



- LEGEND**
- COUNCIL RECLAIMED CREEK CORRIDOR ZONE
 - 25 METRE LANDSCAPED BUFFER ZONE
 - PROPOSED BUILDINGS - SUBJECT SITE
 - PROPOSED NEIGHBOURING BUILDINGS
 - EXISTING NEIGHBOURING BUILDINGS
 - TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS

NOTE:
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE 'DRAFT PLAN OF SUBDIVISION SUBJECT TO FINAL SURVEY' PREPARED FOR APPROVED DEVELOPMENT CONSENT N0611/16 RELATING TO THE DEVELOPMENT OF THE RESIDUAL SUPER LOT (LOT 2).

DEVELOPMENT APPLICATION


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826

NORTH
 PROJECT No.
 1510121
 PROJECT DATE
 MARCH 2019
 SCALE (A1)
 DRAWING No. REV
 1:500 DA-020 1
 DATE
 14.03.2019

CLIENT: KNOWLES GROUP
PROJECT: WARRIEWOOD RESIDENTIAL DEVELOPMENT
DRAWING TITLE: PROPOSED APARTMENT GROUND FLOOR PLAN / DWELLING GARAGE LOWER LEVEL FLOOR PLAN
DATE: 01.05.2019



- LEGEND**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
 - CONCRETE FOOTPATH
 - STONE FOOTPATH
 - GARDEN
 - GRASS
 - PLANTER BOX
 - PERMEABLE PAVING
 - PRIVATE OPEN SPACE - APARTMENTS
 - TREE - PROPOSED REFER TO LANDSCAPE PLAN FOR DETAILS
 - AIR-CONDITIONING CONDENSER UNITS - REFER TO PLANS FOR LOCATIONS
 - RAINWATER TANK - REFER TO PLANS FOR LOCATIONS
 - EB1 RETRACTABLE EXTERNAL BLINDS (REFER TYPICAL DETAIL ON SHEET DA-250)
 - PS1 1700MM HIGH PRIVACY SCREEN

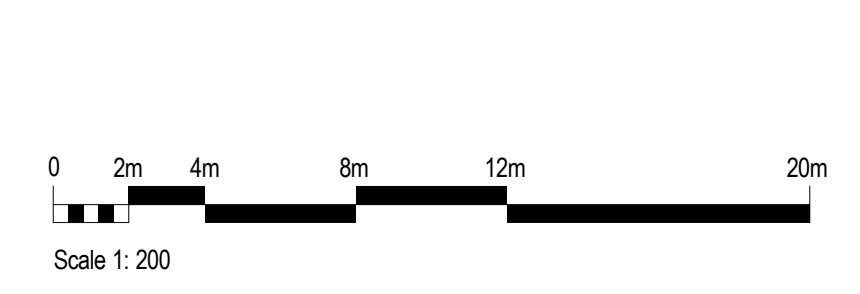
12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826

PROJECT: WARRIEWOOD RESIDENTIAL DEVELOPMENT
ADDRESS: 25 - 27 WARRIEWOOD ROAD, NSW 2102
DRAWING TITLE: PROPOSED APARTMENT GROUND FLOOR PLAN / DWELLING GARAGE LOWER LEVEL FLOOR PLAN
CLIENT: KNOWLES GROUP

DEVELOPMENT APPLICATION

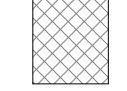


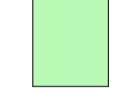
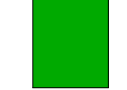
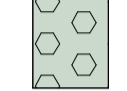


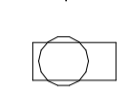


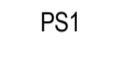


northern beaches council
PROJECT No: 1510121
PROJECT DATE: APRIL 2019
SCALE (B/A1) DRAWING No. REV: 1:200 DA-100 0
DATE: 01.05.2019



CLIENT: KNOWLES GROUP
 PROJECT: WARRIEWOOD RESIDENTIAL DEVELOPMENT
 ADDRESS: 25 - 27 WARRIEWOOD ROAD, NSW 2102
 DRAWING TITLE: PROPOSED APARTMENT FIRST FLOOR PLAN / DWELLING LOWER LEVEL FLOOR PLAN
 DATE: 01.05.2019



- LEGEND**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
-  CONCRETE FOOTPATH
 -  STONE FOOTPATH
 -  GARDEN
 -  GRASS
 -  PLANTER BOX
 -  PERMEABLE PAVING
 -  PRIVATE OPEN SPACE - APARTMENTS
 -  TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS
 -  AIR-CONDITIONING CONDENSER UNITS -
REFER TO PLANS FOR LOCATIONS
 -  RAINWATER TANK -
REFER TO PLANS FOR LOCATIONS
 -  EB1 RETRACTABLE EXTERNAL BLINDS
(REFER TYPICAL DETAIL ON SHEET DA-250)
 -  PS1 1700MM HIGH PRIVACY SCREEN

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
 DA2018/1826

CLIENT: KNOWLES GROUP
PROJECT: WARRIEWOOD RESIDENTIAL DEVELOPMENT
DRAWING TITLE: PROPOSED APARTMENT SECOND FLOOR PLAN / DWELLING MID LEVEL FLOOR PLAN
DATE: 01.05.2019



- LEGEND**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
 - CONCRETE FOOTPATH
 - STONE FOOTPATH
 - GARDEN
 - GRASS
 - PLANTER BOX
 - PERMEABLE PAVING
 - PRIVATE OPEN SPACE - APARTMENTS
 - TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS
 - AIR-CONDITIONING CONDENSER UNITS -
REFER TO PLANS FOR LOCATIONS
 - RAINWATER TANK -
REFER TO PLANS FOR LOCATIONS
 - EB1 RETRACTABLE EXTERNAL BLINDS
(REFER TYPICAL DETAIL ON SHEET DA-250)
 - PS1 1700MM HIGH PRIVACY SCREEN

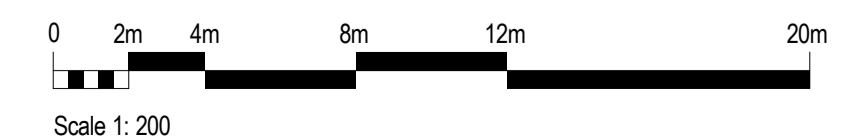
12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826

PROJECT
WARRIEWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIEWOOD ROAD, NSW 2102
DRAWING TITLE
PROPOSED APARTMENT SECOND FLOOR PLAN / DWELLING MID LEVEL FLOOR PLAN
CLIENT
KNOWLES GROUP

DEVELOPMENT APPLICATION



NORTH
PROJECT No
1510121
PROJECT DATE
APRIL 2019
SCALE (B/A1) DRAWING No. REV
1:200 DA-102 K
DATE
01.05.2019



VIAARCHITECTS.COM.AU

PROJECT: WARRIEWOOD RESIDENTIAL DEVELOPMENT
 ADDRESS: 25 - 27 WARRIEWOOD ROAD, NSW 2102
 DRAWING TITLE: PROPOSED OVERALL ROOF PLAN
 CLIENT: KNOWLES GROUP



ROOF RELATIVE LEVEL SCHEDULE

APARTMENT BUILDING - NORTH

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	15.90	8.40	7.50
P2	15.90	8.00	7.90
P3	15.90	6.00	9.90
P4	15.90	6.05	9.85
P5	16.69	6.90	9.79
P6	16.70	7.10	9.60

APARTMENT BUILDING - SOUTH

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	15.40	7.75	7.65
P2	15.40	7.20	8.20
P3	15.40	5.35	10.05
P4	15.40	5.75	9.65
P5	16.22	6.50	9.72
P6	16.20	6.50	9.70

DW 01

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	20.81	13.25	7.56
P2	20.51	11.80	8.71
P3	14.95	10.40	4.55
P4	14.95	9.80	5.15

DW 02

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	20.81	13.25	7.56
P2	20.51	11.75	8.76
P3	15.05	10.25	4.80
P4	15.05	9.75	5.30

DW 03

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	21.17	13.25	7.92
P2	20.31	11.75	8.56
P3	15.15	10.00	5.15
P4	15.15	9.50	5.65

DW 04

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	21.17	13.00	8.17
P2	20.31	11.75	8.56
P3	15.25	10.00	5.25
P4	15.25	9.50	5.75

DW 05

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.91	12.50	7.41
P2	19.61	11.50	8.11
P3	15.25	9.60	5.65
P4	15.25	9.15	6.10

DW 06

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.91	12.40	7.51
P2	19.61	11.25	8.36
P3	15.20	9.50	5.70
P4	15.20	9.00	5.20

DW 07

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.77	12.25	7.52
P2	19.91	10.75	8.16
P3	15.15	9.30	5.85
P4	15.15	8.75	6.40

DW 08

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.77	11.75	8.02
P2	19.91	10.51	8.41
P3	15.10	9.30	5.80
P4	15.10	8.75	6.35

DW 09

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.51	11.40	7.11
P2	18.21	10.25	7.96
P3	15.05	9.10	6.05
P4	15.05	8.50	6.55

DW 10

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.51	11.35	7.16
P2	18.21	10.00	8.21
P3	15.00	9.00	6.00
P4	15.00	8.45	6.55

DW 11

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.37	10.75	7.62
P2	17.51	9.50	8.01
P3	15.00	9.00	6.00
P4	15.00	8.40	6.60

