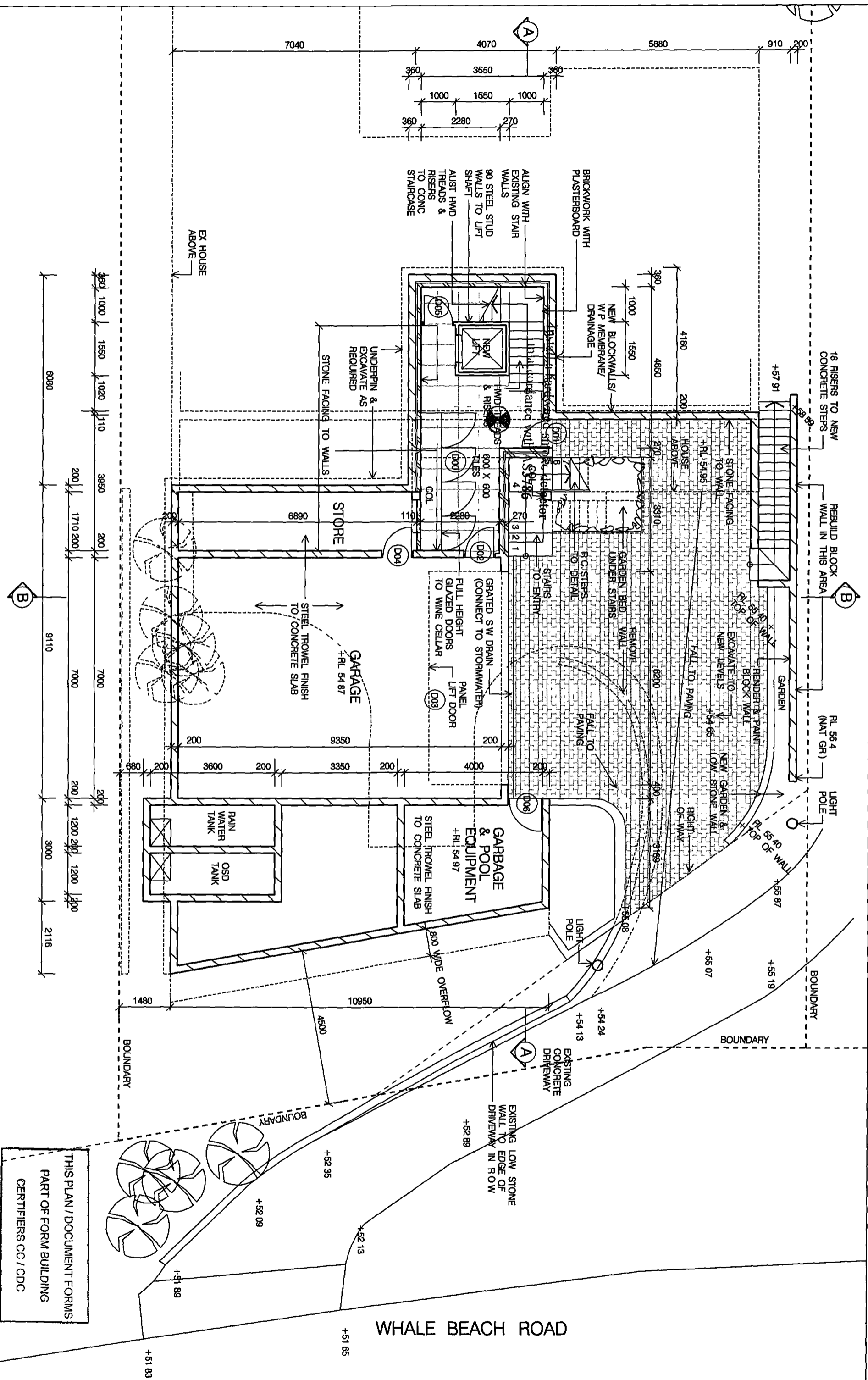












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NOTES

CONTRACTOR TO VERIFY ANY DISCREPANCY THAT MAY  
EXIST BETWEEN DRAWINGS / SCHEDULE / COLORBOARDS /  
DETAILS / INSTRUCTIONS ETC BEFORE COMMENCING WORK.  
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK FIGURED DIMENSIONS GIVEN HAVE  
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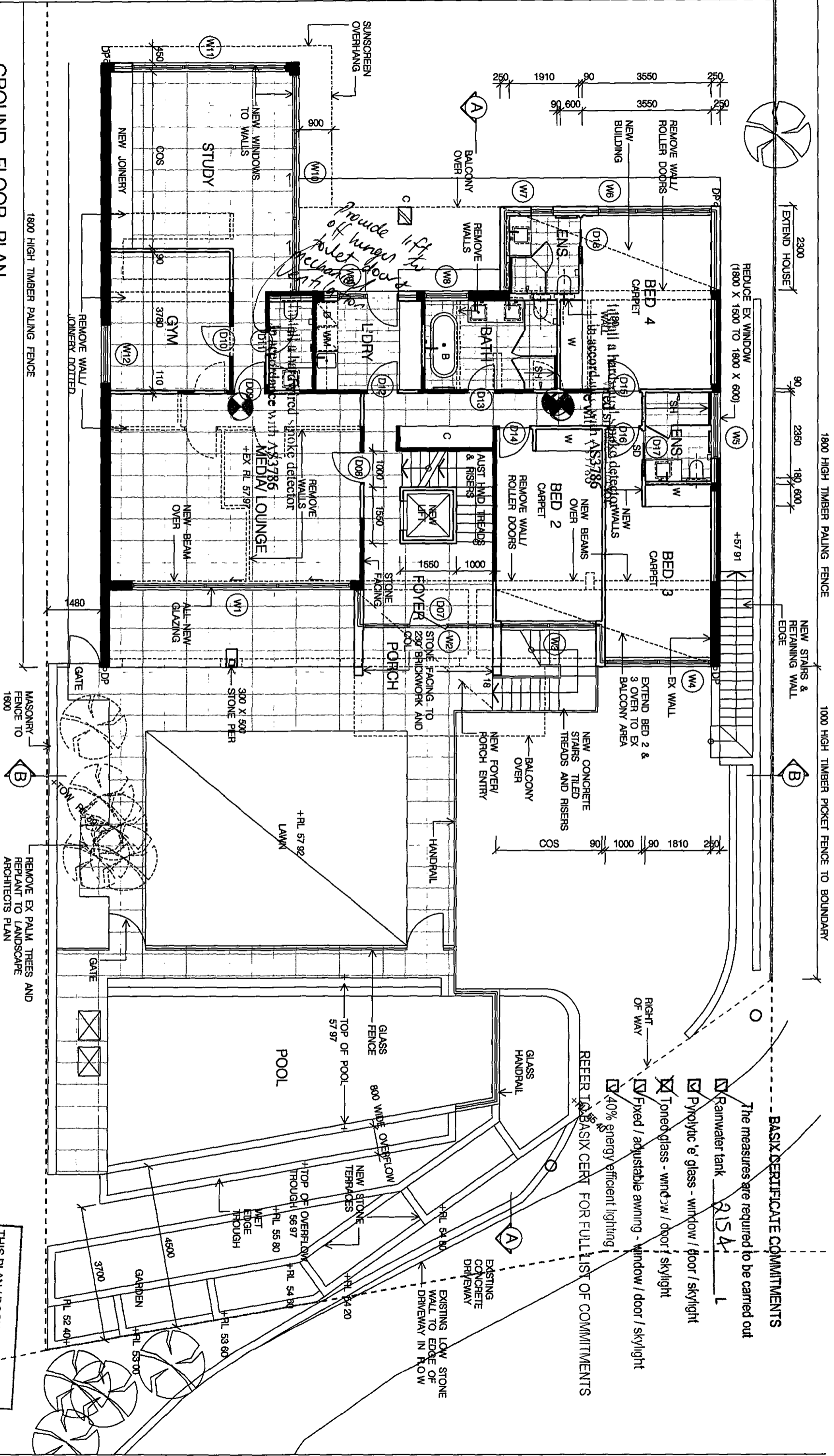
PROPOSED ALTERATIONS AND ADDITIONS

AT  
114 WHALE BEACH ROAD, WHALE BEACH  
FOR KEITH SKINNER AND FIONA CHAMPION

TRUE	REV	DATE	DESCRIPTION
NORTH	A	21 07 10	CC ISSUE

JACKSON ARCHITECTS  
Suite 10 281 Pacific Highway North Sydney 2060 tel (02) 9936 8877 fax (02) 9954 0877

DRAWING TITLE			
LOWER GROUND FLOOR PLAN			
SCALE	DATE	PLAT DATE	DRAWN
1 100	21 07 10		ml / id
PROJECT NO	ITEM NO	DRAWING NO	REVISION
		CC 03	A



