

NILE RESIDENCE

PROPOSED TWO STOREY DWELLING & RETAINING WALLS

10 COURTLEY ROAD, BEACON HILL NSW 2100

DEVELOPMENT APPLICATION

| DWG NO: | LAYOUT NAME | ISSUE |
|---------|-------------------------------------|-------|
| 00.01 | COVER SHEET | C |
| 00.02 | CONTOUR SURVEY | C |
| 01.01 | DEMOLITION PLAN | C |
| 01.02 | SITE PLAN | C |
| 01.03 | SITE ANALYSIS PLAN | C |
| 02.01 | GROUND FLOOR PLAN | C |
| 02.02 | FIRST FLOOR PLAN | C |
| 02.03 | ROOF PLAN | C |
| 03.01 | ELEVATIONS 01 & 02 | C |
| 03.02 | ELEVATIONS 03 & 04 | C |
| 04.01 | SECTION A & B | C |
| 05.01 | CONCEPT LANDSCAPE PLAN | C |
| 06.01 | SHADOW DIAGRAMS 22ND JUNE | C |
| 06.02 | SHADOW DIAGRAMS 22ND DEC | C |
| 08.01 | EXTERNAL DOOR SCHEDULE | C |
| 08.02 | WINDOW SCHEDULE - GROUND | C |
| 08.03 | WINDOW SCHEDULE - FIRST & SKYLIGHTS | C |
| 09.01 | SCHEDULE OF EXTERNAL FINISHES | C |
| 09.02 | 3D PERSPECTIVE | C |

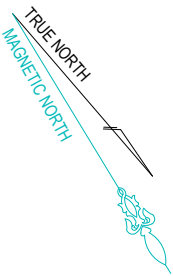


AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3500.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 and AS2047
- TO COMPLY WITH BCA pt 3.7.2 & AS3786
- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2

BEARINGS SHOWN HAVE BEEN DEDUCED FROM
LAND & PROPERTY INFORMATION PLANS AND
ARE RELATED TO MAGNETIC NORTH.
TRUE NORTH IS APPROXIMATE ONLY.
FURTHER INVESTIGATION WILL BE REQUIRED
TO DETERMINE ACCURATE TRUE NORTH.



LEGEND

- HOT WATER TANK
- WATER METER
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIAMETER)
- GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

ALL KERB LEVELS REPRESENT TOP OF KERB.