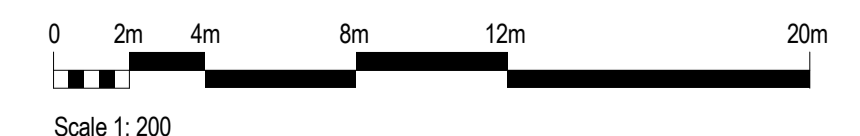
DW 12

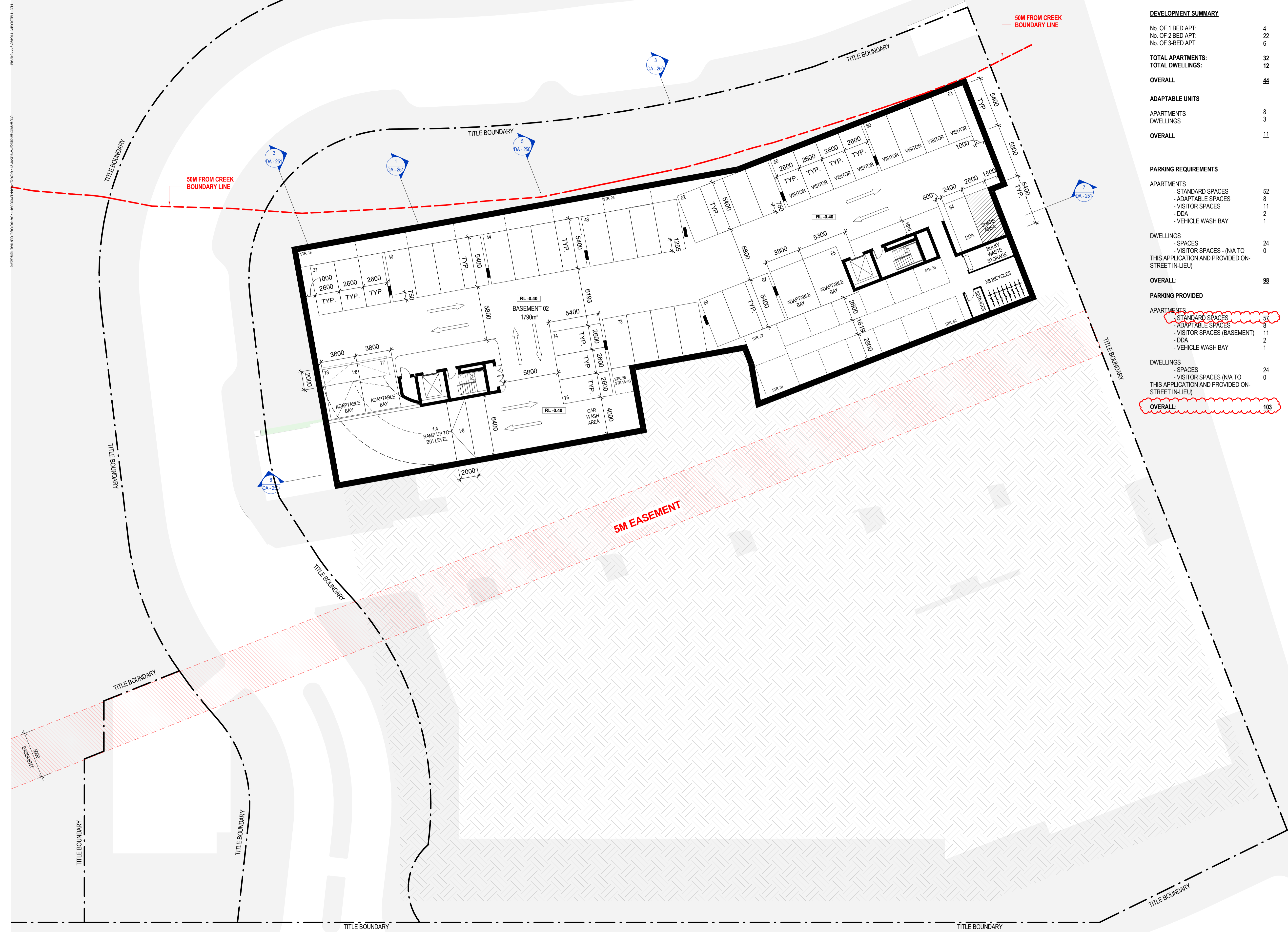
POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	17.45	9.60	7.85
P2	17.45	9.85	7.60
P3	17.45	9.40	8.05
P4	17.45	9.00	8.45

LEGEND
 H.P. HIGH POINT
 RL RELATIVE LEVEL
 T.O.P. TOP OF PARAPET

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5M HEIGHT LIMIT FROM NGL

northern beaches council
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
 DA2018/1826





DEVELOPMENT SUMMARY

No. OF 1 BED APT:	4
No. OF 2 BED APT:	22
No. OF 3-BED APT:	6
TOTAL APARTMENTS:	32
TOTAL DWELLINGS:	12
OVERALL	44
ADAPTABLE UNITS	
APARTMENTS	8
DWELLINGS	3
OVERALL	11
PARKING REQUIREMENTS	
APARTMENTS	52
- STANDARD SPACES	8
- ADAPTABLE SPACES	11
- VISITOR SPACES	2
- DDA	2
- VEHICLE WASH BAY	1
DWELLINGS	24
- SPACES	0
- VISITOR SPACES - (N/A TO THIS APPLICATION AND PROVIDED ON-STREET IN-LIEU)	0
OVERALL:	98
PARKING PROVIDED	
APARTMENTS	57
- STANDARD SPACES	8
- ADAPTABLE SPACES	11
- VISITOR SPACES (BASEMENT)	2
- DDA	2
- VEHICLE WASH BAY	1
DWELLINGS	24
- SPACES	0
- VISITOR SPACES (N/A TO THIS APPLICATION AND PROVIDED ON-STREET IN-LIEU)	0
OVERALL:	103

APARTMENT NUMBER	NO. OF BEDROOMS	CARPARK NUMBER	STORAGE NUMBER
GROUND FLOOR			
STANDARD APARTMENTS			
APT. G01	2	12, 13	01
APT. G03	2	15, 16	02
APT. G04	2	17, 18	03
APT. G05	2	19, 20	04
APT. G06	2	67, 68	05
APT. G07	2	1, 2	06
APT. G09	3	3, 4	07 13
APT. G11	2	6, 7	14
ADAPTABLE APARTMENTS			
APT. G02	2	14, 25(Adaptable)	12
APT. G08	1	77(Adaptable)	19
APT. G10	2	37, 78(Adaptable)	31

FIRST FLOOR			
STANDARD APARTMENTS			
APT. 1.01	2	52, 53	15
APT. 1.03	2	54, 55	16 37
APT. 1.04	2	70, 71	17 18
APT. 1.05	1	69	25
APT. 1.06	1	51	28
APT. 1.07	2	49, 50	08
APT. 1.08	2	29, 30	20
APT. 1.10	2	31, 32	21
APT. 1.11	3	38, 39, 40	22 34
APT. 1.13	2	9, 10	23
ADAPTABLE APARTMENTS			
APT. 1.02	2	11, 26(Adaptable)	11
APT. 1.09	1	27(Adaptable)	30
APT. 1.12	2	8, 28(Adaptable)	29

SECOND FLOOR			
STANDARD APARTMENTS			
APT. 2.01	3	46, 47, 48	24 35
APT. 2.03	3	74, 75, 76	32 33
APT. 2.05	2	35, 36	27
APT. 2.06	3	5, 33, 34	39 40
APT. 2.07	2	41, 42	38
APT. 2.08	3	43, 44, 45	26 36
ADAPTABLE APARTMENTS			
APT. 2.02	2	65(Adaptable), 72	10
APT. 2.04	2	66(Adaptable), 73	09

VISITORS / DDA

VISITORS	21
	22
	23
	56
	57
	58
	59
	60
	61
	62
	63
DDA	24
	64

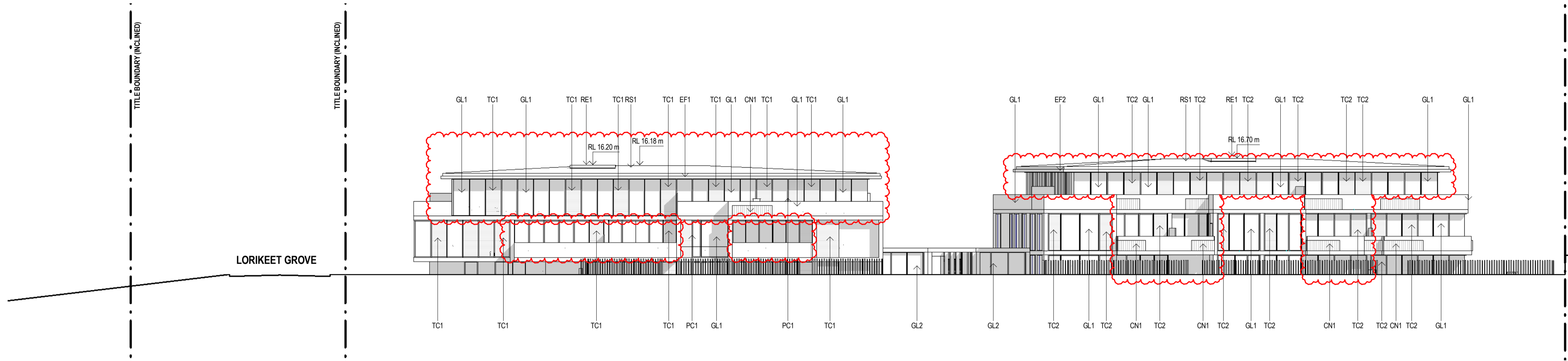
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2018/1826

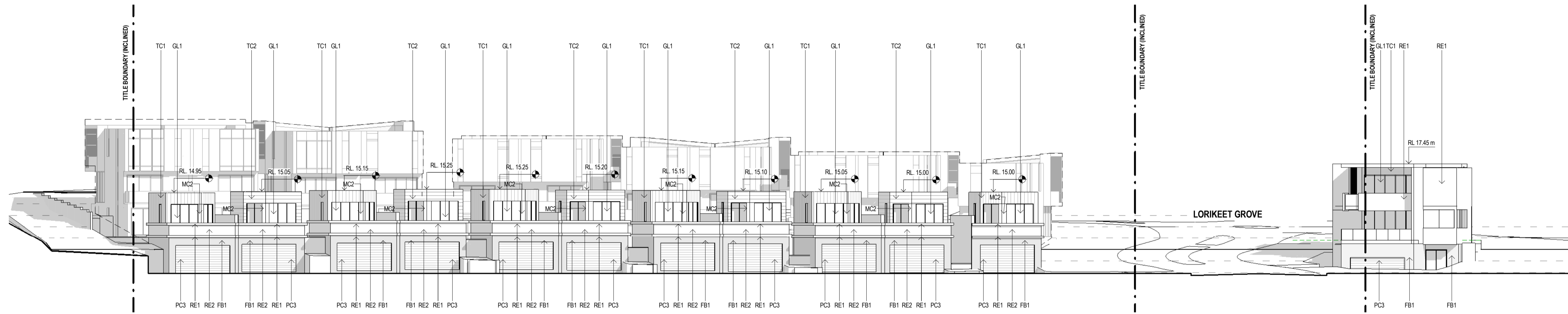
CLIENT: KNOWLES GROUP
 PROJECT: WARRIEWOOD RESIDENTIAL DEVELOPMENT
 ADDRESS: 25 - 27 WARRIEWOOD ROAD, NSW 2102
 DRAWING TITLE: PROPOSED ELEVATIONS
 DATE: 01.05.2019

