

# SITE PLAN

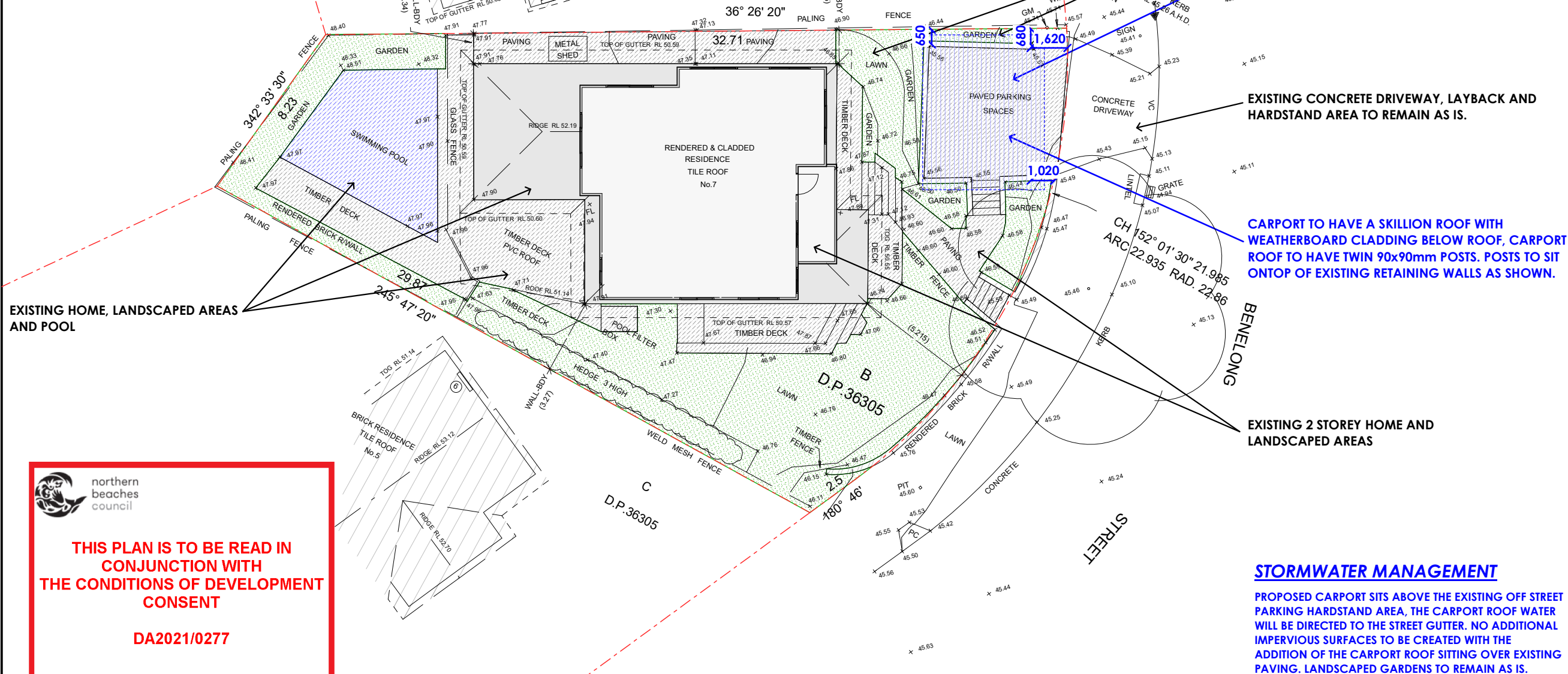
## SITE CALCULATIONS

Site area = 525.2m<sup>2</sup>  
No change to existing site conditions

Open Space (OS3) = 60% (313m<sup>2</sup>)  
No change to existing site conditions

Landscape Open Space = 35% (183m<sup>2</sup>)  
No change to existing site conditions

