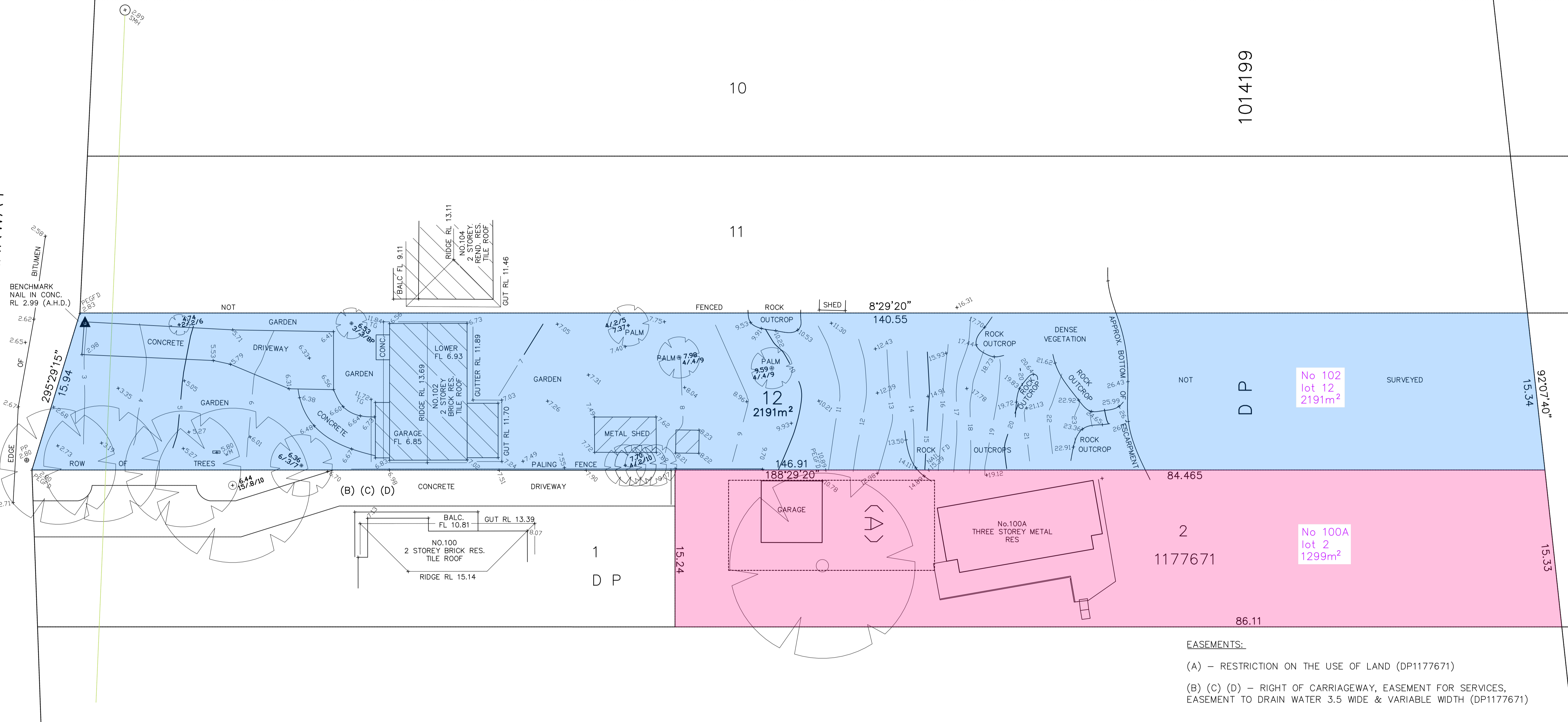


ELANORA RD

WAKEHURST PARKWAY



1014199

10

11

12
2191m²

No 102
lot 12
2191m²

No 100A
lot 2
1299m²

D P

1
D P

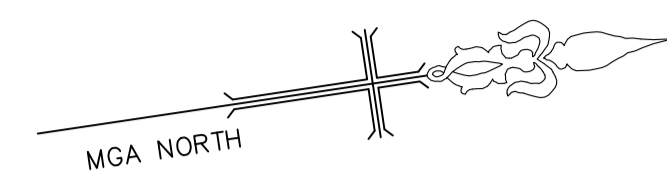
2
1177671

EASEMENTS:

- (A) - RESTRICTION ON THE USE OF LAND (DP1177671)
- (B) (C) (D) - RIGHT OF CARRIAGEWAY, EASEMENT FOR SERVICES, EASEMENT TO DRAIN WATER 3.5 WIDE & VARIABLE WIDTH (DP1177671)

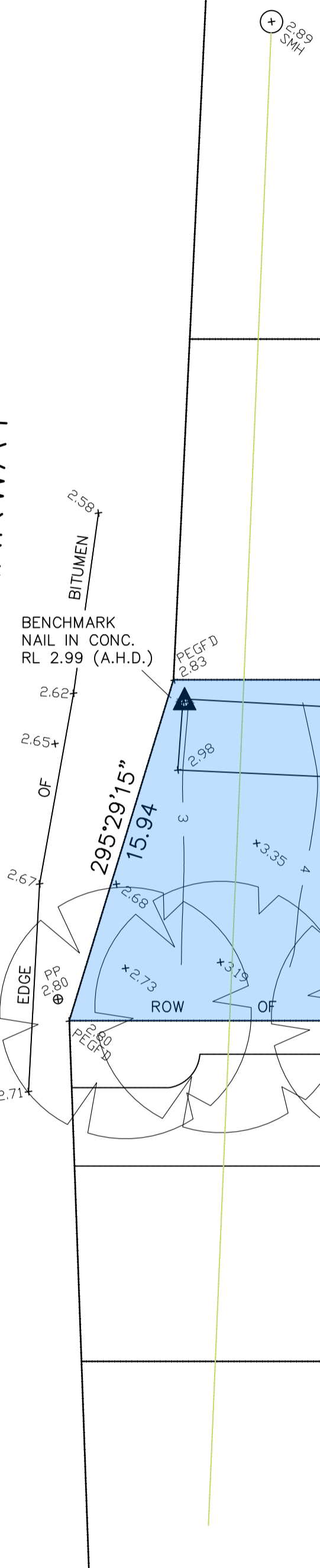
EXISTING PROPERTIES (102 AND 100a) LAYOUT PLAN
SCALE 1:200

| | | | |
|--|---|-----------------------------------|--------------------|
| 1. BUILDER TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWING. 2. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES, SETBACKS AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY. 3. ALL WORK TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & TO THE SATISFACTION OF LOCAL COUNCIL REQUIREMENTS. 4. ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE TO TIMBER FRAMING CODE. 5. ROOF WATER & SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS A DIRECTED BY LOCAL COUNCIL. 6. ALL ELECTRICAL POWER & LIGHT OUTLETS TO BE DETERMINED BY OWNER. 7. MAKE GOOD AND REPAIR ALL EXISTING FINISHES DAMAGED BY NEW WORK. REUSE EXISTING MATERIAL WHERE POSSIBLE. 8. ALL NEW DOWN PIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM. 9. COPYRIGHT OF ALL PLANS BELONGS TO HIGH DESIGN - Architectural Design | PROJECT ADDRESS: 102 WAKEHURST PKY. ELANORA HEIGHTS | DATE March, 2023 | CHECKED |
| | CLIENT: | DRAWING No. 1/2 1020 23 | ISSUE DA |



ELANORA RD

WAKEHURST PARKWAY



10

1014199

11

140.55

FENCED ROCK SHED 8'29'20"

No 102
lot 12
916 m²

12
2191m²

D P

No 100A
lot 2
2574m²

2
1177671

EASEMENTS:

- (A) - RESTRICTION ON THE USE OF LAND (DP1177671)
- (B) (C) (D) - RIGHT OF CARRIAGEWAY, EASEMENT FOR SERVICES, EASEMENT TO DRAIN WATER 3.5 WIDE & VARIABLE WIDTH (DP1177671)

PROPOSED PROPERTIES (102 AND 100a) LAYOUT PLAN
SCALE 1:200

1. BUILDER TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWING.
2. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES, SETBACKS AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
3. ALL WORK TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & TO THE SATISFACTION OF LOCAL COUNCIL REQUIREMENTS.
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9. COPYRIGHT OF ALL PLANS BELONGS TO 'HIGH DESIGN' - Architectural Design

| | | |
|---|---------------------|-------------|
| PROJECT ADDRESS: 102 WAKEHURST PKY, ELANORA HEIGHTS | DATE March, 2023 | CHECKED |
| CLIENT: | DRAWN BY: B. V. | ISSUE DA |
| | 2/2 1020 23 | |

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