

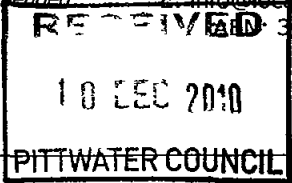
LOCAL

Certificate No 5003686

Interim Occupation Certificate

issued under the Environmental Planning and Assessment Act, 1979, as amended

Suite 21, 5 Inglewood Place
Baulkham Hills NSW 2153
P 9836 5711
F 9836 5722
E info@localgroup.com.au
30 735 366 565



Subject Land H/N 13
Lot 10
DP/SP/CP 243737
Street HUNTER STREET SOUTH
Suburb WARRIEWOOD 2102

Applicant MR ADAM FITTLER
8/27-31 DREMEDAY STREET
NORTHMEAD NSW 2152

Development DWELLING (TWO STOREY)

Limitations &/or Exclusions

Building Classification 1A

Development Consent N0407/09
7 DECEMBER, 2009

Date of Determination 8 December, 2010

Interim Certificate

The Interim Occupation Certificate has been determined as **APPROVED** in accordance with the procedures outlined in Clause 151 of the Environmental Planning and Assessment Regulation 2000. In making this determination, I certify that,

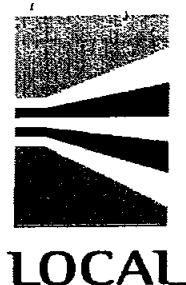
- a) the health and safety of the occupants of the building have been taken into consideration, and
- b) a current Development Consent or Complying Development Certificate is in force with respect to the building, and
- c) if any building work has been carried out, a current Construction Certificate is in force with respect to the plans and specifications for the building work, and
- d) that the building is suitable for occupation or use in accordance with its classification under the Building Code of Australia, and
- e) where required, a final fire safety certificate has been issued for the building, and
- f) where required, a report from the Fire Commissioner has been considered

Attached/-
1 Documentation relied upon and that accompanied the application
2 Fire Safety Schedule (where required)
3 Record of critical stage inspections

Signature
Name
Accreditation Number
Accreditation Body

Andrew Dean
bpb0087
Building Professionals Board

830 PEC 283835 10/12/10



RECORD OF MANDATORY INSPECTIONS

Suite 21, 5 Inglewood Place
BAULKHAM HILLS NSW 2153
P (02) 9836 5711
F (02) 9836 5722
E info@localgroup.com.au
ABN 30 735 366 565

**Development Consent
Number:**

N0407/09

**Construction Certificate
Number:**

5003686

Our Reference:

5003686

Subject Land:

LOT 10
DP 243737
HNO 13
HUNTER STREET SOUTH
WARRIEWOOD 2102

In accordance with the requirements of Clause 151(2)(d) of the Environmental Planning and Assessment Regulations 2000, this document is to serve as a record of the "critical stage inspections" carried out in relation to the development. Schedule "A" includes all inspections referred to in Clause 151(2)(d)(i - iii) of the Regulations.

SCHEDULE "A"

Date of Inspection	Type of Inspection	Result	Accredited Certifier
9/03/2010	Pre Commencement Inspection	Satisfactory	Sam Pratt Accreditation No BPB0732
9/03/2010	Pier Inspection	Compliance Certificate	Rafeletos Zanuttini Accreditation No 389790/BPB0455
15/03/2010	Slab/ Steel Inspection	Compliance Certificate	Rafeletos Zanuttini Accreditation No 389790/BPB0455
23/03/2010	Stormwater Inspection	Satisfactory	Sam Pratt Accreditation No BPB0732
25/06/2010	Framework Inspection	Satisfactory (Minor issues)	Sam Pratt Accreditation No BPB0732
12/07/2010	Wet Area Inspection	Satisfactory	Sam Pratt Accreditation No BPB0732
12/10/2010	Final (Preliminary) Inspection	Defective	Andrew Dean Accreditation No BPB0087
22/10/2010	Reinspection (Final Preliminary Inspection)	Defective	Andrew Dean Accreditation No BPB0087
6/12/2010	Reinspection (Final Preliminary Inspection)	Satisfactory (Minor issues)	Andrew Dean Accreditation No BPB0087

This documentation is to accompany any Occupation Certificate issued in relation to this development but is not to be misconstrued as a Compliance Certificate. Should additional information be required in relation to this matter, please contact the undersigned during normal business hours.

Andrew Dean

Principal Certifying Authority

Building Professionals Board

Bpb0087

8 December, 2010

Date

Aspect Development and Survey Pty Ltd

ABN 60 078 649 000

PO Box 161
Kingsgrove NSW 1480
Ph (02) 9554 8388

DX 11392
Hurstville
admin@aspectsurvey.com.au

Level 2 103 Vanessa St
Kingsgrove NSW 2208
Fax (02) 9554 8588

3 February 2010

METRICON HOMES PTY LTD

P O Box 7510 Norwest Business Park
BAULKHAM HILLS NSW 2153

Our Ref 21/1011471/94263
Your Ref Fittler/610580

SURVEY REPORT

Dear Sirs

Acting in accordance with your instructions, I have surveyed the land in Certificate of Title Folio Identifier 10/243737, being Lot 10 in Deposited Plan Number 243737, situated with a frontage to Hunter Street South at Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, County of Cumberland and report as follows

- 1 The subject land is shown on the attached sketch - 21/1011471/94263
- 2 The survey undertaken is based on Title details dated 12 June 2009, obtained from the Land and Property Information New South Wales
- 3 The survey undertaken is with regard to the proposed residence only and no improvements have been located
- 4 The position of the proposed residence has been marked as shown on the attached sketch
- 5 The subject land is affected by
 - An easement to drain water created by Deposited Plan Number 243737
 - Covenant M533328
 - Restriction(s) on the use of land created by Deposited Plan Number 243737

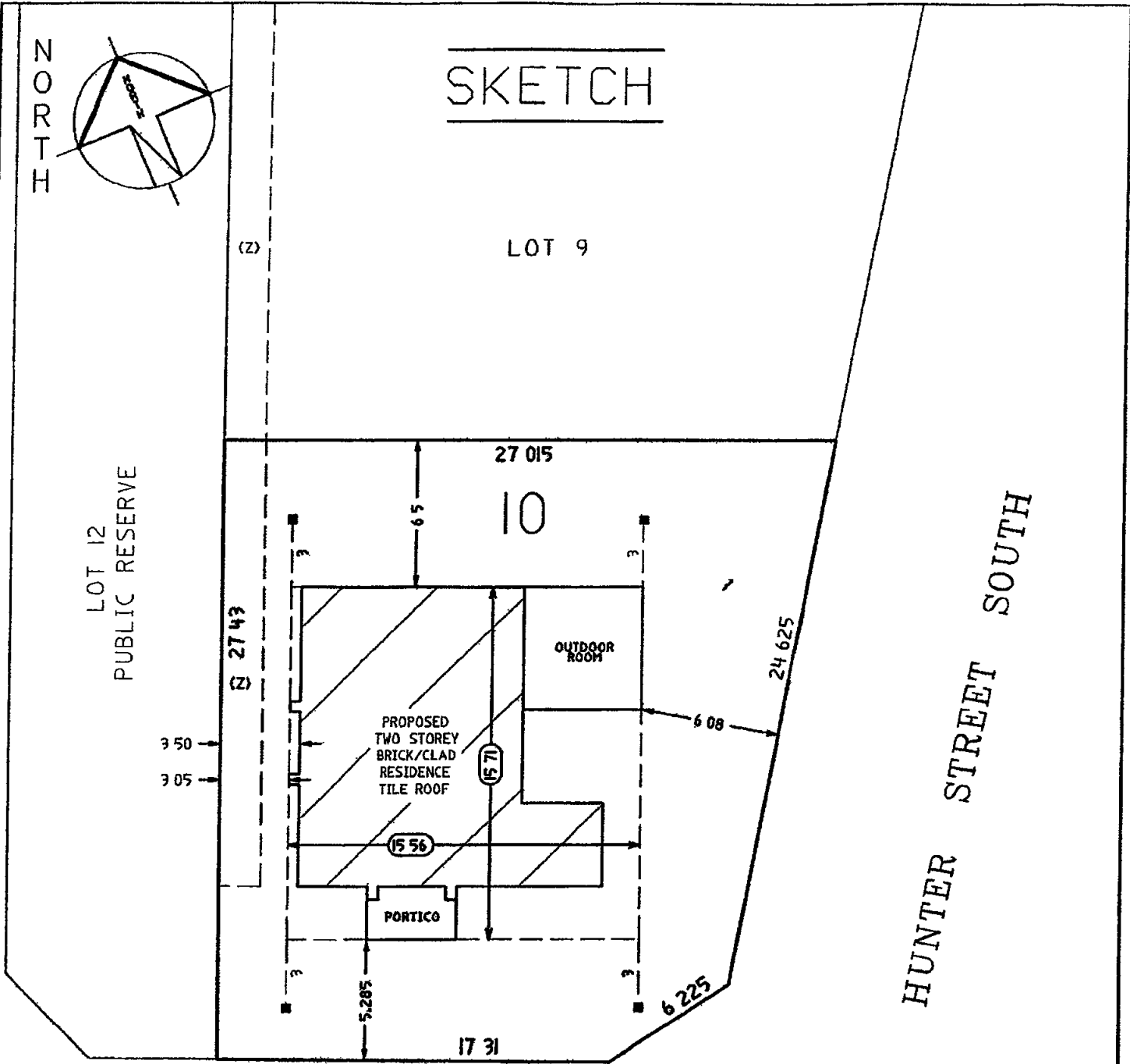
With regards to the new residence and subject land, I note that no investigation has been carried out by this office to verify any compliance with the above restriction(s) or covenant(s)

- 6 If further improvements are proposed the boundaries of the subject land should be marked.

Yours Sincerely



David Burton B Surv M.I.S.N.S.W
Surveyor Registered under the Surveying
Act, 2002



LOT DIMENSIONS SHOWN ARE TAKEN FROM
THE BASE DEPOSITED PLAN NUMBER 243737
IF A SUBSEQUENT PLAN OF SURVEY IS UNDERTAKEN
OVER THE SUBJECT LAND OR IN ITS VICINITY AND
LODGED AT LAND AND PROPERTY INFORMATION
NSW THESE DIMENSIONS MAY CHANGE

■ DENOTES OFFSET PEG
(Z) EASEMENT TO DRAIN WATER 183 WIDE

IMPORTANT NOTICE

Setout dimensions on this plan prepared for METRIGON HOMES (Aust) PTY LTD on 1/2/10 are based on PLANS RECEIVED drawing No 610580 / ISSUE A - 22/7/09
This information is prepared for the purpose of setting out the construction shown on that drawing and should not be used for any other purpose. The builder should verify
setout dimensions shown on this plan with the latest approved design drawings. Any discrepancies shall be clarified in writing with Aspect Development and Survey Pty Ltd prior
to commencement of the work. Commencement of the work shall be deemed to be confirmation of these dimensions. Aspect Development and Survey Pty Ltd accepts no
responsibility for disturbance to any marks subsequent to leaving site. The boundary location as shown on this plan is from information or marks placed by others the
verification of which does not form part of this survey. This note is an integral part of this plan.