Private Open Space = Min 150m<sup>2</sup>



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2021/0277**

- NOTES:
1. THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY UNLESS STATED. THE LOCATION OF BUILDINGS RELATIVE TO BOUNDARIES HAS BEEN DETERMINED AND ARE SHOWN ON THE PLAN.
  2. POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
  3. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. RELEVANT AUTHORITIES ARE TO BE NOTIFIED PRIOR TO ANY DEVELOPMENT
  4. ALL DIMENSIONS ARE BY TITLE ONLY & SUBJECT TO FINAL SURVEY
  5. CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
  6. NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
  7. CONTOUR INTERVAL 0.5m MINOR 1.0m MAJOR
  8. ORIGIN OF LEVELS: PM 5392 RL 48.286 A.H.D.
  9. THE SPREAD AND HEIGHT OF TREES SHOWN ARE INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT ADDITIONAL DETAILED SURVEY.
  10. BEARINGS SHOWN ARE RELATED TO MAGNETIC MERIDIAN.

**LEGEND**

AC	- AIR CONDITIONER	MH	- MANHOLE
DPC	- DAMP PROOF COURSE	PB	- POWER BOX
EP	- ELECTRICITY PIT	PC	- PRAM CROSSING
FL	- FLOOR LEVEL	PP	- POWER POLE
GM	- GAS METER	SMH	- SEWER MANHOLE
GS	- GAS SERVICE	SO	- STORMWATER OUTLET
GP	- GULLY PIT	SV	- STOP VALVE
HW	- HOT WATER HEATER	S/W	- STORMWATER
HYD	- HYDRANT	TEL	- TELECOMMUNICATIONS PIT
IC	- INSPECTION COVER	VC	- VEHICLE CROSSING
LH	- LAMP HOLE	WM	- WATER METER
LP	- LIGHT POLE	WS	- WATER SERVICE

**SCHEDULE OF WINDOWS**

No.	SILL RL	HEAD RL
1	48.85	50.45
2	48.85	50.45
3	48.75	50.25
4	49.75	50.25
5	48.70	50.25
6	49.45	51.00

REFERENCE: 10850/20	STUTCHBURY JAKUES PTY LTD LAND SURVEYING CONSULTANTS P.O. BOX 7249, BROOKVALE NSW 2100 PH: 8976 1600 FAX: 8976 1655 E-MAIL: info@stutchbury.net.au	DATE: 30/06/2020 SCALE: 1:100 DATUM: A.H.D. SITE AREA: 525.2m <sup>2</sup> SHEET 1 OF 1 SHEETS	CLIENT: YOUR STYLE PROJECT: LEVEL & DETAIL SURVEY LOT B D.P.36305 No.7 BENELONG STREET, SEAFORTH. LGA: NORTHERN BEACHES
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7 BENELONG STREET, SEAFORTH 2092

Dimensions shall not be obtained by scaling off drawings. All dimensions shall be site checked prior to commencement of works. All measurements on plans are subject to change due to site variances, engineering requirements and Council conditions.

