# **DOUBLE STOREY DWELLING** #11,Raven circuit,Warriewood



# General notes:

- All materials and work practices shall comply with all-relevant current Australian standards (as amended)
- referred to therein.

  These drawings shall be read in conjunction with all relevant structural and all other consultant's drawings/ details and with any other written instructions issued. Figured dimensions take precedence over scaled

- Figured dimensions take precedence over scaled dimensions.
  The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
  The contractor/builder is responsible for setting out and checking all levels and measurements on site.
  All dimensions and levels are to be checked and verified by the Owner/builder and any discrepancies in the documents must be resolved before ordering commencement of any works.
  Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows are to be flashed all around.
  Installation of all services shall comply with supply authority requirements.

- Installation of all services shall comply with supply authority requirements.

  The builder and subcontractor shall ensure that all stormwater drains, Sewer pipes and the like are located at a sufficient distance from any footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and under mining of any building and its footing system.

Page No.	Title	
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3	Cut and Fill Plan	
4	Site Plan	
5	Ground Floor Plan	
6	First Floor Plan	
7	Roof Plan	
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11	Door Schedule & SOF	
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17	Shadow Analysis	
40	Floor Flatels Occurd Floor	





# Single Dwelling

Certificate number: 1780142S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 16 January 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



# **Basix-Commitments**

r details: See the Basix certificat

## Alternative water

The applicant must install a rainwater tank of at least 2000 litres.

The rainwater tank to collect rain runoff from at least 60m2 of the roof.

The applicant must connect the rainwater tank to:

all toilets in the development

• the cold water tap that supplies each clothes washer

at least one outdoor tap in the development

## Fixtures

- Shower heads  $\dots$  4 star (>7.5but <= 9.0 L/min)
- Toilets.....4 star
- Kitchen tap.....4 star
- Basin Taps.....4 star

Hot Water System: gas instantaneous with a performance of 6.0 stars for a system with a higher energy rating

Heating/Cooling: In at least 1 living area and 1 bedroom: 1-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

- At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light with timer off
- Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
- Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off

## Natural lighting

- The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
- The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

# Artificial lighting:

• The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps

# OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
- The applicant must install a fixed outdoor clothes drying line as part of the development.

# Alternative energy

- The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical
- The photovoltaic system must consist of photovoltaic collectors with the capacity to generate at least 2 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north.

The Basix certificate should be read in conjunction with the Nathers certificate (including the additional notes pages 4 & 5).

# **Building Elements**

/For Details: see the Nathers certificate

## Thermal Comfort-Simulation method

A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs. The dwelling design has been assessed with NatHERS software from an accredited assessor

## External Walls

- Timber Stud Frame Brick Veneer, R2.5 Anti-glare foil with bulk no gap
- EPS Timber Stud Frame on Battens, R2.5 Bulk Insulation
- Single Skin Brick, No Insulation

# Internal Wall

- Timber Stud Frame, Direct Fix Plasterboard, R2.5 Bulk Insulation, No Air Gap (Against Garage)
- Timber Stud Frame, Direct Fix Plasterboard No Insulation (All Others)

## External Floor

Waffle pod slab

## Internal Floor/Ceiling

- Timber Framed Timber Above Plasterboard, R2.5 Bulk Insulation (Above Garage)
- Timber Framed Timber Above Plasterboard, No Insulation (All Others)

- Plasterboard on Timber, R2.5 Bulk Insulation Unventilated roofspace(Reduced insulation near the eave in the distance of 580mm)
- Plasterboard on Timber, R5.0 Bulk Insulation Unventilated roofspace(All others/unaffected ceiling area)

# Roof

- Waterproofing Membrane No Insulation, Only an Air Gap
- Corrugated Iron Timber Frame, R1.3 Bulk, Reflective Side Down, No Air Gap Above
- Roof Tiles Timber Frame, Foil, Gap Above, Reflective Side Down, Anti-glare Up

Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

Note: All downlights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992, European IEC 60509:1989

Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the oned part of the house and the space above the open veranda.

Note-Ceiling fans: For the number and the location, see the Nathers certificate.

For additional information please refer to the additional notes on the Nathers certificate.

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documents here within are subject to Australian Copyright Laws