MATERIALS LEGEND

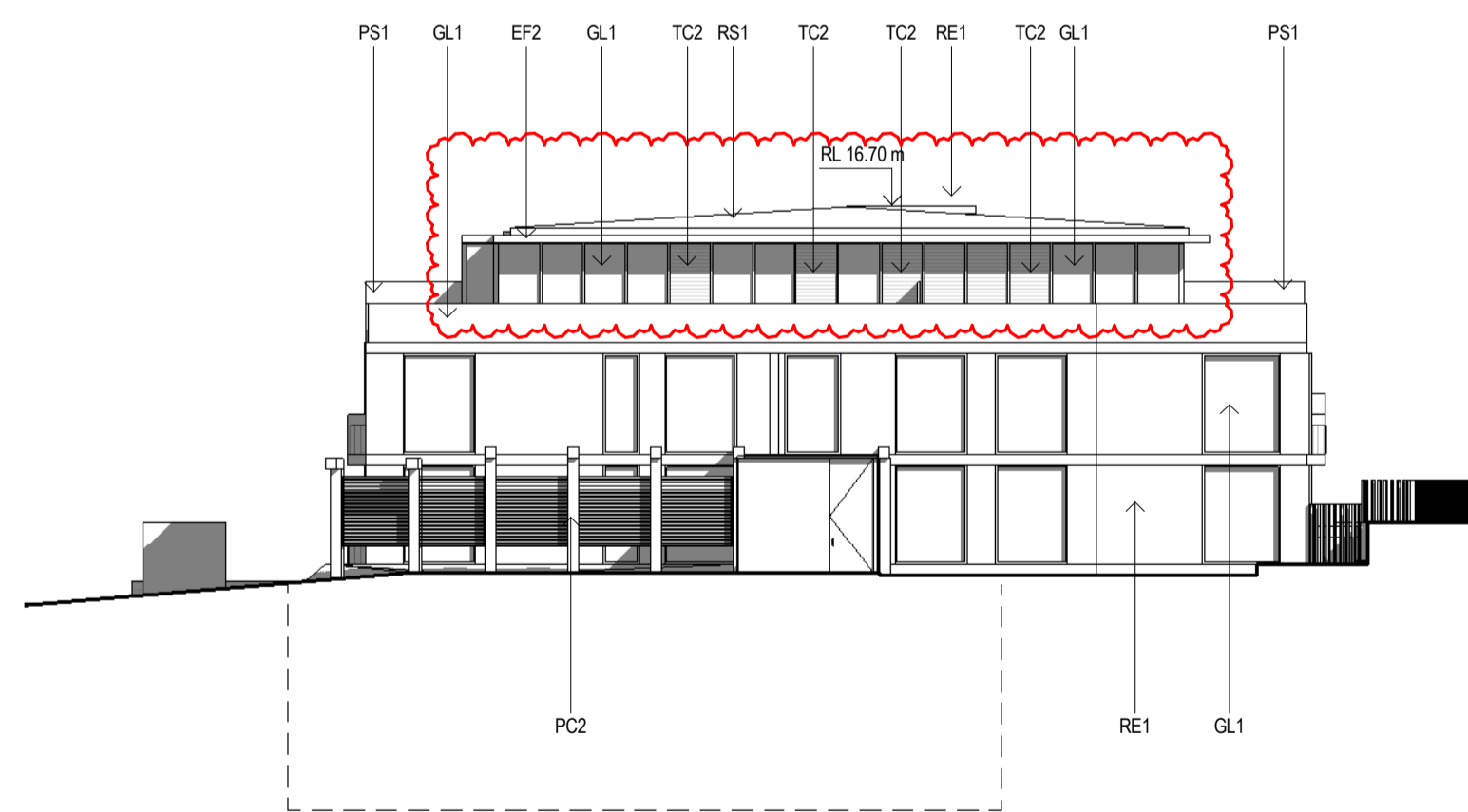
- CN1 DECORATIVE CONCRETE
- EB1 EXTERNAL BLINDS - BLACK
- EF1 APPLIED FINISH - LIGHT GREY
- EF2 APPLIED FINISH - BLACK
- FB1 FACE BRICKWORK - GREY
- GL1 GLAZING - CLEAR
- GL2 GLAZING - OPAQUE - GREY
- PC1 POWDERCOAT WINDOW FRAMES - COPPER
- PC2 POWDERCOAT WINDOW FRAMES - BLACK
- PC3 POWDERCOAT GARAGE DOORS - GREY
- PS1 PRIVACY SCREENING - BLACK
- RE1 RENDER FINISH - MID TONE
- RE2 RENDER FINISH - DARK GREY TONE
- RS1 ROOF SHEETING - COLORBOND DARK GREY
- TC1 TIMBER - LIGHT TONE
- TC2 TIMBER - DARK TONE



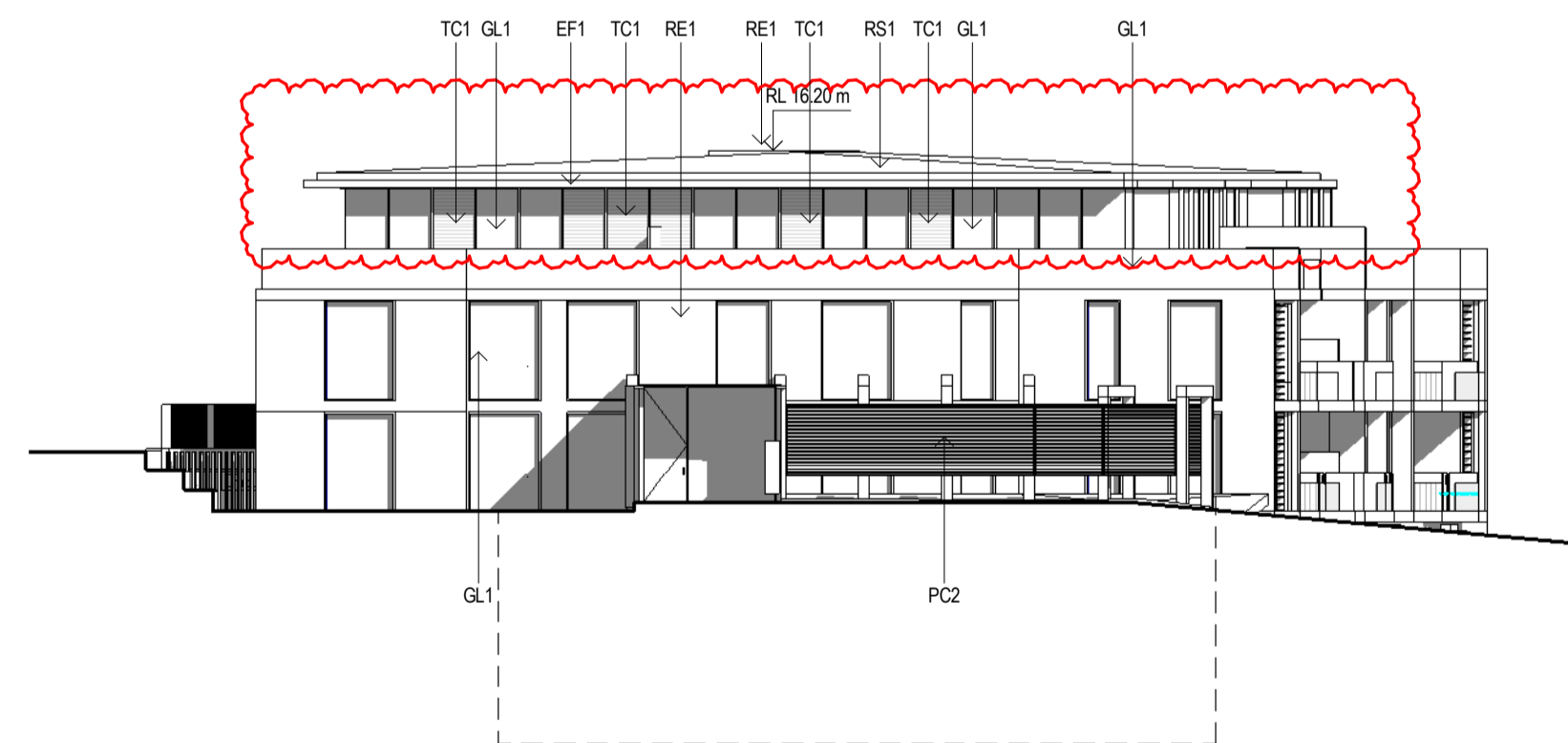
LANEY LOOKING WEST ELEVATION



LANEY LOOKING EAST ELEVATION


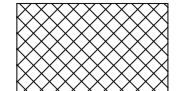



APT ENTRY COURTYARD ELEVATION 3

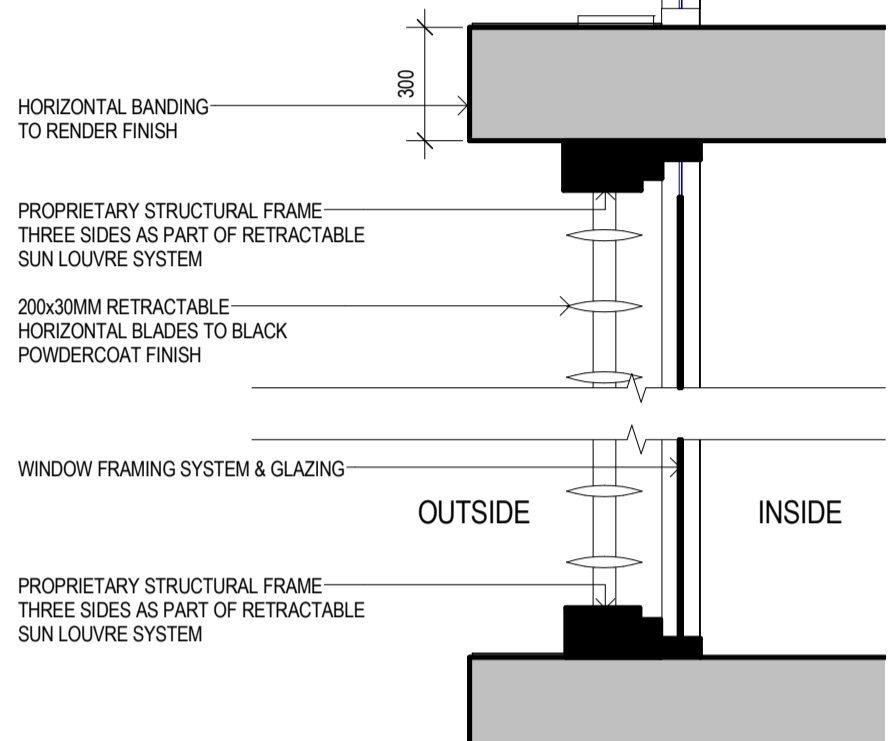


APT ENTRY COURTYARD ELEVATION 4

FILL LEGEND

-  APPROVED FILL AS PER DEVELOPMENT CONSENT N0611/16.
-  PROPOSED FILL
-  EXISTING NATURAL GROUND

NOTE:
PROPOSED RL'S INDICATED OUTSIDE OF TITLE BOUNDARIES ARE IN ACCORDANCE WITH THE CIVIL WORKS DOCUMENTATION PREPARED BY SGC ENGINEERING FOR DEVELOPMENT CONSENT N0611/16.