Project Name :  
**Carport DA**

Drawing Title :  
**SITE PLAN**

Owner :  
**DEAN & JEMMA ARMSTRONG**

Address :  
**7 BENELONG STREET,  
SEAFORTH 2092**

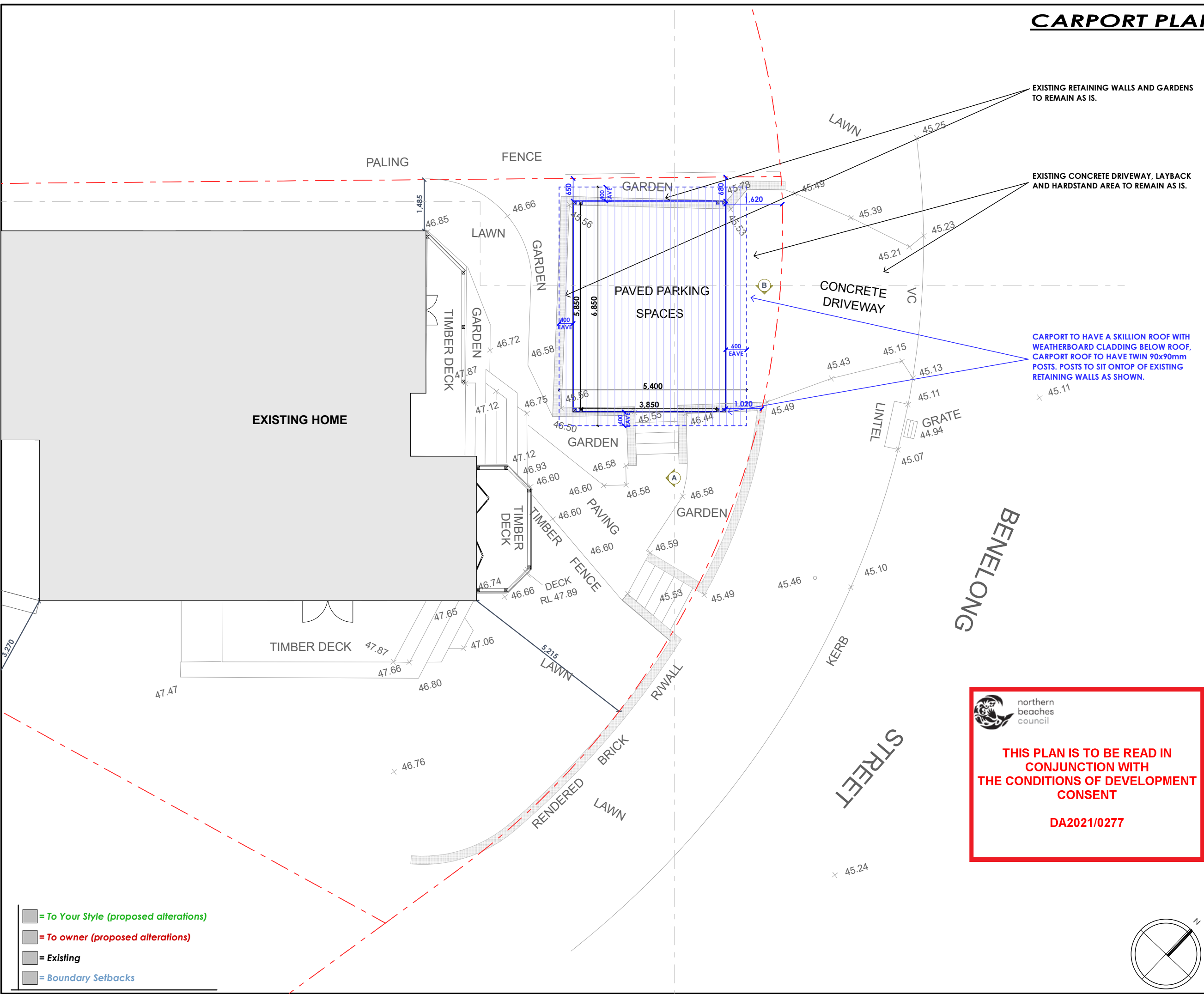
Project Number:  
**ARM 1120 CARPORT DA**

Plot Date :  
**Wednesday, 28 April 2021**

Scale :  
**1:200**

Drawing No. : **3**

**CARPORT PLAN**



**7 BENELONG STREET, SEAFORTH 2092**

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Project Name :  
**Carport DA**