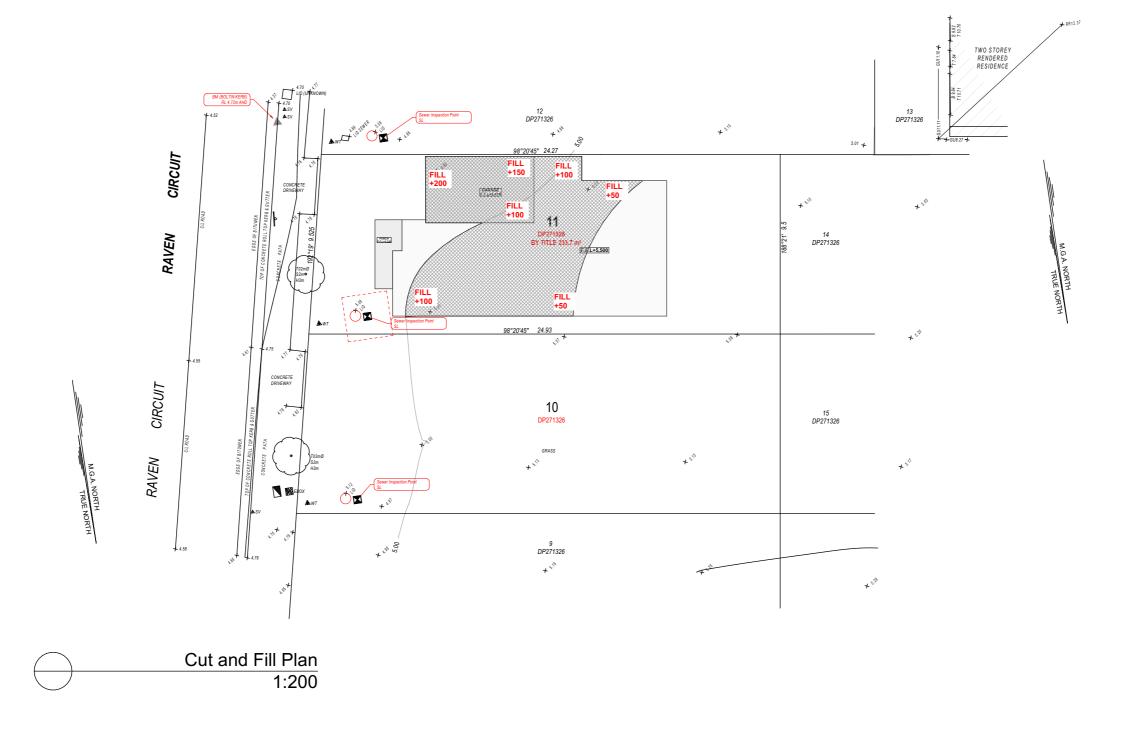


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DRAWING : Basix Notes	GS
CLIENT: Skymark Luxury Living Pty Ltd	SCALE
PROJECT: DOUBLE STOREY DWELLING	
#11,Raven circuit,Warriewood	PAGE S
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Cut and Fill is only under Slab. Cut and Fill on the site is minimal, Hence does not required Retaining wall.





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DRAWING : Cut and Fill Plan			
CLIENT:	Skymark Luxury Living Pty Ltd		
PROJECT :	DOUBLE STOREY DWELLING		
	#11,Raven circuit,Warriewood		

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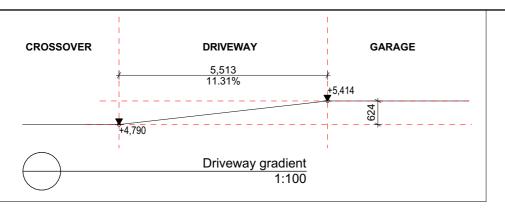
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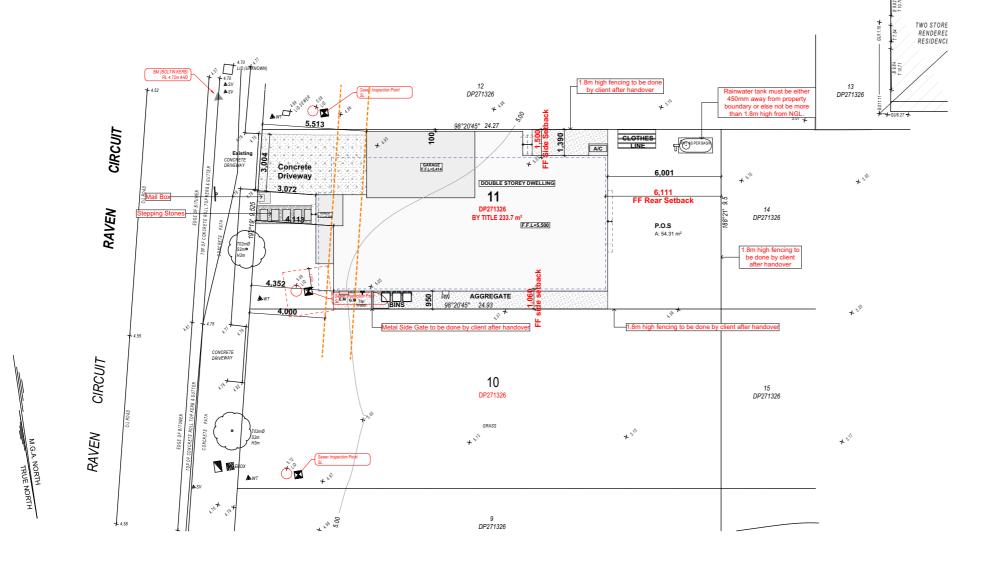
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SITE CALCUALTIONS			
No.	Name	Area SQM	
01	Site Area	233.70	
02	Landscape Area	53.38	
03	Area forward the built structures	41.60	
04	Landscape Area forward the built structures	22.02	







Site Plan 1:200

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DRAWING : Site Plan CLIENT: Skymark Luxury Living Pty Ltd PROJECT: DOUBLE STOREY DWELLING #11,Raven circuit,Warriewood

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SYMBOLS:

BENCHMARK 🛕

STOP VALVE 1

WATER METER WM

WATER TAP

POWER POLE

UNCLASSIFIED PIT

TREE & TRUNK

SUBJECT BOUNDARY ADJOINING BOUNDARY

CONTOUR MINOR

GUTTER LINE RIDGE LINE **FENCE** TOP KERB

BOTTOM KERB OVERHEAD POWER

TOP OF BANK

BOTTOM OF BANK TOP OF ROCK BOTTOM OF ROCK

S.A

R.W.T

E.M

A/C

HW

P.O.S

FW

MV

ME

Ref.img Mark

EASEMENT CONTOUR MAJOR

WASTEWATER CONTROL PIT

WASTEWATER CONTROL TANK

ABBREVIATIONS:

KO LP MB PP

SV SVP

TW WT WM

WALL \_\_\_\_\_

**LEGEND** 

Name

Smoke Alarm

AS3786 Hard Wired to Mains

Electric Meter

Air Conditioner Wall Mounted

Floor Waste

Mechanical Ventilation

(All vent to exhaust outside). Mechanical Ventilation

(All vent to exhaust outside)

