

DOUBLE STOREY DWELLING
#11,Raven circuit,Warriewood



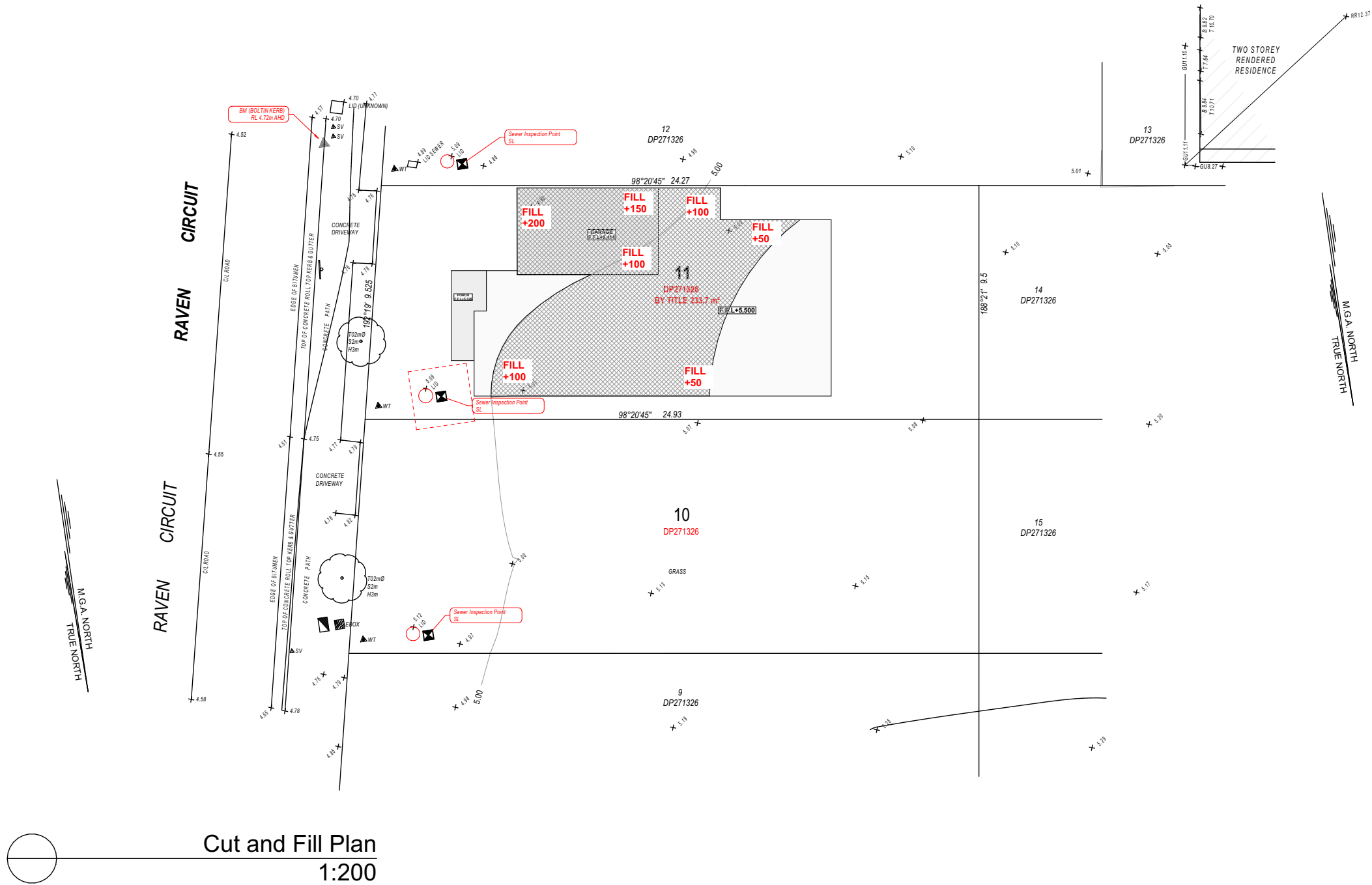
- General notes:**
- All materials and work practices shall comply with all-relevant current Australian standards (as amended) referred to therein.
 - These drawings shall be read in conjunction with all relevant structural and all other consultant's drawings/details and with any other written instructions issued.
 - Figured dimensions take precedence over scaled dimensions.
 - The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
 - The contractor/builder is responsible for setting out and checking all levels and measurements on site.
 - All dimensions and levels are to be checked and verified by the Owner/builder and any discrepancies in the documents must be resolved before ordering commencement of any works.
 - Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows are to be flashed all around.
 - Installation of all services shall comply with supply authority requirements.
 - The builder and subcontractor shall ensure that all stormwater drains, Sewer pipes and the like are located at a sufficient distance from any footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and under mining of any building and its footing system.

Page No.	Title
1	Coverpage
2	Basix Notes
3	Cut and Fill Plan
4	Site Plan
5	Ground Floor Plan
6	First Floor Plan
7	Roof Plan
8	Elevations
9	Side Elevations
10	Sections
11	Door Schedule & SOF
12	Windows Schedule
13	Landscape Plan
14	Landscape Calculation Plan
15	Sediment Control Plan
16	Site Analysis
17	Shadow Analysis
18	Final Plan, Section, Elevation

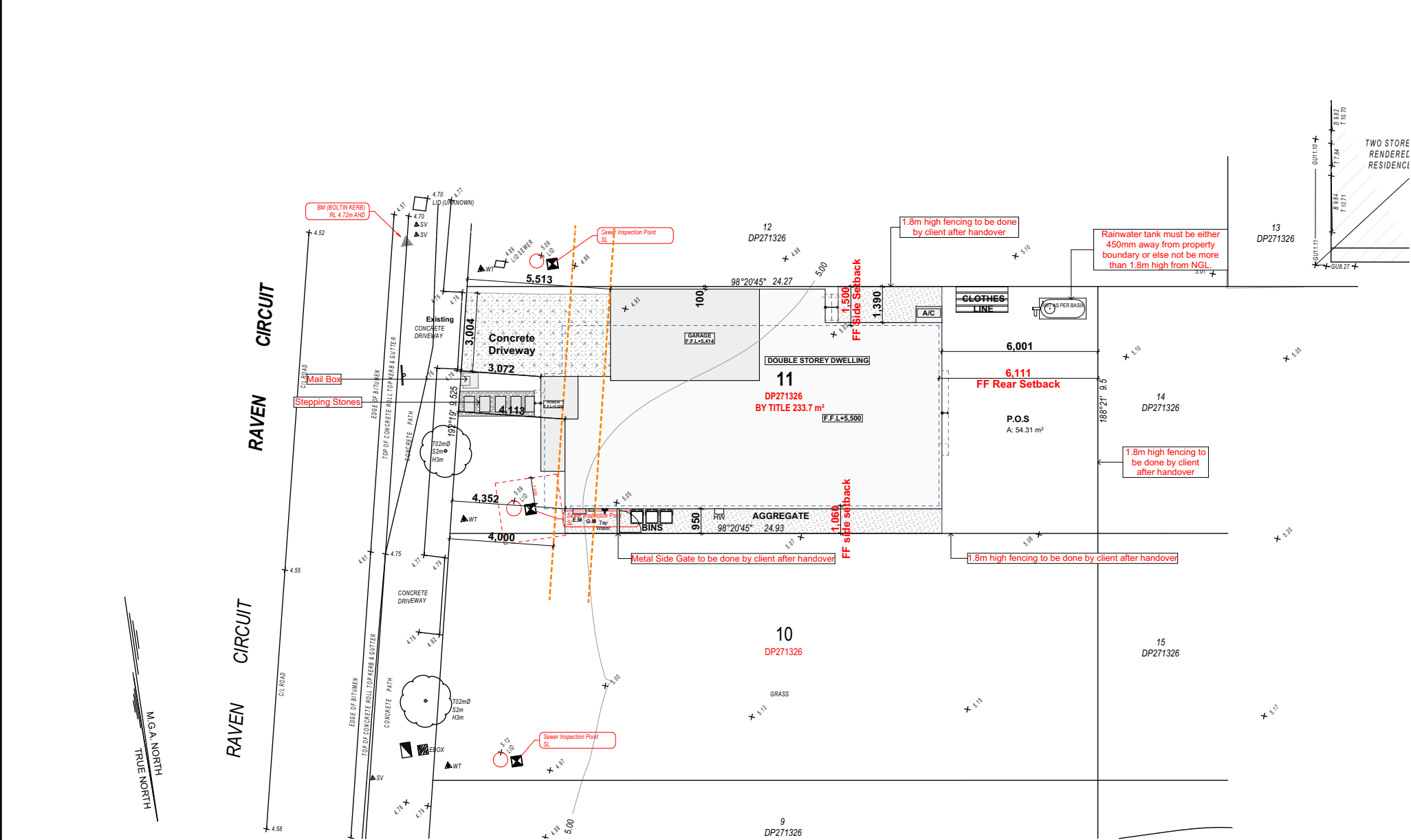
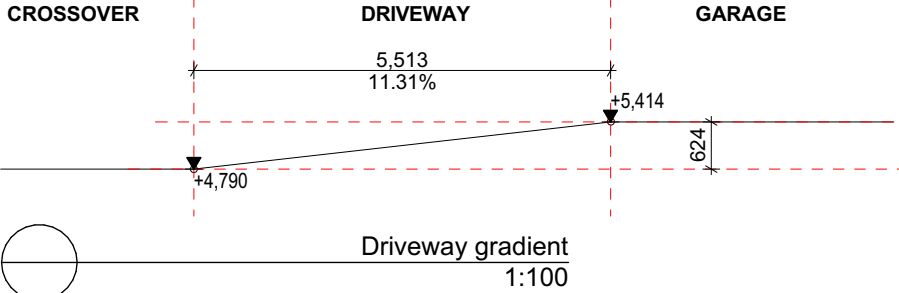
The Basix certificate should be read in conjunction with the Nathers certificate (including the additional notes pages 4 & 5).