ASPECT DEVELOPMENT & SURVEY PTY LTD A.C.N. 078 649 000

OUR REF 21/1011471/94263
YOUR REF FITTLER
610580
SUBURB WARRIEWOOD

LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
TELE (02) 9554 8388
FAX (02) 9554 8588

DX 11392
HURSTVILLE
P O BOX 161
KINGSGROVE NSW 1480

Aspect Development and Survey Pty Ltd

ABN 60 078 649 000

PO Box 161
Kingsgrove NSW 1480
Ph (02) 9554 8388

DX 11392
Hurstville
admin@aspectsurvey.com.au

Level 2, 103 Vanessa St
Kingsgrove NSW 2208
Fax (02) 9554 8588

12 March 2010

METRICON HOMES PTY LTD
P O Box 7510 Norwest Business Park
BAULKHAM HILLS NSW 2153

Our Ref 21/1011471/95553
Your Ref Fittler/610580

SURVEY REPORT

Dear Sirs

Acting in accordance with your instructions I have surveyed for identification purposes only the land in Certificate of Title Folio Identifier 10/243737, being Lot 10 in Deposited Plan Number 243737, situated with a frontage to Hunter Street South at Warriewood in the Local Government Area of Pittwater, Parish of Narrabeen County of Cumberland and report as follows

- 1 The subject land is shown on the attached sketch - 21/1011471/95553
- 2 The survey undertaken is based on Title details dated 12 June 2009, obtained from the Land and Property Information New South Wales
- 3 The survey undertaken is with regard to the new residence only and no other improvements have been located
- 4 Standing upon and wholly within the boundaries of the subject land is formwork for the proposed residence
- 5 The property bears neither name nor number
- 6 The relationship of the formwork surveyed to the boundaries is as shown on the attached sketch
- 7 The reduced levels of the formwork have been obtained at the approximate proposed finished floor levels and are shown on the attached sketch (Australian Height Datum)
- 8 The subject land is affected by
An easement to drain water created by Deposited Plan Number 243737
Covenant M533328
Restriction(s) on the use of land created by Deposited Plan Number 243737

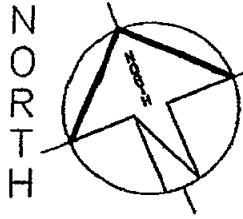
With regards to the new residence and subject land, I note that no investigation has been carried out by this office to verify any compliance with the above restriction(s) or covenant(s)

- 9 During the course of the survey no investigation has been undertaken to determine the existence of any possible subterranean encroachments
- 10 If further improvements are proposed the boundaries of the subject land should be marked

Yours Sincerely



David Burton B Surv MISNSW
Surveyor Registered under the Surveying and Spatial Information Act, 2002



SKETCH

LOT 9

LOT 12
PUBLIC RESERVE

FORMWORK 3.5

(Z) 27.43

27.015

10

FORMWORK
RL 9.80

RL 9.72

FORMWORK 6.31

FORMWORK 7.65

17.31

24.625

6.225

HUNTER STREET SOUTH

△
BM 10
RL 9.08
(AHD)

LOT DIMENSIONS SHOWN ARE TAKEN FROM
THE BASE DEPOSITED PLAN NUMBER 243737
IF A SUBSEQUENT PLAN OF SURVEY IS UNDERTAKEN
OVER THE SUBJECT LAND OR IN ITS VICINITY AND
LODGED AT LAND AND PROPERTY INFORMATION
NSW THESE DIMENSIONS MAY CHANGE

(Z) EASEMENT TO DRAIN WATER 1.83 WIDE

LEVELS ARE IN TERMS OF AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS FROM SSM 11097
SOURCE OF INFORMATION SCIMS DATED 17/01/2007

ASPECT DEVELOPMENT & SURVEY PTY LTD A.C.N. 078 649 000

OUR REF: 21/1011471/95553
YOUR REF: FITTLER
610580
SUBURB: WARRIEWOOD

LEVEL 2 103 VANESSA STREET
KINGSGROVE NSW 2208
TELE (02) 9554 8388
FAX (02) 9554 8588

DX 11392
HURSTVILLE
P O BOX 161
KINGSGROVE NSW 1480

Aspect Development and Survey Pty Ltd

ABN 60 078 649 000

PO Box 161
Kingsgrove NSW 1480
Ph (02) 9554 8388

DX 11392
Hurstville
admin@aspectsurvey.com.au

Suite 1 103 Vanessa St
Kingsgrove NSW 2208
Fax (02) 9554 8588

14 August 2010

METRICON HOMES PTY LTD
P O Box 7510 Norwest Business Park
BAULKHAM HILLS NSW 2153

Our Ref 21/1011471/100219
Your Ref Fittler/610580

SURVEY REPORT

Dear Sirs

Acting in accordance with your instructions, I have surveyed for identification purposes and finished floor levels only the land in Certificate of Title Folio Identifier 10/243737, being Lot 10 in Deposited Plan Number 243737 situated with a frontage to Hunter Street South at Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, County of Cumberland and report as follows

- 1 The subject land is shown on the attached sketch - 21/1011471/100219
- 2 The survey undertaken is based on Title details dated 12 June 2009, obtained from the Land and Property Information New South Wales
- 3 The survey undertaken is with regard to the new residence only and no other improvements have been located
- 4 Standing upon and wholly within the boundaries of the subject land is a two storey brick and clad residence with a tile roof
- 5 The property bears neither name nor number
- 6 The relationship of the residence surveyed to the boundaries is as shown on the attached sketch
- 7 The reduced finished floor levels have been obtained and are shown on the attached sketch (Australian Height Datum)
- 8 The subject land is affected by
An easement to drain water created by Deposited Plan Number 243737
Covenant M533328
Restriction(s) on the use of land created by Deposited Plan Number 243737

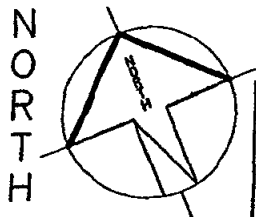
With regards to the new residence and subject land, I note that no investigation has been carried out by this office to verify any compliance with the above restriction(s) or covenant(s)

- 9 During the course of the survey no investigation has been undertaken to determine the existence of any possible subterranean encroachments
- 10 If further improvements are proposed the boundaries of the subject land should be marked

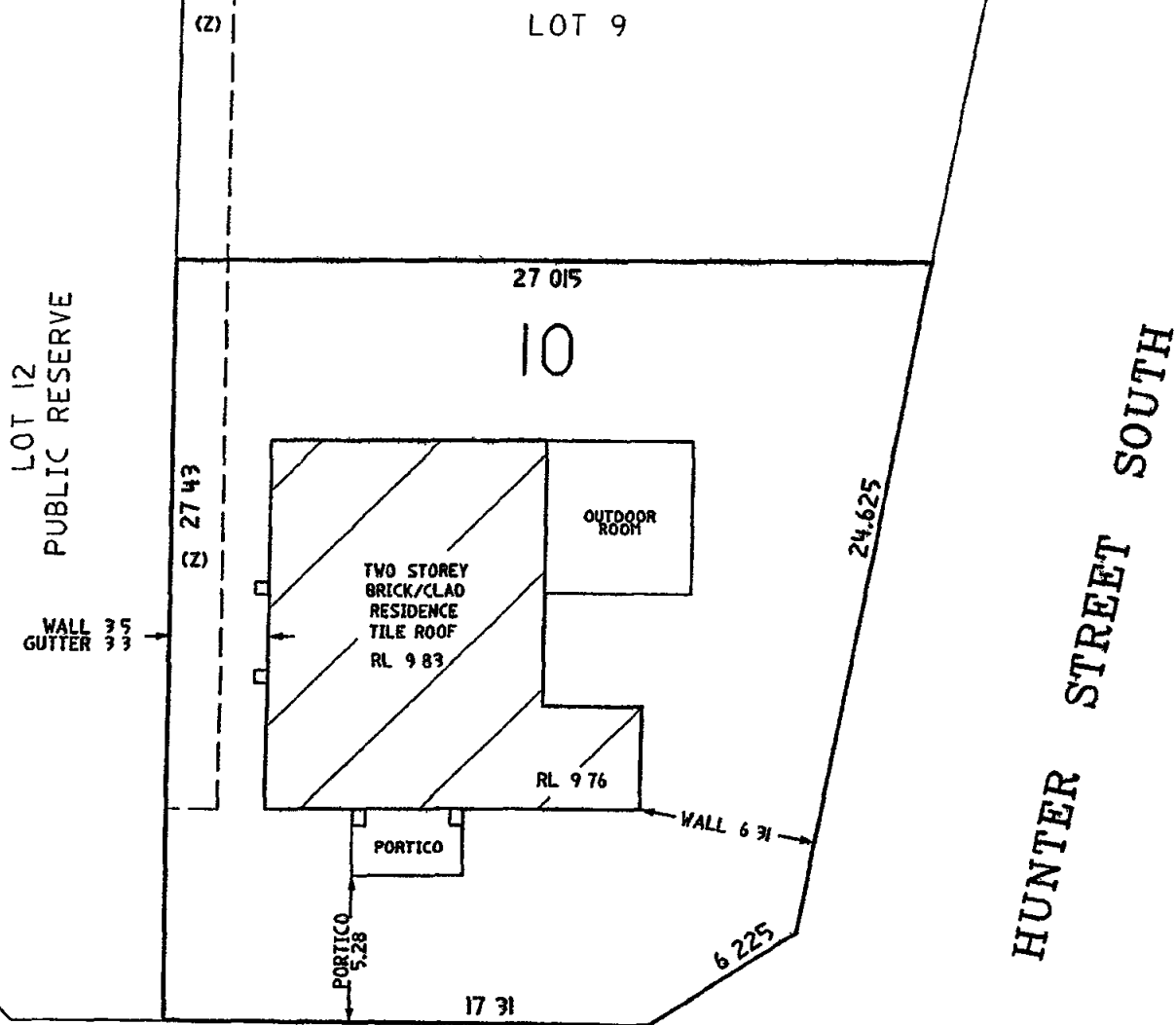
Yours Sincerely



David Burton B Surv M I S N S W
Surveyor Registered under the Surveying and Spatial Information Act, 2002