Hot water System

Private Open Space

Rain Water Tank

- BOTTOM WINDOWS - BENCHMARK - ELECTRICAL POLE FIRST FLOOR - FLOOR LEVEL GAS VALVE GROUND FLOOR - GAS METER

GUTTER RL HYDRANT INVERT LEVEL

KERB OUTLET

POWER POLE

ROOF RIDGE

STOP VALVE

TOP OF WALLWATER TAP

- WATER METER

SURVEY LEGEND

ROOF LINE REDUCED LEVEL

SEWER CONNECTION SECOND FLOOR SURFACE LEVEL

SEWER VENT PIPE TOP WINDOWS

LIGHT POLEMAIL BOX

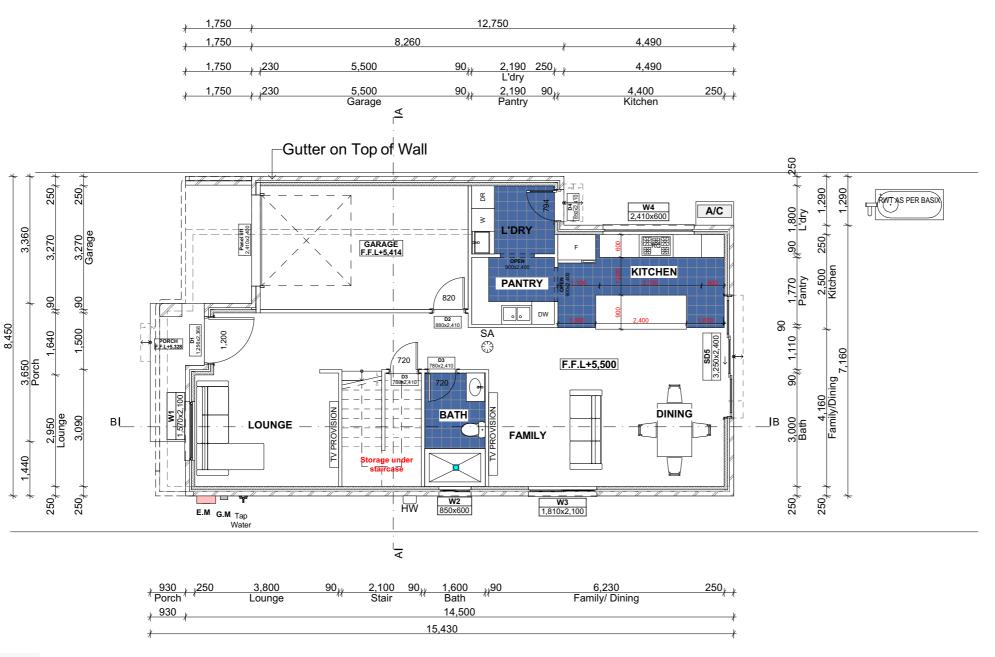
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PROJECT NO. 2412 801 ISSUE

ACCREDITED

External Walls with vapour permeable membrane as per manufacturer detail.



	LEGEND		
Ref.img	Mark	Name	
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)	
	R.W.T	Rain Water Tank	
	E.M	Electric Meter	
	A/C	Air Conditioner	
	HW	Wall Mounted Hot water System	
	P.O.S	Private Open Space	
	FW	Floor Waste	
$\boxtimes$	MV	Mechanical Ventilation (All vent to exhaust outside).	
$\times$	ME	Mechanical Ventilation (All vent to exhaust outside).	





Ground Floor 1:100

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l	BUILDING DESIGNER

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DRAWING	:Ground Floor Plan
CLIENT :	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING
	#11,Raven circuit,Warriewood

Lot-11 D.P 271326

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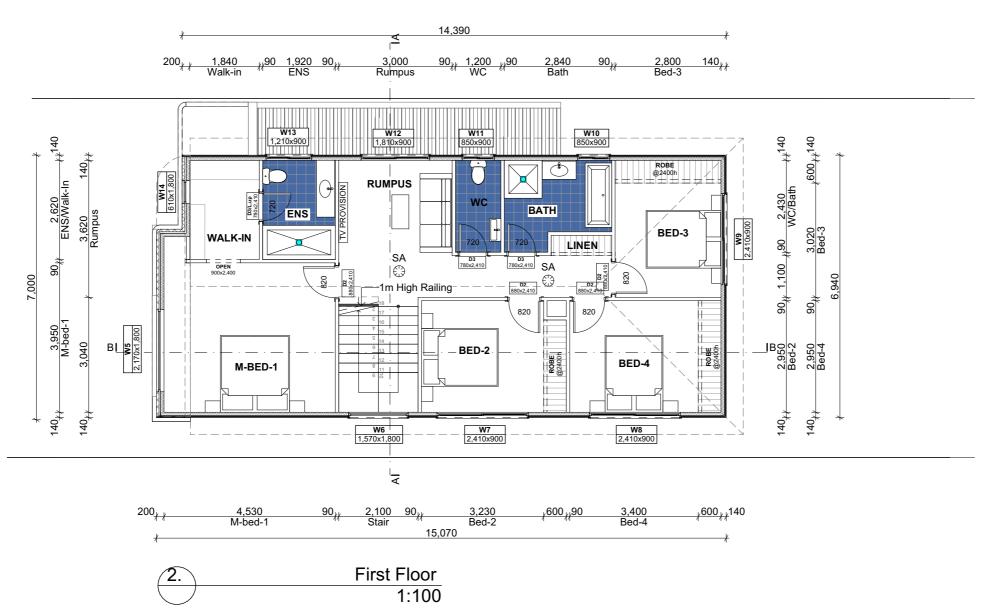
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APPLICATION: DA ISSUE

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SUE A

Selected Cladding with vapour permeable membrane as per manufacturer detail.



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BEFORE

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Zero Damage - Zero Harm

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DRAWING	:First Floor Plan
CLIENT :	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING
	#11.Raven circuit.Warriewood

Lot-11 D.P 271326

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DATE: PROJECT NO. 7/02/2025 2412 801 APPLICATION DA ISSUE

LEGEND

Name Smoke Alarm

AS3786 Hard Wired to Mains

Rain Water Tank

Air Conditioner

Wall Mounted

Floor Waste

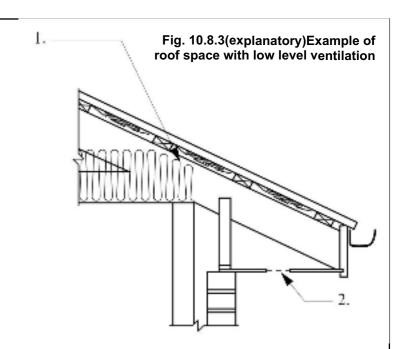
Mechanical Ventilation

(All vent to exhaust outside). Mechanical Ventilation

(All vent to exhaust outside).