For additional information please refer to the additional notes on the Nathers certificate.

Cut and Fill is only under Slab.
Cut and Fill on the site is minimal, Hence does not
required Retaining wall.



SITE CALCUALTIONS		
No.	Name	Area SQM
01	Site Area	233.70
02	Landscape Area	53.38
03	Area forward the built structures	41.60
04	Landscape Area forward the built structures	22.02



SYMBOLS:	ABBREVIATIONS:
BENCHMARK	B - BOTTOM WINDOWS
ELECTRICITY BOX	BM - BENCHMARK
GATE	EL - ELECTRICAL POLE
SIGN	FF - FIRST FLOOR
HYDRANT	FL - FLOOR LEVEL
KERB OUTLET/L	G - GAS VALVE
MAIL	GF - GROUND FLOOR
STOP VALVE	GM - GAS METER
WASTEWATER CONTROL PIT	GU - GUTTER RL
WASTEWATER CONTROL TANK	H - HYDRANT
WATER METER	IL - INVERT LEVEL
WATER TAP	KO - KERB OUTLET
POWER POLE	LP - LIGHT POLE
SEWER MANHOLE	MB - MAIL BOX
S/W GRATE	PP - POWER POLE
TELSTRA PIT	R - ROOF LINE
UNCLASSIFIED PIT	RL - REDUCED LEVEL
TREE & TRUNK	RR - ROOF RIDGE
	S - SEWER CONNECTION
	SF - SECOND FLOOR
	SL - SURFACE LEVEL
	SV - STOP VALVE
	SVP - SEWER VENT PIPE
	T - TOP WINDOWS
	TW - TOP OF WALL
	WT - WATER TAP
	WM - WATER METER

SURVEY LEGEND	
SUBJECT BOUNDARY	---
ADJOINING BOUNDARY	---
EASEMENT	---
CONTOUR MAJOR	---
CONTOUR MINOR	---
BUILDING LINE	---
GUTTER LINE	---
RIDGE LINE	---
FENCE	---
TOP KERB	---
BOTTOM KERB	---
OVERHEAD POWER	---
WALL	---
TOP OF BANK	---
BOTTOM OF BANK	---
TOP OF ROCK	---
BOTTOM OF ROCK	---

LEGEND		
Ref.Img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).



NOTE
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All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

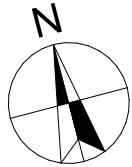
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A	7/02/2025	Issue for DA



DRAWING : **Site Plan**

CLIENT : **Skymark Luxury Living Pty Ltd**

PROJECT : **DOUBLE STOREY DWELLING**
#11, Raven circuit, Warriewood
Lot-11 D.P 271326

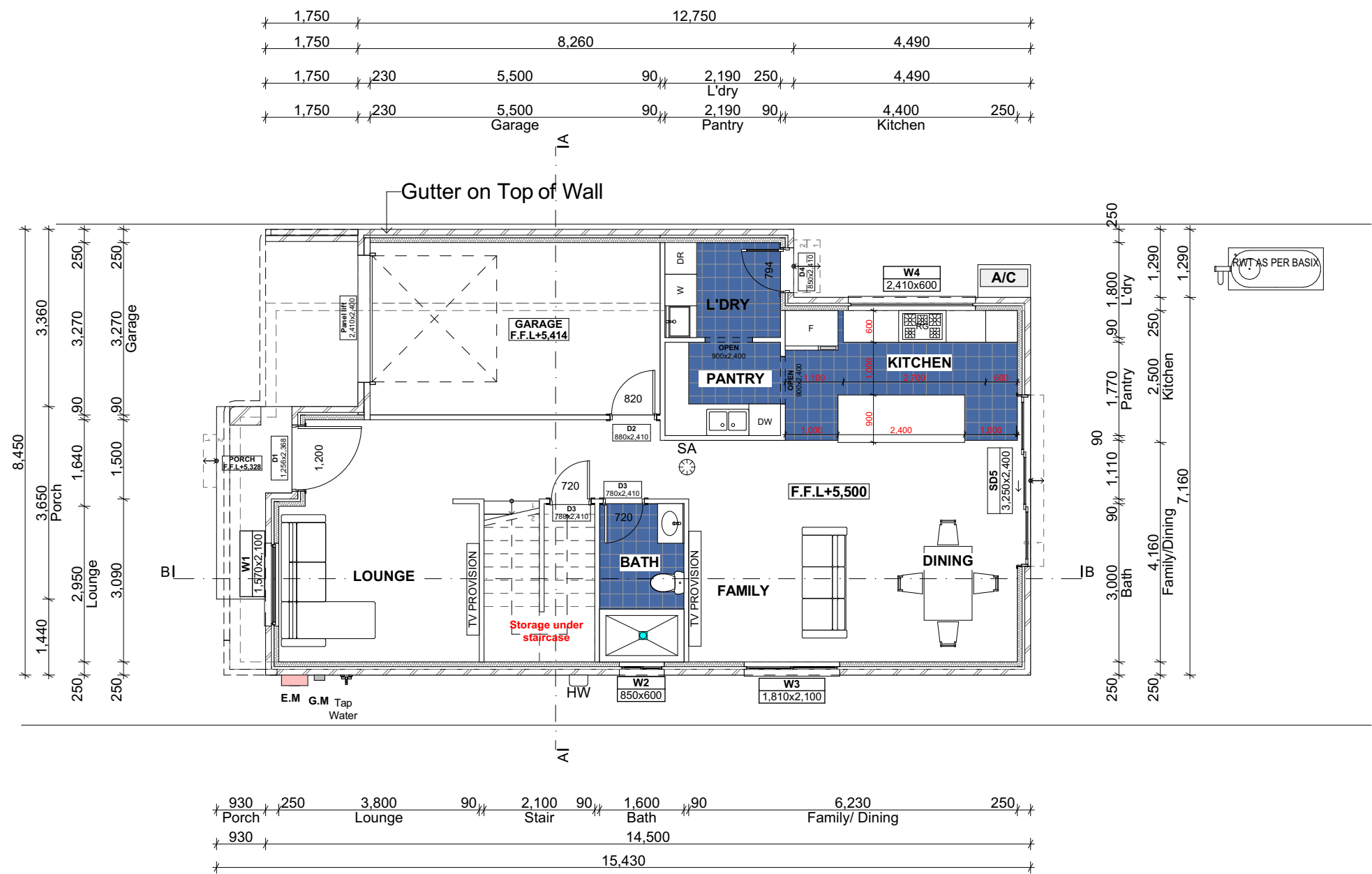
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External Walls with vapour permeable membrane as per manufacturer detail.