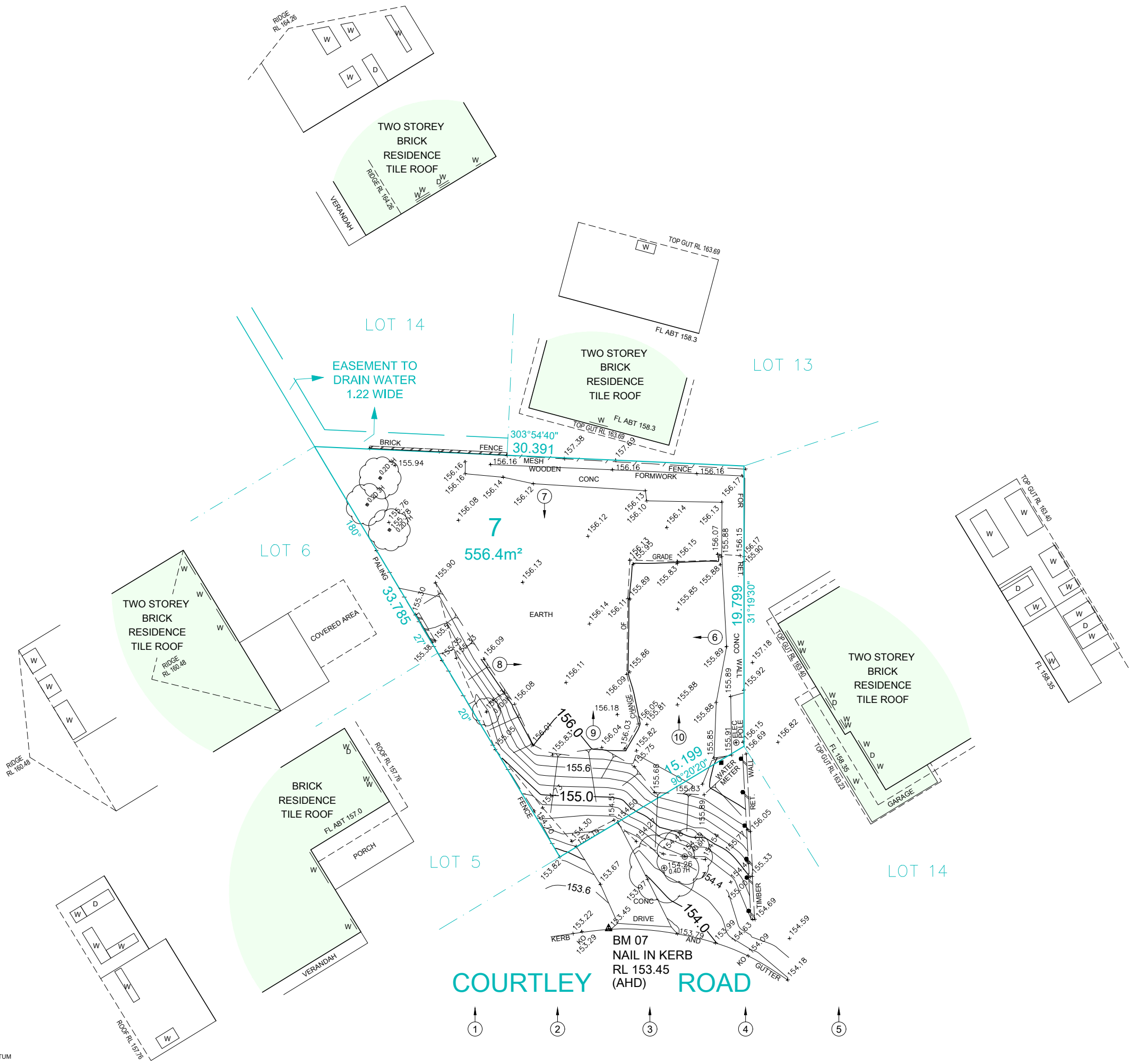
www.dialbeforeyoudig.com.au



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: SSM14783 RL145.062

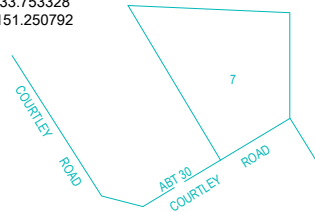
SOURCE OF LEVELS: SCIMS



REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS
Suite 1, Level 2, 42 Birnie Avenue Lidcombe, NSW 2141
Phone: 9646 5811, Fax: 9646 2311
Email: nswsurveying@strucerre.com.au
www.strucerre.com.au

LOCATION PLAN

UBD REF: 177, D6
LAT: -33.753328
LONG: 151.250792



| No. | AMENDMENT | DATE |
|-----|-----------|------|
| F | | |
| E | | |
| D | | |
| C | | |
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| A | | |

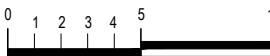
CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
THE RELATIONSHIP OF IMPROVEMENTS & SURVEYED DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY.
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.



DETAIL & CONTOUR SURVEY

LOT 7 DP 238331
AT 10 COURTLEY ROAD, BEACON HILL

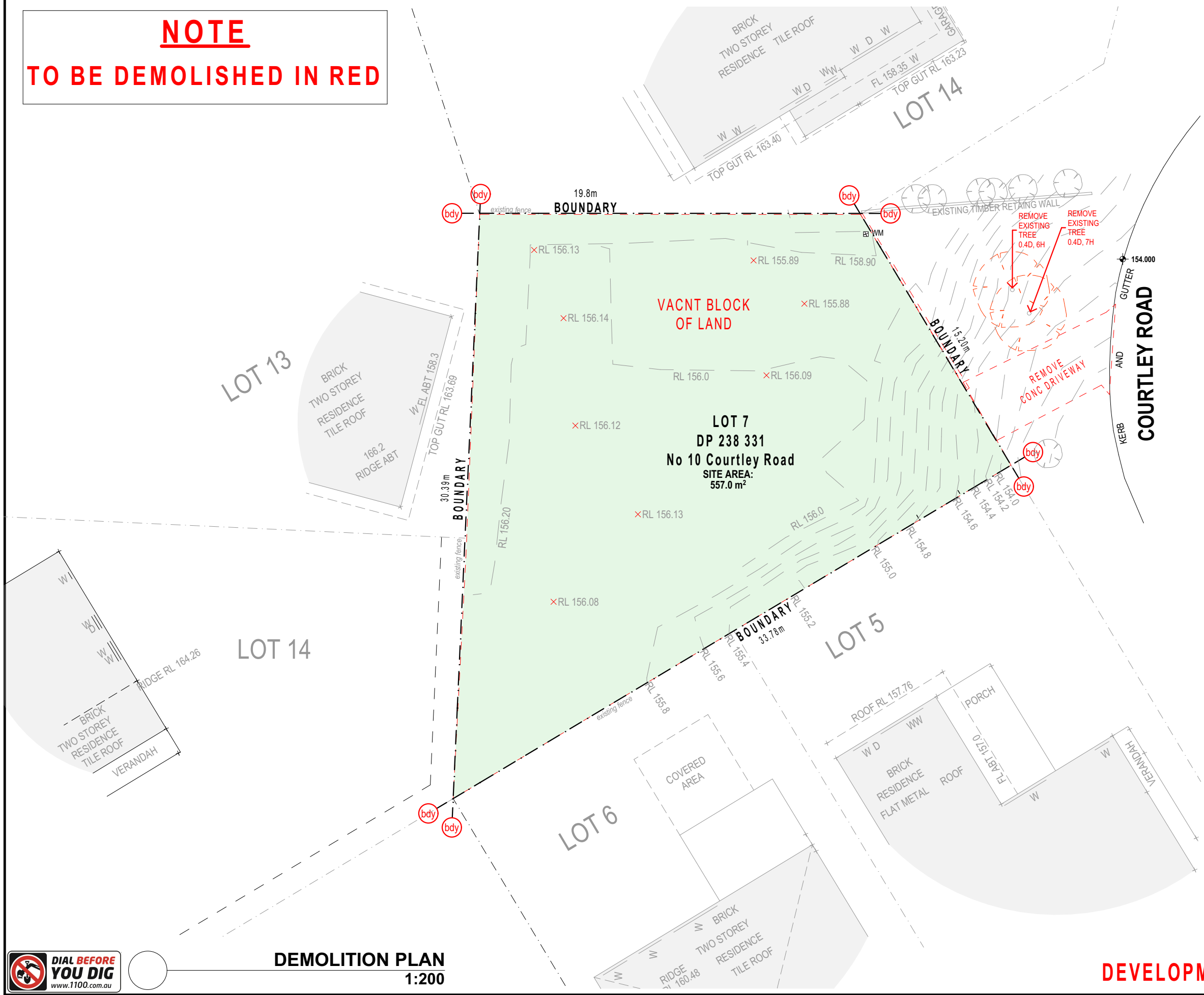
| | |
|--|----------------------|
| CLIENT: ALLURA Welcome to your home | REF: NILE 0880121 |
|--|----------------------|