GROUND FLOOR PLAN

PROPOSED ALTERATIONS AND ADDITIONS

AT  
114 WHALE BEACH ROAD, WHALE BEACH  
FOR KEITH SKINNER AND FIONA CHAMPION

NOTES

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TRUE NORTH

REV	DATE	DESCRIPTION
A	21.07.10	CC ISSUE

JACKSON ARCHITECTS

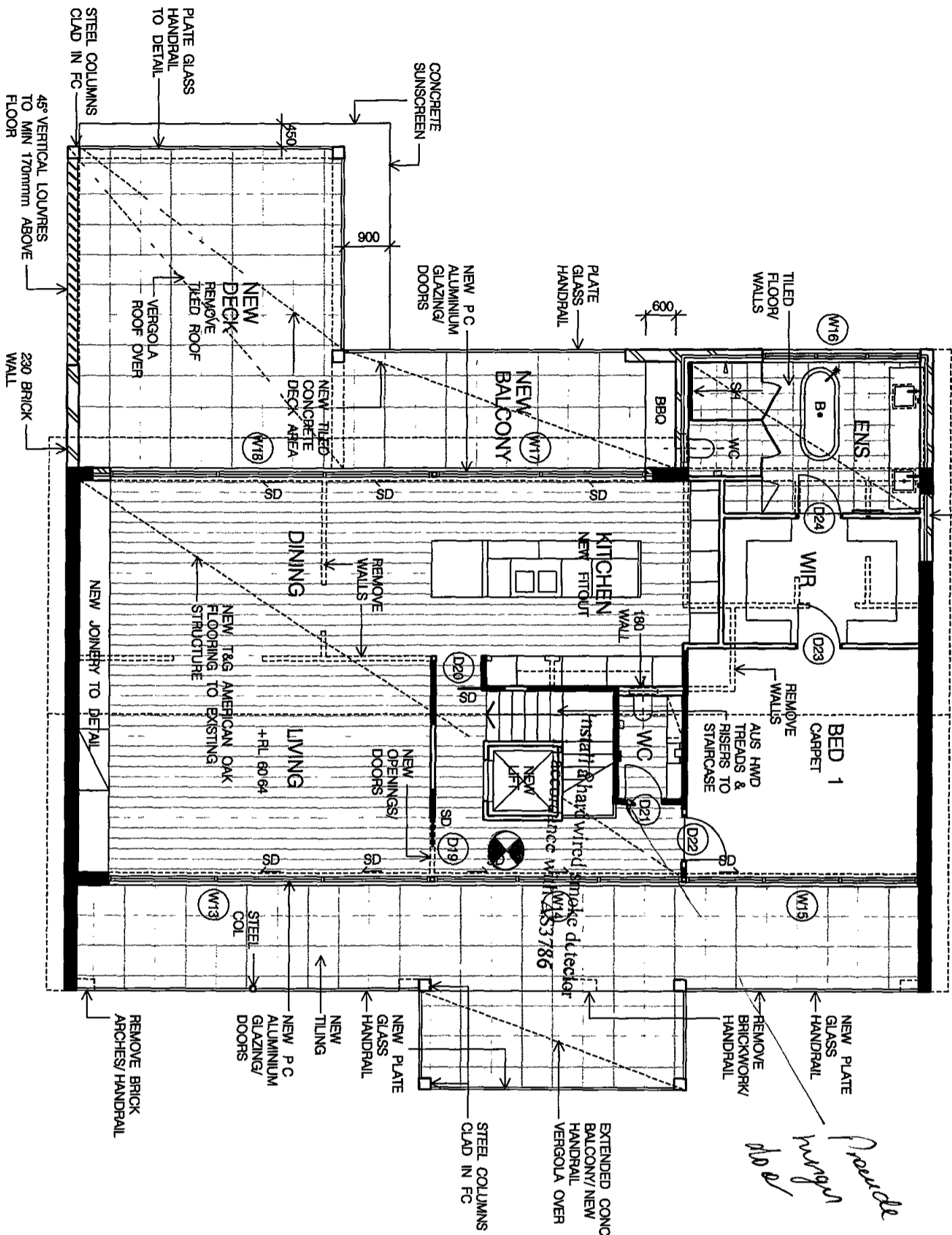
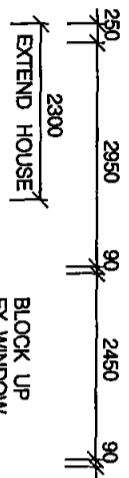
Suite 10 281 Pacific Highway North Sydney 2060 Tel: (02) 9956 8877 Fax: (02) 9954 0877

GROUND FLOOR PLAN

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PROJECT NO.	ITEM NO.	DRAWING NO.		
		CC 04		

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CERTIFIERS CC / CDG

- BASIX CERTIFICATE COMMITMENTS**
- The measures are required to be carried out
- ☒ Rainwater tank 2154 L
  - ☒ Polytronic glass - window / door / skylight
  - ☒ Toned glass - window / door / skylight
  - ☒ Fixed / adjustable awning - window / door / skylight
  - ☒ 40% energy efficient lighting
- REFER TO BASIX CERT FOR FULL LIST OF COMMITMENTS



*Provide lift off  
wings  
p.d.o*

BASIX CERTIFICATE COMMITMENTS

The measures are required to be carried out

- ☒ Rainwater tank 2154 1
- ☒ Pyrolytic 'e' glass - window / door / skylight
- ☒ Toned glass - window / door / skylight
- ☒ Fixed / adjustable awning - window / door / skylight
- ☒ 40% energy efficient lighting

REFER TO BASIX CERT FOR FULL LIST OF COMMITMENTS

FIRST FLOOR PLAN

THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

PROPOSED ALTERATIONS AND ADDITIONS

AT  
114 WHALE BEACH ROAD, WHALE BEACH  
FOR KEITH SKINNER AND FIONA CHAMPION

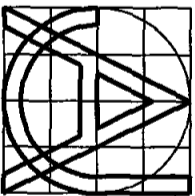
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TRUE  
NORTH

