

10 September 2021

General Manager
Northern Beaches Council
725 Pittwater Road
Dee Why NSW 2099

Attention: Jordan Davies

Dear Jordan

39 ATTUNGA ROAD NEWPORT
APPLICATION NUMBER DA2021/0556

In response to your request for further information dated 5 July 2021, we have made amendments to the design of the proposed development, primarily to address point 3 in your email. Attached is the following documentation which addresses the issues raised in your request for further information:

- Copy of Landscape Concept Plan numbered A003D
- Copy of Architectural drawings numbered A101C to A104B (inclusive), A201C to A203C (inclusive) and A302C
- Copy of Shadow Diagram and Shadow Elevation numbered SK11B-SK14B (inclusive)
- Copy of Planning Compliance – Side Boundary Building Envelope numbered SK24B
- Copy of Planning Compliance – Maximum Building Height numbered SK27A
- Copy of Clause 4.6 Variation report dated September 2021

Summary of Amendments

Landscape Concept Plan (A003D) and Lower Ground Floor Plan (A101C)

- Minor amendments to design of pool deck

Ground Floor Plan (A102C)

- Reduction of trafficable area on balcony to decrease privacy impact to adjoining neighbours

First Floor Plan (A103C)

- Reduction of butterfly roof eave to decrease non-compliance of maximum building height
- Increased setback of Master Bedroom and Ensuite from western boundary to decrease bulk and scale. Adjoining neighbour, 37 Attunga Road, will have increased solar access and access to view, and reduced privacy impact from the subject site

Roof Plan (A102C)

- Increased setback from western boundary to decrease bulk and scale
- Revised roof design with lowered pitch above the first floor. Roof is now under the maximum building height control

Elevations and Section (A201C, A202C, A203C and A302C)

- Elevations and Section show outline of reduction to bulk and scale and maximum building height

Maximum Building Height

The majority of the current development is below 8.5m in height. The roof above the first floor has been redesigned and is now under the maximum building height control.

The maximum building height is now only 8.85m, a non-compliance of only 4.1%. The non-compliance is caused by the roof eave of the butterfly roof. The butterfly roof provides better sunlight amenity to 39 Attunga Road. As with most of the dwellings on Attunga Road living areas are located to the south to take advantage of the views to Newport Beach. This internal planning makes sun amenity to the living areas more difficult to achieve. The highlight windows created by the butterfly roof allows afternoon sun to penetrate living areas.

The Clause 4.6 report to vary the standard has been updated to reflect these changes, including justification for the variation.

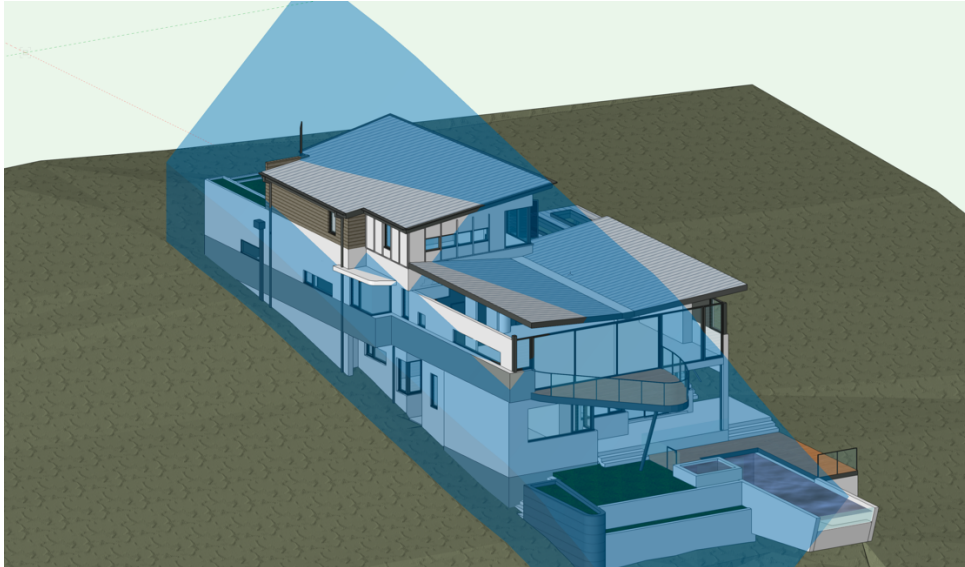
Side Boundary Building Envelope

In the 5 July email, council raised concerns about the western façade in the previous proposal as it had significant breach to the side boundary building envelope. The current proposal incorporates a major improvement to the building envelope compliance.