7 TYPICAL SECTION - EXTERNAL RETRACTABLE BLIND (EB1)
1:20

2 SECTION 02
1:200

1 SECTION 01
1:200

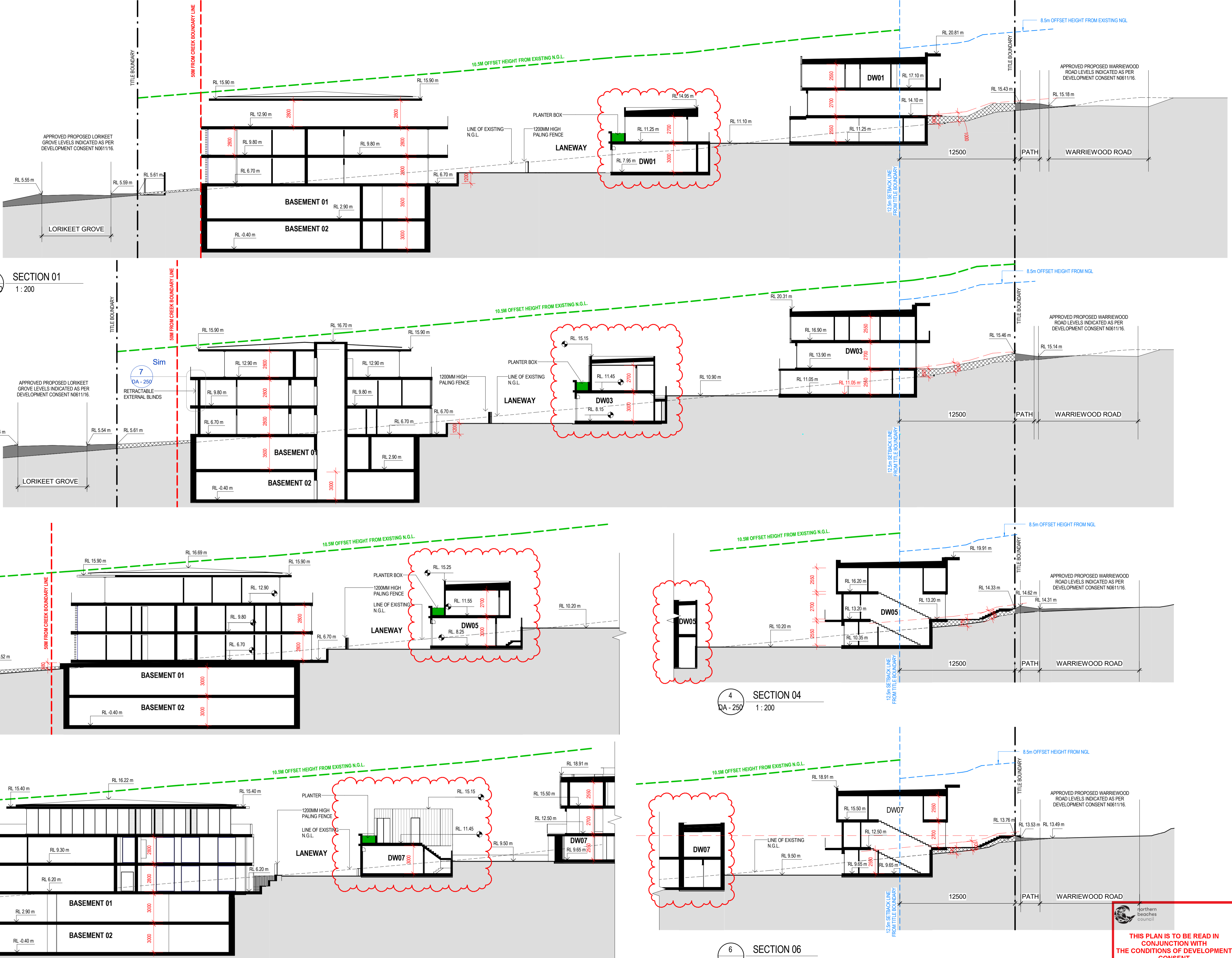
2 SECTION 02
1:200

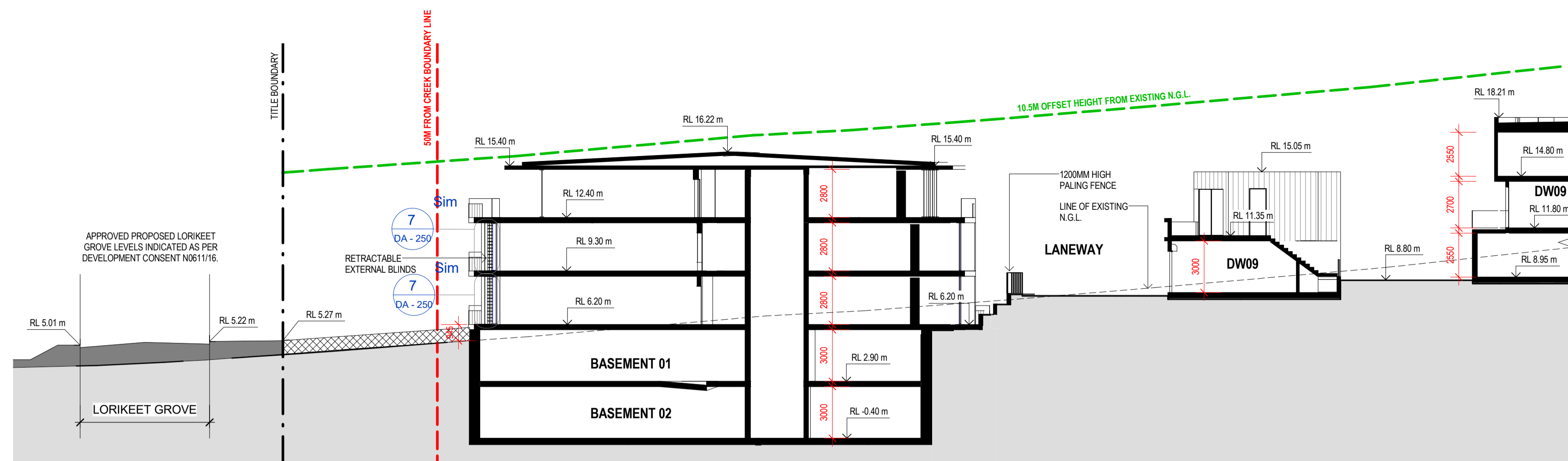
3 SECTION 03
1:200

5 SECTION 05
1:200

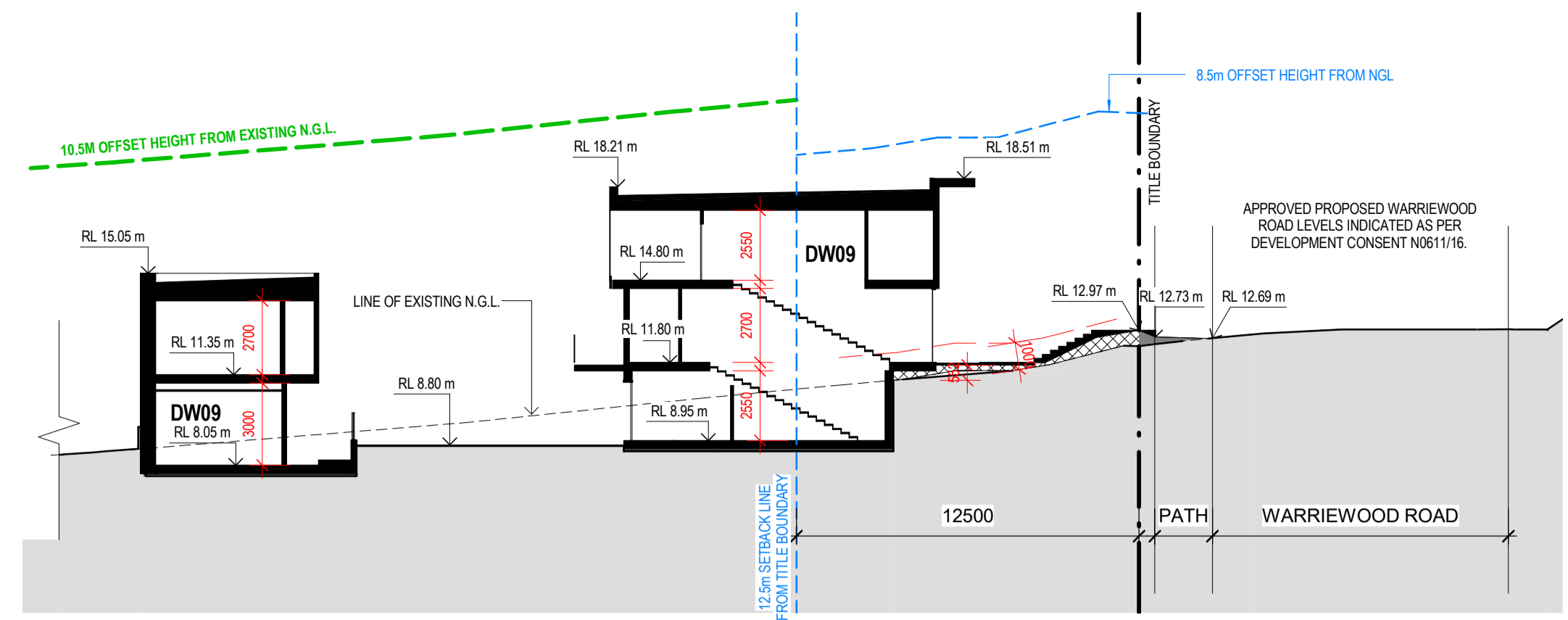
4 SECTION 04
1:200

6 SECTION 06
1:200

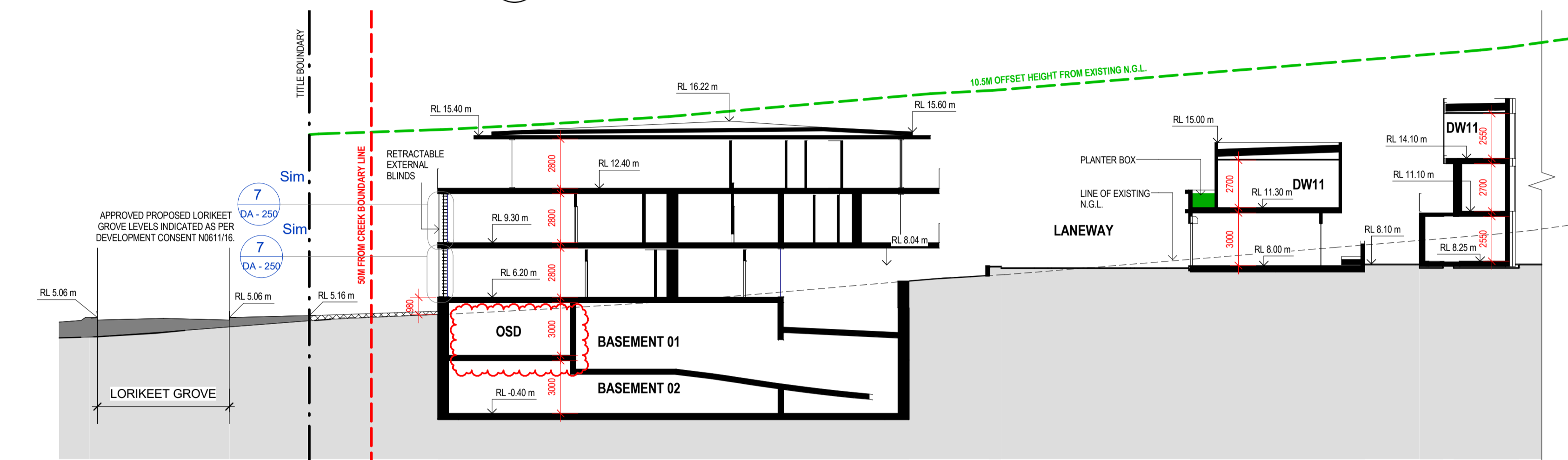




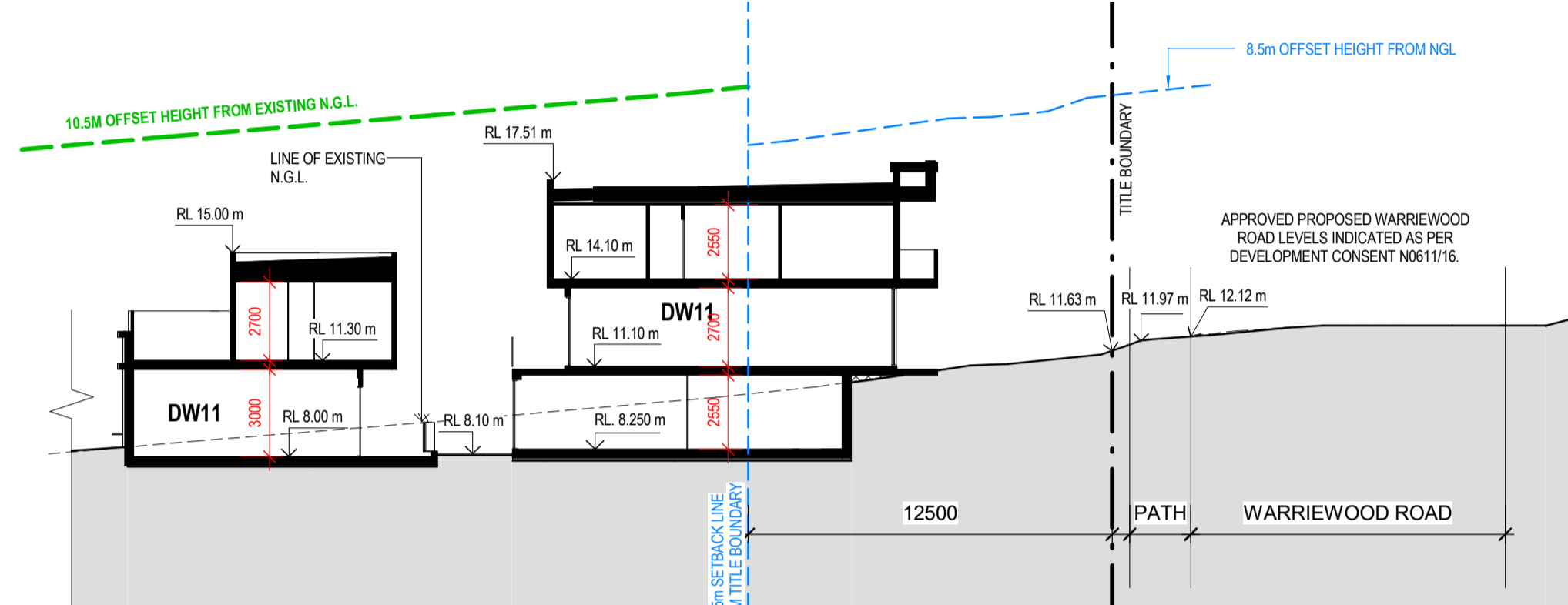
1 SECTION 07
 DA - 251
 1: 200



2 SECTION 08
 DA - 251
 1: 200



3 SECTION 09
 DA - 251
 1: 200

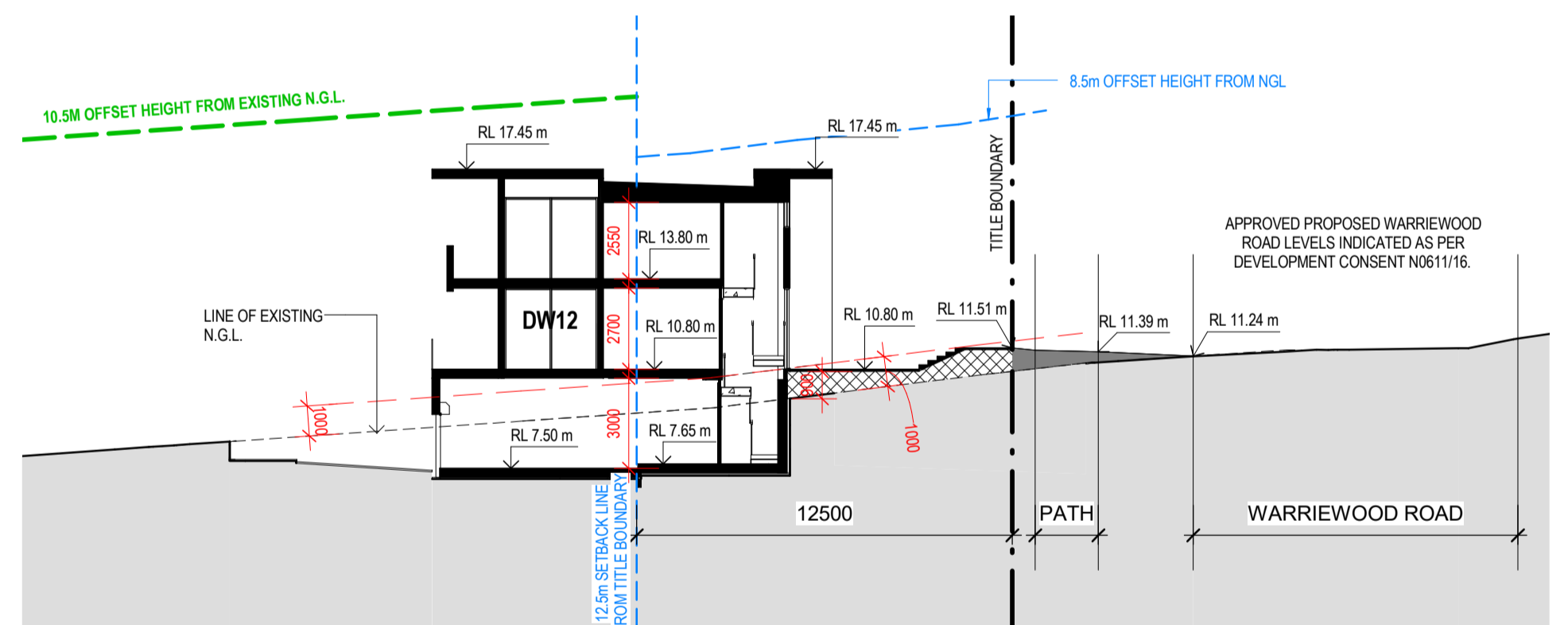


4 SECTION 10
 DA - 251
 1: 200

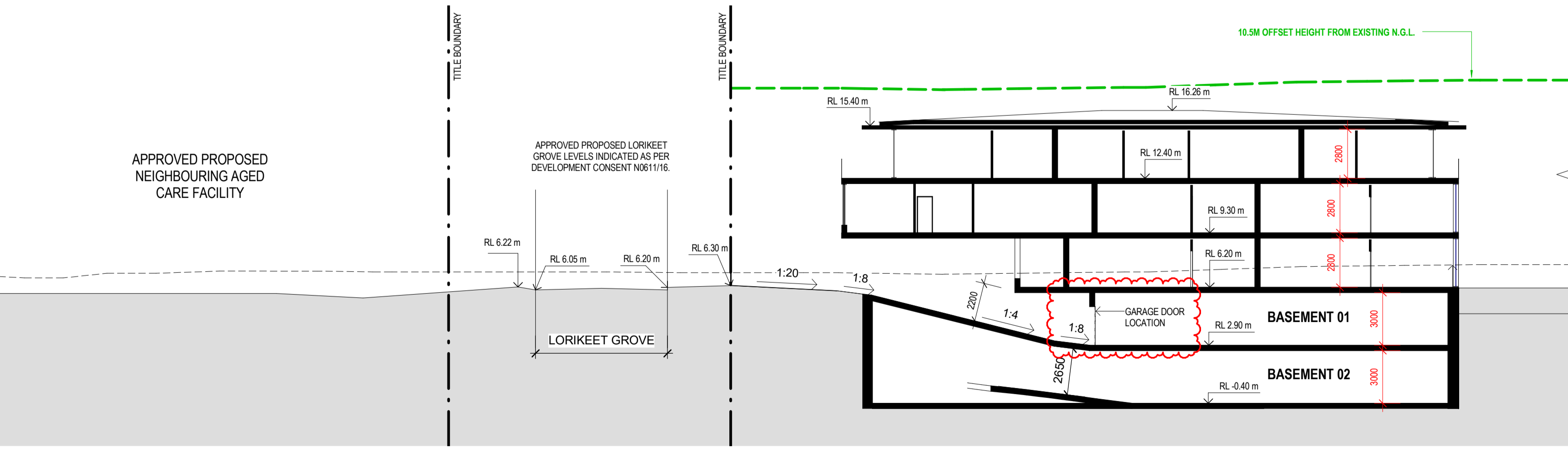
FILL LEGEND

	APPROVED FILL AS PER DEVELOPMENT CONSENT N0611/16.
	PROPOSED FILL
	EXISTING NATURAL GROUND

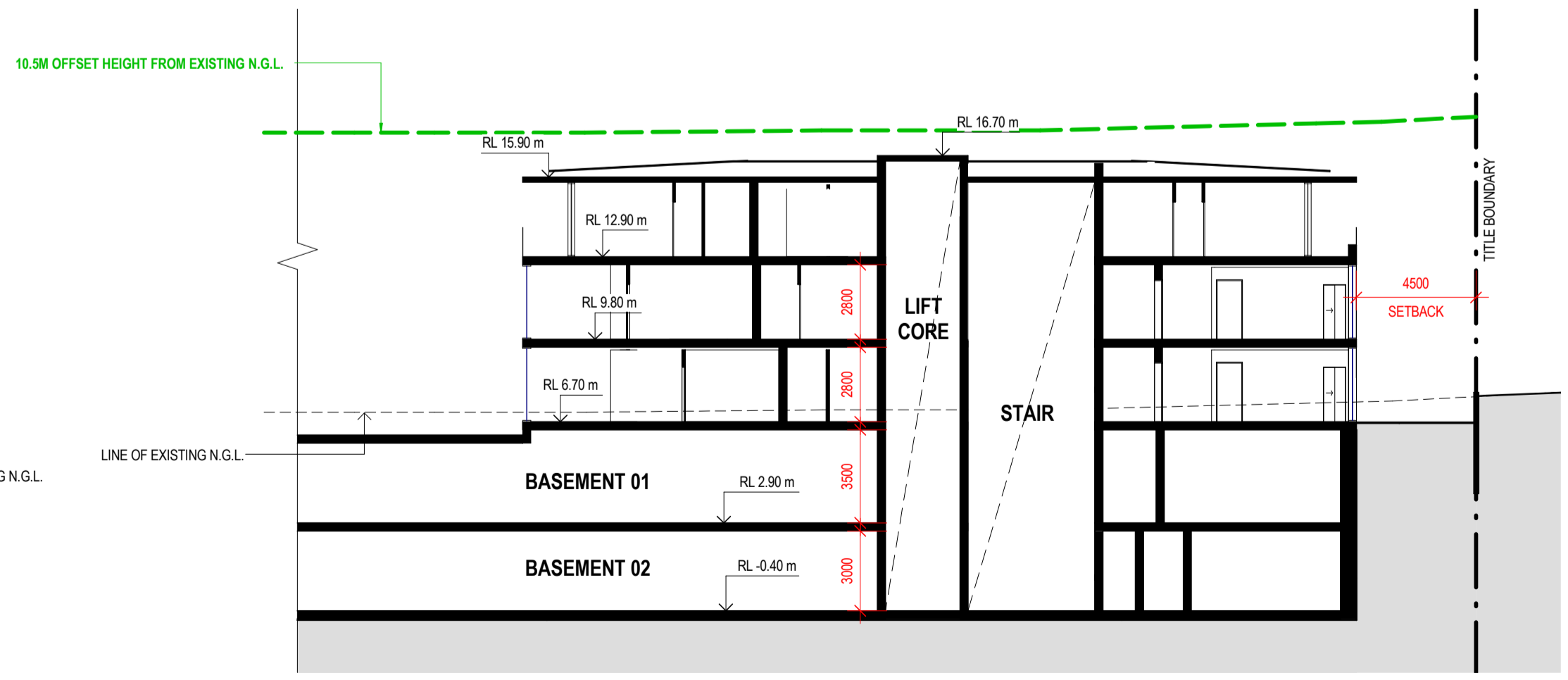
NOTE: PROPOSED RL'S INDICATED OUTSIDE OF TITLE BOUNDARIES ARE IN ACCORDANCE WITH THE CIVIL WORKS DOCUMENTATION PREPARED BY SGC ENGINEERING FOR DEVELOPMENT CONSENT N0611/16.



5 SECTION 11
 DA - 251
 1: 200

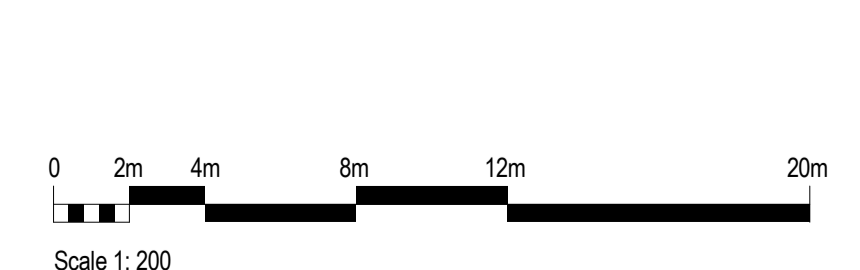


6 SECTION 12
 DA - 251
 1: 200



7 SECTION 13
 DA - 251
 1: 200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