REV  
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DATE  
21 07 10

DESCRIPTION  
CC ISSUE



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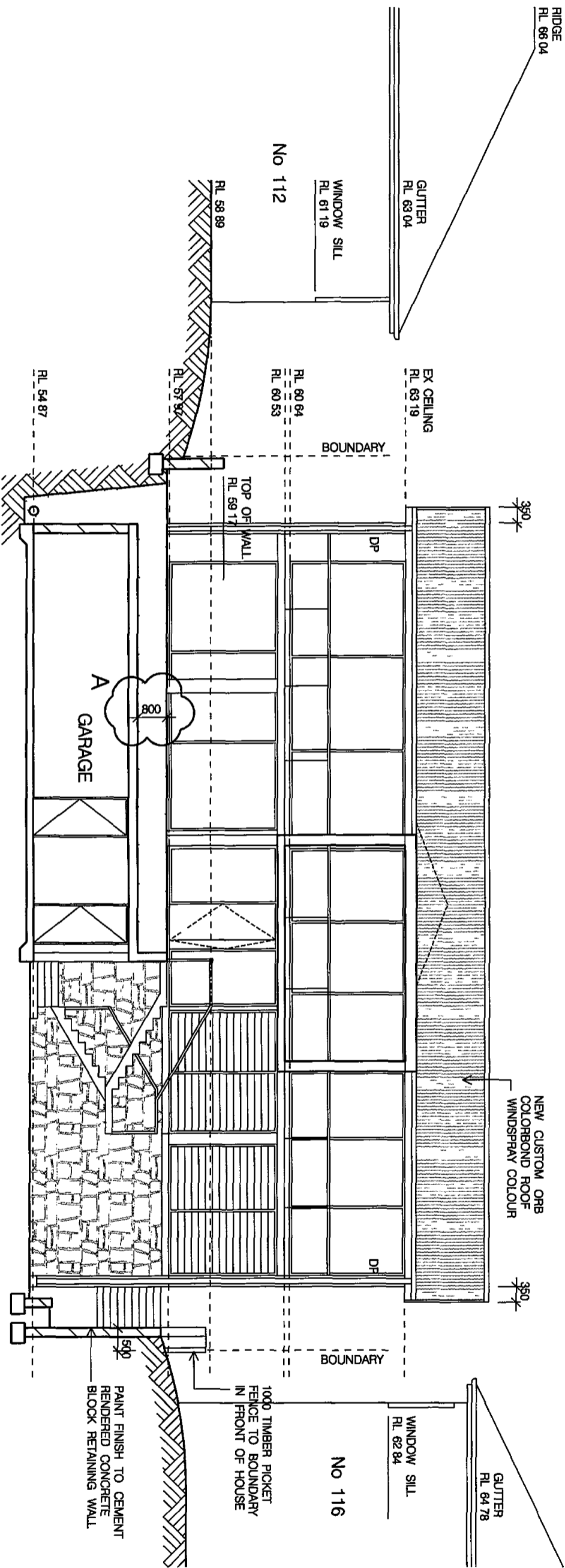
Suite 10 281 Pacific Highway North Sydney 2060 Tel: (02) 9956 8877 Fax: (02) 9954 0877

DRAWING TITLE  
FIRST FLOOR PLAN

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PROJECT NO	ITEM NO	DRAWING NO		
		CC 05		A





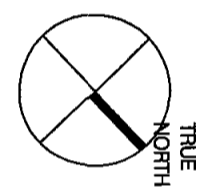


SECTION BB

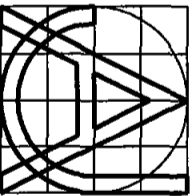
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Suite 10 261 Pacific Highway North Sydney 2060 tel: (02) 9956 8877 fax: (02) 9954 0877

DRAWING TITLE  
SECTION

SCALE  
1:100

PROJECT No

ITEM No

DATE  
21 07 10

PLOT DATE

DRAWN  
MJ / ID

REVISION  
A

DRAWING No  
CC 09



GENERAL NOTES

1. THESE NOTES SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER GENERAL NOTES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1. CONCRETE	100	m <sup>3</sup>	100	10000
2. REINFORCEMENT	100	m <sup>3</sup>	100	10000
3. FORMWORK	100	m <sup>2</sup>	100	10000
4. BRICKWORK	100	m <sup>3</sup>	100	10000
5. ROOFING	100	m <sup>2</sup>	100	10000
6. PAINTING	100	m <sup>2</sup>	100	10000
7. GLAZING	100	m <sup>2</sup>	100	10000
8. FLOORING	100	m <sup>2</sup>	100	10000
9. WALLING	100	m <sup>2</sup>	100	10000
10. CEILING	100	m <sup>2</sup>	100	10000

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CONTRACT.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CONTRACT.
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9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CONTRACT.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CONTRACT.