Drawing Title :  
**GROUND FLOOR PLAN**

Owner :  
**DEAN & JEMMA ARMSTRONG**

Address :  
**7 BENELONG STREET,  
SEAFORTH 2092**

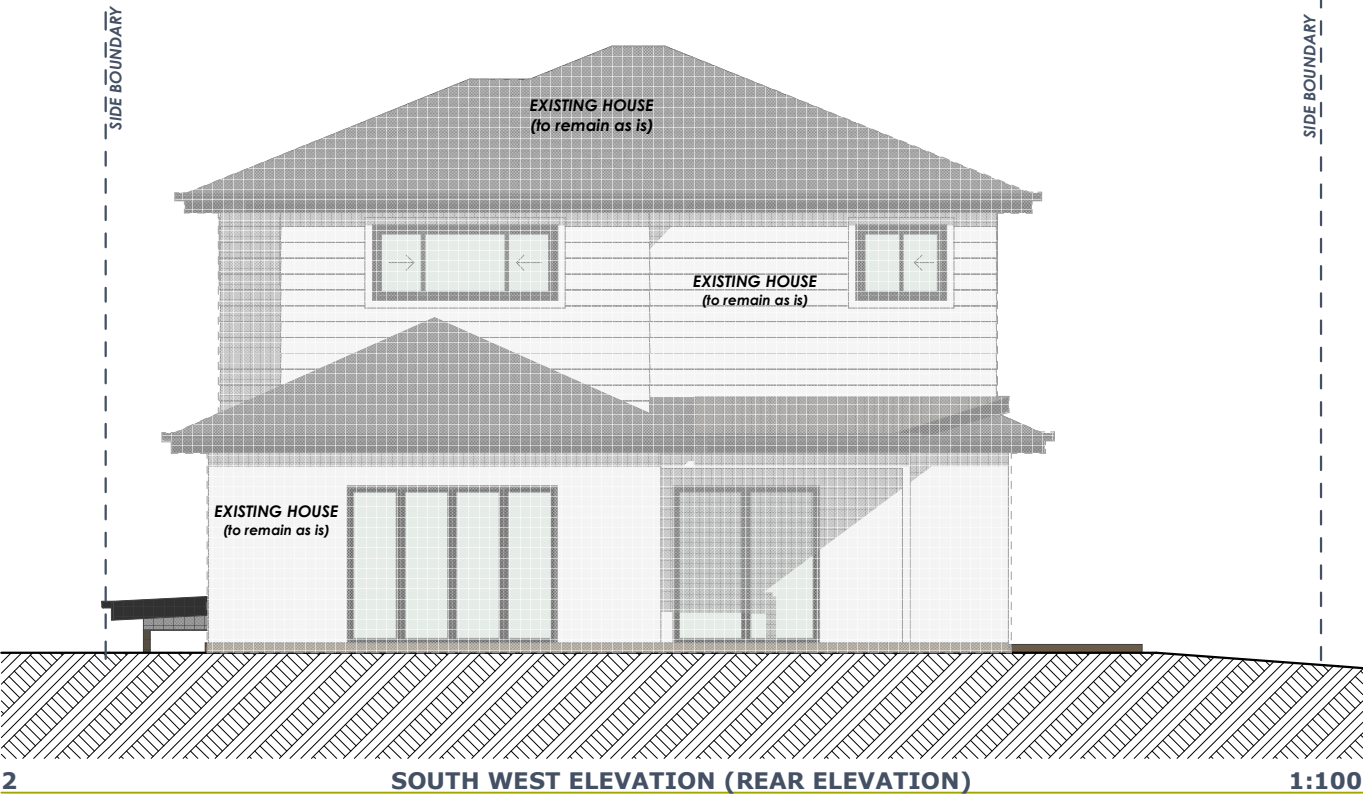
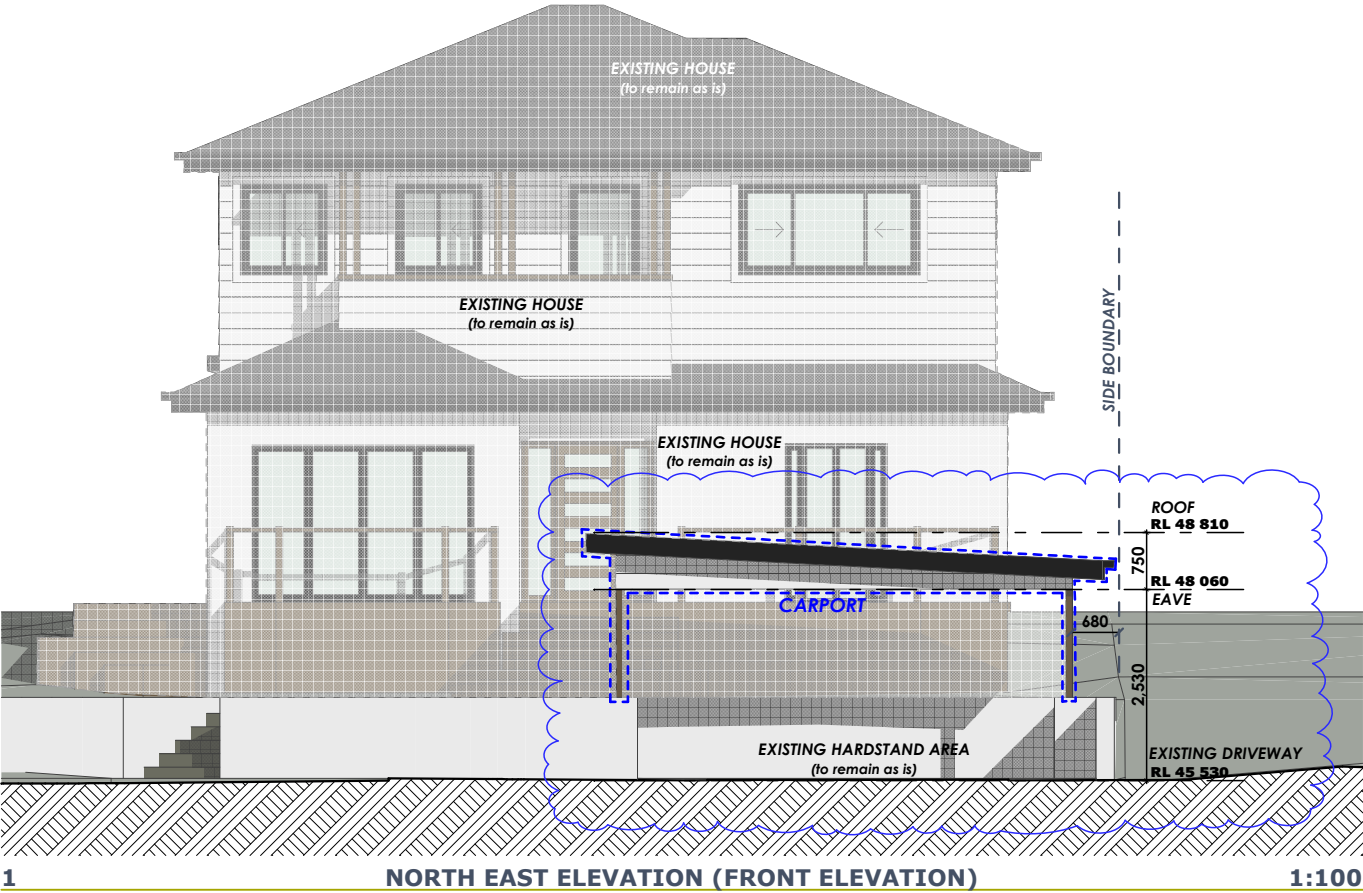
Project Number:  
**ARM 1120 CARPORT DA**