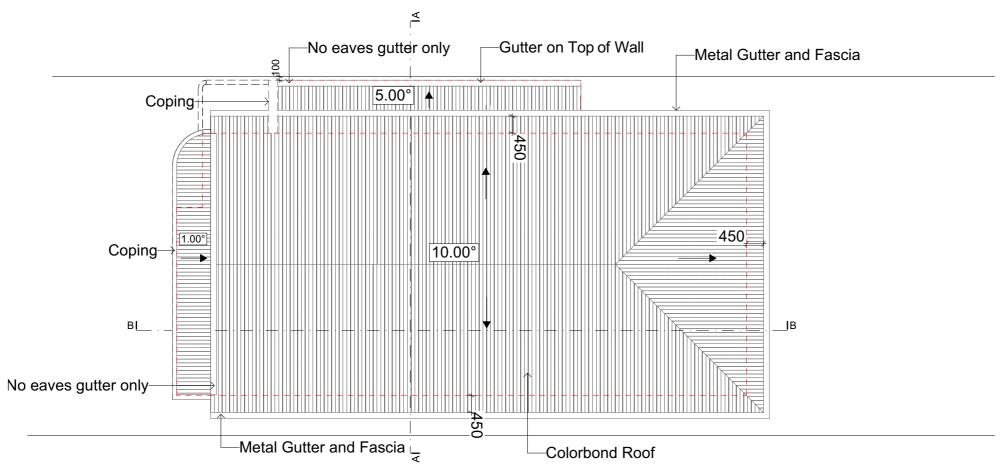
Hot water System

Private Open Space



# Figure Notes

- 1. Min 20 mm gap maintained between insulation and sarking
- 2. Eave ventilation opening in accordance with Table 10.8.3.



**BEFORE** www.byda.com.au Zero Damage - Zero Harm

Roof 1:100

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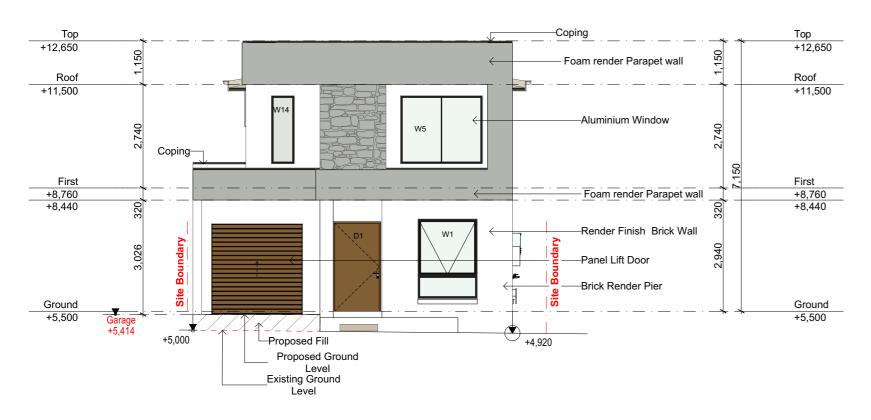
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DRAWING : Roof Plan	
CLIENT:	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING
	#11 Rayen circuit Warriewood

Lot-11 D.P 271326

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East Elevation (Rear) 1:100

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DRAWING : Elevations	DR.
CLIENT: Skymark Luxury Living Pty Ltd	
PROJECT: DOUBLE STOREY DWELLING	1 _1
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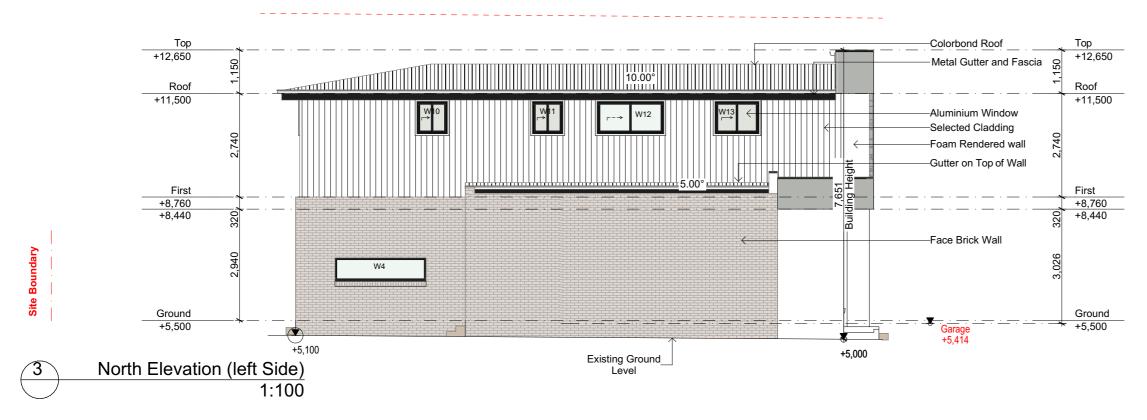
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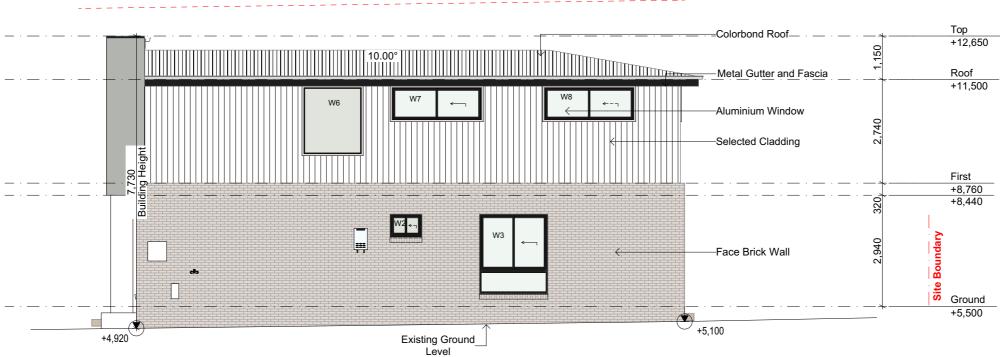
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## 8.5m (max building height)