THIS PLAN / DOCUMENT FORMS PART OF FORM BUILDING & STRUCTURAL ENGINEERING CERTIFIERS CC / QDD DESIGN SERVICES PTY LTD

KEITH SKINNER & FIONA CHAPMAN  
STRUCTURAL DETAILS OF ALTERATIONS  
114 WHALE BEACH ROAD  
WHALE BEACH

DESIGNED BY: DVS  
CHECKED BY: E A BENNETT MIE AUST  
DATE: 18/01/2010

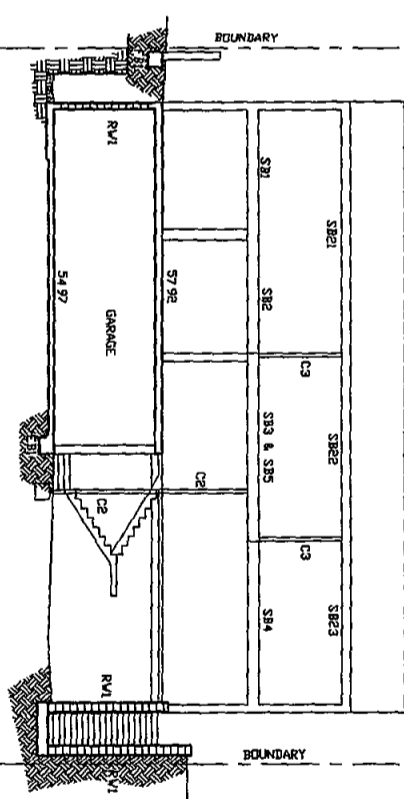
AS SHOWN

REGISTERED PROFESSIONAL ENGINEER (1982)  
MR EDWARD A BENNETT  
114 WHALE BEACH ROAD  
WHALE BEACH  
NSW 2257

Signature: \_\_\_\_\_ Date: 18/01/2010

CHD / Remonstrated / Structural / Professional

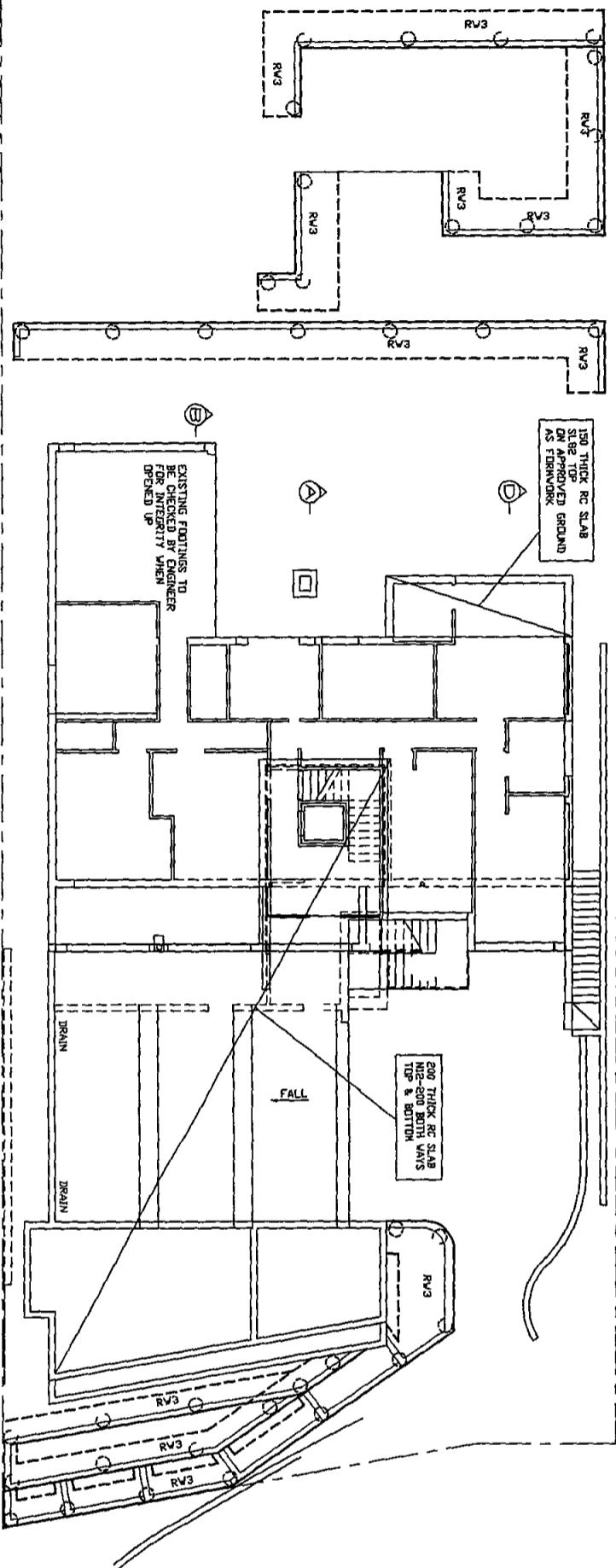
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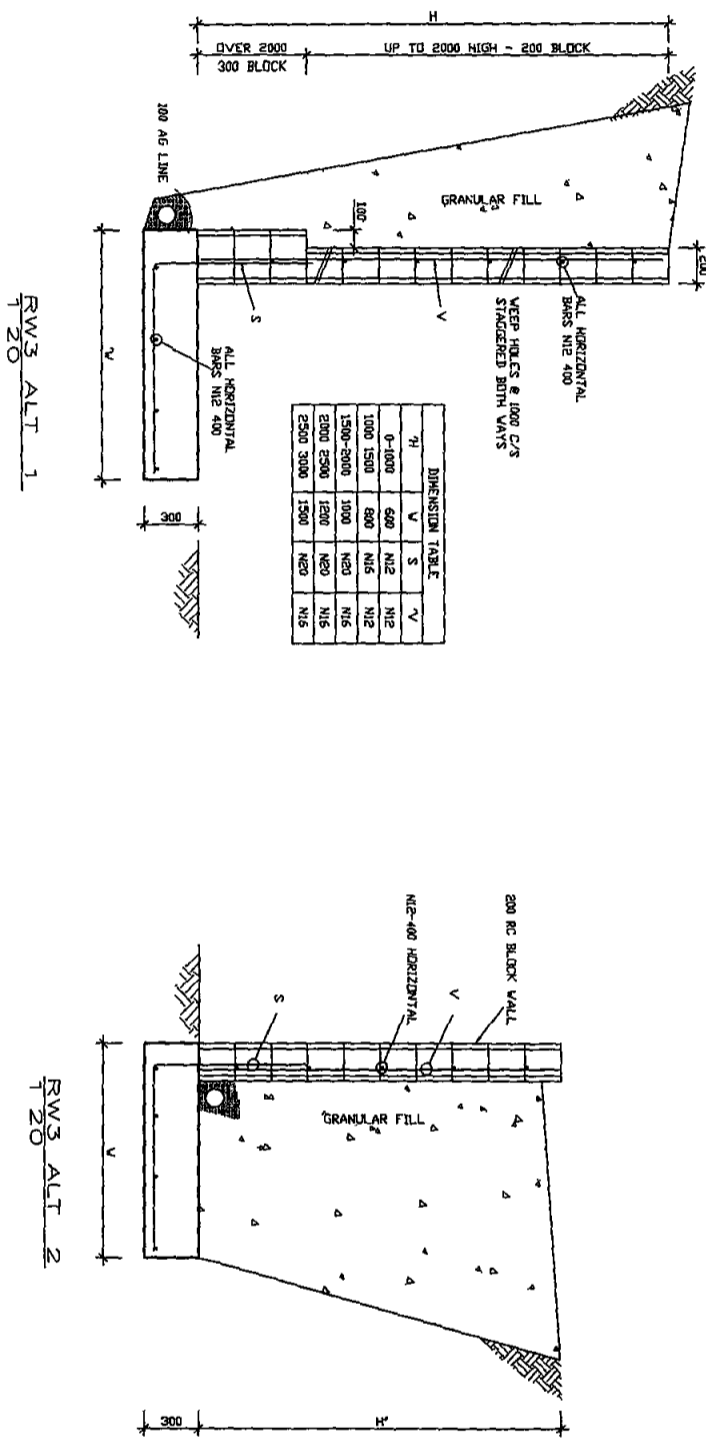
**COPYRIGHT**