Plot Date :  
**Wednesday, 28 April 2021**

Scale :  
**1:100**

Drawing No. :  
**5**

**ELEVATIONS (EAST & WEST)**



 northern  
beaches  
council

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**DA2021/0277**

**7 BENELONG STREET, SEAFORTH 2092**

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Project Name :  
**Carport DA**

Drawing Title :  
**ELEVATIONS**

Owner :  
**DEAN & JEMMA ARMSTRONG**

Address :  
**7 BENELONG STREET,  
SEAFORTH 2092**

Project Number:  
**ARM 1120 CARPORT DA**

Plot Date :  
**Wednesday, 28 April 2021**

Scale :  
**1:100**

Drawing No. :  
**6**

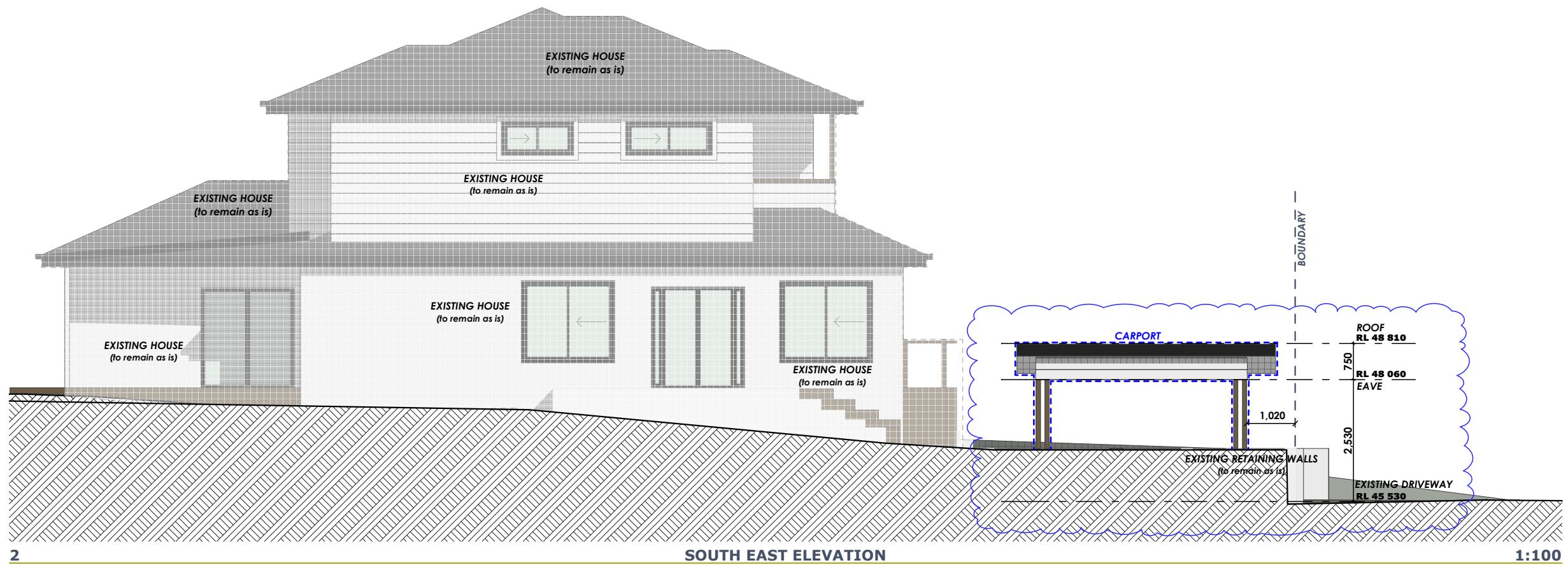
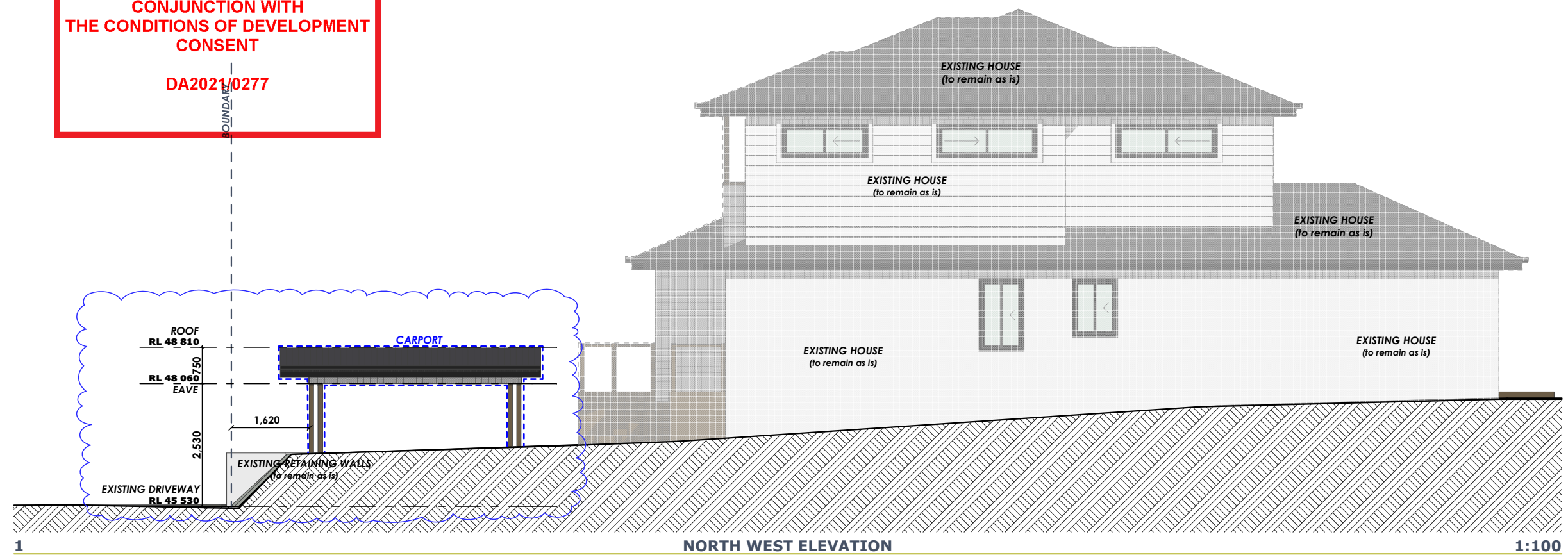