SCALE 1: 200 A2

| | | |
|-------------|------------------|------------------|
| DRAWN: T.N | JOB 1087/329806 | DATE: 29.04.2020 |
| CHECKED: IH | FILE NAME 329806 | DATUM: AHD |

NOTE
TO BE DEMOLISHED IN RED



DEMOLITION PLAN
1:200

DEVELOPMENT APPLICATION CLIENT SIGNATURE

AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

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- TO COMPLY WITH BCA pt 3.9.2

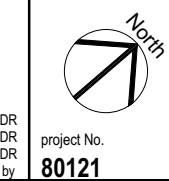


ALLURA HOMES
PH : (02) 920 4122

THESE DRAWINGS REMAIN THE PROPERTY OF ALLURA HOMES PTY LTD AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

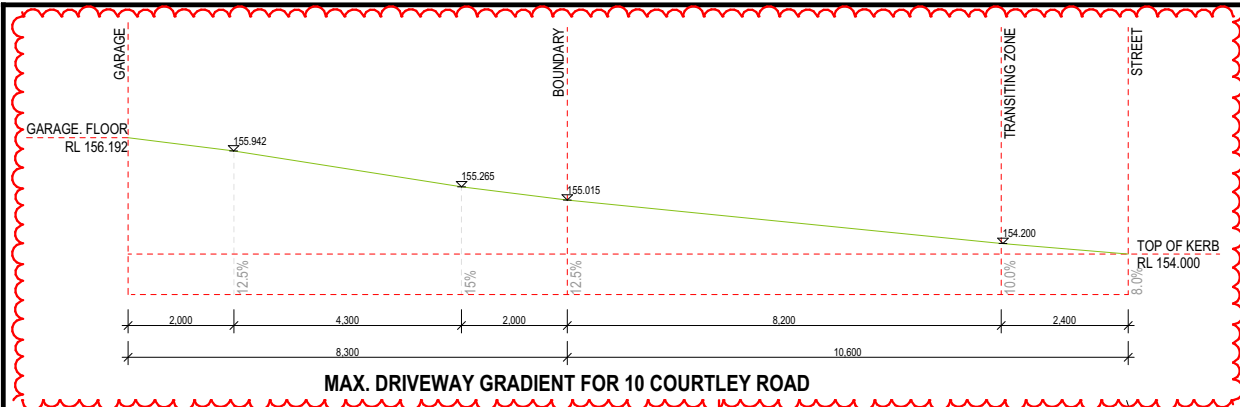
client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes



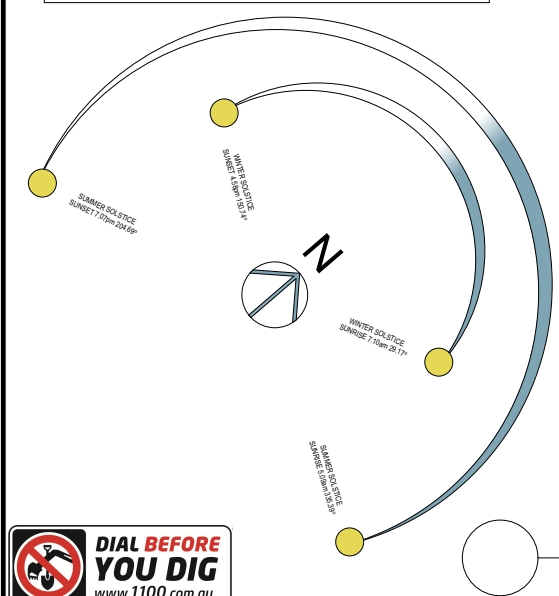
| CUSTOM DESIGNED HOME | | | |
|----------------------|-------|---------|------------|
| | | | |
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:200, |

| drawing DEMOLITION PLAN | | | |
|------------------------------------|-----------|--|----------|
| | | | |
| lot no. D.P. no. dwelling type | drawing # | | revision |
| Lot -7 D.P. -DP 238 331 | 00.01.01 | | C |



| <u>EXTERNAL COLOUR</u> | | | |
|------------------------------|------------------|------|--------|
| ROOF | MEDIUM | | |
| EXTERNAL WALL | MEDIUM | | |
| <u>FUTURE FLOOR COVERING</u> | | | |
| GROUND FLOOR | FIRST FLOOR WALL | | |
| ENTRY | TIMBER | | |
| MUD | TILES | BEDS | CARPET |
| KITCHEN | TIMBER | HALL | CARPET |
| LIVING | TIMBER | | |
| MEDIA | CARPET | | |
| GUEST | CARPET | | |