## GENERAL NOTES

- [illegible]



# PLAN OF LANDSCAPING RETAINING WALLS



DIMENSION TABLE			
H	V	S	V
0-1000	600	M12	M12
1000-1500	800	M16	M12
1500-2000	1000	M20	M16

THIS PLAN / DOCUMENT FOR  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

## CIVIL &amp; STRUCTURAL ENGINEERING

**DESIGN SERVICES PTY LTD**  
A/CN 817/82

CONSULTING STRUCTURAL, CIVIL, QUANTITY & ENVIRONMENTAL ENGINEERS  
30 VICTORIA ROAD, ROBERTS CROSS

**OWNER** KEITH SKINNER & FIDINA ALPERSTEIN  
**PROJECT** STRUCTURAL DETAILS OF ALTERATION  
114 WHALE BEACH ROAD  
WHALE BEACH

**EMAIL** [info@designservices.co.za](mailto:info@designservices.co.za)  
**MOBILE** 082 753 999  
**FAX** 012 42 9975 399  
**FAX** 012 42 9975 343

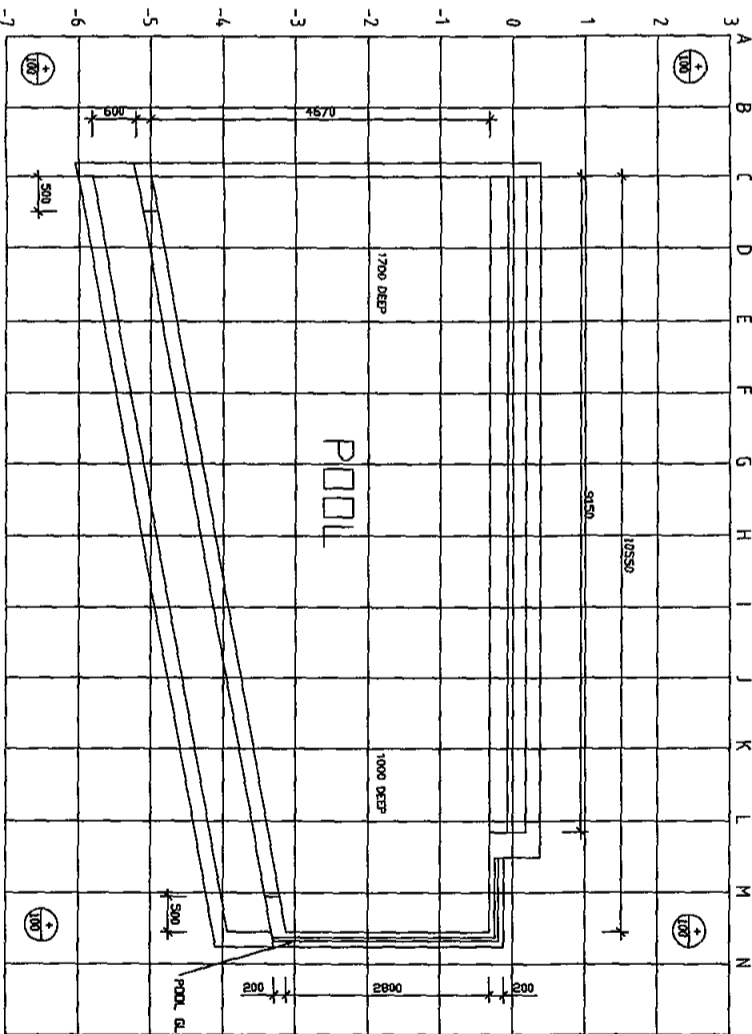
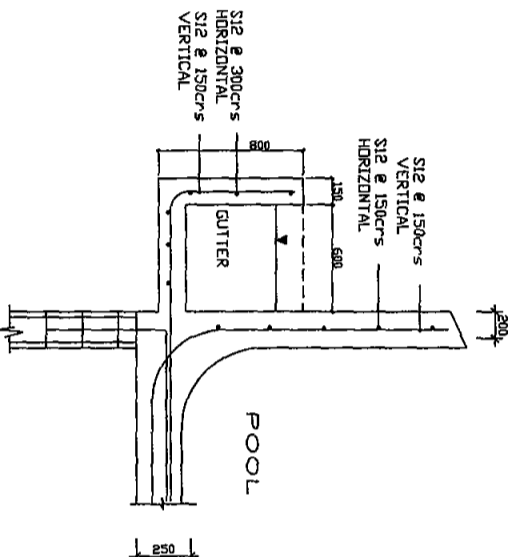
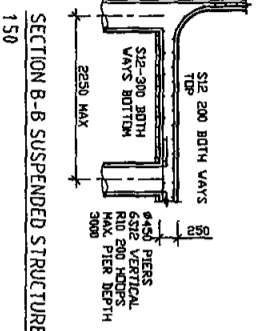
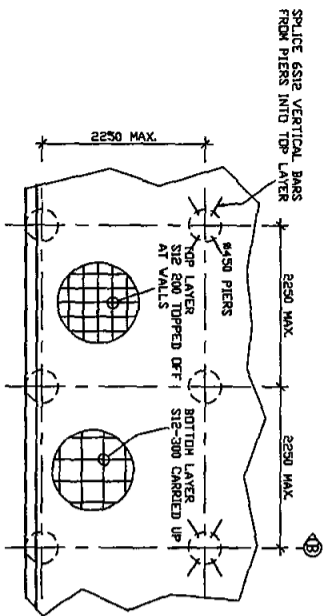
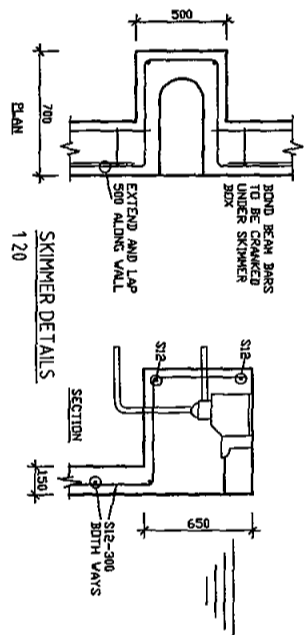
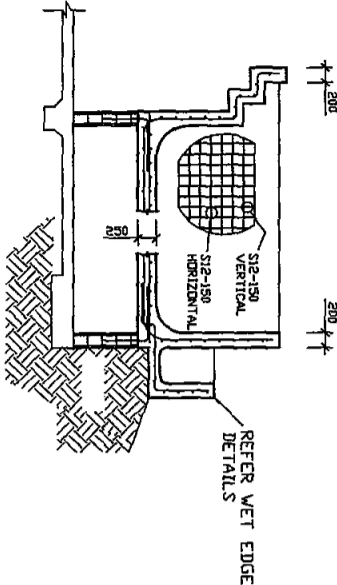
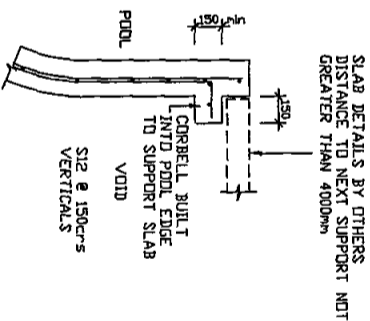
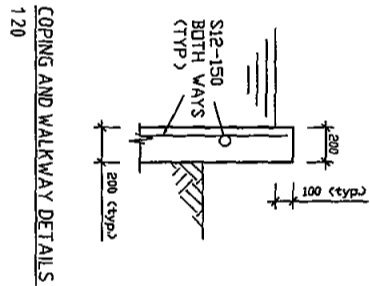
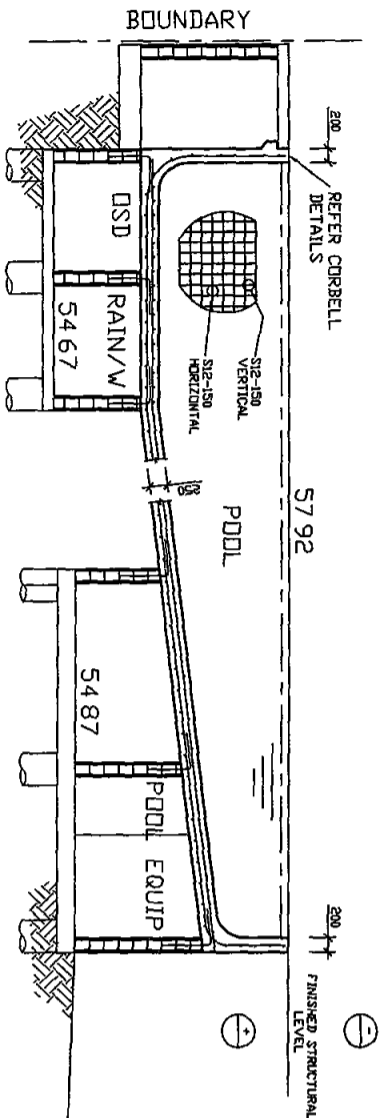
Priority	AS SHOWN
DVS	2ndary M
Contact By	S-09-22225-4)
E A BENNETT MIE AUST	Assigned
On	
18/01/2010	

