

Legend

New Works

Existing Works

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1259

Issue	Date	Amendment	D	15.10.19	Issued for client	Project:	Alterations/Additions Two Storey House
A	16.08.19	Issued for client	E	24.10.19	Issued for client	Address:	16 Mulawa Pl Frenchs Forest NSW 2086
B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Roof Plan
						Project no:	VCARA3102
						Sheet no:	09
						Drawn:	VP A3

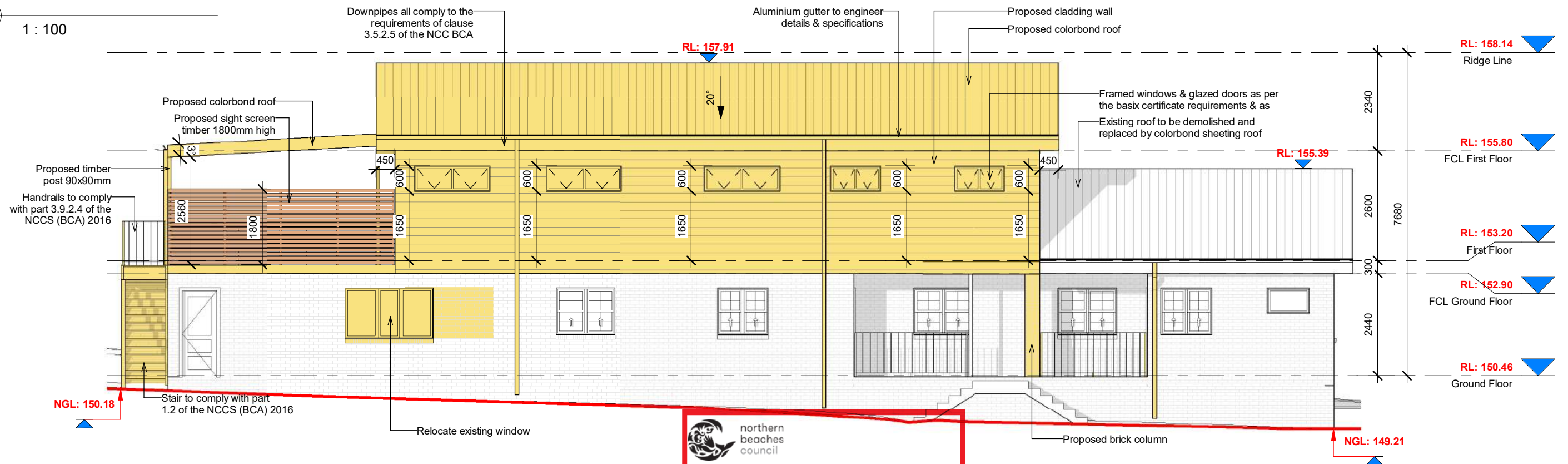