| BASIX NOTES | |
|--|----------------------|
| WATER | |
| 1. SHOWERHEADS: | 4 STARS min |
| 2. TOILETS: | 4 STARS min |
| 3. KITCHEN TAPS: | 4 STARS min |
| 4. BATHROOM TAPS: | 4 STARS min |
| 5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY | |
| 6. TOWN SUPPLY FOR HOT WATER & DRINKING | |
| 7. OUTDOOR POOL - POOL SIZE (KL) TBC | |
| 8. COVER TO POOL | |
| THERMAL | |
| 1. WAFFLE POD SLAB: | 225mm |
| 2. SUSPENDED TIMBER FLOOR: | R3.5 BULK INSULATION |
| 3. EXTERNAL WALLS: | R2.5 INSULATION |
| 4. INTERNAL WALLS (bath, laundry, wc) | R2.0 INSULATION |
| 5. CEILINGS: | R4.0 INSULATION |
| 6. ROOF | R1.5 BLANKET |
| 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) | |
| 8. SKYLIGHTS: | DOUBLE GLAZED |
| 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT | |
| ENERGY | |
| 1. GAS INSTANTANEOUS HOT WATER: | 5 STARS min |
| 2. HEATING & COOLING TO DWELLING: | DUCTING ONLY |
| 3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE | |
| 4. LED OR FLURO LIGHTING | |
| 5. POOL: | NO HEATING |
| 6. 2kW PV SYSTEM | |
| 7. GAS COOKTOP & ELECTRIC OVEN | |
| 8. INDOOR & OUTDOOR CLOTHES LINES | |



LOT 13

LOT 14

SITE PLAN
1:200



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C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
DR
by
project No.
80121



CUSTOM DESIGNED HOME

| | | | |
|-------|-------|---------|------------|
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:200, |

drawing
SITE PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.01.02
revision
C

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.dgn | Date: 6/04/2021 | Time: 11:06 AM

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

CDC REQUIREMENTS

| | |
|-------------------------|----------------------------|
| SITE AREA | 557.3m ² |
| LAND ZONING: | R2 |
| MAX HEIGHT OF BUILDING: | 8.5m |
| MAXIMUM GFA: | N/A |
| PROPOSED SITE COVERAGE: | 211.8m ² or 38% |

LANDSCAPING

| | |
|--------------------------------|-------------------------------------|
| MINIMUM PERMISSIBLE LANDSCAPE: | 40% or |
| (minimum dimension 1500m) : | |
| MINIMUM LANDSCAPE AREA: | 222.8m ² |
| PROPOSED LANDSCAPE AREA | 209.58m² or 37.6% |
| CUT & FILL MAXIMUM: | 1,000mm |
| PRIVATE OPEN SPACE: | 60m ² |

REQUIRED SETBACKS

| | |
|----------------------------|----------------|
| REQUIRED FRONT SETBACK: | N/A |
| FRONT SETBACK: | 4,050mm |
| REQUIRED REAR SETBACK GF: | N/A |
| REAR SETBACK GF: | 3,809mm |
| REQUIRED REAR SETBACK FF: | N/A |
| REAR SETBACK FF: | 8,893mm |
| REQUIRED SIDE SETBACK GF: | 900mm |
| SIDE SETBACK RH GF: | 1,180mm |
| SIDE SETBACK LH GF: | 1,522mm |
| REQUIRED SIDE SETBACK FF: | N/A |
| SIDE SETBACK RH FF: | 2,025mm |
| SIDE SETBACK LH FF: | 1,522mm |

BOUNDARIES

| | |
|--------------------------|----------|
| FRONT BOUNDARY WIDTH: | 15,200mm |
| LH SIDE BOUNDARY LENGTH: | 33,758mm |
| RH SIDE BOUNDARY LENGTH: | 19,800mm |
| REAR BOUNDARY WIDTH: | 30,390mm |

GROSS FLOOR AREA OF BUILDING FOR DA

| | |
|---|--|
| GROUND FLOOR: | 188.99m ² -17m ² |
| EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m | |
| FIRST FLOOR: | 116.40m ² |
| EXCLUDING VOID: | |
| TOTAL GFA: | 305.39m² |

BUILDING QUANTITIES

| | |
|-----------------------------|----------------------------|
| GROUND FLOOR LIVING AREA: | 161.18m ² |
| GROUND FLOOR GARAGE AREA: | 45.02m ² |
| FIRST FLOOR LIVING AREA: | 138.86m ² |
| PROPOSED FLOOR AREA: | 345.06m² |
| PORCH AREA: | 4.90m ² |
| ALFRESCO AREA: | 38.76m ² |
| BALCONIES: | 4.3m ² |

TOTAL SLAB AREA (221.1m²)
INCL. AC & WATER TANK, INTEGRATED PADS (10m²)
TOTAL AREA
(LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES) **394.62m²**