 northern  
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**DA2021/0277**

**ELEVATIONS (NORTH & SOUTH)**



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Project Name :  
**Carport DA**

Drawing Title :  
**ELEVATIONS**

Owner :  
**DEAN & JEMMA ARMSTRONG**

Address :  
**7 BENELONG STREET,  
SEAFORTH 2092**

Project Number:  
**ARM 1120 CARPORT DA**

Plot Date :  
**Wednesday, 28 April 2021**

Scale : **1:100**

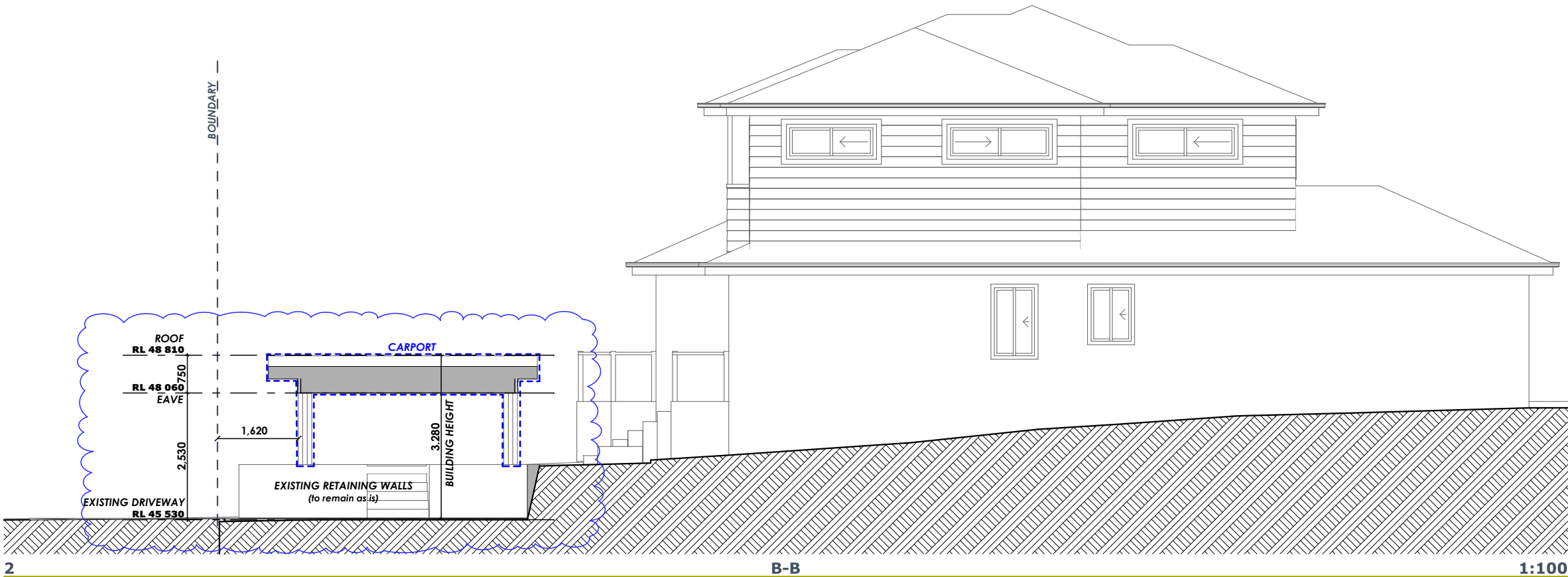
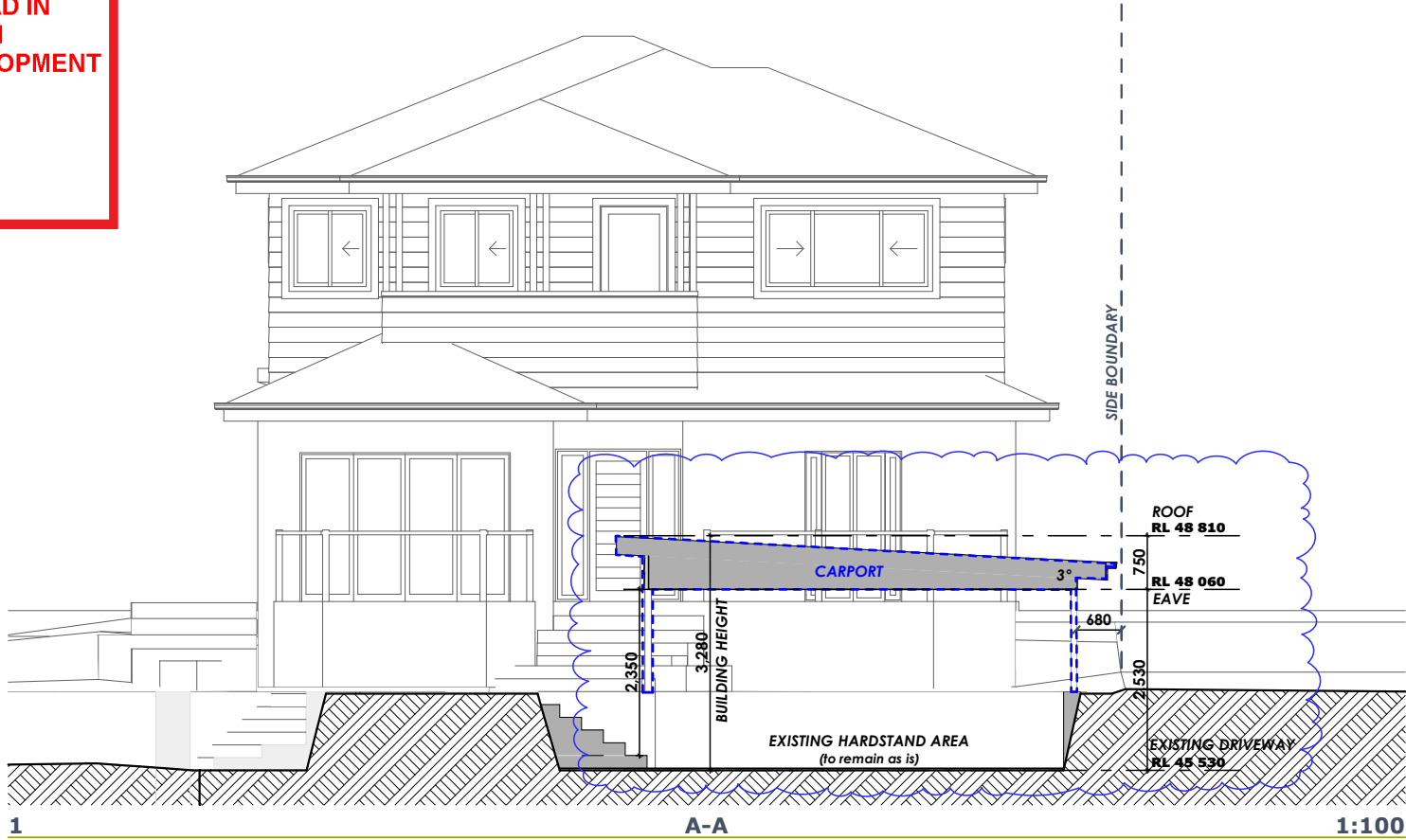
Drawing No. : **7**

 northern  
beaches  
council

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**DA2021/0277**

**SECTIONS (A-A & B-B)**



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Project Name :  
**Carport DA**

Drawing Title :  
**SECTIONS**

Owner :  
**DEAN & JEMMA ARMSTRONG**

Address :  
**7 BENELONG STREET,  
SEAFORTH 2092**

Project Number:  
**ARM 1120 CARPORT DA**

Plot Date :  
**Wednesday, 28 April 2021**

Scale :  
**1:100**

Drawing No. :  
**8**