North East Elevation

1

1 : 100



South West Elevation

2

1 : 100

Legend

	New Works
	Existing Works



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DA2019/1259

VISUAL SCALE 1:100 @ A3

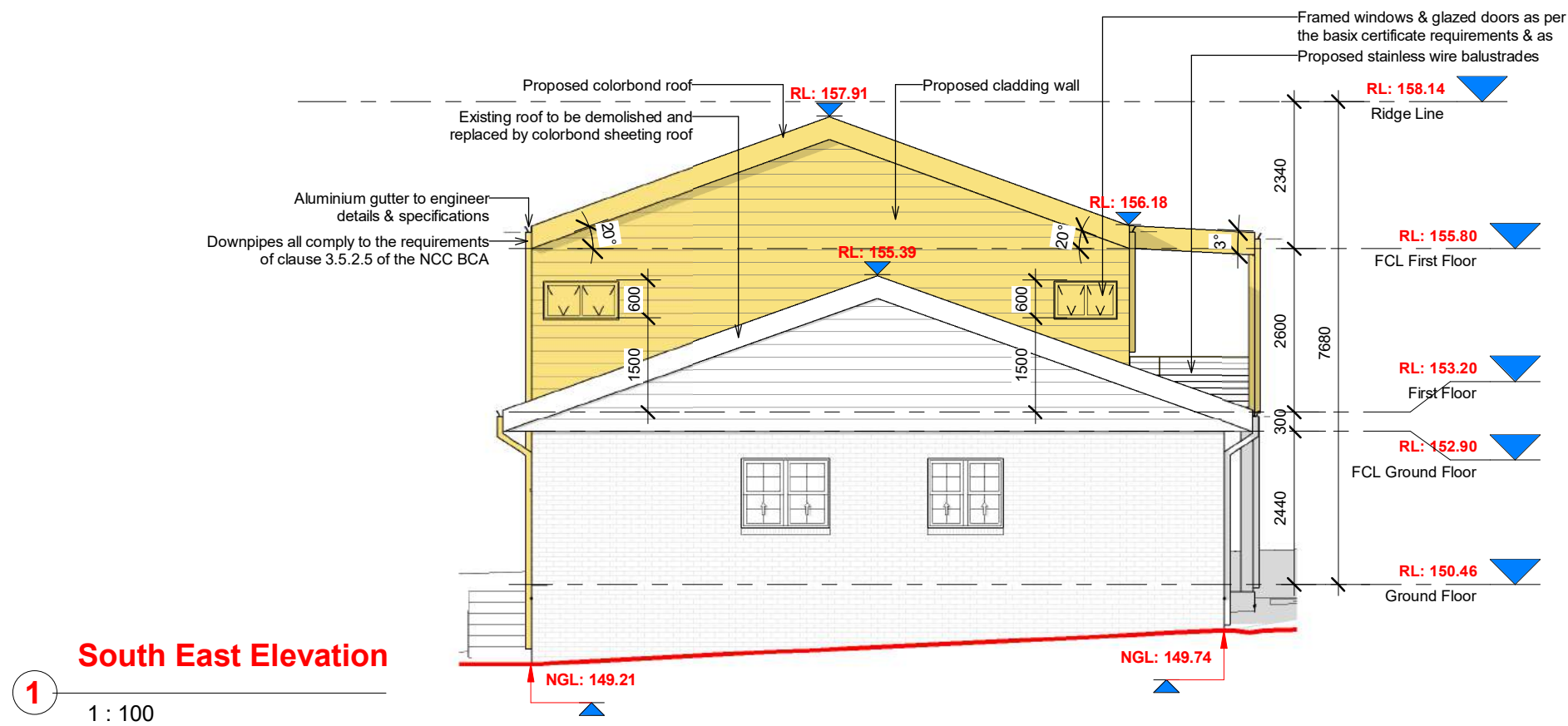
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C	11.09.19	Issued for client	G	Drawing:	Front Elevation and Rear Elevation
						Project no:	VCARA3102
						Sheet no:	10
						Drawn:	VP A3