8.5m (max building height)



South Elevation (Right Side) 1:100

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Α	7/02/2025	Issue for DA

DRAWING	:Side Elevations
CLIENT:	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING
	#11,Raven circuit,Warriewood

Lot-11 D.P 271326

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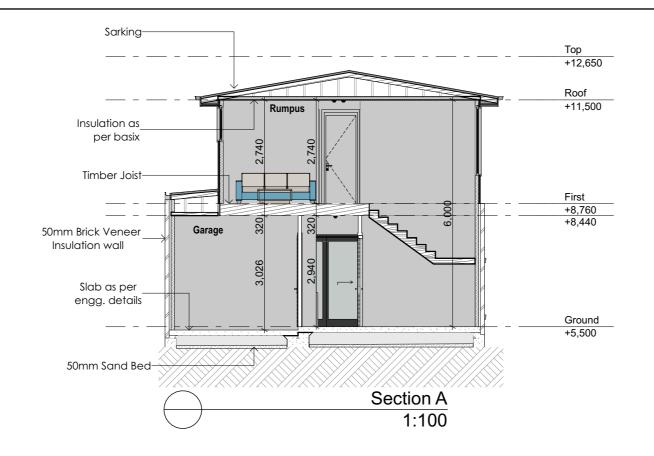
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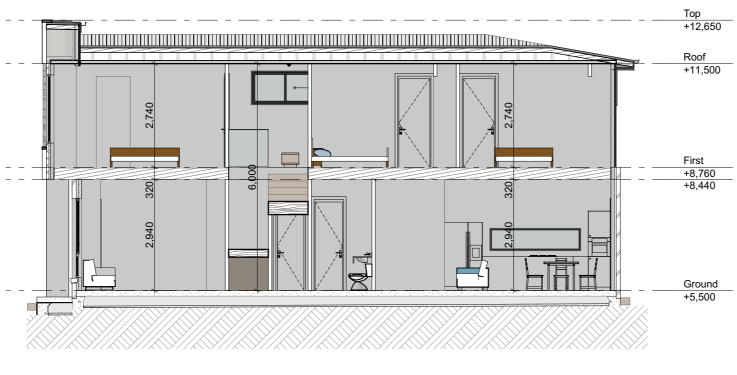
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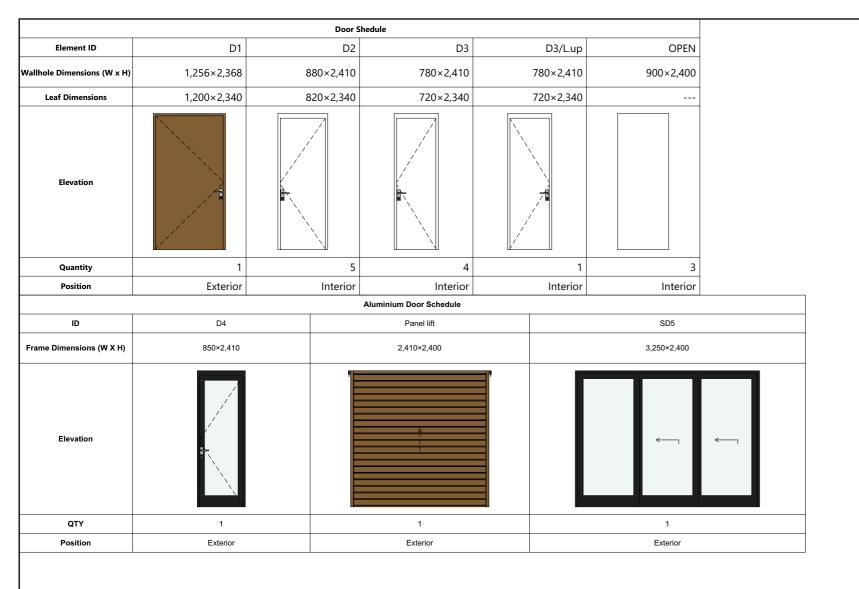
Section B 1:100

# DRAWING :Sections CLIENT: Skymark Luxury Living Pty Ltd PROJECT: **DOUBLE STOREY DWELLING** #11,Raven circuit,Warriewood

Lot-11 D.P 271326

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2412 801 ISSUE



SCHEDULE OF FINISHES			
ELEMENT	SPECIFICATION	COLOUR	
Walls		PGH Bricks- Botanicals- Sandalwood	
Feature Wall	Domino	Dulux-Domino	
F.F Walls		James hardie- Axon cladding 133mm smooth- Vivid white	
Render Color Facade		Dulux-Vivid White	
Window		Monument	
Roof		Colorbond- Surfmist	
Gutter		Surfmist	
Fascia		Monument	
Feature Stone		Sydney Tile Gallery- Stone Wall Cladding- Portland Grey Wall Cladding	
		1	

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DRAWING : Door Schedule & SOF CLIENT: Skymark Luxury Living Pty Ltd PROJECT: **DOUBLE STOREY DWELLING** #11,Raven circuit,Warriewood