SKETCH



LOT DIMENSIONS SHOWN ARE TAKEN FROM THE BASE DEPOSITED PLAN NUMBER 249737 IF A SUBSEQUENT PLAN OF SURVEY IS UNDERTAKEN OVER THE SUBJECT LAND OR IN ITS VICINITY AND LODGED AT LAND AND PROPERTY INFORMATION NSW THESE DIMENSIONS MAY CHANGE

(Z) EASEMENT TO DRAIN WATER 1.83 WIDE

LEVELS ARE IN TERMS OF AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS FROM SSM 11097
SOURCE OF INFORMATION SCIMS DATED 17/01/2007

ASPECT DEVELOPMENT & SURVEY PTY LTD A.C.N. 078 649 000

OUR REF 21/1011471/100219
YOUR REF FITTLER
610580
SUBURB WARRIEWOOD

LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
TELE (02) 9554 8388
FAX (02) 9554 8588

DX 11392
HURSTVILLE
P O BOX 161
KINGSGROVE NSW 1480

RAFELETOS



ZANUTTINI
Pty Ltd

ABN 35 079 047 466

Level 2 103 Vanessa St
Kingsgrove NSW 2208

Telephone (02) 9554 9311
Facsimile (02) 9554 9764

DATE Tuesday, 9 March 2010
OUR REFERENCE 32525MT
YOUR REFERENCE FITTLER
JOB LOCATION LOT 10, 13 HUNTER ST SOUTH WARRIEWOOD

COMPLIANCE CERTIFICATE

Pursuant to the provisions of Part 4A Section 109C of the Environmental Planning and Assessment Act 1979 and Part 8 Section 138 of the Regulations 2000

This is to certify that an inspection of the pier holes was undertaken at the above mentioned site prior to the placement of any concrete

The piers have generally been placed in accordance with the current engineers details

Yours Faithfully

David Zanuttini
B E M I E Aust C P Eng
NPER3 Structural and Civil
Accredited Certifier BPB 0455

RAFELETOS



ZANUTTINI
Pty Ltd

ABN 35 079 047 466

Level 2 103 Vanessa St
Kingsgrove NSW 2208

Telephone (02) 9554 9311
Facsimile (02) 9554 9764

DATE Monday, 15 March 2010
OUR REFERENCE 32525MT
YOUR REFERENCE FITTLER
JOB LOCATION LOT 10, 13 HUNTER ST SOUTH WARRIEWOOD

STRUCTURAL CERTIFICATE

This is to certify that an inspection of the slab reinforcement was undertaken at the above mentioned site prior to the placement of any concrete

The slab has been constructed and the reinforcement placed generally in accordance with the current engineers details

Yours Faithfully

David Zanuttini
B E M I E Aust C P Eng
NPER3 Structural and Civil

BUILDING INDUSTRY PEST SERVICES

P C Licence No 611 Head Office Suite 9 39 Stanley Street Bankstown NSW 2200 A C N 002313439
Phone (02) 9709 2011 Fax (02) 9708 6306 DX 11227

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

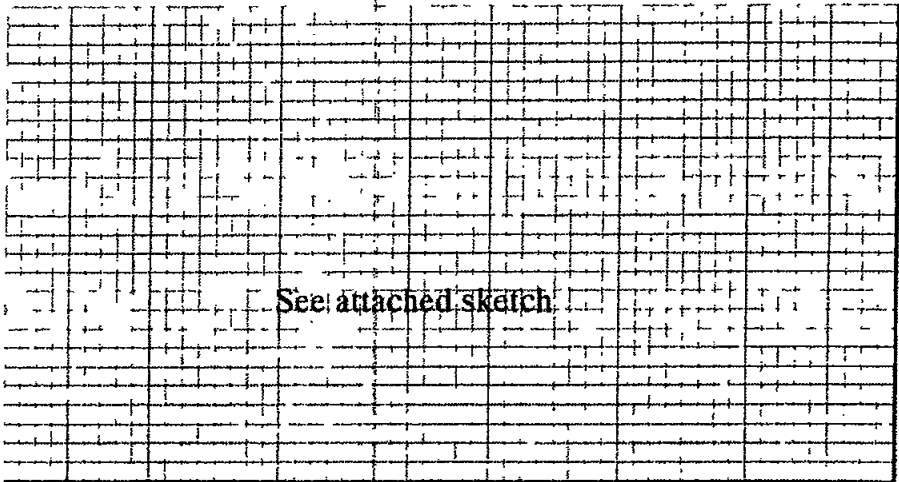
SITE ADDRESS WARRIEWOOD, 13/HUNTER STREET [lot 10]
BUILDER OR OWNER METRICON

ATTENTION: Whilst the barrier system provides significant protection for many years, annual complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granigard barrier ineffective.

Slab Penetrations

Ref 41677000

- Reticulation Legend**
Path trap ☒ Drilled pipe ———
Undrilled pipe - - - - End cap ———
Physical Barrier Legend
Penetration ⊗ Start / Finish ×
Area Protected //



Rough sketch only - refer builder's plans for true dimensions

DATE OF TREATMENT 12/03/2010
Number of Penetrations 10
Materials Applied TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above

Applied by M Maynard

Warranty is 12 months unless indicated otherwise

Authorised by

R. Sapsford



A.B.N 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2 Suite 3
39 Stanley Street
Bankstown N S W 2200
Tel (02) 9793 2166
Fax (02) 9708 6306
DX 11227 Bankstown

Builder *Mervcon*
Site Address *13 Hurry St*

Date *12/3/10*

Job Sheet No *48223*

Installer *Mik* Lic No

SIGNED

Ref No *+67 7001*
+67 7000

Environmental Information

JOB PLAN

External
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment
Hand held spray ☐
Truck mounted spray ☐
Other

Cavity
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m
Subfloor M2 Penetrations Qty *10*
Cure M2 *50 M2* Ringline L/m
Token

Slab ☐ Monolithic slab on ground
☐ In fill slab ☐ Waffle pod
☐ B/J Timber floor ☐ Ultra floor

Method of Protection

Physical Barrier ☐ Chemical Barrier ☐

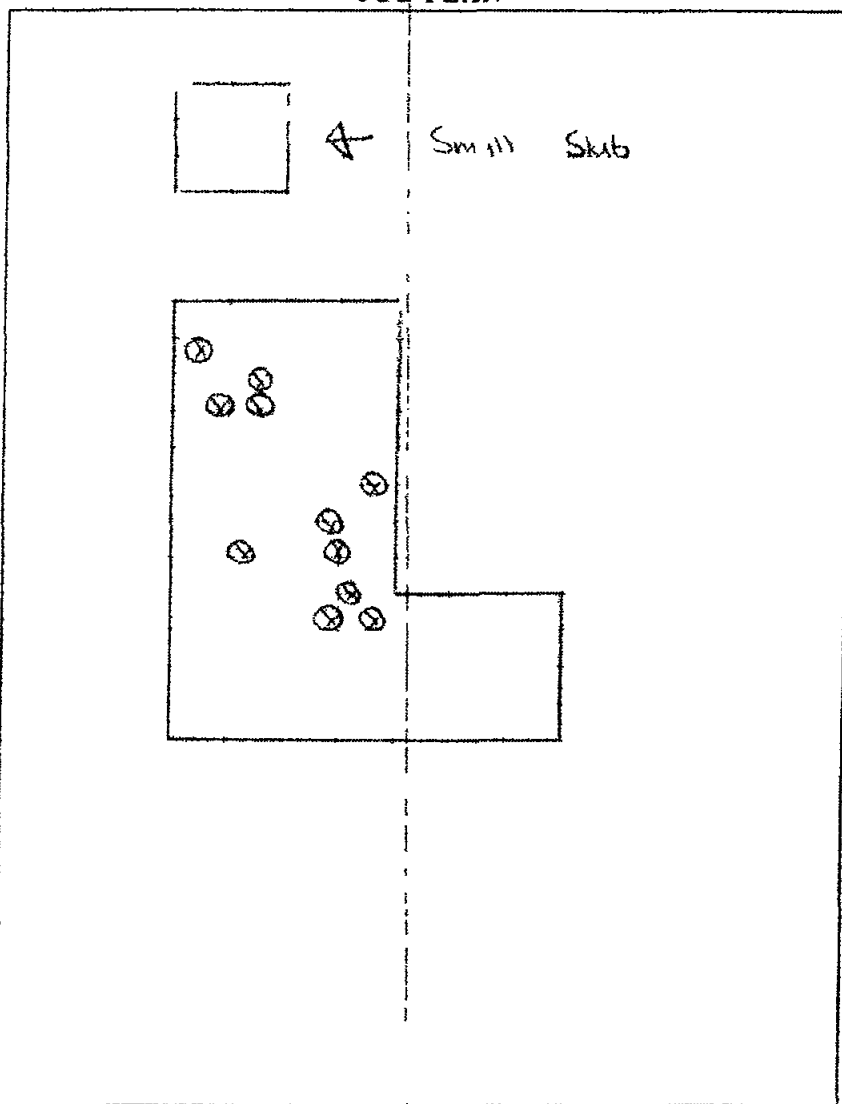
Type

Reticulation Legend

Path trap ☒ Drilled pipe ☐
Undrilled pipe ☐ End cap ☐

Physical Barrier Legend

Penetration ☒ Start / Finish ☒
Area Protected //



BUILDING INDUSTRY PEST SERVICES

P C Licence No 611 Head Office Suite 9 39 Stanley Street Bankstown NSW 2200 A C N 002313439
Phone (02) 9709 2011 Fax (02) 9708 6306 DX 11227