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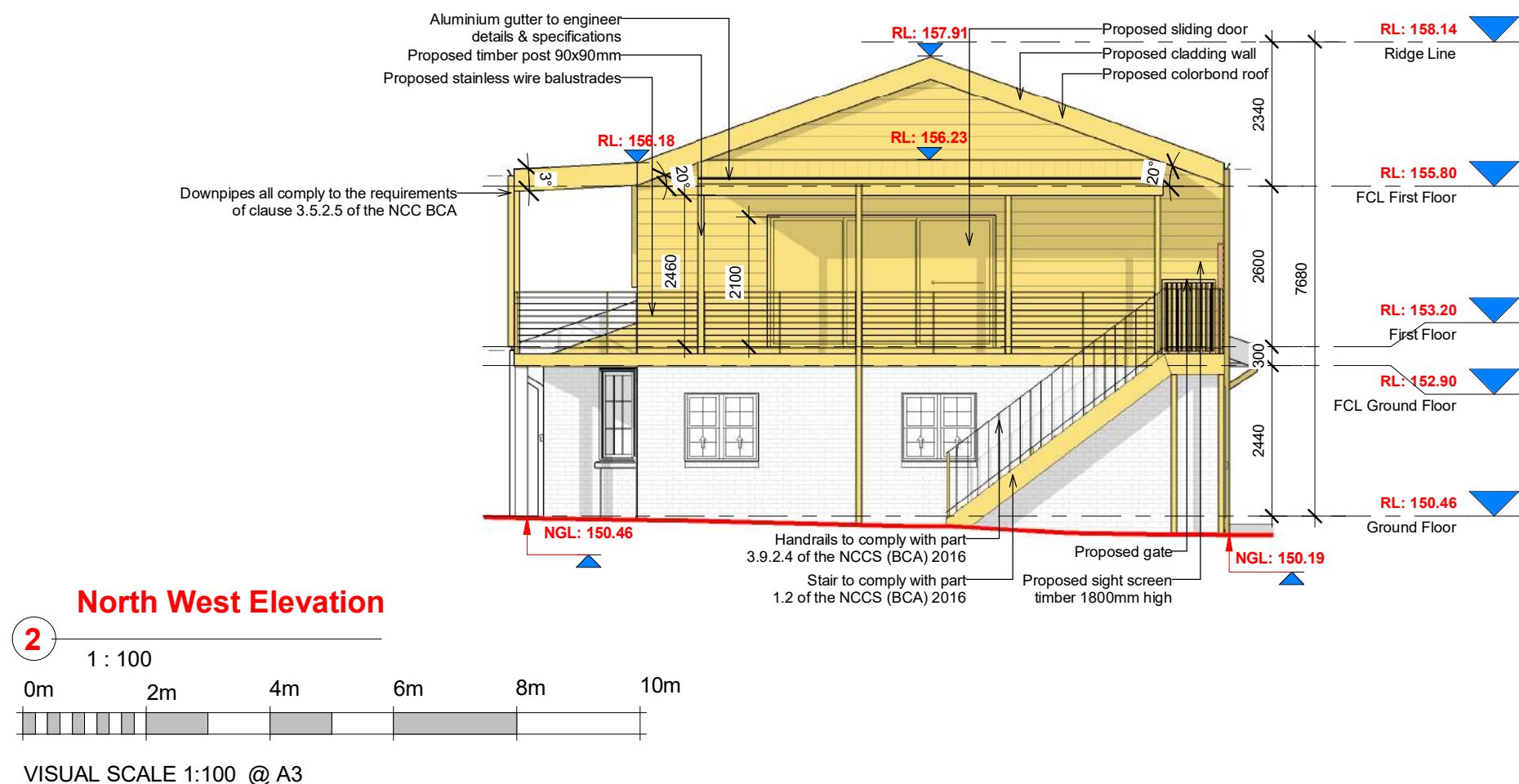
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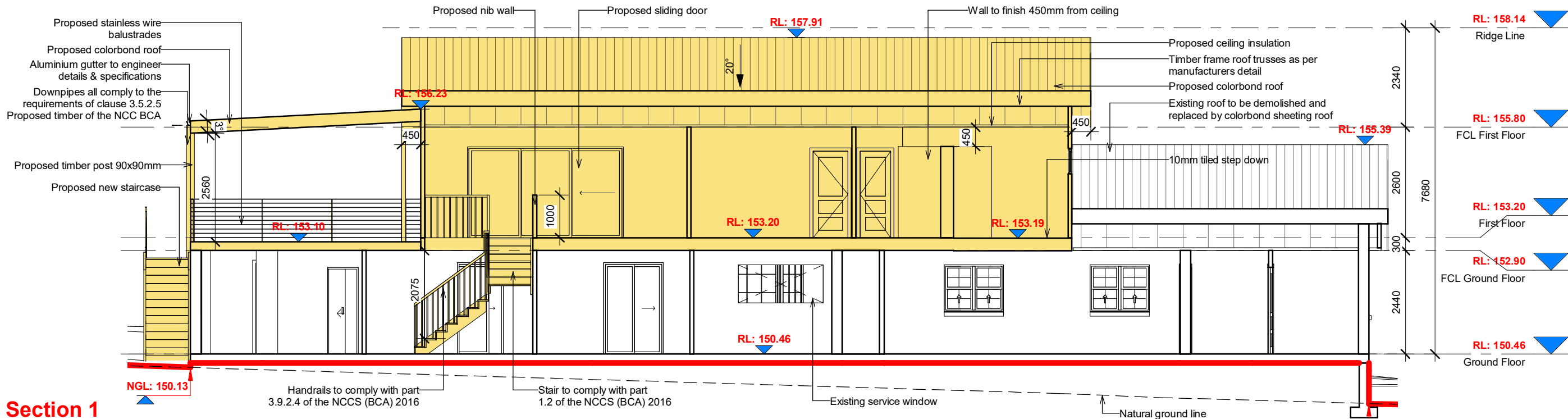
northern beaches council