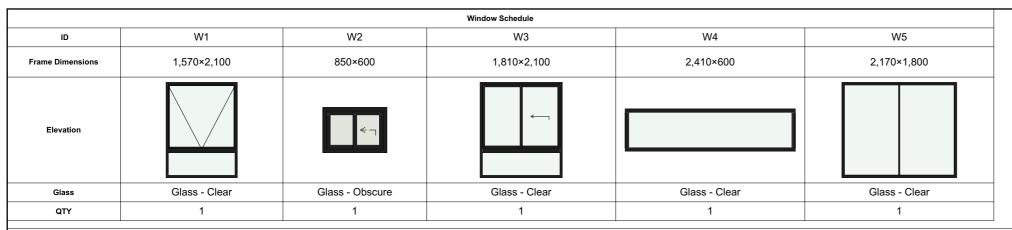
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	Window Schedule				
ID	W6	W7	W8	W9	W10
Frame Dimensions	1,570×1,800	2,410×900	2,410×900	2,410×900	850×900
Elevation		<b>←</b>	←	←	
Glass	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Obscure
QTY	1	1	1	1	1

	Window Schedule				
ID	W11	W12	W13	W14	
Frame Dimensions	850×900	1,810×900	1,210×900	610×1,800	
Elevation					
Glass	Glass - Obscure	Glass - Clear	Glass - Obscure	Glass - Obscure	
QTY	1	1	1	1	

1 1

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	Α	7/02/2025	Issue for DA

DRAWING : Windows Schedule CLIENT: Skymark Luxury Living Pty Ltd

PROJECT: DOUBLE STOREY DWELLING #11,Raven circuit,Warriewood Lot-11 D.P 271326

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TO SECHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER.

FALL PREVENTION FROM WINDOWS
WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE
3,9,2,5

3.9.2.5
1- If Opening withing 1700mm above the floor; and climable elements between 150 and 750 mM above the floor, opening must be permanently restricted to 125mm; or fitted within a non-removable robust screen.
2-If opening between 865 and 1700mm above the floor; and no climable elements between 150 and 760mm bove the floor, opening must be restricted to 125mm; or fitted with a removable report of the floor.

robust screen.
3- If opening between 865 of the floor; and climable elements between 150 and 760mm abov the floor; fitted with a non-removable robust screen.
4-If no opening within 1700mm of the floor. No restrictions apply.

A-If no opening within 1/00mm of the floor. No restrictions apply.

Part 3.9.2.6 Protection of openable windows - bedrooms
(a) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more
above the surface beneath.
(b) Where the lowest level of the window opening covered by (a) is less than 1.7 m above the floor, the window opening must comply with the following:
(i) The openable portion of the window must be protected with-(A) a device capable of restricting the window opening; or
(B) a screen with secure fittings.
(ii) A device or screen required by (i) must-(A) not permit a 125 mm sphere to pass through the window opening or screen; and (b) resist an outward horizontal action of 250 N against the(aa) window restrained by a device; or
(b) screen protecting the opening; and
(c) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or

verridden. ) Where a device or screen provided in accordance with (b)(i) is able to be removed, unlocked or verridden, a barrier ith a height not less than 865 mm above the floor is required to the openable window in ddition to window

Totection.

1) A barrier covered by (c) must not1) permit a 125 mm sphere to pass through it; and
1) permit a 125 mm sphere to pass through it; and
1) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floo

3.9.2.7 Protection of openable windows - rooms other than bedrooms
(a) A window opening in a room other than a bedroom must be provided with protection where
the floor below the window
is 4 m or more above the surface beneath.
(b) The openable part of the window covered by (a) must be protected with a barrier with a
height of not less than 865
mm above the floor.
(c) A barrier required by (b) must not(i) permit a 125 mm sphere to pass through it; and
(ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor
that facilitate
climbing.

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# All Landscape to be done by owner.

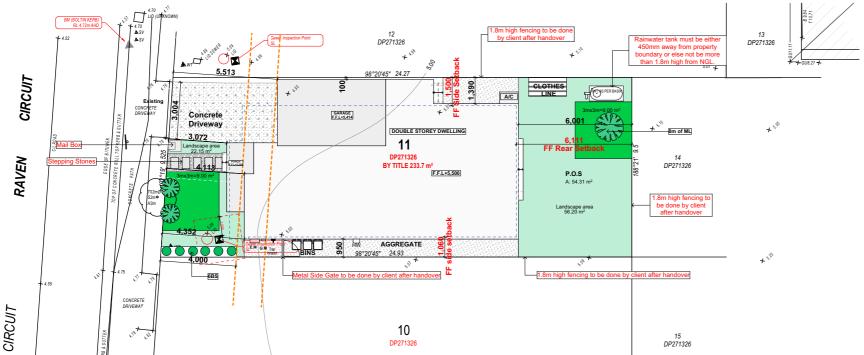


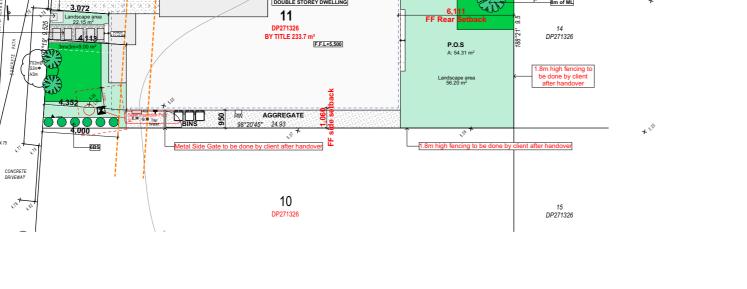
1:20

# As per landscaped area under the Pittwater DCP.

The following soil depths are required in order to be counted as landscaping:

- 300mm for lawn
- 600mm for shrubs
- 1metre for trees







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Landscape Plan

1:200



1			
	Α	7/02/2025	Issue for DA



DRAWING	:Landscape Plan
CLIENT:	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING
	#11 Payen circuit Warriewood

Lot-11 D.P 271326

LANDSCAPE SCHEDULE

NAME

Melaleuca stypheloides

**PYRUS CALLERYANA** 

(CHANTICLEER)

BANKSIA ERICIFOLIA

**BUFFALO GRASS** 

**AGGREGATE** 

GE:- GARDEN EDGING AS SELECTED

TREATED PINE SCREWS (SIZE 75 MM X 8G)

TREATED PINE SPLITS 90 MM 2.4 MT LENGTH,

FASTENED TO HARWOOD STAKES, MIMIMUM DEPTH IN GROUND OF 300 MM WITH GALVANISED

LAWN:- BUFFALO WITH SHIRLEYS NO.17 FERTILISER

ALL PLANTS TO HAVE 35 MM OF BARK CHIP MULCH SPREAD

OVER TOP SOIL TURF TO BE WATERED MORNING AND

EVENING FOR A PERIOD OF TWO WEEKS OR AD NECESSARY.