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

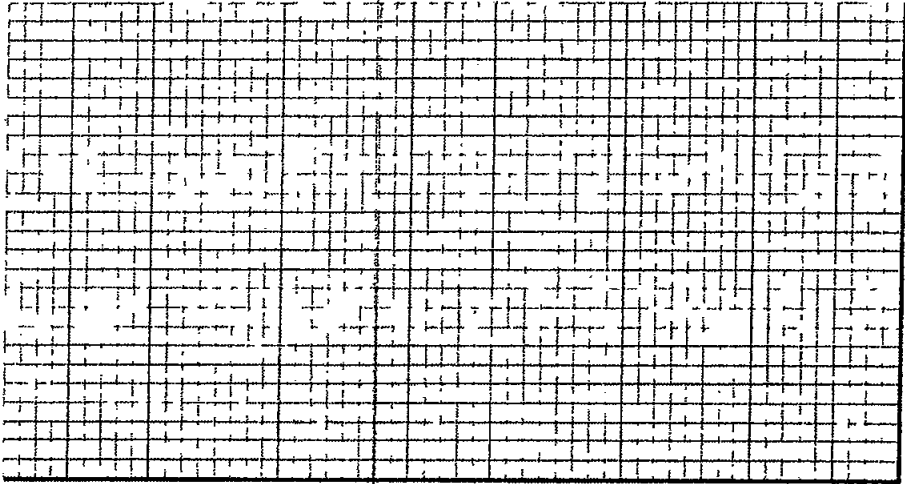
SITE ADDRESS WARRIEWOOD, 13/HUNTER STREET [lot 10]
BUILDER OR OWNER METRICON

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Curing

Ref. 41677001

- Reticulation Legend**
- Path trap ☒ Drilled pipe ————
Undrilled pipe - - - - - End cap ————
- Physical Barrier Legend**
- Penetration ☒ Start / Finish X
Area Protected //



Rough sketch only - refer builder's plans for true dimensions

DATE OF TREATMENT 17/03/2010
Area Protected 150 square metres
Materials Applied PVA J51 016

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by M Maynard

Warranty is 12 months unless indicated otherwise

Authorised by

R. Sapsford

BUILDING INDUSTRY PEST SERVICES

P C Licence No 611

Head Office Suite 9 39 Stanley Street, Bankstown NSW 2200
Phone (02) 9709 2011 Fax (02) 9708 6306 DX 11227

A C N 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS WARRIEWOOD, 13/HUNTER STREET [lot 10]

BUILDER OR OWNER METRICON

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Perimeter Chemical Treatment

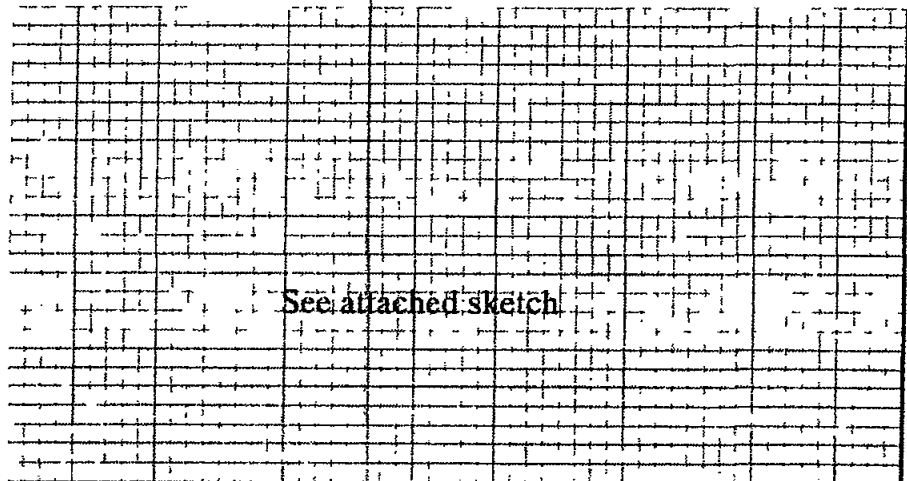
Ref. 41677003

Reticulation Legend

Path trap  Drilled pipe 
Undrilled pipe  End cap 

Physical Barrier Legend

Penetration  Start / Finish 
Area Protected //



Rough sketch only refer builder's plans for true dimensions

DATE OF TREATMENT 11/10/2010

Volume of Concentrate 0.875 litres

Volume of Emulsion 350 litres

Application Rate 5 litres / sq metre

Linear Metres 70 metres

Materials Applied 0.25% BIFENTHRIN TERM GUARD

Landscaping Not complete additional chemical application required on completion of landscaping.

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by B McLean

Authorised by:



R. Sapsford

Warranty is 12 months unless indicated otherwise



BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

ABN, 56 947 548 056

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel, (02) 9793 2166
Fax, (02) 9708 6306
DX 11227 Bankstown

Builder METRICON
Site Address LOT 10 HUNTER ST WARRILWOOD

Date 1/10/10

Job Sheet No 48888

Installer BILL Lic No

SIGNED: Bill

Ref No 41671002

Environmental Information

Chemical Name IMMEDIATE

Vol of Concentration 87

Vol of Emulsion 2504

Equipment

Hand held spray ☐

Truck mounted spray ☐

Other

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment

Hand held spray ☐

Truck mounted spray ☐

Other

Wind Speed

Wind Direction

Time Start

Time Finish

Area Protected

Under Slab M2

Perimeter L/m

Subfloor M2

Penetrations Qty

Cure M2

Ringline L/m

Slab

☐ Monolithic slab on ground

☐ In-fill slab

☐ Waffle pod

☐ B/I Timber floor

☐ Ultra floor

Method of Protection

☐ Physical Barrier

☒ Chemical Barrier

Type

Reticulation Legend

Path trap ☒

Drilled pipe

Undrilled pipe

End cap

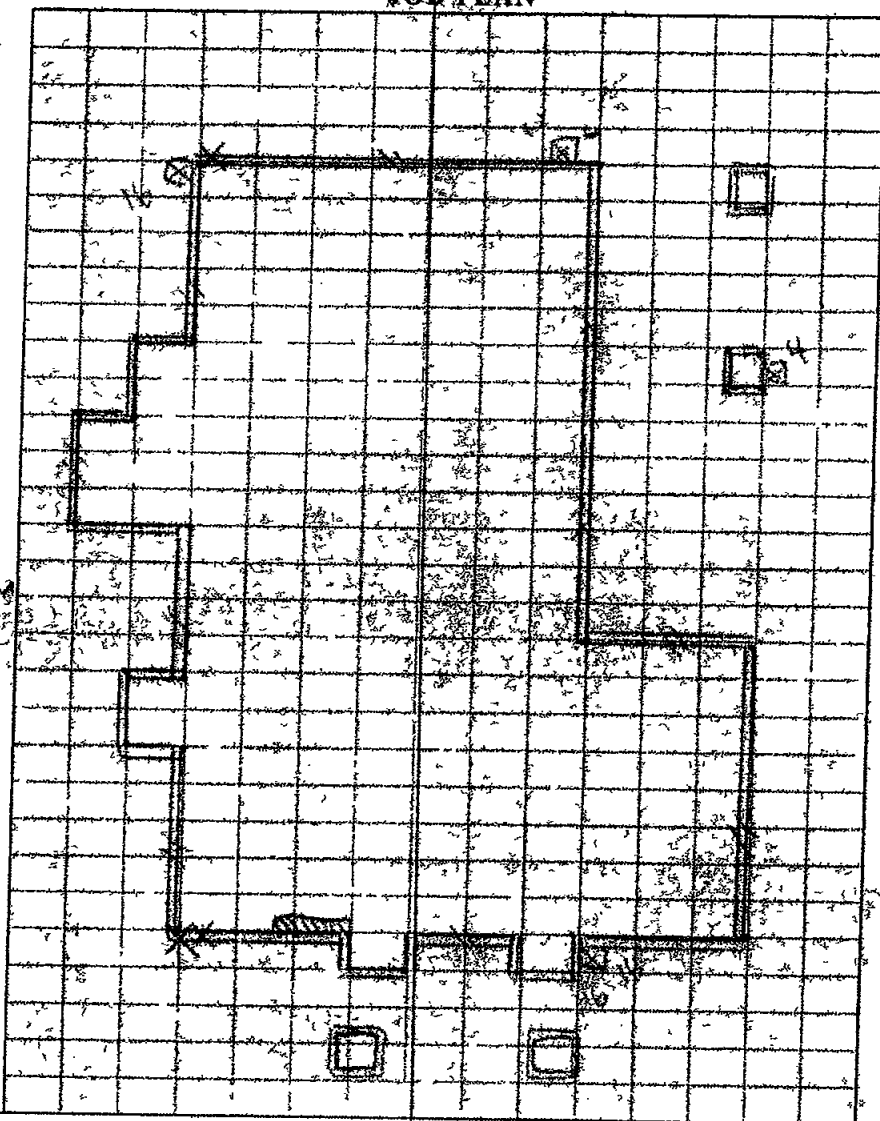
Physical Barrier Legend

Penetration ☒

Start / Finish X

Area Protected //

JOB PLAN





WATERPROOFING INSTALLATION CERTIFICATE

LICENCE NO S NSW (121176C 30832S) QLD (728764 728921) SA (199721 200038)

DATE OF ISSUE

16 July 2010

CERTIFICATE NUMBER

23728

ADDRESS

LOT 10 (13) HUNTER ST
WARRIEWOOD NSW 2102

BUILDER

Metricon Homes Pty Ltd (NSW)

This certificate is to acknowledge the installation of Waterproofing Systems in the above named property. The areas of coverage and the waterproofing methods & products used in the wet areas of the property are in accordance with the Australian Standard 3740 (AS 3740)

The areas of coverage and the waterproofing methods & products used in non wet areas of the property (e.g. balconies) are in accordance with the Building Code

Multiskill uses CSIRO approved and AS/NZ 4858 compliant products including Novaglass Polibit Bituminous Membrane and Sealex LF25 Acrylic Liquid Membrane

Frank Fryer
Chairman (Licence Holder)

Darren Fryer
Managing Director

Multiskill Pty Ltd • PH 1300 MSKILL (1300 675 455) • FAX 1300 675 466 • EMAIL info@multiskill.com.au
PO Box 1493 Mudgeeraba QLD 4213 • Unit 9 / 30 Mudgeeraba Rd Mudgeeraba QLD 4213 • ABN 98 072 224 283
Note: This document does not serve as a warranty for the installation. Please refer to the Warranty Certificate for warranty details.