AUSTRALIAN STANDARDS & BCA

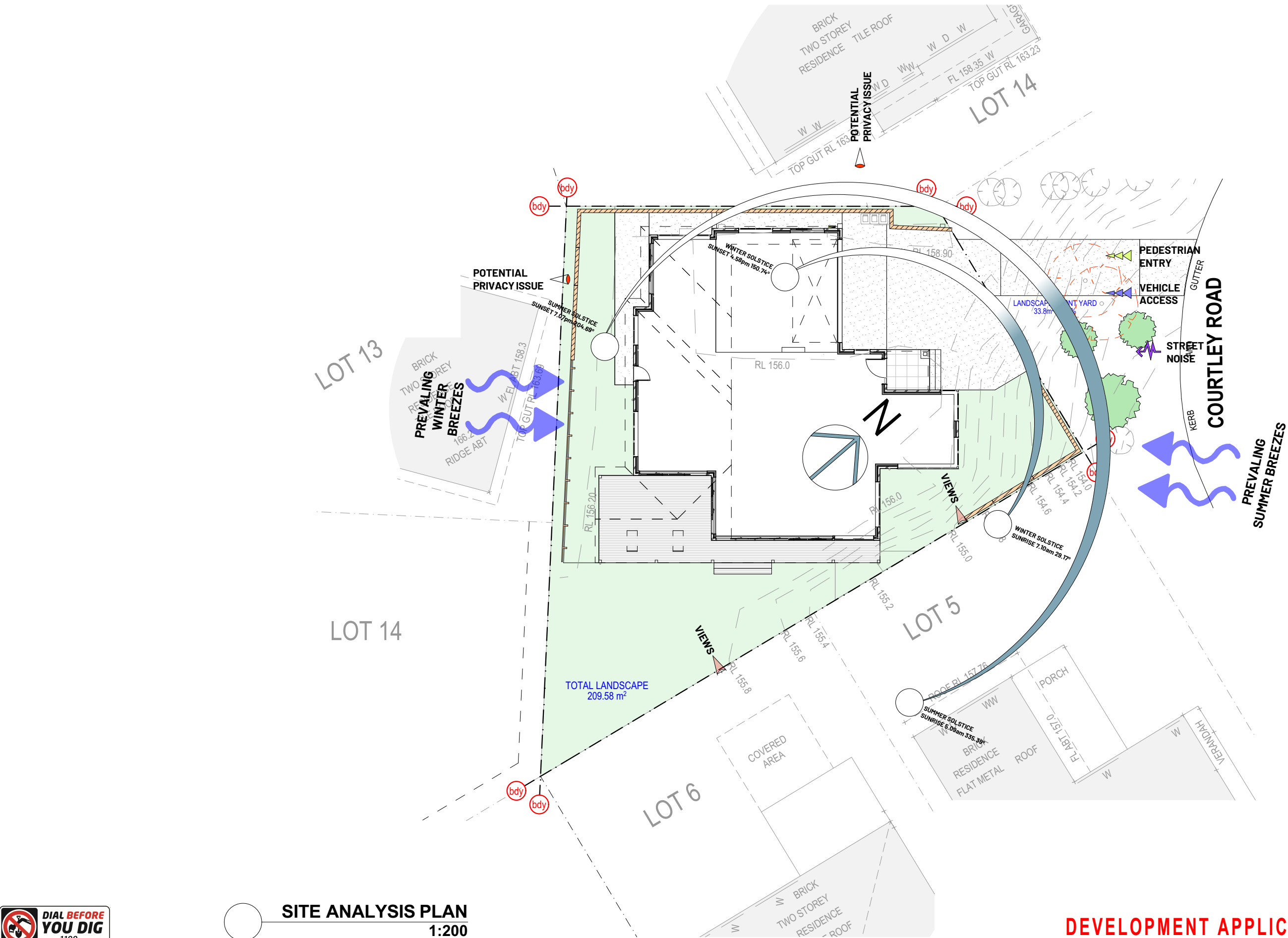
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1. INSTALL ALL SMOKE ALARMS ACCORDANCE TO PART 3.7.5 OF THE BCA.
 2. ALL HANDRAILS TO COMPLY WITH BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION.
 3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012
 4. GUTTERS/DOWNPIPES - COMPLY TO AS/NZS 3500.3.2

ARTICULATION ZONE

| | |
|------------------------|---------------------|
| ARTICULATION DISTANCE: | 1,707mm |
| TOTAL AREA: | 26.00m ² |
| ALLOWED AREA 25%: | 6.50m ² |
| PROPOSED BALCONY AREA: | 3.09m ² |

LEGEND

- PEDESTRIAN ENTRY
- VEHICLE ACCESS
- STREET NOISE
- POTENTIAL PRIVACY ISSUE
- VIEWS



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C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

North

project No.
80121

DR
DR
DR
by

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

| stage | drawn | checked | scale @ A3 |
|-------|-------|---------|------------|
| DA | DR | AS | 1:200, |