0. Ground Floor
1:100

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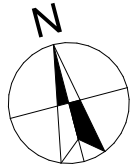
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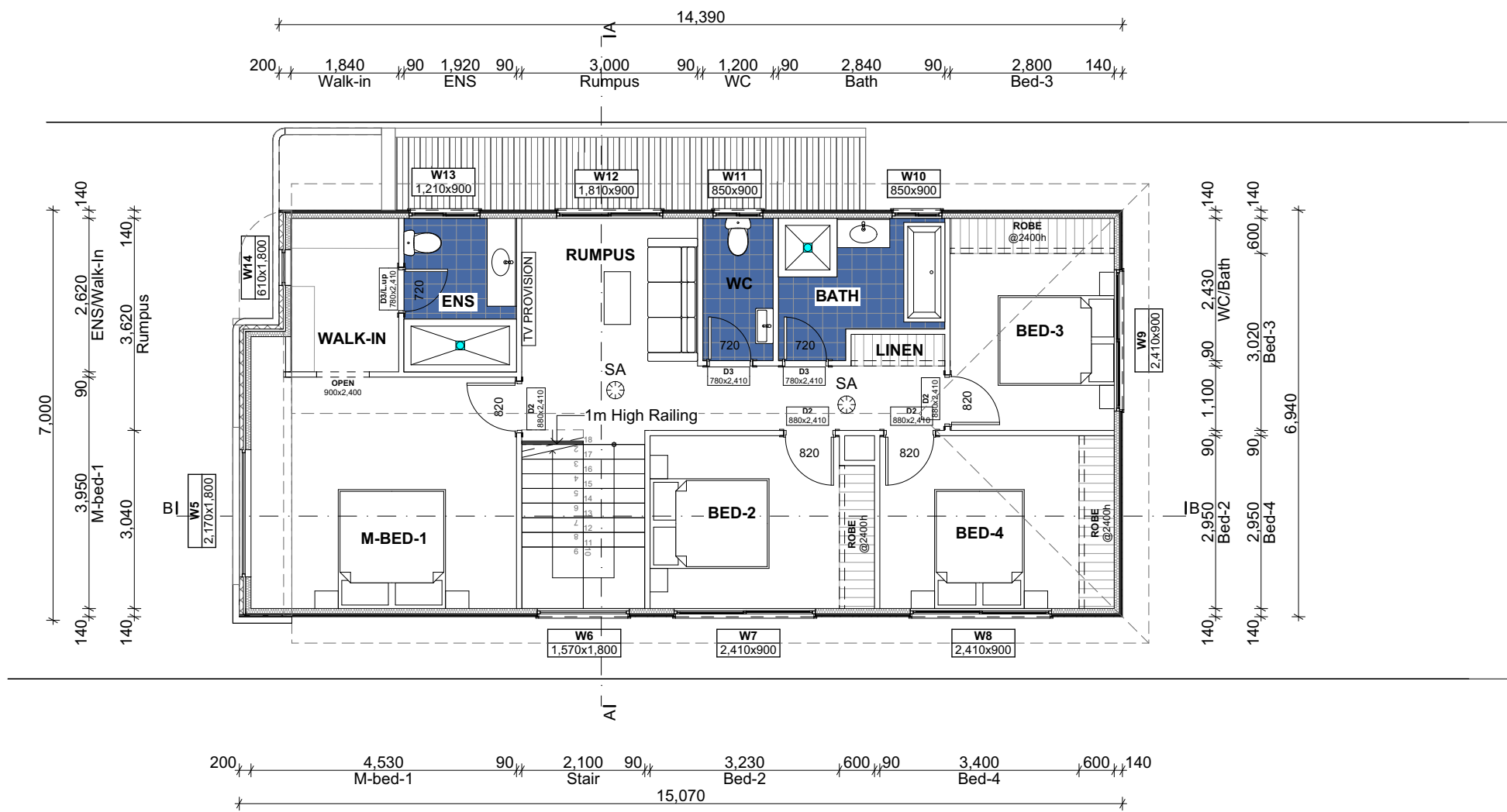
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DRAWING : **Ground Floor Plan**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#11, Raven circuit, Warriewood
Lot-11 D.P 271326

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Selected Cladding with vapour permeable membrane as per manufacturer detail.



2.

First Floor
1:100

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LEGEND		
Ref.img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).



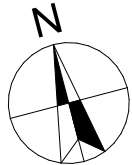
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DRAWING : **First Floor Plan**
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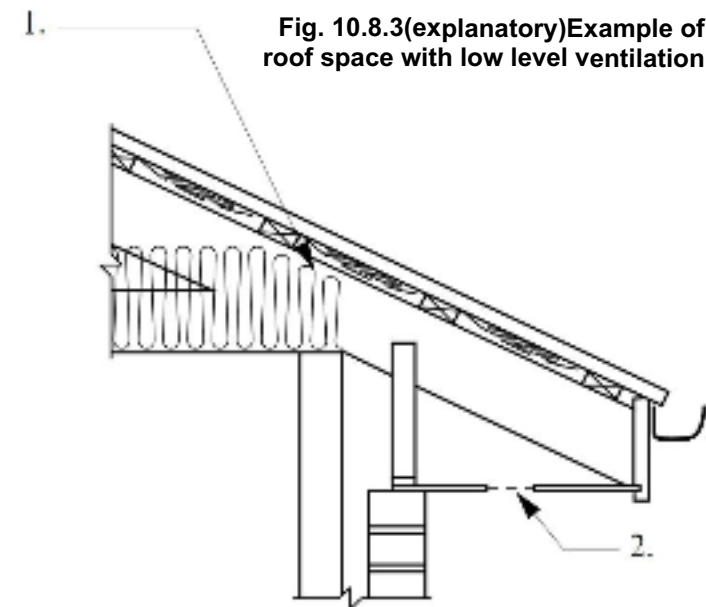
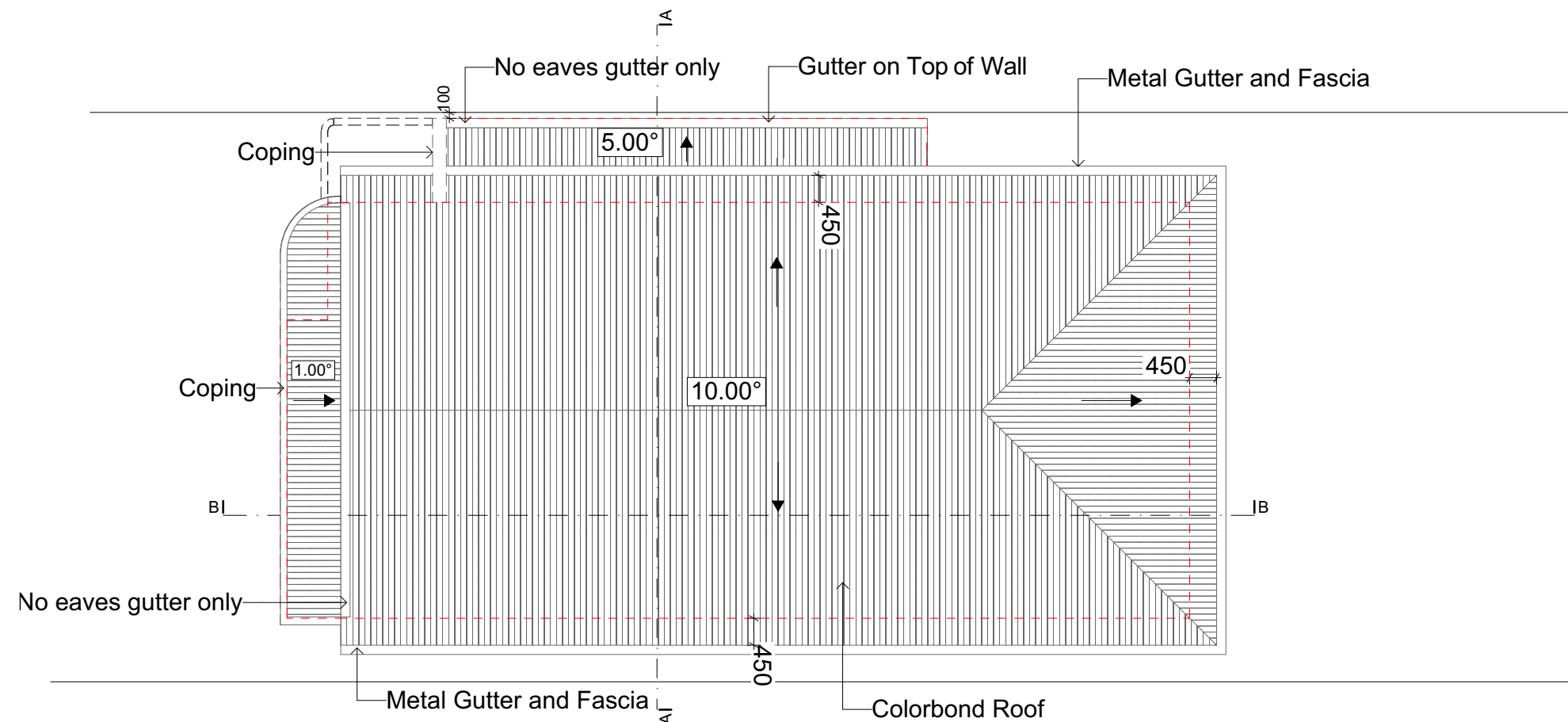


Figure Notes
1. Min 20 mm gap maintained between insulation and sarking
2. Eave ventilation opening in accordance with Table 10.8.3.



3.