WARRANTY CERTIFICATE

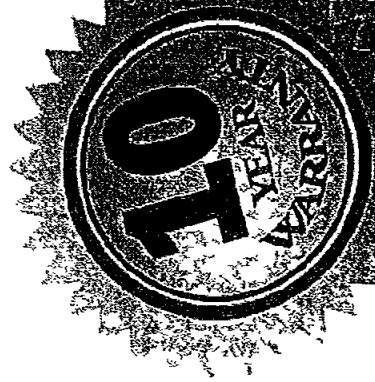
This certifies that the waterproofing system installed by Multiskill Pty Ltd at the address stated below is guaranteed for a period of ten (10) years from the date of handover, subject to the terms & conditions set out on the reverse side of this certificate

DATE OF ISSUE

16 July 2010

ADDRESS

LOT 10 (13) HUNTER ST
WARRIEWOOD NSW 2102



Frank Fryer
Chairman (Licence Holder)

Darren Fryer
Managing Director



#728764



#219530



#13869

PH 1300 MSKILL (1300 675 455) • FAX 1300 675 466
EMAIL info@multiskill.com.au • PO Box 1493 Mudgeeraba QLD 4213
Unit 9 / 30 Mudgeeraba Rd Mudgeeraba QLD 4213 • ABN 98 072 224 283

MULTISKILL PTY LTD WARRANTY TERMS & CONDITIONS

This warranty is subject to all of the terms & conditions listed below. The provisions of this warranty shall be interpreted and governed pursuant to the laws of Australia and the State in which the installation was carried out. This warranty is valid only in Australia.

1 Definitions

For the purposes of this warranty

- The "Property" means the building at the address identified on this certificate
- The "Owner" means the registered legal owner(s) or authorised representative of the owner(s) of the Property such as the Builder contracted to construct the Property
- The "Intended Purpose" means the requirements of a residential waterproofing system, as defined by the AS 3740 - 2004 *Waterproofing of wet areas within residential buildings*.

2 Scope of the Warranty

This certificate warrants to the Owner of the Property that the waterproofing system installed by Multiskill Pty Ltd in the wet areas of the Property is free from defects in materials or workmanship and will perform the Intended Purpose when subject to normal use for a period of ten (10) years from the date of handover

Multiskill Pty Ltd's obligation under this warranty shall be to

- Repair and / or replace at their discretion any defective material and / or defective workmanship at no cost to the Owner and / or
- Reimburse the Owner for any expense(s) incurred by the Owner for the rectification of
 - Damage to the building structure caused by defective material and / or workmanship of the waterproofing system
 - Modifications carried out by Multiskill Pty Ltd during the repair and / or replacement of the defective waterproofing system such as the removal of tiles

Under the terms of this warranty, Multiskill Pty Ltd shall not accept liability for any incidental consequential or punitive damages arising from the use loss of use or failure of a

Multiskill Pty Ltd waterproofing system including but not limited to

- Lost income profits property value or sales
- Injury or damage to person or property
- Structural or other damage not directly related to the defective waterproofing system
- Any other incidental consequential or punitive damage or loss

In any case where a repair and / or replacement of any or all of the defective waterproofing system has been carried out by an authorised and approved Multiskill agent the original warranty issued at the time of installation shall continue to apply for the remainder of the warranty term and no additional replacement or extended warranty shall apply or be issued

The warranty herein is expressly in lieu of any and all other warranties expressed or implied. Any expressed or implied warranty of merchantability or fitness for a particular purpose is excluded from this transaction and shall not apply

3 Warranty Exclusions and Limitations

The warranty herein does not apply, and Multiskill Pty Ltd makes no warranties express or implied with respect to

- The waterproofing system installed in any Property which after installation has been repaired or altered by anyone other than has been authorised and approved by Multiskill Pty Ltd unless in Multiskill Pty Ltd's sole and reasonable opinion such modifications are in no way responsible for the condition complained of
- Damage or malfunction caused by flooding (natural or otherwise) or severe weather conditions including but not limited to cyclone hurricane tornado severe thunderstorm lightning strike or any other natural weather events causing the waterproofing system to endure conditions outside the scope of normal use
- The waterproofing system installed in any Property which is determined to have been pierced torn or otherwise damaged after installation causing failure of the waterproofing system that is not a result of defective materials or workmanship
- The waterproofing system installed in any Property in which any surrounding materials including but not limited to tiles tiling systems bath bath frame, floor wastes fittings etc are removed damaged or otherwise altered

unless in Multiskill Pty Ltd's sole and reasonable opinion such modifications are in no way responsible for the condition complained of

- The waterproofing system installed in any Property which has been used for any purpose other than that which is considered by Multiskill Pty Ltd to be reasonable use
- Any defects or faults reported to Multiskill Pty Ltd later than sixty (60) days after the Owner becomes aware of any alleged waterproofing defect or failure
- The waterproofing system installed in any Property which has not been built according to the specifications supplied to Multiskill Pty Ltd and / or does not meet State and National building requirements and / or has not been constructed by a licenced and qualified builder
- Any waterproofing system where the cause of the defect or failure is deemed to be the result of anything other than a defect in materials or workmanship as reasonably determined by an assessment conducted by an approved Multiskill Pty Ltd agent

4 Making a Claim

To make a claim under the terms of this warranty the Owner shall

- Notify Multiskill Pty Ltd of the alleged defect no later than sixty (60) days after the Owner becomes aware of any alleged waterproofing defect or failure
- Present in conjunction with the claim a copy of the Multiskill Pty Ltd Waterproofing Installation Certificate and Warranty Certificate
- Make themselves available within a reasonable time frame and allow Multiskill Pty Ltd or an approved third party the opportunity to inspect and assess the alleged defect before commencing any repairs or alterations to the alleged defective area
- Where the defect is determined to be covered under the terms of this warranty make themselves available within a reasonable time frame and allow Multiskill Pty Ltd or an approved third party access to the Property to repair and / or replace the defective waterproofing

Where a defect or failure is determined not to be covered by this warranty the Owner will be provided with a quote by Multiskill to perform rectification works and it is at the Owner's discretion to accept or decline this quote



VACCARO GROUP PTY LTD

Electrical & Air Conditioning ABN: 71 074 681 280

4 Centre Place, Wetherill Park NSW 2164

PO Box 6791, Wetherill Park NSW 2164

Branches: New South Wales 474 Pacific Highway Belmont NSW 2280

Queensland 3166 Pacific Highway, Springwood QLD 4127

• DOMESTIC • COMMERCIAL • INDUSTRIAL Ph (02) 9756 1917 Fax (02) 9756 1916



CERTIFICATE OF SMOKE DETECTORS

This is to certify that the smoke detectors installed at

Lot 10 (13) hunter st, Warriewood

Have been installed to Australian Standard 3786 and comply with
part 3 7.2 of building code of Australia.

Finish Off. 06/09/10

Vaccaro Group P/L

Licence # 85207C

Bradford™
for smarter environments



Bradford Home Insulation
LIFETIME WARRANTY*

This is to certify that Bradford™ Insulation product has been installed at

Address LOT 10 (13) HUNTER ST, WARRIEWOOD (the Premises)

Date of Installation Ceiling/Roof 16/10/10
 Walls 30/06/10
 Floor _____

Product Installed	Material R Value		
	Ceiling/Roof	Wall	Floor
Bradford Gold Insulation	R4.1	R2.0	
Bradford Gold HP Insulation			
Bradford SoundScreen™			
Bradford Optimo™ Sub Floor Insulation			
Bradford EnviroSeal™** [Yes/No]			

CSR Building Products Limited ACN 008631356 (**Bradford**) warrants that Bradford™ Gold Bradford™ Gold HP Bradford SoundScreen™ and Bradford Optimo™ Sub-Floor Insulation installed at the Premises will meet the following standards for the life of your home* provided they are not disturbed after installation

1. Achieve optimum fire resistance performance of four zeros when tested in accordance with Australian Standard 1530 part 3 of 1999
2. Be electrically non-conductive allergy free will not pack down rot, support mould or deteriorate
3. Achieve the stated thermal resistances (R Values) in accordance with AS/NZS4859.1

****Bradford EnviroSeal™ is warranted by Bradford for 10 years from the date of installation**

Other than as set out above the Lifetime Warranty is in substitution for and to the exclusion of all other rights and remedies (if any) including liability for personal injury property damage loss of profits savings or opportunity or special or consequential loss however caused or arising.

Certain legislation including the Trade Practices Act 1974 (Cth) may imply warranties or conditions or impose obligations upon Bradford that cannot be excluded restricted or modified or cannot be excluded restricted or modified except to a limited extent This warranty must be read subject to those statutory provisions

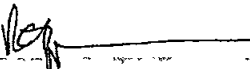
If these statutory provisions apply to the extent to which Bradford is able to do so its liability under those provisions will be limited at its option to

- (a) the replacement of the goods resupply of the services or supply of equivalent goods or services
- (b) the payment of the cost of replacing the goods or supplying the services again or acquiring equivalent good or services
- (c) the repair of the goods or
- (d) the payment of the cost of having the goods repaired

HEALTH and SAFETY INFORMATION

Information on health risks and safe handling of our products is displayed on the packaging and/ or the documentation accompanying them Additional information is listed in product Material Safety Data Sheets available from your regional Bradford Insulation office or on our website www.bradfordinsulation.com.au

*The life of the home is taken by Bradford to be 70 years from the date of product installation for the purpose of this warranty


Ray Thompson
Group Marketing Manager
Bradford Insulation Group
CSR Building Products Limited
ABN 55 008 631 356





AURORA AUSTRALIS HOLDINGS PTY LTD
TRADING AS
CANTERBURY WINDOWS
A B N 89 130 653 575
1/7 Enterprise Place
WETHERILL PARK
NSW 2164
Phone 02 9756 4544
Fax 02 9756 6388

Wednesday, 13 October 2010

Metcon Homes
Bldg E, Level 4
32 Lexington Dr
Baulkham Hills

Job No 356876 + 320811

Compliance Certificate

Canterbury Windows Pty Ltd has supplied products to Metcon Homes for installation at the premises of Lot 10 Hunter St, Warneewood NSW

As per the specifications supplied, Canterbury Windows has glazed these products to comply with AS1288-2006 Glass in Buildings – Selection and Installation and AS2047-1999 Windows in Buildings – Selection and installation

If Canterbury Windows supplied unglazed frames, then Canterbury Windows is not responsible for how the frames are glazed after delivery

It should be noted that it is the builder's responsibility to ensure windows are correctly located in the building as per the plans and specifications provided, so that windows are fully compliant.