 DA2018/1826





23-27 WARREWOOD ROAD - AGED CARE FACILITY

LORIKEET GROVE

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT RANGE	MATURE SPREAD RANGE
	LARGE EVERGREEN TREES			
	<i>Angophora costata</i>	Smooth-barked Apple	20.0m	8.0m
	<i>Corymbia maculata</i>	Spotted Gum	20.0m	8.0m
	MEDIUM EVERGREEN TREES			
	<i>Tristania laurina</i>	Water Gum	8.0m	5.0m
	<i>Hymenosporum flavum</i>	Native Frangipani	10.0m	4.0m
	<i>Banksia integrifolia</i>	Lemon Ironwood	8.0m	4.0-5.0m
	NARROW EVERGREEN TREES			
<i>Syzygium australe</i> 'Pinnacle'	Lilly Pilly Pinnacle	6.0-8.0m	1.5m	
	CLIPPED EVERGREEN HEDGE			
	<i>Viburnum odoratissimum</i> 'Awabuki'	Sweet Viburnum	3.0m	Clipped
	<i>Murraya paniculata</i>	Orange Jessamine	2.0m	Clipped
	<i>Buxus sempervirens</i>	English Box	1.0m	Clipped
	<i>Michelia figo</i>	Port Wine Magnolia	2.0m	Clipped
	MEDIUM EVERGREEN SHRUBS			
<i>Murraya paniculata</i>	Orange Jessamine	2.0m	Clipped	
	SHRUBS, TUFTED PLANTS & GROUNDCOVERS			
<i>Acacia cognata</i> 'Winter Flame'	Wattle 'Winter Flame'	1.0m	1.0m	
<i>Arthropodium cirratum</i> 'Matapouri Bay'	Arthropodium 'Matapouri Bay'	1.0m	1.0m	