drawing
SITE ANALYSIS PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

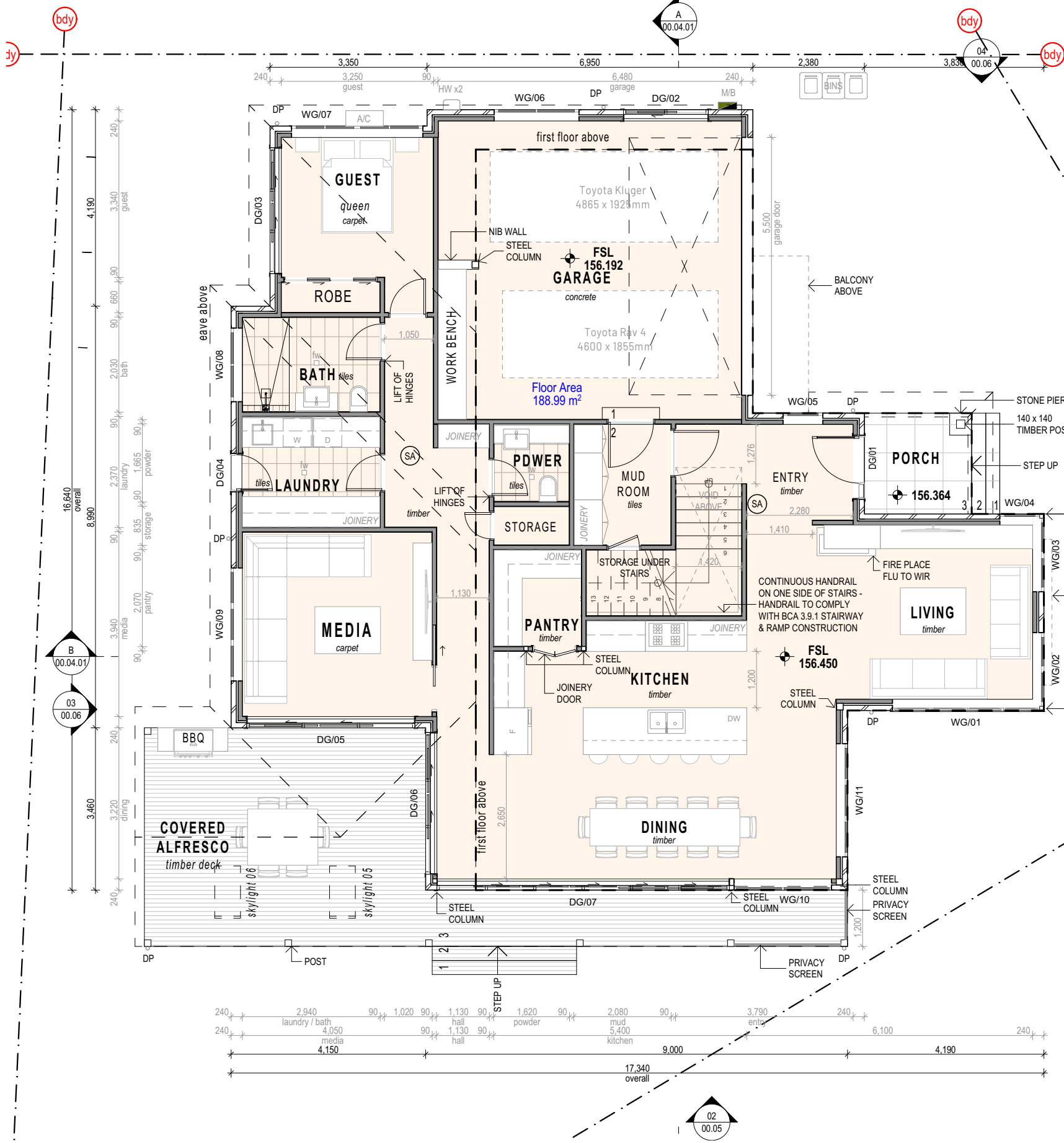
drawing #
00.01.03

revision
C

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.ph | Date: 6/04/2021 | Time: 11:06 AM



1. GROUND FLOOR 1:100

- GENERAL NOTES**
1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
 2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
 7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

ARTICULATION ZONE

ARTICULATION DISTANCE: 1,707mm
TOTAL AREA: 26.00m²
ALLOWED AREA 25%: 6.50m²
PROPOSED BALCONY AREA: 3.09m²

- BASIX NOTES**
- WATER**
1. SHOWERHEADS: 4 STARS min
 2. TOILETS: 4 STARS min
 3. KITCHEN TAPS: 4 STARS min
 4. BATHROOM TAPS: 4 STARS min
 5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
 6. TOWN SUPPLY FOR HOT WATER & DRINKING
 7. OUTDOOR POOL - POOL SIZE (KL) TBC
 8. COVER TO POOL
- THERMAL**
1. WAFFLE POD SLAB: 225mm
 2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
 3. EXTERNAL WALLS: R2.5 INSULATION
 4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
 5. CEILINGS: R4.0 INSULATION
 6. ROOF: R1.5 BLANKET
 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basix for glazing type)
 8. SKYLIGHTS: DOUBLE GLAZED
 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT
- ENERGY**
1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
 2. HEATING & COOLING TO DWELLING: DUCTING ONLY
 3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
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 4. GUTTERS/DOWNPIPES - COMPLY TO AS/NZS 3500.3.2


- GENERAL NOTES**
1. ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.
 2. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE.
 3. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.
- (SA) SMOKE ALARM

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 188.99m²-17m²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m
FIRST FLOOR: 116.40m²
EXCLUDING VOID:
TOTAL GFA: 305.39m²

BUILDING QUANTITIES

GROUND FLOOR LIVING AREA: 161.18m²
GROUND FLOOR GARAGE AREA: 45.02m²
FIRST FLOOR LIVING AREA: 138.86m²
PROPOSED FLOOR AREA: 345.06m²
PORCH AREA: 4.90m²
ALFRESCO AREA: 38.76m²
BALCONIES: 4.3m²
TOTAL SLAB AREA (221.1m²)
INCL. AC & WATER TANK, INTEGRATED PADS (10m²)
TOTAL AREA
(LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES) 394.62m²



1.