Registered Professional Engineer 19823+  
Mr Edward A Bennett  
MEMBER CPENG

Signature \_\_\_\_\_ Date \_\_\_\_/\_\_\_\_/\_\_\_\_

Register on the NRE in the Category of  
Civil/Environmental/Structural/Geotechnical  
National Professional Engineers Register





LEVELS SHOWN INDICATE FINISHED STRUCTURAL LEVEL.  
ABOVE  $\odot$  OR BELOW  $\ominus$  EXISTING GROUND LEVELS

POOL VOLUME IS 5800 LITRES

POOL PLAN 150

SITE PLAN 1200

REFER TO ARCHITECTURAL DRAWINGS

#### GENERAL NOTES

- All workmanship and materials shall comply with relevant SAA codes. By laws and dimensions of the Local Building Authority.
  - The overall dimensions shall be checked on site. Dimensions shown are concrete sizes and do not include finishes. These drawings are to be read in conjunction with the Contract but not to be used as a basis for construction. The Contractor shall be responsible for any discrepancies shall be notified to the Engineer.
  - The foundation material must be stable and shall have a minimum bearing capacity of 150 kPa. Any areas of weak material shall be removed and replaced with suitable material. The Engineer shall be responsible for any discrepancies shall be notified to the Engineer.
  - Excavations shall not be permitted within 2 metres of an existing structure without prior approval or recommendations for shoring or underpinning provided by the Engineer.
  - Valleys have been designed for a distributed load of 4 kPa and a live load of 30 kg/m<sup>2</sup>. No additional loads shall be permitted without prior approval from the Engineer.
- REINFORCED CONCRETE SHELL IN ACCORDANCE WITH AS 2783-1985**
- The mix shall be proportioned to produce a minimum 28 day compressive strength of 25 MPa and suitable for pneumatic application. All workmanship and materials to be in accordance with AS 3600.
  - The use of calcium chloride as an accelerator will not be permitted without reference to the Engineer.
  - Concrete Cover shall be as per the S Swimming Pool Code.
  - Concrete shall be moist cured by means of a hand held hose approximately four times a day throughout a minimum of seven days after concrete placement. The work shall be carried out by the owner.
  - All reinforcing steel to be fixed by an approved method and supported at 1 m centres.
  - Y-demonstrates high yield bar.
  - S-demonstrates structural grade 500 deformed bar.
  - All tops to be within 500 mm unless noted otherwise.
- COPYRIGHT**
- This design and the print is the property of Edward A Bennett and must not be used or reproduced or copied wholly or in part without written permission from E. A. Bennett.
- 1200 HIGH CHILD PROOF SAFETY FENCE AND SELF LOCKING GATE REQUIREMENTS**

THIS DRAWING DOES NOT FORM PART OF ANY CONTRACT

Prepared by and for the use of  
Mr Edward A. Bennett  
MEASUREMENT  
Date 25/11/09  
Checked by  
C  
C  
C

OWNER	COUNCIL	DESIGNER	CONSTRUCT
KEITH SKINNER & EIDNA CHAPLIN 114 WHALE BEACH ROAD AT WHALE BEACH			
CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES PTY LTD 3 VICTORIA ROAD BELMORE NSW 1606	SCALE: AS SHOWN	DRAWING NO. S-09-22225-5C	CONTRACT NO.
CHECKED: EAB DATE: 13/07/2010			