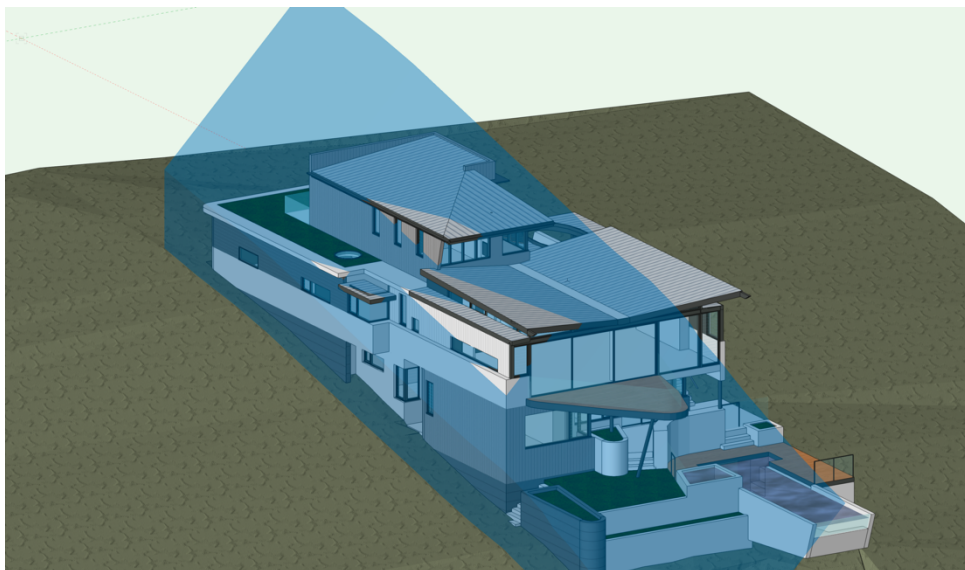
The setback of the first floor and its roof has been increased from the western boundary. This increased setback and the redesign of the roof has significantly reduced the building envelope non-compliance. The proposed design has a reduced bulk and scale, and also increases the level of privacy between the subject site and 37 Attunga Road. Refer drawing SK24.

The extent that the proposed building is inside a complying footprint is significant in terms of side and rear building setback. This reduction in footprint has restricted views to the south-west from the subject site. This was done deliberately to maintain the secondary view through side windows of the house at 37 Attunga Road. This was raised as the critical issue of the neighbour at 37 Attunga Road and agreed to by our client. The rear setback has been increased three times since the prelodgement meeting to address the neighbour's concerns.

The proposed design has now been altered to give better sunlight amenity to the eastern windows of 37 Attunga Road, matching what would be achieved with a fully complying building. This sunlight amenity is addressed in the attached shadow diagrams.



Previous proposal demonstrating significant breach to the western building envelope.



Current proposal with major improvement to the building envelope.

Shadow Analysis

Elevation shadow analysis for 37 Attunga Road is included in the attached documentation. The analysis demonstrates additional solar gain to the windows to the dining and kitchen when compared with the previous design.

We have analysed solar animations to confirm that there is an increase in solar access to the windows on the winter solstice, where the proposed design allows sunlight to hit the window starting at 9:39am while the previous design allows sunlight to hit the window at 10:23am, an increase of 44 minutes. This increase in solar access is equivalent to a fully complying design.

We have clearly demonstrated that there is no impact to overshadowing of neighbours, view impact and bulk and scale as a result of minor non-compliances to building envelope and building height controls. The proposed amendments balance the amenity of the neighbours and the owner, and the proposed development should be approved.

Should you require further information or have any queries please do not hesitate to contact this office.

Yours faithfully

A handwritten signature in black ink, appearing to read 'K. Tan', with a stylized flourish extending from the end.

KELVIN TAN