ALLURA HOMES
PH : (02) 920 4122

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client
MRS.S & MR.F NILE

project
PROPOSED TWO STOREY DWELLING

site address
10 COURTLEY ROAD, BEACON HILL, NSW, 2100

C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

North

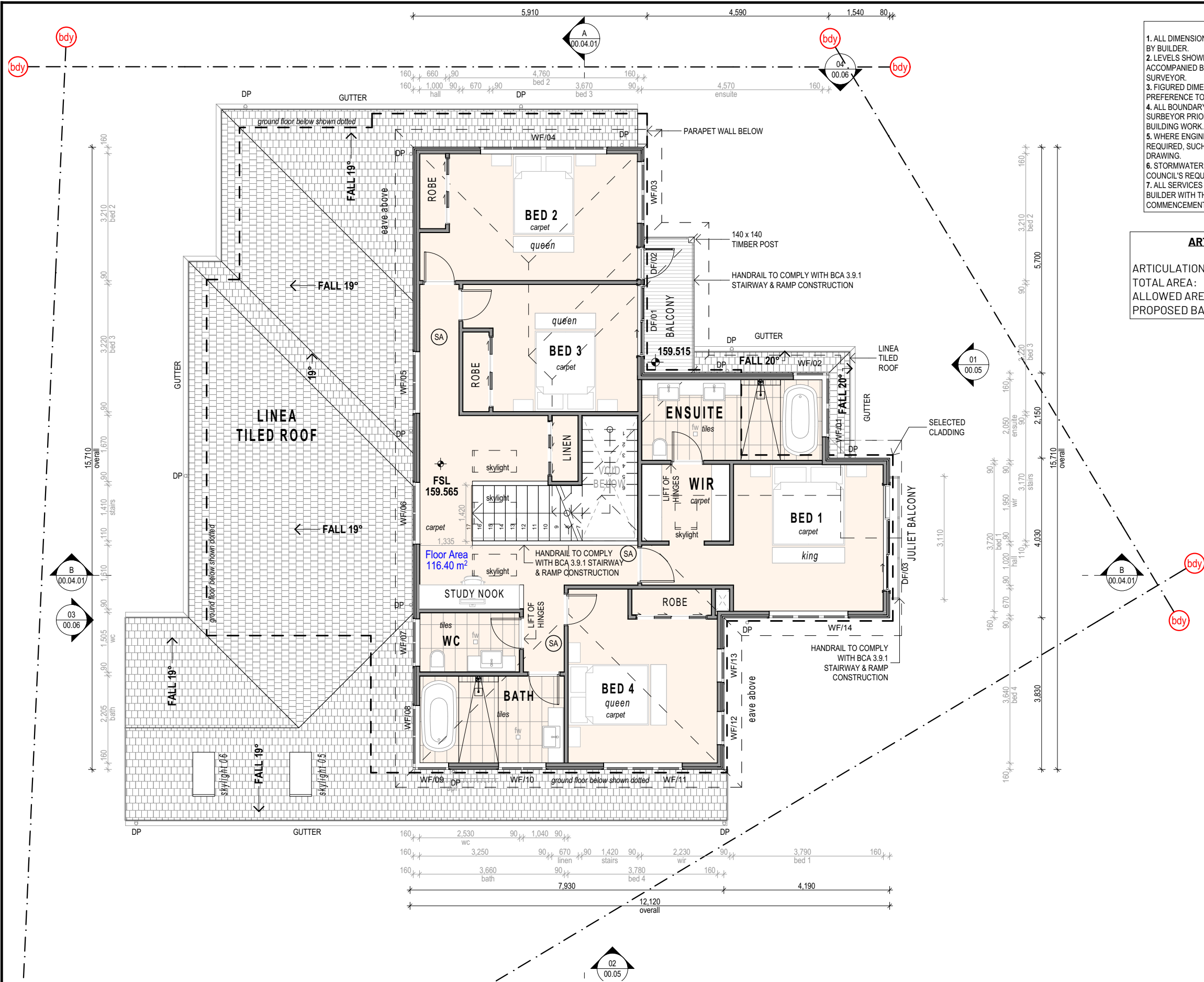
stage drawn checked scale @ A3
DA DR AS 1:100,

drawing
GROUND FLOOR

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing # revision
00.02.01 C

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 6/04/2021 | Time: 11:06 AM



- GENERAL NOTES**
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 2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
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 4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
 7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

ARTICULATION ZONE

ARTICULATION DISTANCE: 1,707mm
TOTAL AREA: 26.00m²
ALLOWED AREA 25%: 6.50m²
PROPOSED BALCONY AREA: 3.09m²

- BASIS NOTES**
- WATER**
1. SHOWERHEADS: 4 STARS min
 2. TOILETS: 4 STARS min
 3. KITCHEN TAPS: 4 STARS min
 4. BATHROOM TAPS: 4 STARS min
 5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
 6. TOWN SUPPLY FOR HOT WATER & DRINKING
 7. OUTDOOR POOL - POOL SIZE (KL) TBC
 8. COVER TO POOL
- THERMAL**
1. WAFFLE POD SLAB: 225mm
 2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
 3. EXTERNAL WALLS: R2.5 INSULATION
 4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
 5. CEILINGS: R4.0 INSULATION
 6. ROOF: R1.5 BLANKET
 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basis for glazing type)
 8. SKYLIGHTS: DOUBLE GLAZED
 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT
- ENERGY**
1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
 2. HEATING & COOLING TO DWELLING: DUCTING ONLY
 3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
 4. LED OR FLUORO LIGHTING
 5. POOL: NO HEATING
 6. 2kW PV SYSTEM
 7. GAS COOKTOP & ELECTRIC OVEN
 8. INDOOR & OUTDOOR CLOTHES LINES

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- (SA) SMOKE ALARM

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 188.99m²-17m²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m
FIRST FLOOR: 116.40m²
EXCLUDING VOID:
TOTAL GFA: 305.39m²

BUILDING QUANTITIES

GROUND FLOOR LIVING AREA: 161.18m²
GROUND FLOOR GARAGE AREA: 45.02m²
FIRST FLOOR LIVING AREA: 138.86m²
PROPOSED FLOOR AREA: 345.06m²
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- WATERPROOFING WET AREAS
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rev date revision notes