Roof
1:100

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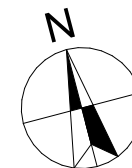
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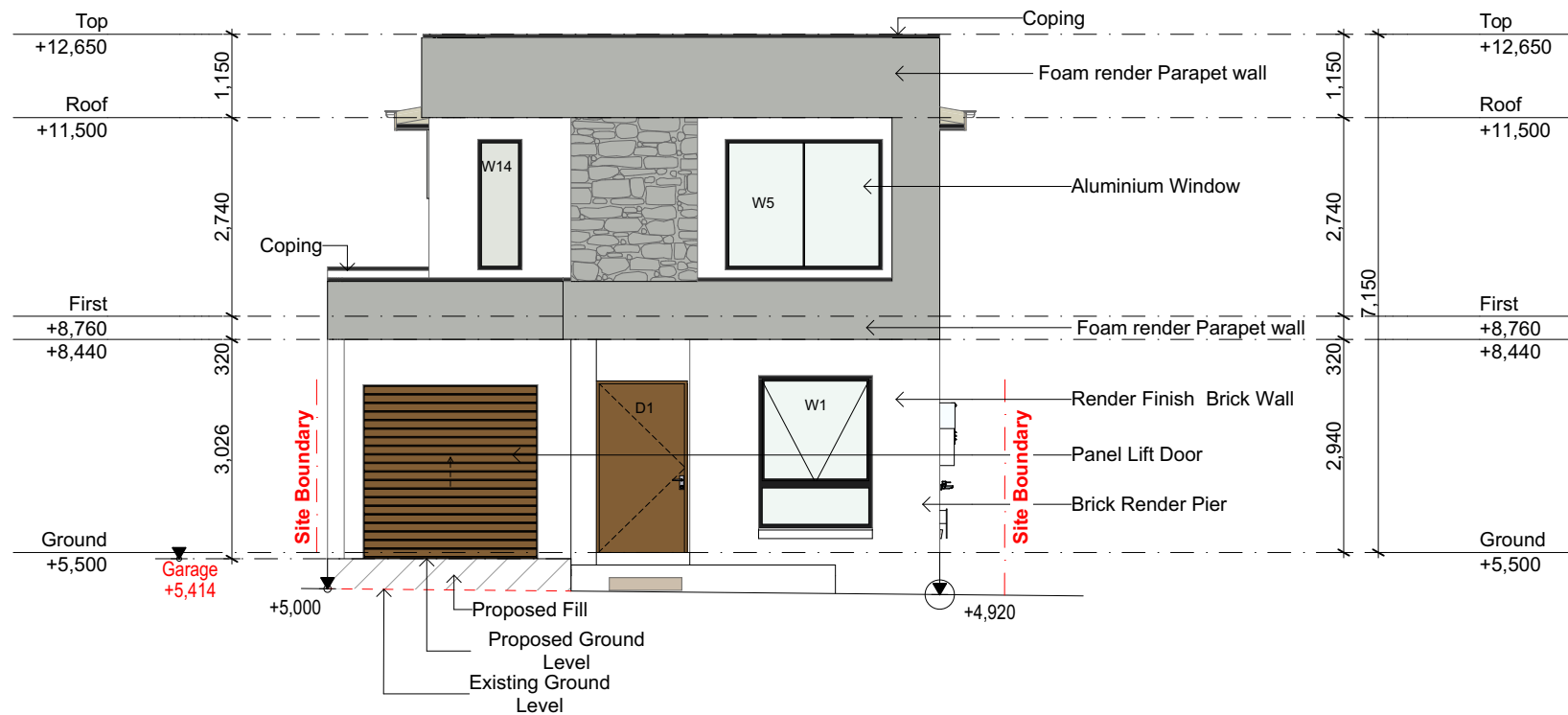


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DRAWING : **Roof Plan**
CLIENT : **Skymark Luxury Living Pty Ltd**
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1 West Elevation (Front)
1:100



2 East Elevation (Rear)
1:100

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DRAWING : Elevations

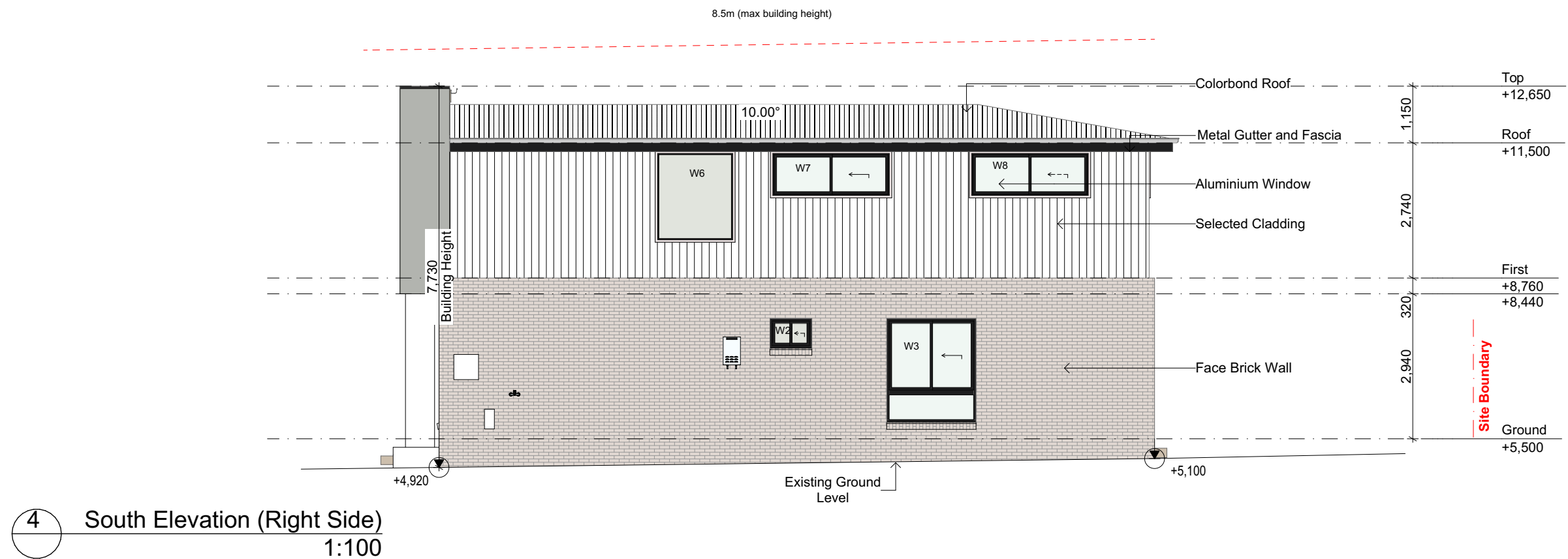
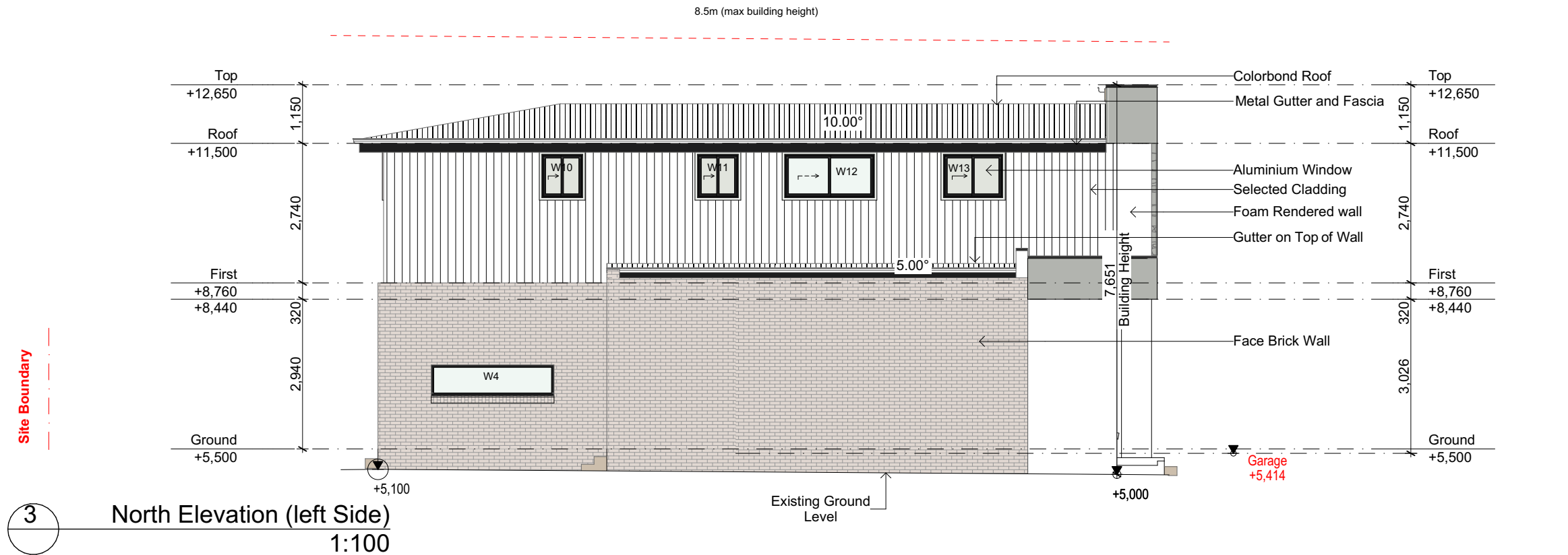
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DRAWING :Side Elevations