<i>Ayuga lamifolia</i> 'Blueberry Muffin'	Ayuga 'Blueberry Muffin'	Prostrate	0.5m	
<i>Bacopa diffusa</i> 'Yakima Blue'	Bacopa 'Yakima Blue'	Prostrate	0.45m	
<i>Buddleia</i> 'CranRazz'	Buddleia 'CranRazz'	1.5m	1.5m	
<i>Trachelospermum asiaticum</i>	Japanese Star Jasmine	3.0m	4.0m	
<i>Liriope muscari</i>	Turk Lily	0.6m	0.4m	
<i>Viola hederacea</i>	Ivy-leaved Violet	0.2m	0.3m	
<i>Westringia fruticosa</i>	Aussie Box	0.6m	0.6m	
<i>Lomandra longifolia</i> x <i>confertifolia</i>	Lime Tuft	0.5m	0.5m	
<i>Dietsia dioides</i>	Wild Iris	1.0m	1.0m	
<i>Grevillea juniperina</i> 'Prostrate Gold'	Grevillea 'Prostrate Gold'	Prostrate	1.5m	
<i>Correa 'Coopers Classic'</i>	Correa 'Coopers Classic'	0.6m	0.6m	
<i>Correa 'dusky bells'</i>	Dwarf Correa	1.0-1.5m	1.0m	
<i>Correa 'Adorabell'</i>	Correa 'Adorabell'	1.0m	1.0m	
<i>Clivia miniata</i>	Kaffir Lily	0.4m	0.4m	
<i>Brachycome multifida</i>	Cut leaf Daisy	0.3m	0.5m	
<i>Myoporum parvifolium</i> 'fine leaf'	Creeping Boobialla	Prostrate	1.5-2.0m	
	EVERGREEN CLIMBING PLANTS			
<i>Trachelospermum jasminoides</i>	Chinese Star Jasmine	3.0-5.0m	3.0-5.0m	