POT.

SIZE

75LT.

45LT.

300mm

QUA.

1

2

**HEIGHT** 

8-15m

5m

1-3m

TYPE

Tree

Tree

Shrub

Grass

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PAGE SIZE	PAGE NO

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PROJECT NO. 2412 801 ISSUE

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**LEGEND** 

Name

Tree

Shrub

Grass

Aggregate

(Landscape Area)

Ref.img

**Refrence Image** 

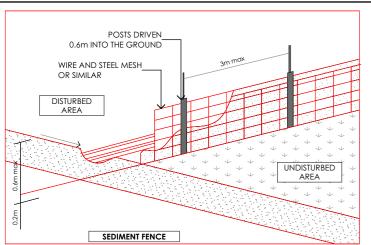
ABB

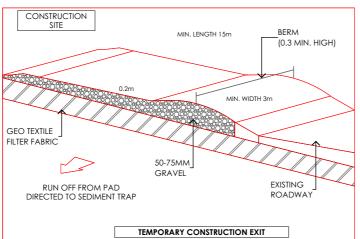
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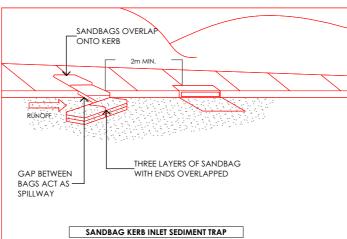
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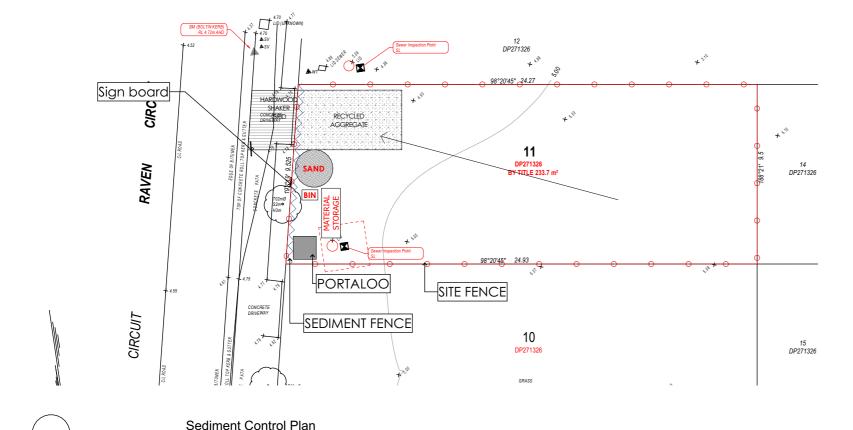
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# SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3.SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH. 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES
- AREA MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE
- 5. ALL DISTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES
- AND AREA WHERE WATER MAY CONCENTRATE.
  7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY. BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINSDOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS) THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST LINTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

## SEDIMENT NOTES

- 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE. 2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
- 3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO

## ENTRENCHED.

- 4. BACKFILL TRENCH OVER BASE OF FABRIC.
- 5. FIX SELF SUPPORTING GEOTEXILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXILE MANUFACTURER
- 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.
- \*THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:
- 1-ARCHITECTURAL PLANS 2-CONTOUR AND DETAIL SURVEY



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1:200





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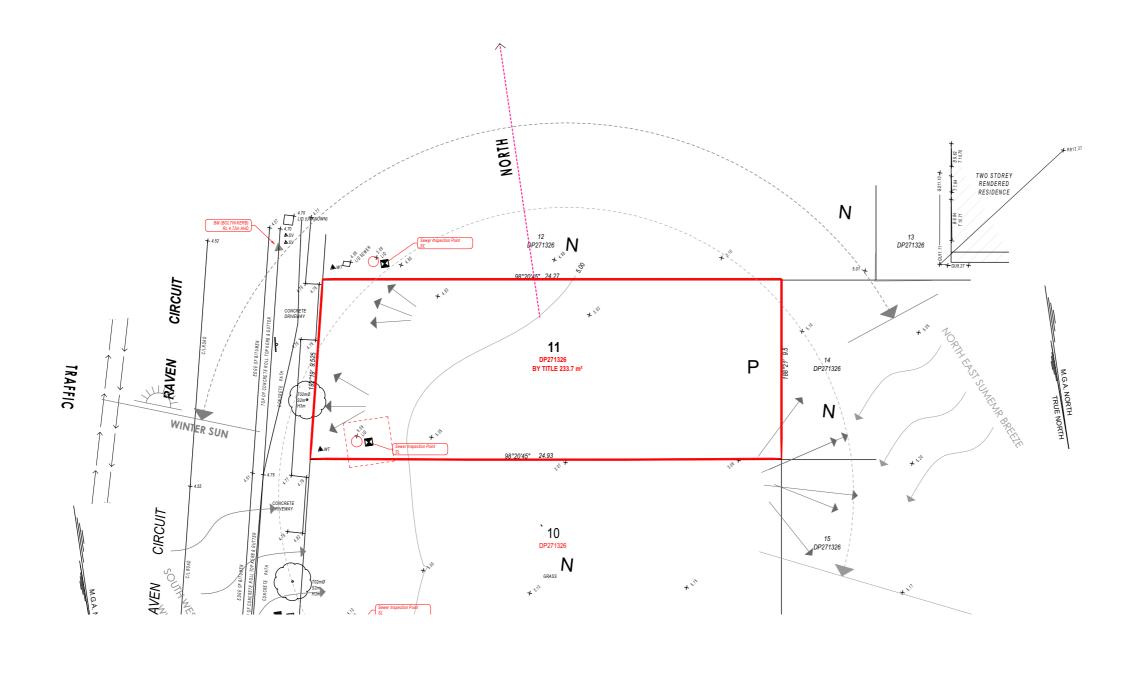