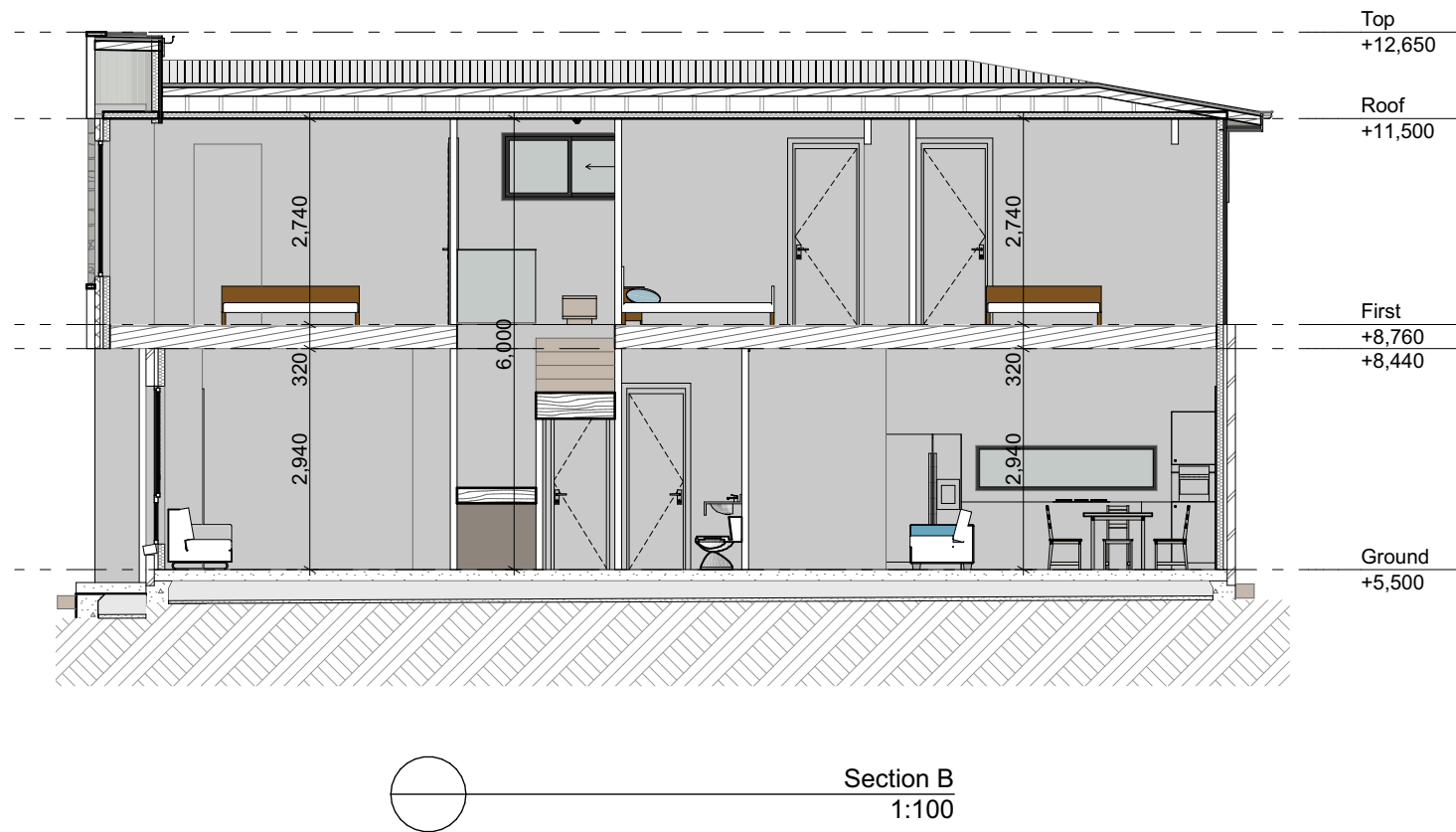
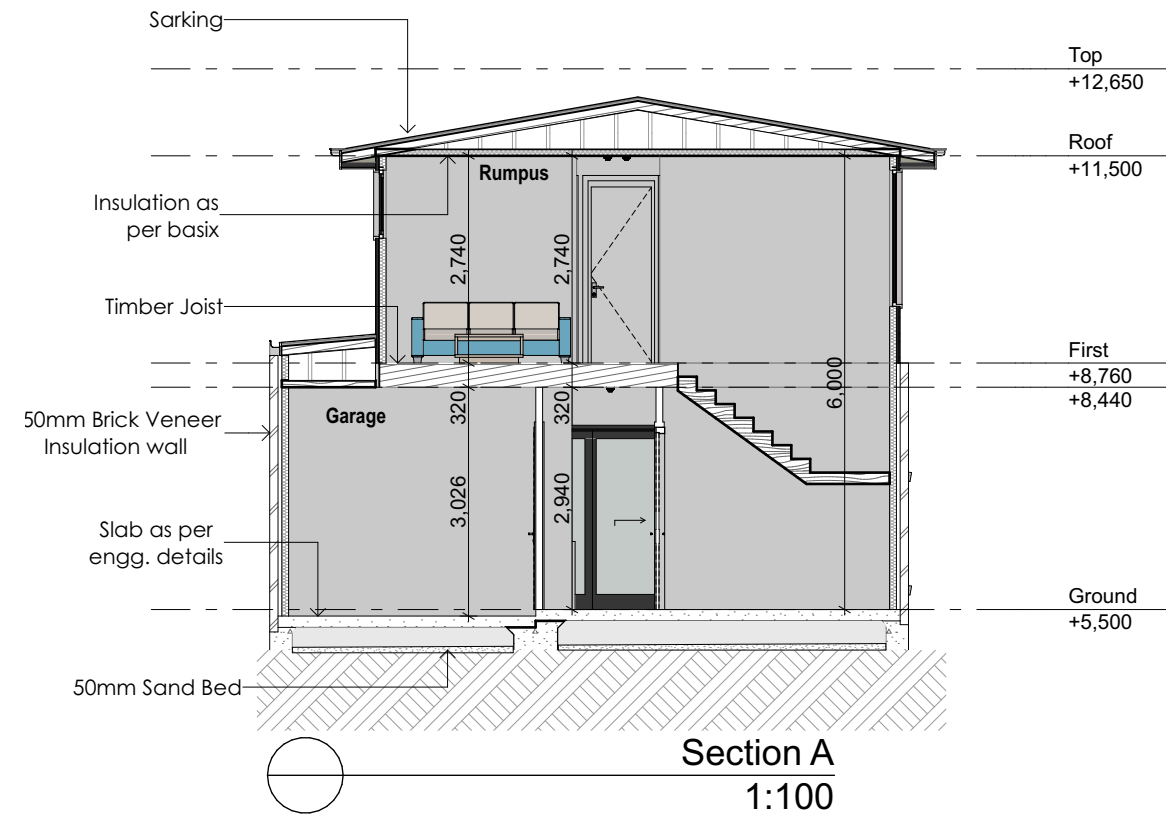
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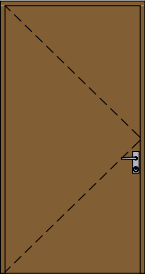
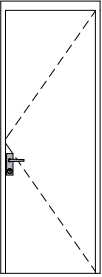
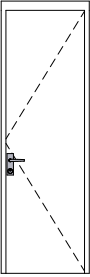
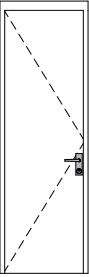



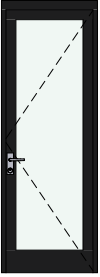
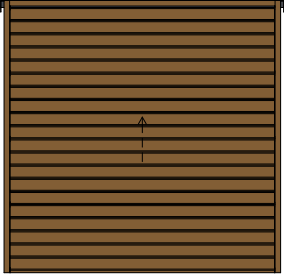
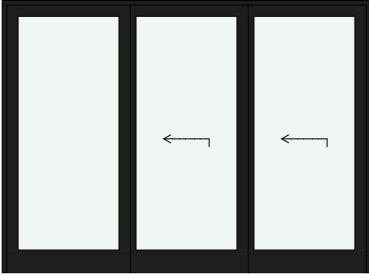
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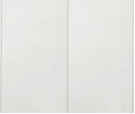

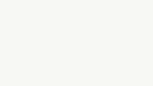

DRAWING : **Sections**
CLIENT : **Skymark Luxury Living Pty Ltd**
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#11, Raven circuit, Warriewood
Lot-11 D.P 271326

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PAGE NO: **10**

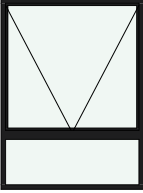

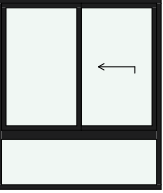

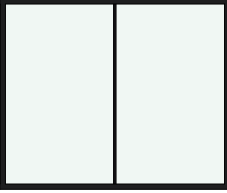
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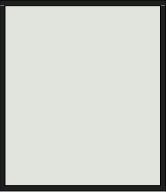
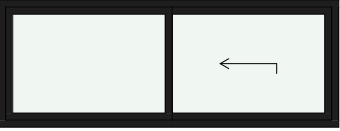
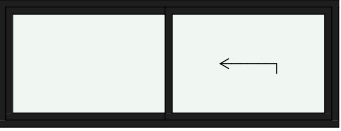
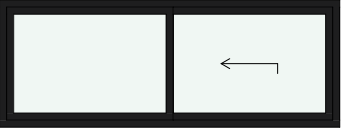