Yours Sincerely


Jackie Clifton
Customer Care Representative



Dated 18/10/10

KOLDER PTY LTD Trading as
Sydney Shower Screens and Wardrobes
ABN 43 059 605 882

56 58 Elizabeth St
Wetherill Park NSW 2164
PO Box 6247
Wetherill Park NSW 2164

Showroom
56-58 Elizabeth St
Wetherill Park NSW 2164

Phone 02 9612 1000
Fax 02 9612 1001

www.sydneyshowers.com.au

METRICON HOMES
PO BOX 7510
NORWEST BUSINESS PARK NSW 2153

Fax 8079 5901

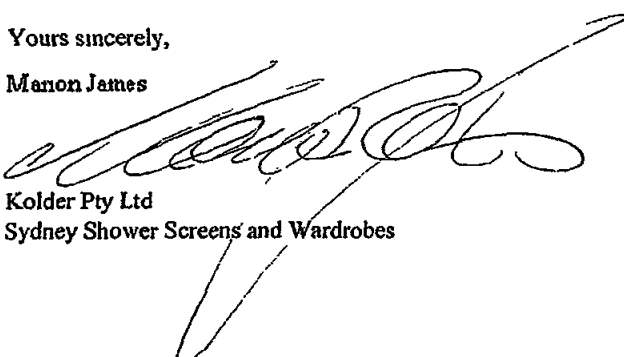
GLAZING CERTIFICATE

Your Job No 610580
Our Reference CRN 555-36274
Our Reference Schedule 10090125
Site Address LOT 10 # 13 HUNTER STREET WARRIEWOOD
Date of Installation 09/09/10

This letter is to certify that the Shower Screens and Mirrors installed at the above address were glazed with safety glass, which is warranted by their supplier to be manufactured to meet or exceed AS2208 as 'A' Grade Safety Glass. This Glazing in shower screens also meets or exceeds the requirements of AS1288 Section 5.12 as well as BCA 2007 Volume 2, part 3.6.4.5

Yours sincerely,

Manon James



Kolder Pty Ltd
Sydney Shower Screens and Wardrobes

COMPLETE PLUMBING & DRAINAGE PTY. LTD.

Licence No 140680C

A DIVISION OF THE GPM GROUP OF COMPANIES

ABN 12 069 981 497

3/14 Wingate Road Mulgrave NSW 2756
Telephone 02 4577 3610 Facsimile 02 4577 3910

METRICON HOMES

DATE 12 10 - 10

JOB NO 610580

CLIENT Fitter

JOB ADDRESS Lot 10 (#13) Hunter St

South Worriewood

Certificate of Compliance for Plumbing and Drainage



Certificate of Compliance for Gas Installation



Basix Certificate



Stormwater and Sewer Diagram



Hydraulic Stormwater + Compliance certificate



~~Backflow Prevention (Underground R/W Tanks Only)~~
Above ground tank installed

N/A



~~will send direct to client if required~~

Prepared By Debbie Foss

Scanned

FAXED

13 OCT 2010

BY NSW + Claudia

Emailed to. NSWadmin@metricon.com.au

Plumbing & Drainage, Gas & LPG fitting

Certificate of Compliance with Gas Installation Code AS 5601
and Alinta AGN Limited gasfitting rules
Customer Copy
Installation of Reticulated Gas & Associated Equipment Alinta AGN Limited A B N 003 004 222

Owner/Occupier <u>F. Hiler</u>		Type of Appliance Installation		I have installed the following appliance/s	
Job Address <u>410 Hunter St</u>		☒ Gas to Gas	☒ 713 Cooker	☐ 723 Pool/Spa Heater	
<u>Marlewood 2102</u>		☐ Electricity to Gas	☐ 727 Wall Oven	☐ 717 Ducted Heating/Central Heating	
		☐ Other Fuel	☐ 714 Cooktop	☐ 725 Flued Space Heater	
Summary of work performed			☐ 718 Storage HWS Internal	☒ 711 Bayonet Fitting	
			☐ 719 Storage HWS External	☐ 715 Log Fire	
			☐ 720 Continuous HWS Internal	☒ 710 BBQ	
			☒ 721 Continuous HWS External	☐ Other	
			☐ 734 Gas Boosted Solar HWS		
			☐ 731 Gas Airconditioning		
Gas Meter Details	Meter No	Location on Site	☐ Existing Gas Customer ☐ New Gas Connection ☒ New Home ☐ Industrial ☐ Commercial		

I, F. Hiler hereby certify that the whole installation or modification detailed above has been carried out by me, in accordance with the current requirements of the Gas Utility and Gas Installation Code AS 5601 I further certify that all tests required by the said Code, have been carried out and that the entire installation is free from any leakage

Licensee's Signature [Signature] Licence No 82645C Date 12 10 10
Address 114 Wagstaff Rd Mulgrave Vic 3217 Tel 45 77 3610

This copy to be given to the owner of the gas installation as soon as the job has been completed

COMPLETE PLUMBING & DRAINAGE PTY. LTD.

Licence No 14068DC

A DIVISION OF THE GPM GROUP OF COMPANIES

ABN 12 069 981 497

3/14 Wingate Road Mulgrave NSW 2756
Telephone 02 4577 3610 Facsimile 02 4577 3910

13 October 2010

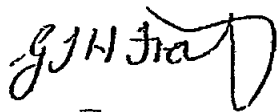
Job No 610580

Re Lot 10 (#13) Hunter Street Warriewood
Basix Certificate Number 269313S

I refer to the above property and advise that all items to the best of my knowledge as noted on the above Basix Certificate, within the scope of my responsibility as the principal contractor, have been complied with and to specification as stated in the Basix Certificate

Please note The service location plans provided to you are an approx location only & are provided only to indicate the path in which the services are laid It is the owners/owners contractors' responsibility to locate these services before excavation takes place

Yours faithfully
COMPLETE PLUMBING & DRAINAGE



Gregg Frater
GENERAL MANAGER

Plumbing & Drainage, Gas & LPG fitting

496030

NEW SOUTH WALES

LICENSEE'S CERTIFICATE OF COMPLIANCE - for Plumbing and Drainage Work

Serial No E

Please supply requested information fully and neatly to ensure the prompt issue of the permit

Account/Property/Rate No

PROPERTY & OWNER DETAILS

House No Lot No Street Suburb
 Municipality/Shire Postcode Nearest Cross Street
 Full Address
 Owner's Name

LICENSEE'S DETAILS

Full Name Phone No
 Qualified Supervisor No Expiry Date
 Contractor/Company/Partnership Licence No

WORK OF WATER SUPPLY & METER DETAILS

Size of Drilling/No Main Size-Size of Tee to be cut into Main Size of Valve
 Size of pipework Main to Meter or Drilling Date/Time
 Size of Meter Meter No Office issued from
 Reference No

Full Description of Work/Affixed meter or returned Meter and List the Number of Fittings to be Connected

- Carry out work of Water Supply
- Install Irrigation system
- On-site water services where a reticulated water supply is installed
- Install/Commission/Maintenance of Thermostatic Mixing Valve
- Draw water from Water Utilities supply standpipe or self water so drawn
- Install alter disconnect or remove a meter connected to service pipe
- Install alter disconnect or remove a backflow prevention device

☐ CONTAINMENT ☐ ZONE ☐ INDIVIDUAL

Fittings to be Connected	Number Existing	Number proposed	Connected to Drinking Water	Connected to Non Drinking Water
W C				
Basin				
Bath				
Shower				
Kitchen				
Laundry				
Other (Specify)				
Irrigation System				

WORK OF SANITARY PLUMBING/DRAINAGE AND STORMWATER

Give full description of work and list the number of fittings to be connected

- Carry out work of sanitary plumbing/drainage
- Carry out work of Stormwater drainage
- Connection to Sewer
- Sewer Disconnection
- Connection to stormwater system
- Carry out Trade Waste work

Trade Waste Permit Number

Fittings to be Connected	Number Existing	Number proposed
W C		
Basin		
Bath		
Shower		
Kitchen		
Laundry		
Other (Specify)		

SEWERAGE/WATER SERVICE INSPECTION FEE

Date Fee Paid Amount \$ Building Fee Receipt No
 Authorising Officer Office/Agency Drainage No/Date
 Estimated Date of Completion
 Date of Commencement of Work

- I, in respect of authorised work carried out by me at the above mentioned property I certify that:
- The work has been completed in accordance with the Permit issued or deemed given by the Local Authority
 - The work has been installed using only authorised pipes, fittings and fixtures
 - The completed work has been tested as required by the Local Authority and has passed such test
 - In my opinion the work complies with the relevant Local Authorities Act By Laws and Codes of practice
 - Meter No. that was fixed
 - The work was completed on within a period of twelve (12) months or within the time specified by Local Authorities from the date of completion and the
- If any defect is found in the work carried out by me within a period of twelve (12) months or within the time specified by Local Authorities from the date of completion and the Local Authorities Inspector for Plumbing and Drainage certifies that in his opinion the defect is due to faulty workmanship or defective materials then I undertake to rectify such work at my sole expense if so directed by the Local Authorities Inspector for any time specified by the Local Authorities

This copy is to be forwarded to the Owner/Agent within two (2) working days of being completed

Signature of Contractor

[Signature]

PUBLIC RESERVE



REFER TO SHEET 2 FOR RAINWATER TANK DETAILS
LEAF GUTTER GUARDS OR SIMILAR SCREENING
RECOMMENDED TO ALL GUTTERS.

SCALE(S) 32000:100 A.M.A.
SCALE BAR - 1"= 100'0" L.S.
DATE 02/27/2009
DRAWN M.L.
DESIGNED M.L.
APPROVED



PROJECT
PROPOSED RESIDENCE
AT 13 HUNTER STREET
SOUTH WARREWOOD
FOR MR & MRS FITLER

THE DRAWING
**STORMWATER
LAYOUT SH.1**
BLUES
METTRICON HOMES

JOB NUMBER
M2135-610580

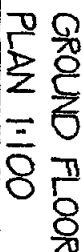
SHEET NO.
1 of 2

REVISION

[illegible][illegible]