LEGEND

- EXISTING TREE TO BE REMOVED
THE EXISTING VEGETATION PROPOSED FOR REMOVAL IS NOT ENDEMIC & GENERALLY COMPRISES POOR QUALITY PINE & PALM TREES THAT ARE READILY REPLACEABLE
- PERMEABLE PAVING TYPE 1
EG. MODULAR PROPRIETARY PRECAST CONCRETE PAVERS
- PERMEABLE PAVING TYPE 2
EG. MODULAR PROPRIETARY PRECAST CONCRETE PAVERS
- PEDESTRIAN PAVING
EG. CONCRETE CRAZY PAVING
- VEHICLE PAVING
EG. EXPOSED AGGREGATE STENCIL CONCRETE
- GARDEN BED
75mm APPROVED MULCH
150mm APPROVED TOPSOIL
300mm CULTIVATED SUBGRADE
- RAISED IN SITU PLANTER BOX
MIN. 75mm APPROVED MULCH
BLENDED AND APPROVED SOIL MIX
DRAINAGE LAYER
- GRASS
APPROVED GRASS MIX/TURF
75mm APPROVED TOPSOIL
300mm CULTIVATED SUBGRADE
- TIMBER DECKING
REFER TO ARCHITECTURAL DRAWINGS
- PEDESTRIAN PATH
EG. 75mm COMPACTED APPROVED GRAVEL

FOR TOWN PLANNING PURPOSES
NOT FOR CONSTRUCTION

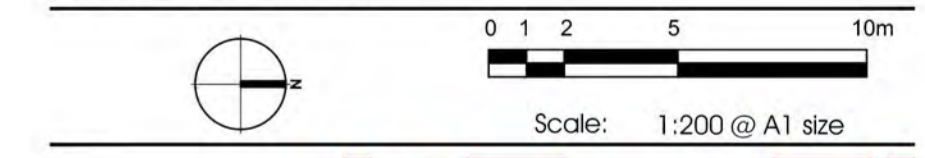
PRELIMINARY

C	15.03.2019	PRELIMINARY FOR REVIEW
B	29.10.2018	COUNCIL ISSUE
A	29.08.2017	Final Issue
-	11.08.2017	Final Issue
Rev	Date	Description

KNOWLES GROUP

23-27 WARREWOOD ROAD - WARREWOOD

LANDSCAPE PLAN - COMPOSITE GROUND, FIRST AND SECOND FLOOR



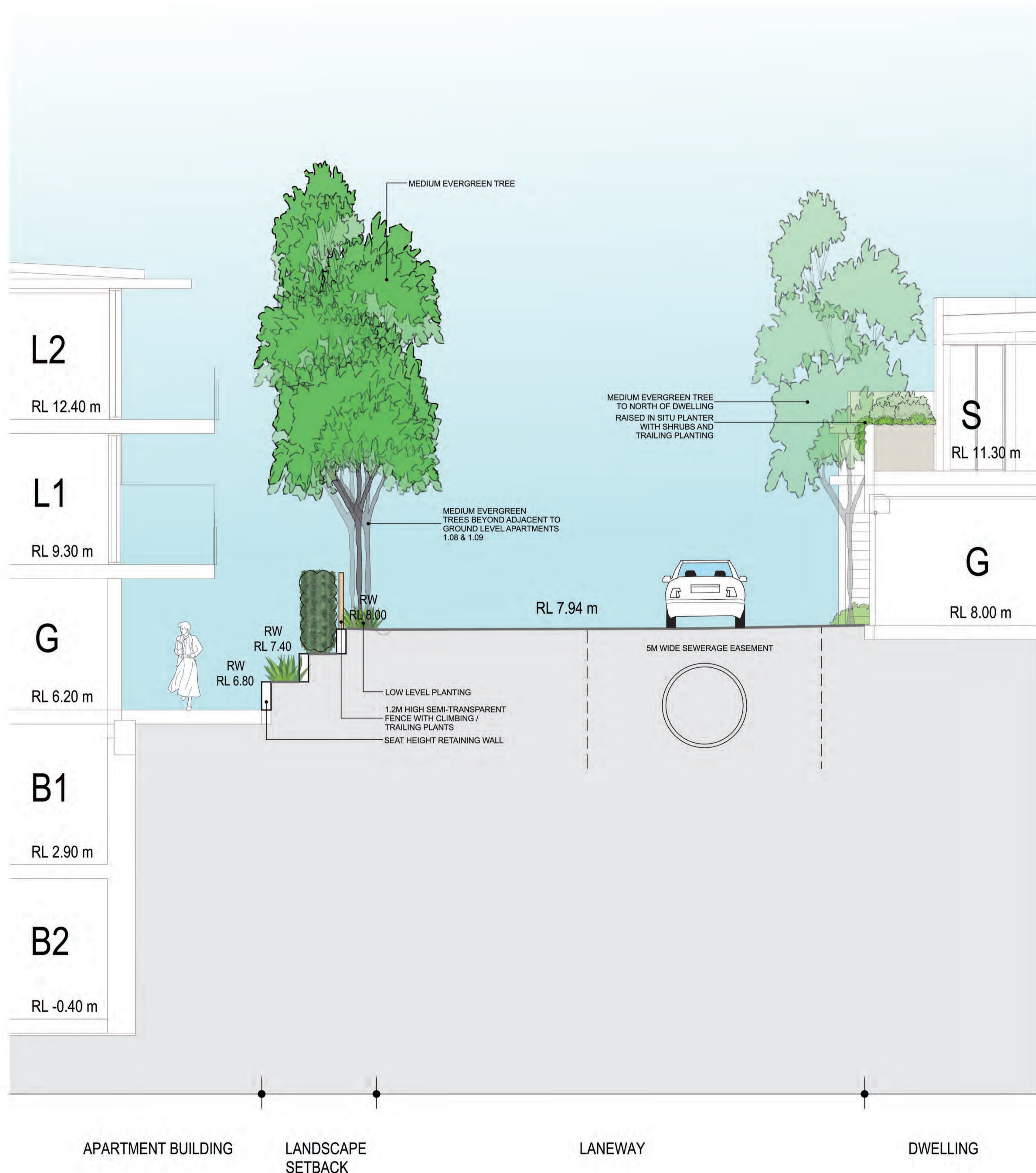
CDA Design Group Pty Ltd
Landscape Architecture
Urban Design
185 Faraday Street
Carlton Victoria 3053
T 03 9349 5865
F 03 9349 5877
E office@cdaesigngroup.com.au

Project No. 17018
Date: JULY 2017
Drawn by: EG
Checked: TV
Drawing No. TP01C

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826

WARREWOOD ROAD

SECTION A-A



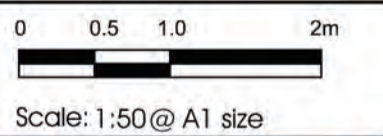
FOR TOWN PLANNING PURPOSES
NOT FOR CONSTRUCTION

PRELIMINARY

B_P1	14.03.2019	Preliminary for review
A	29.10.2018	COUNCIL ISSUE
Rev	Date	Description

KNOWLES GROUP
23-27 WARRIEWOOD ROAD - WARRIEWOOD

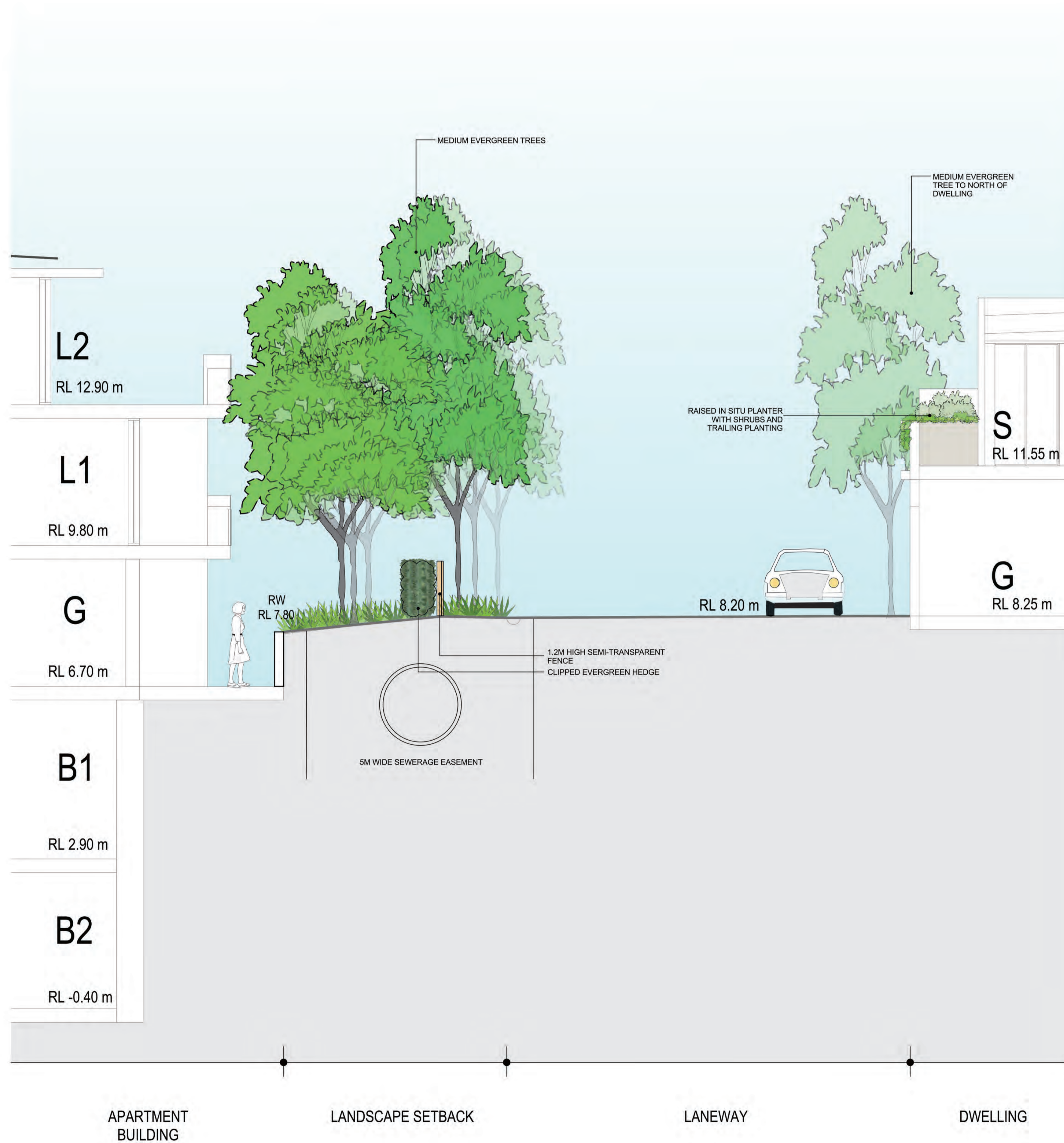
LANDSCAPE SECTION A-A



CDA Design Group Pty Ltd
Landscape Architecture
Urban Design
185 Faraday Street
Carlton Victoria 3053
T 03 9349 5866
F 03 9349 5877
E office@cdaesigngroup.com.au
Project No. 17018
Date: JULY 2017
Drawn by: ASP
Checked: TV
Drawing No. TPO2B_P1

northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826

SECTION B-B



FOR TOWN PLANNING PURPOSES
NOT FOR CONSTRUCTION

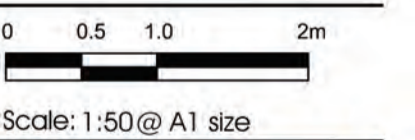
PRELIMINARY

B_P1	14.03.2019	Preliminary for review
A	29.10.2018	COUNCIL ISSUE
Rev	Date	Description