Door Shedule					
Element ID	D1	D2	D3	D3/L.up	OPEN
Wallhole Dimensions (W x H)	1,256×2,368	880×2,410	780×2,410	780×2,410	900×2,400
Leaf Dimensions	1,200×2,340	820×2,340	720×2,340	720×2,340	---
Elevation					
Quantity	1	5	4	1	3
Position	Exterior	Interior	Interior	Interior	Interior


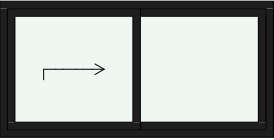
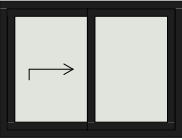

Aluminium Door Schedule			
ID	D4	Panel lift	SD5
Frame Dimensions (W X H)	850×2,410	2,410×2,400	3,250×2,400
Elevation			
QTY	1	1	1
Position	Exterior	Exterior	Exterior

SCHEDULE OF FINISHES		
ELEMENT	SPECIFICATION	COLOUR
Walls		PGH Bricks-Botanicals-Sandalwood
Feature Wall		Dulux-Domino
F.F Walls		James hardie-Axon cladding 133mm smooth-Vivid white
Render Color Facade		Dulux-Vivid White
Window		Monument
Roof		Colorbond-Surfmist
Gutter		Surfmist
Fascia		Monument
Feature Stone		Sydney Tile Gallery-Stone Wall Cladding- Portland Grey Wall Cladding

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Window Schedule					
ID	W1	W2	W3	W4	W5
Frame Dimensions	1,570×2,100	850×600	1,810×2,100	2,410×600	2,170×1,800
Elevation					
Glass	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1	1

Window Schedule					
ID	W6	W7	W8	W9	W10
Frame Dimensions	1,570×1,800	2,410×900	2,410×900	2,410×900	850×900
Elevation					
Glass	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Obscure
QTY	1	1	1	1	1

Window Schedule				
ID	W11	W12	W13	W14
Frame Dimensions	850×900	1,810×900	1,210×900	610×1,800
Elevation				
Glass	Glass - Obscure	Glass - Clear	Glass - Obscure	Glass - Obscure
QTY	1	1	1	1

NOTE:
- TO BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER.
- FALL PREVENTION FROM WINDOWS
- WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5
1- If Opening withing 1700mm above the floor; and climable elements between 150 and 750 mm above the floor, opening must be permanently restricted to 125mm; or fitted with a non-removable robust screen.
2-If opening between 865 and 1700mm above the floor; and no climable elements between 150 and 760mm bove the floor, opening must be restricted to 125mm; or fitted with a removable robust screen.
3- If opening between 865 of the floor; and climable elements between 150 and 760mm above the floor;or fitted with a non-removable robust screen.
4-If no opening within 1700mm of the floor. No restrictions apply.

Part 3.9.2.6 Protection of openable windows - bedrooms
(a) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.
(b) Where the lowest level of the window opening covered by (a) is less than 1.7 m above the floor, the window opening must comply with the following:
(i) The openable portion of the window must be protected with-
(A) a device capable of restricting the window opening; or
(B) a screen with secure fittings;
(ii) A device or screen required by (i) must-
(A) not permit a 125 mm sphere to pass through the window opening or screen; and
(B) resist an outward horizontal action of 250 N against the-
(aa) window restrained by a device; or
(bb) screen protecting the opening; and
(C) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
(c) Where a device or screen provided in accordance with (b)(i) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition to window protection.
(d) A barrier covered by (c) must not-
(i) permit a 125 mm sphere to pass through it; and
(ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

3.9.2.7 Protection of openable windows - rooms other than bedrooms
(a) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
(b) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865 mm above the floor.
(c) A barrier required by (b) must not-
(i) permit a 125 mm sphere to pass through it; and
(ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

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All Landscape to be done by owner.



Mail Box
1:20

As per landscaped area under the Pittwater DCP.
The following soil depths are required in order to be counted as landscaping:

- 300mm for lawn
- 600mm for shrubs
- 1metre for trees

LANDSCAPE SCHEDULE

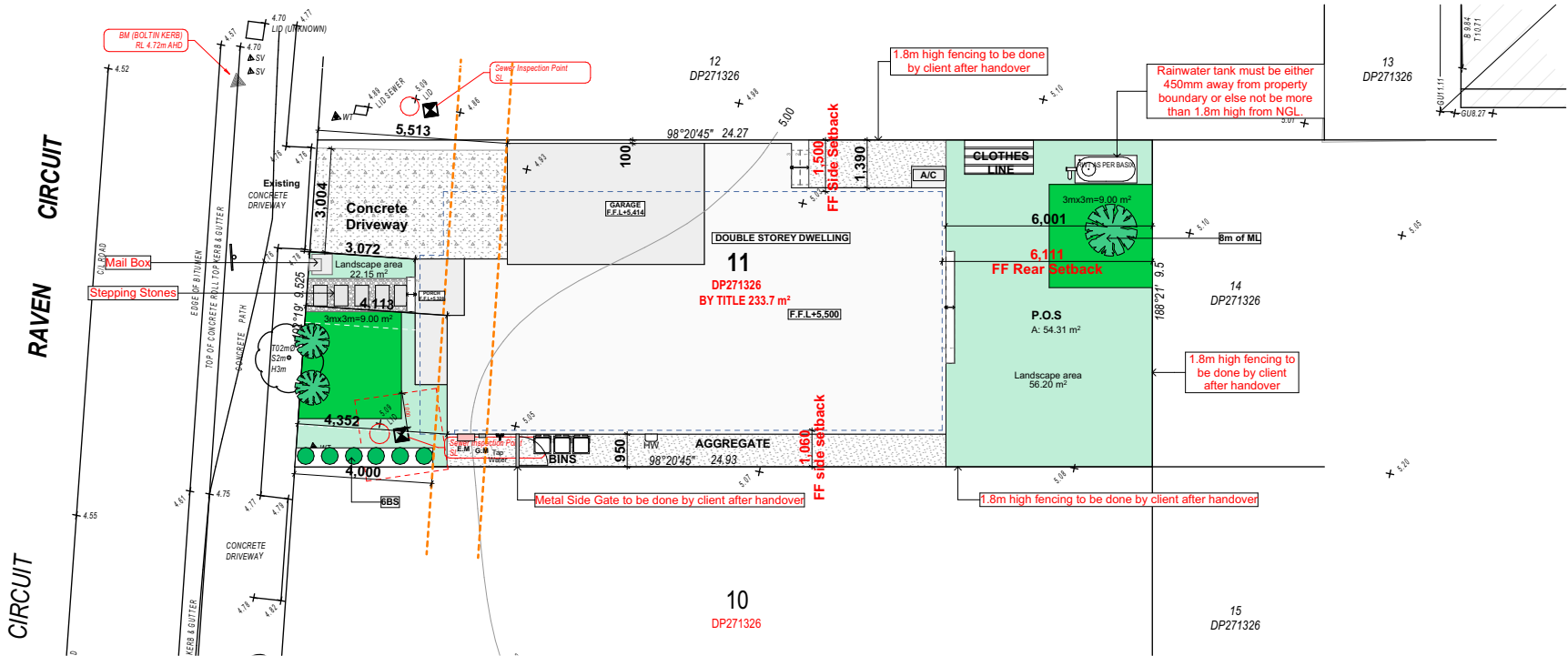
Refrence Image	ABB	NAME	TYPE	HEIGHT	POT. SIZE	QUA.
	(MS)	Melaleuca stypheloides	Tree	8-15m	75LT.	1
	(PC)	PYRUS CALLERYANA (CHANTICLEER)	Tree	5m	45LT.	2
	(BS)	BANKSIA ERICIFOLIA	Shrub	1-3m	300mm	6
		BUFFALO GRASS	Grass			
		AGGREGATE				

LEGEND

Ref.img	Name
	Tree
	Shrub
	Grass (Landscape Area)
	Aggregate

GE:- GARDEN EDGING AS SELECTED
TREATED PINE SPLITS 90 MM 2.4 MT LENGTH,
FASTENED TO HARWOOD STAKES, MINIMUM
DEPTH IN GROUND OF 300 MM WITH GALVANISED
TREATED PINE SCREWS(SIZE 75 MM X 8G)

LAWN:- BUFFALO WITH SHIRLEYS NO.17 FERTILISER
ALL PLANTS TO HAVE 35 MM OF BARK CHIP MULCH SPREAD
OVER TOP SOIL TURF TO BE WATERED MORNING AND
EVENING FOR A PERIOD OF TWO WEEKS OR AD NECESSARY.