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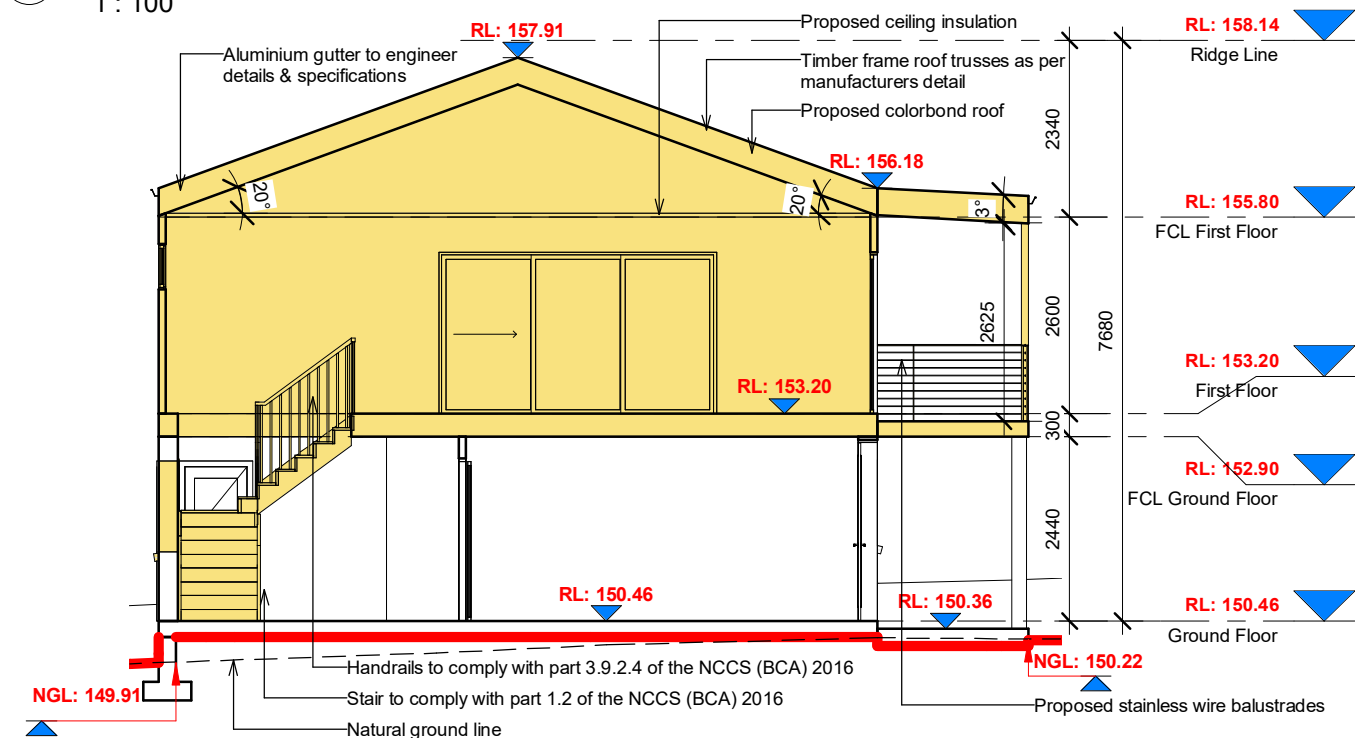


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C	11.09.19	Issued for client	G	Drawing:	Side Elevations
						Project no:	VCARA3102
						Sheet no:	11
						Drawn:	VP A3

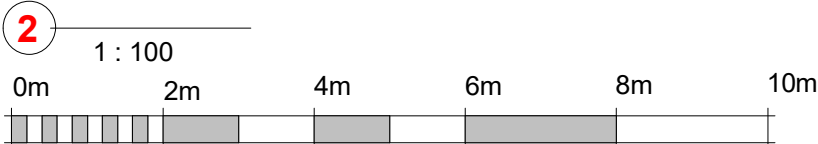


Section 1

1 : 100



Section 2



VISUAL SCALE 1:100 @ A3

Legend



Doors Schedule					
Mark	Height	Width	Level	Types	Panel
Exterior					
1	2100	3600	First Floor	Sliding Door	Aluminium, Glass Clear
2	2100	3600	First Floor	Sliding Door	Aluminium, Glass Clear
Interior					
3	2040	720	First Floor	Single Door	Timber
4	2040	820	First Floor	Single Door	Timber
5	2040	820	First Floor	Single Door	Timber
6	2040	820	First Floor	Single Door	Timber