KNOWLES GROUP

23-27 WARRIEWOOD ROAD - WARRIEWOOD

LANDSCAPE SECTION B-B



CDA Design Group Pty Ltd
Landscape Architecture
Urban Design
185 Faraday Street
Carlton Victoria 3053
T 03 9349 5866
F 03 9349 5877
E office@cda-designgroup.com.au

Project No. 17018
Date: JULY 2017
Drawn by: ASP
Checked: IV
Drawing No. TPO3B_P1



northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826



1 LANDSCAPED AREA DIAGRAM 1
DA-052 1:400

LEGEND

LANDSCAPED AREA
(AS PER CLAUSE C6.7 OF DCP)

TOTAL SITE AREA OF LOT 21 =	398 SQM
LANDSCAPED AREA REQUIRED = 41% OF TOTAL SITE AREA	
TOTAL LANDSCAPED AREA =	229 SQM
LANDSCAPED AREA PROVIDED = 57.5% OF TOTAL SITE AREA	
TOTAL SITE AREA OF LOT 22 =	7785 SQM
LANDSCAPED AREA REQUIRED = 41% OF TOTAL SITE AREA	
TOTAL LANDSCAPED AREA =	3195 SQM
LANDSCAPED AREA PROVIDED = 41% OF TOTAL SITE AREA	



2 LANDSCAPED AREA DIAGRAM 2
DA-052 1:400

LEGEND

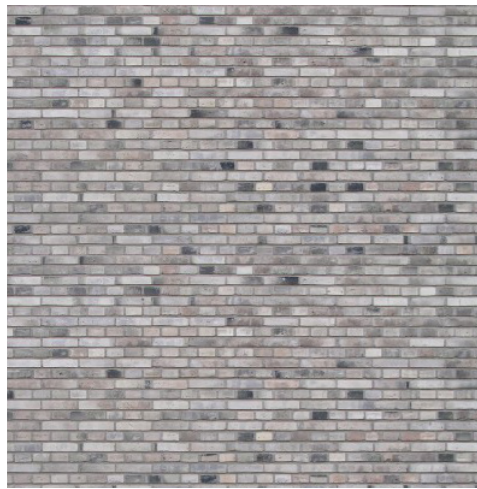
LANDSCAPED AREA OF MINIMUM DIMENSION 3-METRE WIDE (AS PER CLAUSE D16.5 OF DCP)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2018/1826

TOTAL SITE AREA OF LOT 21 =	398 SQM
LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA	
TOTAL LANDSCAPED AREA =	229 SQM
LANDSCAPED AREA PROVIDED = 57.5% OF TOTAL SITE AREA	
TOTAL SITE AREA OF LOT 22 (INCLUDING LANEWAY COMMUNITY LOT TITLE 1) =	7785 SQM
LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA	
TOTAL LANDSCAPED AREA =	3057 SQM
LANDSCAPED AREA PROVIDED = 39% OF TOTAL SITE AREA	
TOTAL SITE AREA OF COMMUNITY TITLE 13 =	3473 SQM
LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA	
TOTAL LANDSCAPED AREA =	1327 SQM
LANDSCAPED AREA PROVIDED = 38% OF TOTAL SITE AREA	

6.0 MATERIALS

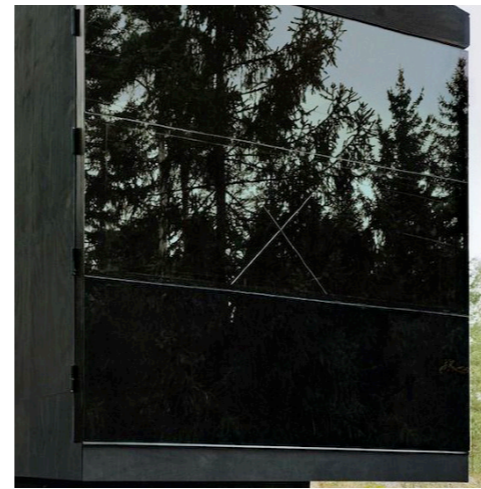
6.01 Material Palette



FB1 - Face Brickwork - Grey



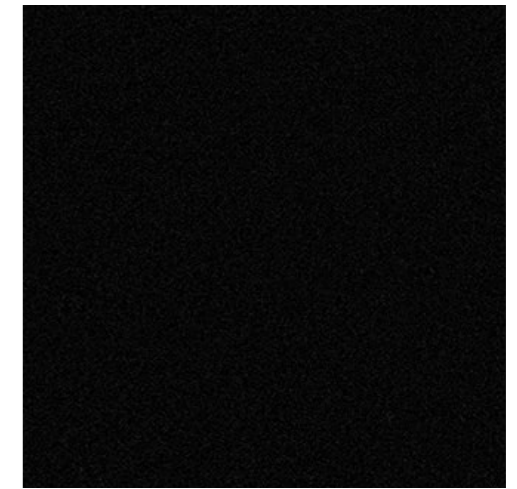
GL1 - Clear Glazing



GL2 - Opaque Glazing - Black



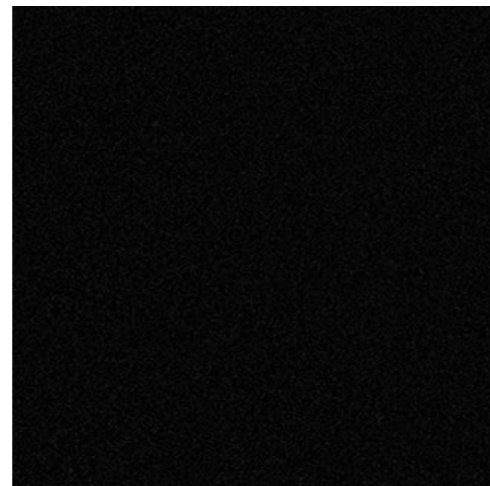
EF1 - Applied Finish - Light Grey



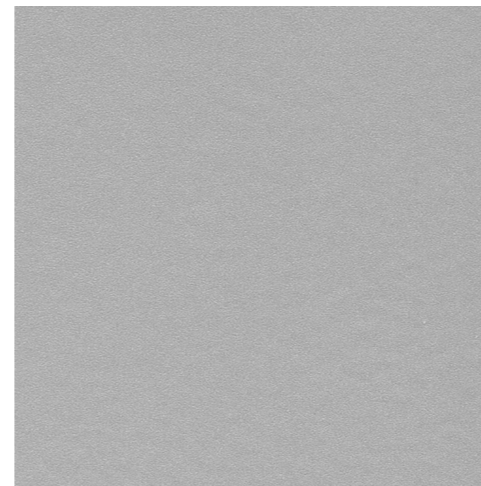
EF2 - Applied Finish - Black



PC1 - Powdercoat Door & Window Frames - Copper



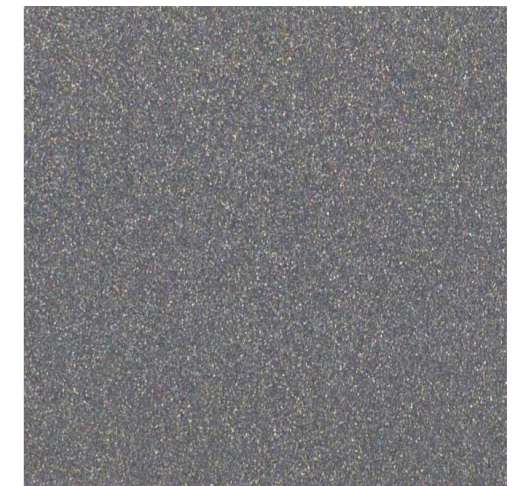
PC2 - Powdercoat Door & Window Frames - Black



PC3 - Powdercoat Garage Doors - Grey



CN1 - Decorative Concrete



RE2 - Render Finish - Dark Tone



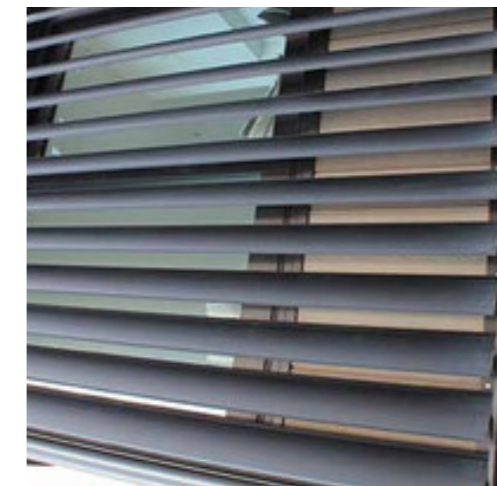
RE1 - Render Finish - Mid Tone



TC1 - Timber - Light Tone



TC2 - Timber - Dark Tone



EB1 - External Blinds (Retractable) - Black



RS1 - Roof Sheetting - Colorbond - Dark Grey