'H' CLASS SLAB

✓
DO CHECKED BY
DATE



GROUND FLOOR
PLAN 1:100



NOTES: WINDOW DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY. * WINDOW SIZES SHOWN ARE SUPPLIERS' FRAME SIZES. ALL SIZINGS TO COMPLY WITH A.S. 1228-2006 CLASS 1 IN BUILDINGS, & WITH A.S. 4055-1992 FOR WINDLOADING. * WINDOW SUPPLIERS TO PROVIDE COVER BOARDS TO ALL CORNER MEMBERS UNLESS OTHERWISE NOTED. * ALL CORNER MEMBERS MAX. 1200 INTO REAR WALL TO BE BUILT OVER MAIN SPACES. * ALL WOOD FLOORS TO BE REMOVABLE IN ACCORDANCE WITH S.B.A.3.3.3									
WARRANTY/STY	RE-PROTECT	AMENDMENTS/STY	ADDS:						
No	Date	Revised/Comments	608 FILE	11/02/04	608025	2236 SQA			
W01	1-1-1	XX XX COA	1ST FLE	15021 SQA	PORCH	146 SQA			
W02	1-1-1	XX XX COA			BALCONY	111 SQA			
W03	1-1-1	XX XX COA			OUTDOOR	7404 SQA			
W04	1-1-1	XX XX COA	SUBTOTAL	25211 SQA	TOTAL	35210 SQA			
W05	1-1-1	XX XX COA	2114 SQR			3420 SQR			
			DESIGNER: NEWHAVEN 33 TRADE PLANTATION: CEILING, 25 ft OWNER: DAVIDE LOCATION: J FLOOR PLAN MEMORANDUM: THESE GATES CARRIERS IN THIS DRAWING. MAINTENANCE OF REPRODUCTION OF THIS DRAWING IS PROHIBITED AND WILL BE PROSECUTED.						
DESIGNER: metricon collection OWNER: MR & MRS FITTLER LOT 10, NO 13 HANER STREET SOUTH WARRIEWOOD DATE: 11/06/04 108 NO 6 10360 22 025 3009 1ST VISIT: 11 OCT 2003 PERMIT NO: TELEPHONE: 02 8887 5000 FAX: 02 8073 5901 CONTRACTOR LICENSE NO: 1174689 A.C.L. 005 108 782 © COPYRIGHT 2008 REPRODUCTION PROHIBITED									
SHEET 2 of 10									

• **Meltricon Homes Pty Ltd** ABN 55 201 276 124

Building E Level 4
32 Lexington Dr Baulkham Hills NSW 2153
Phone 02 8887 9000 Fax 02 8079 5901
Accounts Phn 03 9915 5555 Accounts Fax 03 9222 5154

Contact Numbers

Melbourne Ordering Phn 03 9915 5555 Ordering Fax 03 9222 5152
Shepparton Ordering Phn 03 5820 1222 Ordering Fax 03 5820 1221
Geelong Ordering Phn 03 5277 7477 Ordering Fax 03 5277 7478
New South Wales New South Wales Phone 02 8887 9000 Fax 02 8079 5901

Order Number
610580/373/01

PURCHASE ORDER
No Prices

Business Unit: New South Wales
District: NSW - Sydney West
Designer

****Click for Google Map**



Order Date 22/02/2010

Cost Centre.373

Supplier

Page 1 of 1

REECEN
REECE PTY LTD
1 TOLLIS PLACE

SEVEN HILLS
Phone (02) 9674 9099 **Fax** (02) 9674 9010

Lot No 10
13 HUNTER STREET
WARRIEWOOD NSW 2102

Street No 13

Map UBD138J 10 **House** NEWHAVEN 36 Plantation
Site Mgr Nathan Shearan **Mobile** 0407 267 328

PLEASE SUPPLY THE FOLLOWING SANITARYWARE & TAPS

Item	Item Description	Quantity	Unit
------	------------------	----------	------

Authorised _____
Estimator Name Mario Puno
Estimator Email MarioPuno@meltricon.com.au
Estimator Phone _____
Estimator Fax _____

IMPORTANT Order number must appear on ALL invoices

Page 1 of 1

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Metricon Homes Pty Ltd ABN 55 201 276 124
Building E, Level 4
32 Lexington Dr Baulkham Hills NSW 2153
Phone 02 8887 9000 Fax 02 8079 5901
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New South Wales New South Wales Phone 02 8887 9000 Fax 02 8079 5901

Order Number
610580/373/01

PURCHASE ORDER (Conf'd)

****Click for Google Map** 

No Prices

Business Unit New South Wales
District NSW - Sydney West
Designer

Order Date 22/02/2010

Cost Centre 373

Supplier

Page 2 of 2

REECEN
REECE PTY LTD
1 TOLLIS PLACE

SEVEN HILLS
Phone (02) 9674 9099 Fax (02) 9674 9010

Lot No 10 Street No 13
13 HUNTER STREET
WARRIEWOOD NSW 2102

Map UBD138J 10 House NEWHAVEN 36 Plantation
Site Mgr Nathan Shearan Mobile 0407 267 328

PLEASE SUPPLY THE FOLLOWING SANITARYWARE & TAPS

Item	Item Description	Quantity	Unit
0040	ALDER ALTO SINK MIXER CHROME - 210MM RECTANGULAR HOB (81295)	1 000	Each
0050	ALDER ALTO BASIN MIXER CHROME (81090)	4 000	Each
** 373 030 **			
0040	ALDER ALTO MIXER w Metza Rectangular 250mm Outlet BATH (81494)	2 000	Each
** 373 050 **			
3510	98700 AQ ECO DBL RAIL SHOWER RO ABS + HS150	1 000	Each
** 373 060 **			
0702	MINI CISTERN STOP - CHROME	3 000	Each
** 373 080 **			
0200	STYLUS Venecia Vitreous China Link Toilet Suite (W45300sc) - - S TRAP	3 000	Each
** 373 800 **			
0010	CARTAGE	1 000	Job
			Net Amount
			GST
			Total Amount

Authorised _____
Estimator Name Mario Puno
Estimator Email MarioPuno@metricon.com.au
Estimator Phone _____
Estimator Fax _____

IMPORTANT Order number must appear on ALL Invoices

Page 2 of 2

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Metricon Homes Pty Ltd ABN 55 201 276 124

Building E Level 4
32 Lexington Dr Baulkham Hills NSW 2153
Phone 02 8887 9000 Fax 02 8079 5901
Accounts Phn 03 9915 5555 Accounts Fax 03 9222 5154

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Order Number
610580/373/01

PURCHASE ORDER
No Prices

Business Unit New South Wales
District NSW - Sydney West
Designer

**Click for Google Map



Order Date 22/02/2010

Cost Centre 373

Supplier

Page 1 of 2

REECEN
REECE PTY LTD
1 TOLLIS PLACE

SEVEN HILLS
Phone (02) 9674 9099 Fax. (02) 9674 9010

Lot No 10 Street No 13
13 HUNTER STREET
WARRIEWOOD NSW 2102

Map UBD138J 10 House NEWHAVEN 36 Plantation
Site Mgr Nathan Shearan Mobile 0407 267 328

PLEASE SUPPLY THE FOLLOWING. SANITARYWARE & TAPS

Item	Item Description	Quantity	Unit
** **			
	Alder Alto Mixer with Eco Rain Shower Head 98600 (\$280)	2 000	Quote
	JOB NOTES	1 000	Quote
	*It is the Vendors responsibility to ensure the DWELLING and SECURITY GATES are LOCKED after deliveries or when works are completed for the day		
	*A CLEAN ROADWAY must be maintained when exiting the site		
	*All building debris to be placed in RUBBISH CUBICLE or where directed by SUPERVISOR		
	*ANY additional works, as approved, above the standard let order is to be SEPERATLY INVOICED within 7 days for authonzation and / or P A adjustment purposes		
	*It is the CONTRACTORS RESPONSIBILITY to ensure ALL DIAL BEFORE YOU DIG REQUIREMENTS have been satisfied prior to SITE WORKS starting		
	*ENSURE ALL final consolidation requirements are checked and followed		
	*Colour Selections, Client Variations and Working Drawings TAKE PRECEDENCE over the order		
	*The contractor is to keep the site CLEAN and SAFE		
	*Please contact the Job Estimator with any errors relating to quantities or pricing		
	*Invoice will be rejected if Order Value is EXCEEDED		
* 285 030 **			
B500	BASIN PLUG & WASTE 32/40mm CHROME ON BRASS with overflow	4 000	Each
* 373 010 **			
0010	ALDER MILANO SINK MIXER CHROME (84190)	1 000	Each

IMPORTANT Order number must appear on ALL invoices

Page 1 of 2

Accounts Phn 03 9915 5555 Accounts Fax 03 9222 5154

Melbourne Ordering Phn 03 9915 5555 Ordering Fax 03 9222 5152
Shepparton Ordering Phn 03 5820 1222 Ordering Fax 03 5820 1221
Geelong Ordering Phn 03 5277 7477 Ordering Fax 03 5277 7478
New South Wales New South Wales Phone 02 8887 9000 Fax 02 8079 5801

****Click for Google Map**



Page 1 of 1

Map UBD138J 10 **House** NEWHAVEN 36 Plantation
Site Mgr Nathan Shearan **Mobile** 0407 267 328

Item	Item Description	Quantity	Unit
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Page 1 of 1

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Metricon Homes Pty Ltd ABN 55 201 276 124
Building E, Level 4
32 Lexington Dr Baulkham Hills NSW 2153
Phone 02 8887 9000 Fax 02 8079 5901
Accounts Phn 03 9915 5555 Accounts Fax 03 9222 5154

Contact Numbers
Melbourne Ordering Phn 03 9915 5555 Ordering Fax 03 9222 5152
Shepparton Ordering Phn. 03 5820 1222 Ordering Fax 03 5820 1221
Geelong Ordering Phn 03 5277 7477 Ordering Fax 03 5277 7478
New South Wales New South Wales Phone 02 8887 9000 Fax 02 8079 5901

Order Number
610580/325/01

PURCHASE ORDER

****Click for Google Map** 

No Prices

Business Unit New South Wales
District NSW - Sydney West
Designer

Cost Centre. 325

Order Date 22/02/2010

Supplier

Page 1 of 1

REECEN
REECE PTY LTD
1 TOLLIS PLACE

SEVEN HILLS
Phone (02) 9674 9099 Fax. (02) 9674 9010

Lot No 10 Street No 13
13 HUNTER STREET
WARRIWOOD NSW 2102

Map UBD138J 10 House NEWHAVEN 36 Plantation
Site Mgr Nathan Shearan Mobile 0407 267 328

PLEASE SUPPLY THE FOLLOWING GAS HOT WATER UNITS

Item	Item Description	Quantity	Unit
------	------------------	----------	------

** **

JOB NOTES

1 000 Quote

*It is the Vendors responsibility to ensure the DWELLING and SECURITY GATES are LOCKED after deliveries or when works are completed for the day
*A CLEAN ROADWAY must be maintained when exiting the site
*All building debris to be placed in RUBBISH CUBICLE or where directed by SUPERVISOR
*ANY additional works, as approved, above the standard let order is to be SEPERATLY INVOICED within 7 days for authorization and / or P A adjustment purposes
*It is the CONTRACTORS RESPONSIBILITY to ensure ALL DIAL BEFORE YOU DIG REQUIREMENTS have been satisfied prior to SITE WORKS starting
*ENSURE ALL final consolidation requirements are checked and followed
*Colour Selections Client Variations and Working Drawings TAKE PRECEDENCE over the order
*The contractor is to keep the site CLEAN and SAFE
*Please contact the Job Estimator with any errors relating to quantities or pricing
*Invoice will be rejected if Order Value is EXCEEDED