First Floor: 6
Grand total: 6

Window Schedule				
Mark	Width	Height	Operating Type	Frame And Glass
Single Hung - Double				
1	1400	1100	Single Hung - Double	Aluminium, Glass Clear
2	1400	1100	Single Hung - Double	Aluminium, Glass Clear
Hightlight				
3	1800	600	Hightlight	Aluminium, Glass Clear
4	1800	600	Hightlight	Aluminium, Glass Clear
5	1800	600	Hightlight	Aluminium, Glass Clear
6	1200	600	Hightlight	Aluminium, Glass Clear
7	1200	600	Hightlight	Aluminium, Glass Clear
8	1200	600	Hightlight	Aluminium, Glass Clear
9	1000	600	Hightlight	Aluminium, Glass Clear

Grand total: 9

Note Regarding Window And Door Schedules

- The contractor must allow for all labour and materials;
- Necessary for the supply and installation of all windows and doors indicated throughout the proposed building;
- He must also allow for the preparation of a detailed window and door schedule that provides detail information as to the type, number and configuration of each and every door and window for the approval of the owners before ordering and of the doors and windows;
- This detail schedule is not part of the construction certificate documentation and must be allowed for by the contractor in the tender price;
- All window and door dimensions are to be verified on site prior to ordering these item



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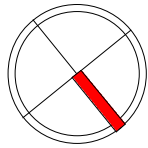
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LEGEND:

AHD AUSTRALIAN HEIGHT DATUM
BM BENCH MARK
TEL COMMUNICATION PIT
E-G EAVE & GUTTER
FL FLOOR LEVEL
RL REDUCED LEVEL
TK TOP OF KERB
VC VEHICLE CROSSING
WM WATER METER
NS NATURAL SURFACE
EC EDGE OF CONCRETE
KBINV KERB INVERT LEVEL
SHURB SHRUB
TREE TREE
SEWER VENT SEWER VENT
POWER POLE POWER POLE

Erosion And Sediment Control/ Site - Waste Management Plan

1 : 300



VISUAL SCALE 1:200 @ A3

Legend

- New Works
- Existing Works
- Sediment 1.8m fence
- Site access
- Site toilets
- Existing bin storage
- Site shed
- Location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill top soil, sand stockpile to be covered and protected with geotextile fabric
- Stabilised site access
- Vehicles carrying loose building materials to be covered in compliance with road traffic regulations. Safe access for heavy equipment plant and materials delivery, sediment controls to be placed across driveway
- Material storage
- Construction materials storage area location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill

Any damage to existing &/or adjoining property &/or services is to be made good with minimal if any inconvenience to all proprietors. If any damage is due to negligence, it is to be rectified at the cost of the negligent party which caused that damage. Method of support of excavation adjacent to adjoining properties to eng's details and it is to be certified by a certifier accredited in civil engineering

Notes

- B1. This plan to be read in conjunction with sediment and erosion. Control details as attached.
- B2. The contractor shall implement all soil erosion and sediment. Control measures as necessary and to the satisfaction of council prior to the commencement of and during construction. No disturbance to the site shall be permitted other than in the immediate area of the works and no material shall be removed from the site without council's approval. All sediment and erosion control devices to be installed and maintained in accordance with standards outlined in nsw department of housing's "managing urban stormwater - soils and constructions".
- B3. Topsoil shall be stripped and stockpiled outside hazard areas such as drainage lines. This topsoil is to be respired later on areas to be revegetated and stabilised only, (i.e. all footpaths, batters, site regarding areas, basins and catchdrains). Topsoil shall not be respired on any other areas unless specifically instructed by the superintendent. If they are to remain for longer than one month stockpiles shall be protected from erosion by covering them with a mulch and hydroseeding and, if necessary, by locating banks or drains downstream of a stockpile to retard silt laden runoff.
- B4. The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices such that more than 60% of their capacity is lost. All the silt is to be placed outside the limit of works. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or council.
- B5. Lay turf strip (min 300mm wide) on 100mm topsoil. with 1.0m long returns every 6.0m behind all kerb at the top of all batters and around structures immediately after backfilling or formation. b6.
- B6. The contractor shall grass seed all disturbed areas with an approved mix as soon as practicable after completion of earthworks and regrading.
- B7. Vehicular traffic shall be controlled during construction confining access where possible to nominated stabilised access points.
- B8. When any devices are to be handed over to council they shall be b8. in clean and stable condition.
- B9. The contractor shall implement dust control by regular wetting down. (but not saturating) disturbed area.
- B10. Provide and maintain silt traps around all surface inlet pits until catchment is revegetated or paved.
- B11. Revegetate all trenches immediately upon completion of backfilling.
- B12. All drainage pipe inlets to be capped until :
- a) Downpipes connected
- b) Pits constructed and protected with silt barrier - ba

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