DRAWING : Sediment Control Plan	
CLIENT: Skymark Luxury Living Pty Ltd	-
PROJECT: DOUBLE STOREY DWELLING	
#11,Raven circuit,Warriewood	

Lot-11 D.P 271326

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Site Analysis 1:200



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DRAWING :Site Analysis CLIENT: Skymark Luxury Living Pty Ltd

PROJECT: **DOUBLE STOREY DWELLING** #11,Raven circuit,Warriewood Lot-11 D.P 271326

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PAGE SIZE

DATE: PROJECT NO. 7/02/2025 2412 801 APPLICATION DA ISSUE PAGE NO:

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SITE BOUNDARY

NEIGHBOURHOOD

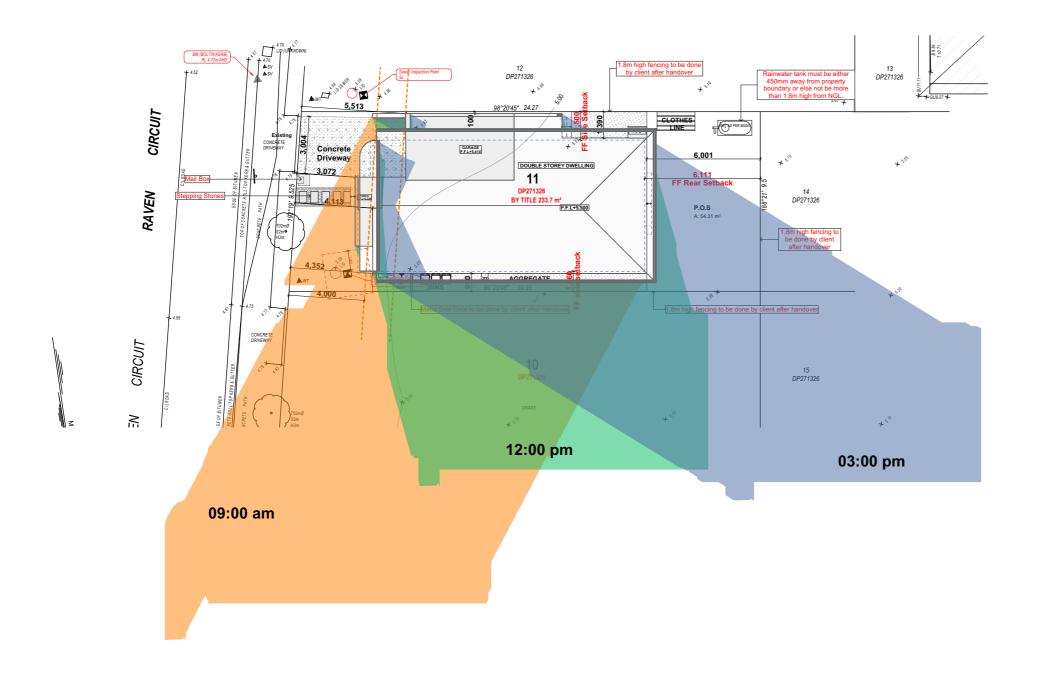
PRIVATE OPEN SPACE

**VIEWS** 

TRAFFIC

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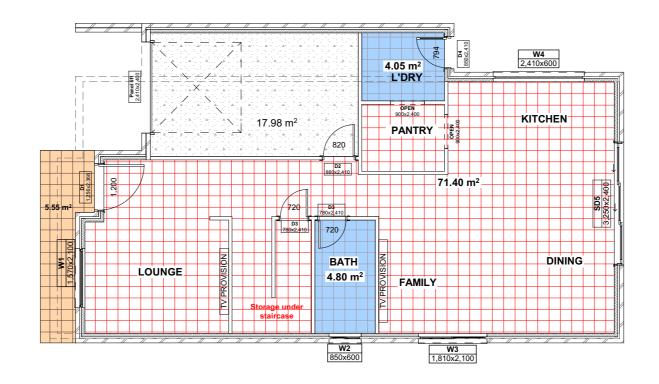
DRAWING	:Shadow Analysis
CLIENT:	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING
	#11 Payon circuit Warriowood

Lot-11 D.P 271326

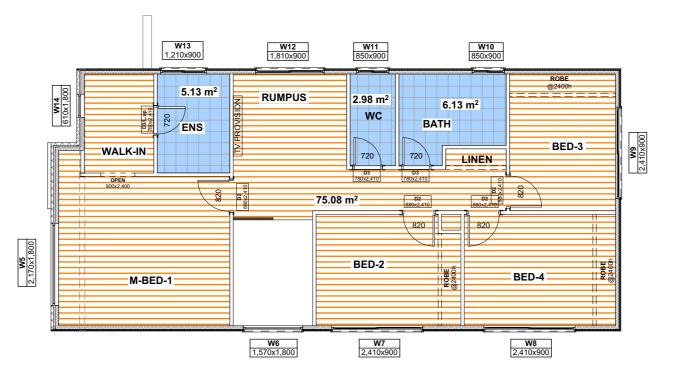
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PROJECT NO. 2412 801 ISSUE







Floor Finish- First Floor 1:100





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bdoo
A C C R E D I T E D BUILDING DESIGNER

_A	7/02/2025	Issue for DA



	DRAWING : Floor Finish- Ground Floor		
	CLIENT:	Skymark Luxury Living Pty Ltd	
ı	DDO IFOT	DOUBLE CEOREY BUJELLING	

PROJECT: DOUBLE STOREY DWELLING #11,Raven circuit,Warriewood Lot-11 D.P 271326

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