**** 325 030 ****

0030	RINNAI INFINITY 26 GAS H W UNIT (No Controllers) replaced Rinnai 24	1 000	Each
0050	RINNAI INFINITY CONTROL UNIT MC91Q-2A	2 000	Each
		Net Amount	
		GST	
		Total Amount	

Authorised _____
Estimator Name Mano Puno
Estimator Email ManoPuno@metricon.com.au
Estimator Phone _____
Estimator Fax. _____

IMPORTANT Order number must appear on ALL invoices Page 1 of 1

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Geelong Ordering Phn 03 5277 7477 Ordering Fax 03 5277 7478
New South Wales New South Wales Phone 02 8887 9000 Fax 02 8079 5901

Order Number
610580/248/01

PURCHASE ORDER (Conf'd)

**Click for Google Map 

No Prices

Business Unit New South Wales
District NSW - Sydney West
Designer

Order Date 22/02/2010

Cost Centre 248

Supplier

Page 2 of 2

TANAUS
TANKWORKS AUSTRALIA PTY LTD
16-18 SAMMUT ST

SMITHFIELD
Phone 1300 736 562 Fax 1300 736 582

Lot No 10 Street No 13
13 HUNTER STREET
WARRIEWOOD NSW 2102

Map UBD138J 10 House NEWHAVEN 36 Plantation
Site Mgr Nathan Shearan Mobile 0407 267 328

PLEASE SUPPLY THE FOLLOWING RAINWATER TANK

Item	Item Description	Quantity	Unit
------	------------------	----------	------

Authorised

Estimator Name Mario Puno
Estimator Email MarioPuno@metricon.com.au
Estimator Phone
Estimator Fax

IMPORTANT Order number must appear on ALL Invoices

Page 2 of 2

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New South Wales New South Wales Phone 02 8887 9000 Fax 02 8079 5901

Order Number
610580/248/01

PURCHASE ORDER
No Prices
Business Unit New South Wales
District. NSW - Sydney West
Designer

****Click for Google Map** 

Order Date 22/02/2010

Cost Centre 248

Supplier

Page 1 of 2

TANAUS TANKWORKS AUSTRALIA PTY LTD 16-18 SAMMUT ST		Lot No 10 13 HUNTER STREET WARRIEWOOD NSW 2102	
SMITHFIELD Phone 1300 736 562 Fax 1300 736 582		Map UBD138J 10 Site Mgr Nathan Shearan	Street No 13 House NEWHAVEN 36 Plantation Mobile 0407 267 328

PLEASE SUPPLY THE FOLLOWING RAINWATER TANK

Item	Item Description	Quantity	Unit
------	------------------	----------	------

** **

8716L 2500dia x 1785h Tall
Rainwater Tank
Note Includes supply and installation of tanks Rainbank
Controller D42A/B Sump Pump and connection to all
service points
Quotation No SQO1370 dated 09/02/10

1 000 Quote

JOB NOTES
*It is the Vendors responsibility to ensure the
DWELLING and SECURITY GATES are LOCKED after
deliveres or when works are completed for the day
*A CLEAN ROADWAY must be maintained when
exiting the site
*All building debrn to be placed in RUBBISH CUBICLE
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*ANY additional works as approved above the
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within 7 days for authorization and / or P A adjustment
purposes
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Drawings TAKE PRECEDENCE over the order
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*Please contact the Job Estimator with any errors
relating to quantities or prncing
*Invoice will be rejected if Order Value is EXCEEDED

1 000 Quote

**** 248 100 ****

9990 Delivery 1 000 Item

Net Amount
GST
Total Amount

IMPORTANT Order number must appear on ALL invoices

Page 1 of 2

Account/Property/Rate No

Serial No E

Owner's Co., y.

528148

Please supply requested information fully and neatly to ensure the prompt issue of the permit

PROPERTY & OWNER DETAILS

Locality No 15 Lot No 10 Street Hunter St Suburb Narrabri
 Municipality/State Pittwater Postcode 21102 Nearest Cross Street _____
 Owner's Name Melvin Homes Full Address As above

LICENSEE'S DETAILS

Full Name Mark Potil	Address for Notices 10 Annickson St. Richmond BC	Phone No. 607205750
Qualified Supervisor No. 1966756	Expiry Date 11/10/11	Contractor/Company/Partnership Licence No. [Blank]
		Expiry Date [Blank]

WORK OF WATER SUPPLY / METER DETAILS

Size of Drilling No.	Size of prework Main to Meter	Main Size	Size of Tee to be cut into Main	Size of Valve
		OR		
Reference No.	Size of Meter	Meter No.	Drilling Date/Time	Office Issued from

Full Description of Work/Affixed meter or returned Meter and List the Number of Fillings to be Connected

- Carry out work of Water Supply ☐
- Install irrigation system ☐
- On-site water services where a reticulated water supply is installed ☐
- Install/Commission/Maintenance of Thermostatic Mixing Valve ☐
- Draw water from Water Utilities supply, standpipe or self water so drawn ☐
- Install, alter, disconnect or remove a meter connected to service pipe ☐
- Install, alter, disconnect or remove a backflow prevention device ☐

☐ CONTAINMENT ☐ ZONE ☐ INDIVIDUAL

Fittings to be connected	Number Existing	Number proposed	Connected to Drinking Water	Connected to Non-Drinking Water
W.C				
Basin				
Bath				
Shower				
Kitchen				
Laundry				
Other (Specify)				
Irrigation System				

WORK OF SANITARY PLUMBING/DRAINAGE AND STORMWATER

Give full description of work and list the number of fittings to be connected

- Carry out work of Sanitary plumbing or drainage
- Carry out work of Stormwater drainage
- Connection to Sewer
- Sewer Disconnection
- Connection to stormwater system
- Carry out Trade Waste work

Trade Waste Permit Number

Findings to be Connected	Number Existing	Number Proposed
W/C, etc.		
Basin		
Bath		
Shower		
Kitchen		
Laundry		
Other (Specify)		

SEWERAGE/WATER SERVICE INSPECTION FEE

Date of Bid Paid	Amount	Receipt No.	Building Fee	Receipt No.
26/8/10				
Authorising Officer	Office/Agency		Ordnance No.	
Date of Commencement of Work	Estimated Date of Completion	Signature of Contractor		
26/8/10	26/8/10	MM		

In respect authorised work completed by the claimant(s) on the project, I certify that:

(a) The work has been completed in accordance with the terms of the agreement entered into by the Local Authority and the claimant(s);

(b) The work has been carried out in the authority's premises and fixtures;

(c) The completed work has been accepted by the Local Authority and has passed the relevant tests;

(d) The claimant(s) has/have complied with the Local Authority's Act, By-Laws and Codes of practice.

Model Number: 26 S 10

(e) The work was completed on 26 S 10

If any defects found in the work carried out by the within a period of twelve (12) months or within the time specified by Local Authorities, from the date of completion, and the Local Authorities Inspector of Plumbing and Drainage certifies that in his opinion the defect is due to faulty workmanship or defective materials, then it is the duty of the contractor to rectify such work at his sole expense, or as directed by that Local Authorities Inspector or any time specified by the Local Authority.

This copy is to be forwarded to the owner/Agent within two (2) working days of being completed.

Signature of Contractor



Ibrahim Stormwater Consultants

ABN 37 116 185 516

Att Claudia Evans
C/O Private Certifying Authority
Metricon Homes Pty Ltd
Build E, Level 4, 32 Lexington Drive
Baulkham Hills NSW 2153

26th of November 2010,

Job Ref M2135-610580

INTERIM STORMWATER CERTIFICATION

**RE PROPOSED DEVELOPMENT
AT 13 HUNTER STREET
WARRIEWOOD
For MR & MRS FITTLER**

The site was inspected on 26th of November 2010, and the external visible pits, and stormwater system requirements have been checked and partially comply with the approved details on drawing M2135-610580 Sheets 1 to 2 dated 11-9-09, (subject to the variations/exclusions listed below), and submitted Survey Report prepared by Registered Surveyor D Burton of Aspect Development and Survey

The placing of the pipes, and pits has not been supervised and any charged systems have not been tested, however we are satisfied that the work when completed in accordance with good workmanship, and essential ongoing maintenance will be satisfactory

This certification is prepared in respect of the D A conditions pertaining to the OSD stormwater system only (All re-use components to be certified by plumber) RE-INSPECTION
REQUIRED TO ISSUE FINAL STORMWATER CERTIFICATION

Variations/Exclusions

- 1 Minor level changes insignificant
- 2 Maxumesh screen to silt arrestor pit to be installed
- 3 Orifice outlet not at correct height as noted on WAE to comply with Basix Orifice outlet to be raised per design drawings
- 4 Missing Downpipe on southern face to be installed
- 5 OSD Marker Plate to be installed - not visible at time of inspection
- 6 Plumbers drainage diagram and certification to be provided
- 7 Grated drains by owner installed 100x100 in lieu of 150x100 - Minor
- 8 Charged lines may require maintenance as no water in downpipes evident
- 9 Owner is responsible to ensure external ground levels maintain 150mm clearance to finished floor level of house when landscaping completed

Yours faithfully,

Per Ibrahim Stormwater Consultants

Mark Ibrahim

B E Hons, M I E Aust CPEng,

This is only a design certificate and is not a Part 4A certificate, as only a consent authority the council or an accredited certifier can issue such

Office Suite 25, 15 Terminus Street Castle Hill NSW 2154
Mail P O Box 400 Cherrybrook NSW 2126
Ph 02 9980 5515 Fax 02 9980 6114

Fitter Nathan



P O Box 273 HRMC 2310
Ph (02) 4964 9688
Fax (02) 4964 9699

24 Laverick Avenue, Tomago 2322
Contractor's Licence #156383C
ABN 17 106 211 885

Component Certificate

Alrail Pty Ltd Trading as Castle Railing & Gates, a licensed subcontractor, hereby certify that the balustrade installed to lot 10 #13 Hunter Street, Warriewood has been designed, constructed and installed in accordance with AS1170 1-2002 Minimum Design Loads of Structures. The structures also comply with the design criteria set out in the Building Code of Australia for Balustrade. In particular BCA part 3 9 2 (page 449 to 455) Table 3 9 2 1

The balustrade installed comprises external stainless steel wire balustrade to front balcony

The builder of the development is Metricon Homes

Regards,



John Laws – Bachelor of Engineering A. Dip Materials Technology
Managing Director

Web Site www.castlerailing.com.au

Email sales@castlerailing.com.au