Landscape Plan
1:200



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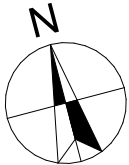
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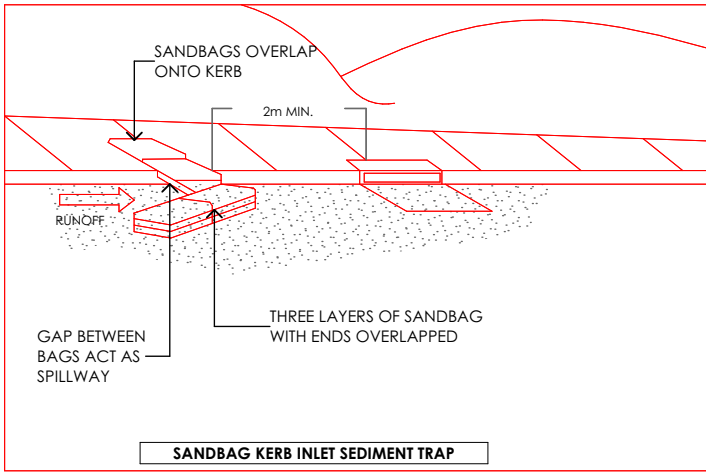
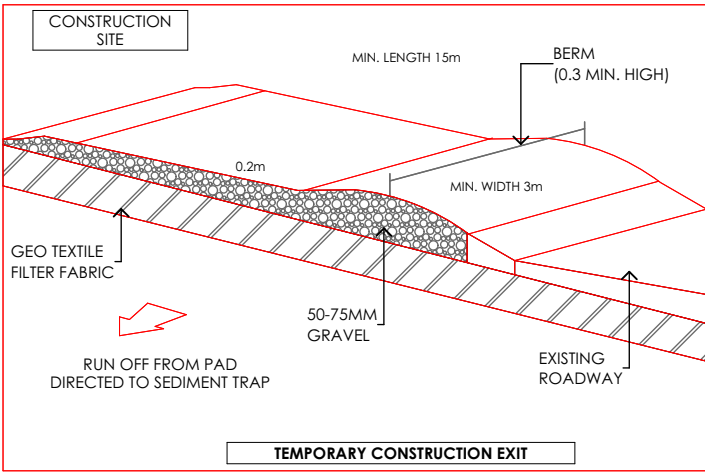
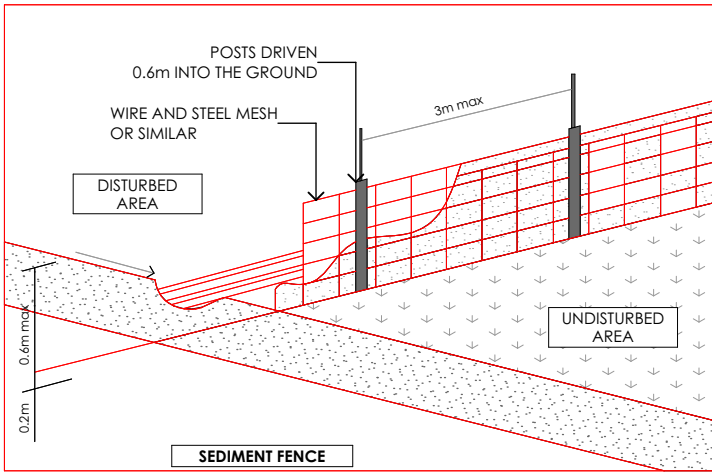


A	7/02/2025	Issue for DA



DRAWING : **Landscape Plan**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#11,Raven circuit,Warriewood
Lot-11 D.P 271326

DRAWN BY: GS
SCALE: 1:200
PAGE SIZE A3
DATE : 7/02/2025
APPLICATION : DA
PAGE NO: 13
PROJECT NO. 2412 801
ISSUE A



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES AREA MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER.

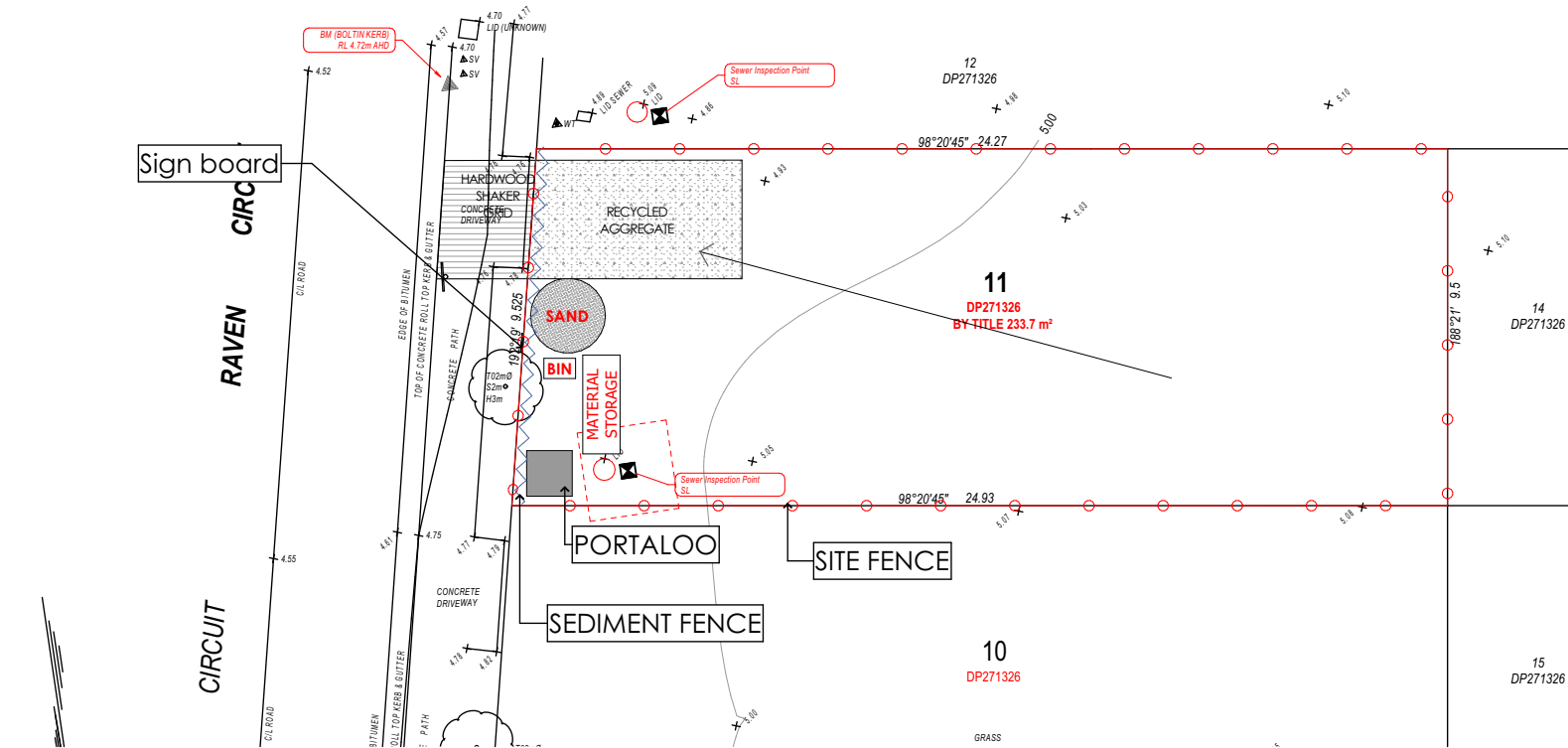
TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

SEDIMENT NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF SUPPORTING GEOTEXILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.

*THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:

- 1-ARCHITECTURAL PLANS
- 2-CONTOUR AND DETAIL SURVEY



Sediment Control Plan
1:200



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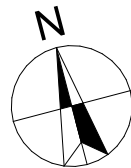
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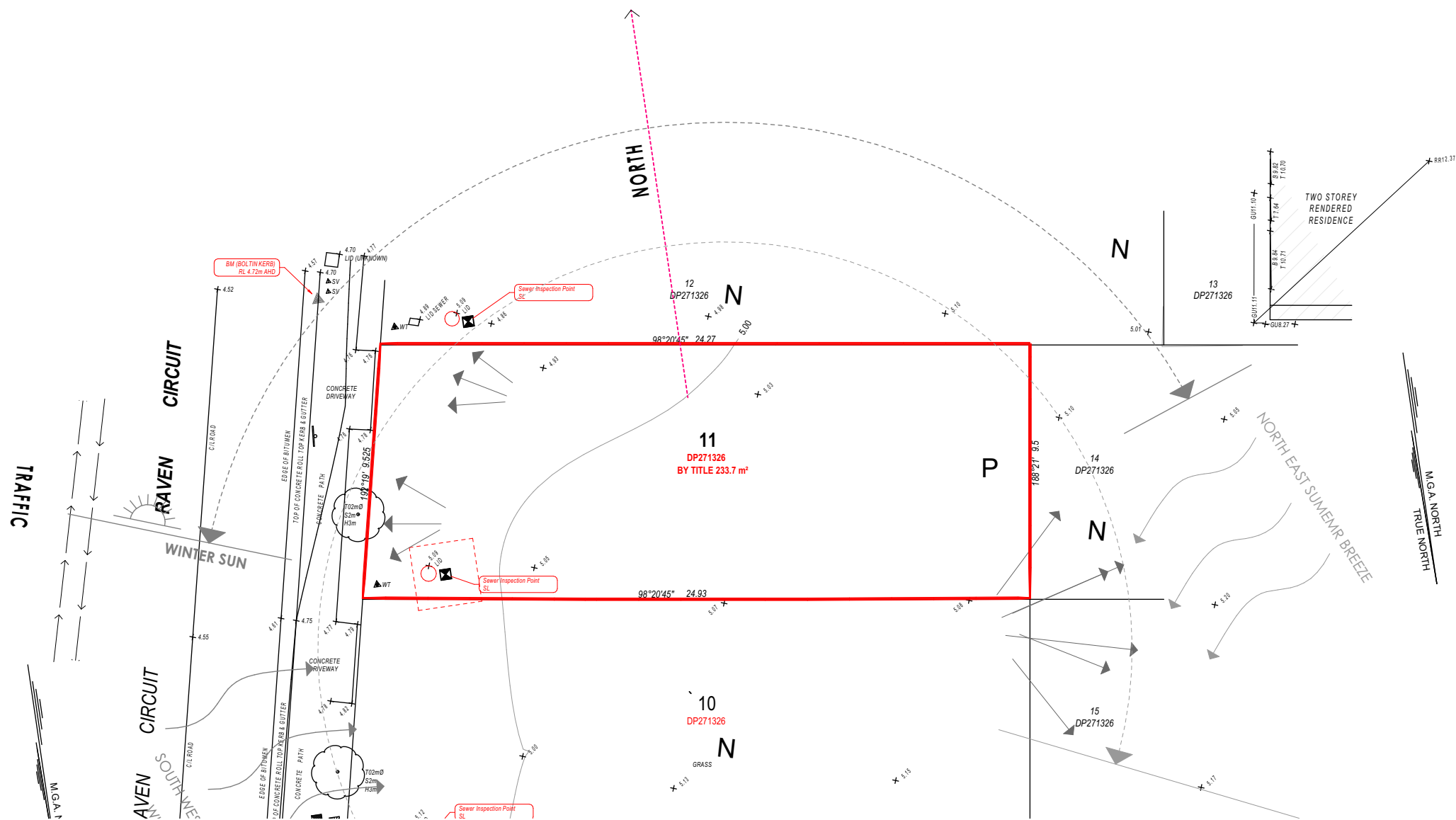
A	7/02/2025	Issue for DA



DRAWING : **Sediment Control Plan**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#11, Raven circuit, Warriewood
Lot-11 D.P 271326

DRAWN BY: GS
SCALE: 1:200
PAGE SIZE: A3
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PAGE NO: 15

PROJECT NO. **2412 801**
ISSUE **A**



- SITE BOUNDARY
- VIEWS
- NEIGHBOURHOOD
- PRIVATE OPEN SPACE
- TRAFFIC



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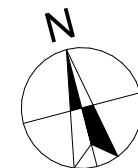
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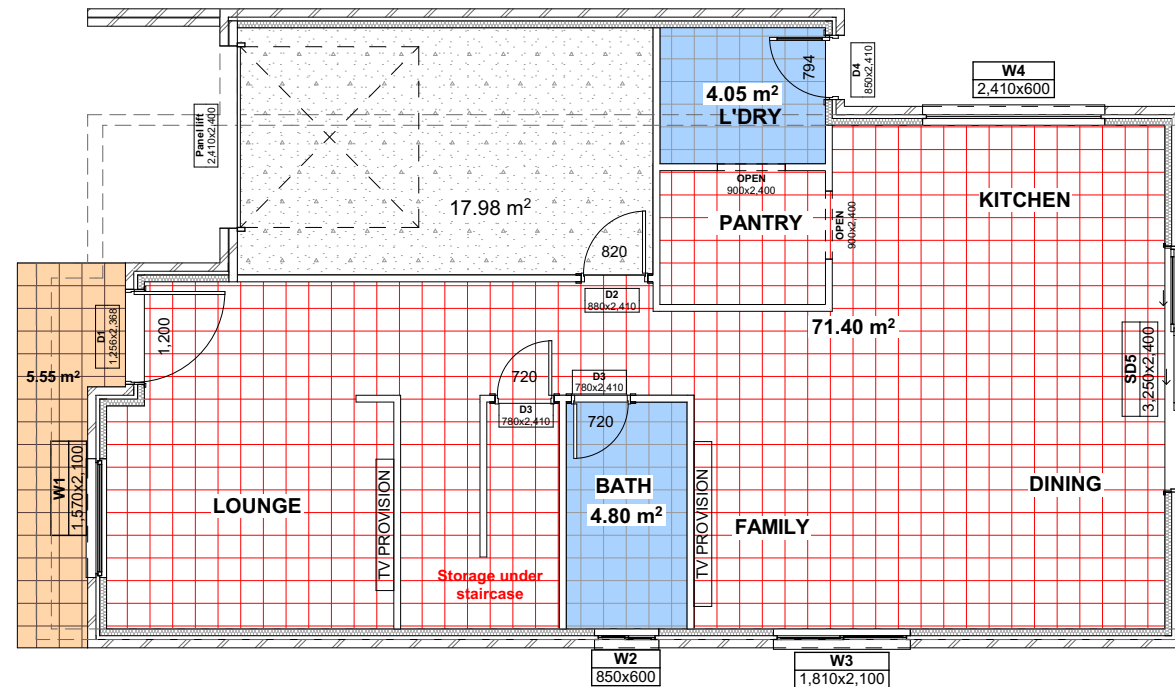


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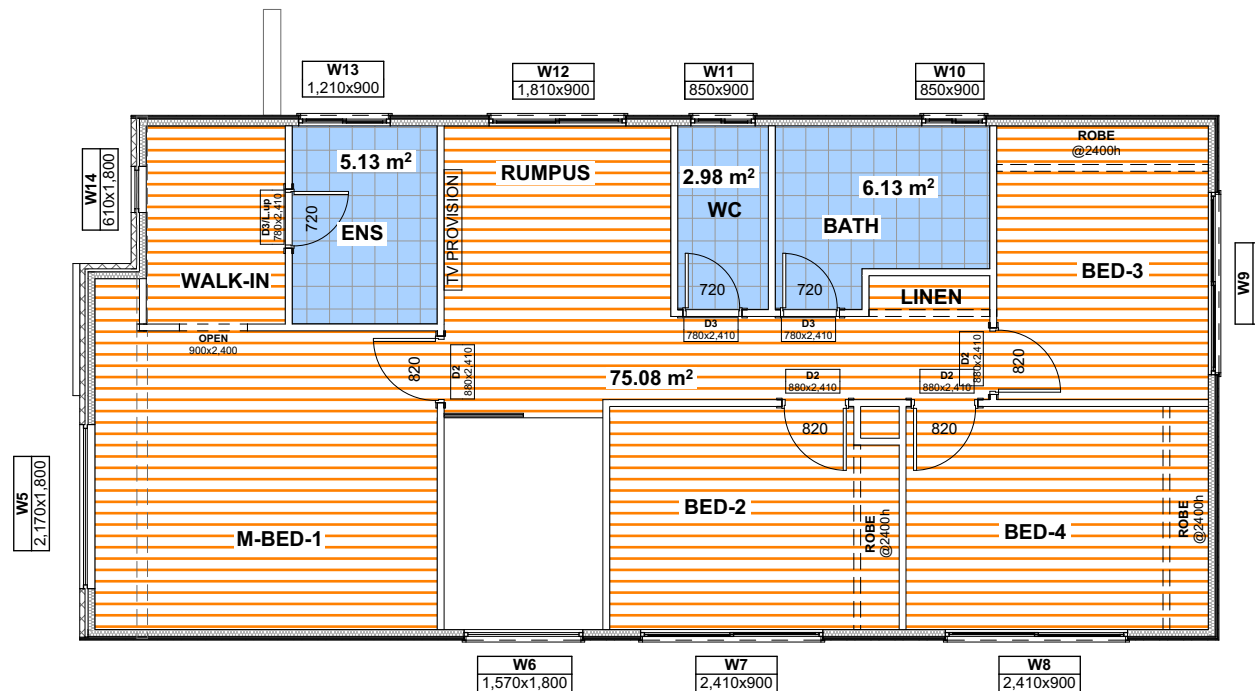


DRAWING : **Site Analysis**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#11, Raven circuit, Warriewood
Lot-11 D.P 271326

DRAWN BY: GS	DATE : 7/02/2025	PROJECT NO. 2412 801
SCALE: 1:200	APPLICATION : DA	ISSUE A
PAGE SIZE A3	PAGE NO: 16	



Floor Finish- Ground Floor
1:100



Floor Finish- First Floor
1:100

LEGEND	
Ref.img	Name
	Indoor Tiles
	Outdoor Tiles
	Concrete finish
	Tile for wet area
	Timber finish



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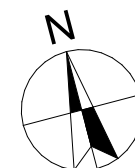
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DRAWING : Floor Finish- Ground Floor
CLIENT : Skymark Luxury Living Pty Ltd
PROJECT : DOUBLE STOREY DWELLING
#11, Raven circuit, Warriewood
Lot-11 D.P 271326

DRAWN BY: GS
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ISSUE A