North
project No.
80121
DR
DR
DR
by

CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS 1:100,

drawing
FIRST FLOOR

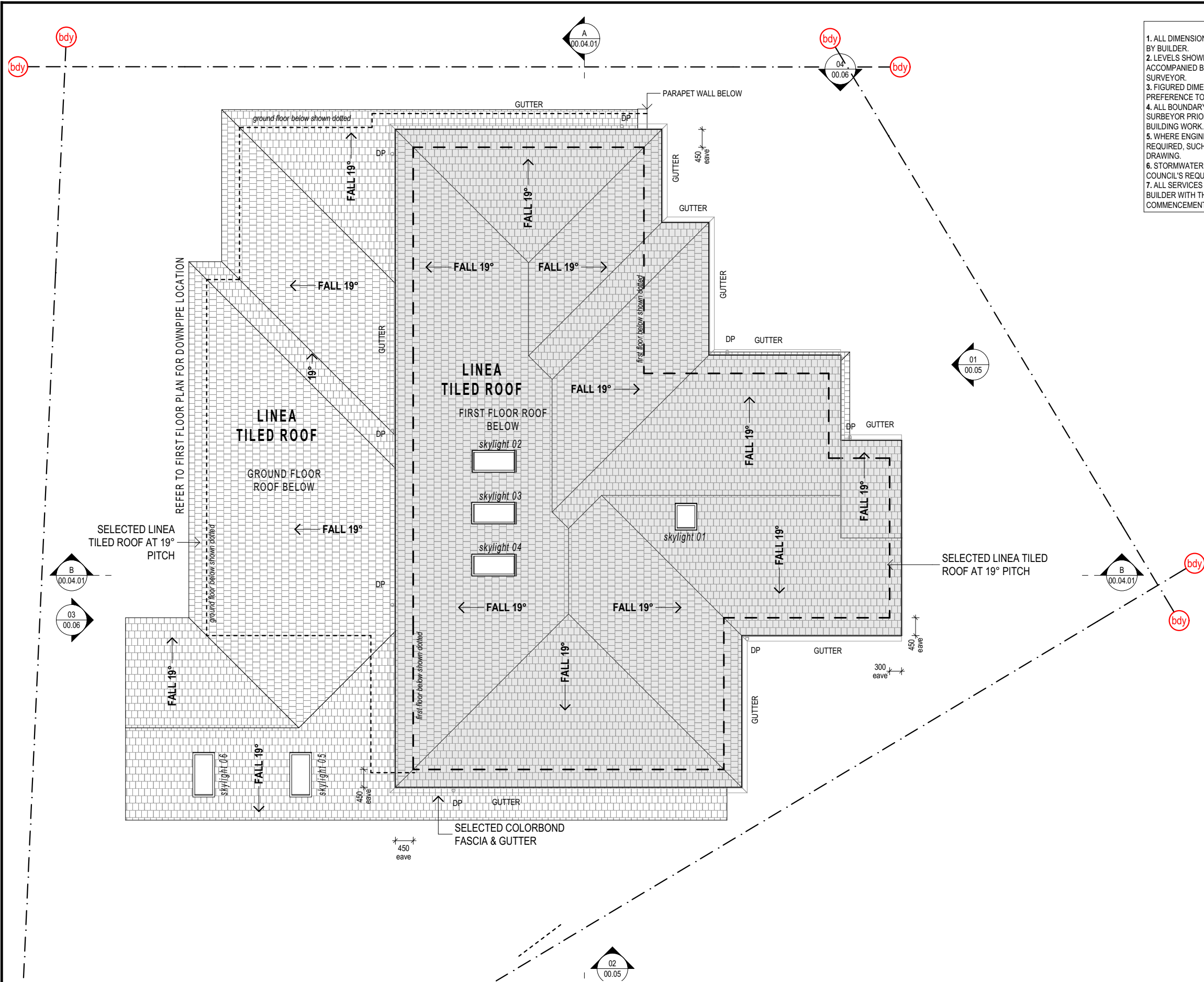
lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.02.02

revision
C

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 6/04/2021 | Time: 11:07 AM



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- BASIX NOTES**
- WATER**
- | | |
|--|-------------|
| 1. SHOWERHEADS: | 4 STARS min |
| 2. TOILETS: | 4 STARS min |
| 3. KITCHEN TAPS: | 4 STARS min |
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| 6. TOWN SUPPLY FOR HOT WATER & DRINKING | |
| 7. OUTDOOR POOL - POOL SIZE (KL) TBC | |
| 8. COVER TO POOL | |

- THERMAL**
- | | |
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| 1. WAFFLE POD SLAB: | 225mm |
| 2. SUSPENDED TIMBER FLOOR: | R3.5 BULK INSULATION |
| 3. EXTERNAL WALLS: | R2.5 INSULATION |
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| 5. CEILINGS: | R4.0 INSULATION |
| 6. ROOF: | R1.5 BLANKET |
| 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) | |
| (refer to basix for glazing type) | |
| 8. SKYLIGHTS: | DOUBLE GLAZED |
| 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT | |

- ENERGY**
- | | |
|---|--------------|
| 1. GAS INSTANTANEOUS HOT WATER: | 5 STARS min |
| 2. HEATING & COOLING TO DWELLING: | DUCTING ONLY |
| 3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE | |
| 4. LED OR FLUO LIGHTING | |
| 5. POOL: | NO HEATING |
| 6. 2kW PV SYSTEM | |
| 7. GAS COOKTOP & ELECTRIC OVEN | |
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- (SA) SMOKE ALARM

GROSS FLOOR AREA OF BUILDING FOR DA

| | |
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| GROUND FLOOR: | 188.99m ² -17m ² |
| EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m | |
| FIRST FLOOR: | 116.40m ² |
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| TOTAL GFA: | 305.39m² |

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1.

ROOF PLAN
1:100

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rev date revision notes

North
project No.
80121
DR
DR
DR
by

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

| | | | |
|-------|-------|---------|------------|
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:100, |

drawing
ROOF PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.02.03

revision
C

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 6/04/2021 | Time: 11:07 AM

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(SA) SMOKE ALARM

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7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

THERMAL

1. WAFFLE POD SLAB: 225mm
2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
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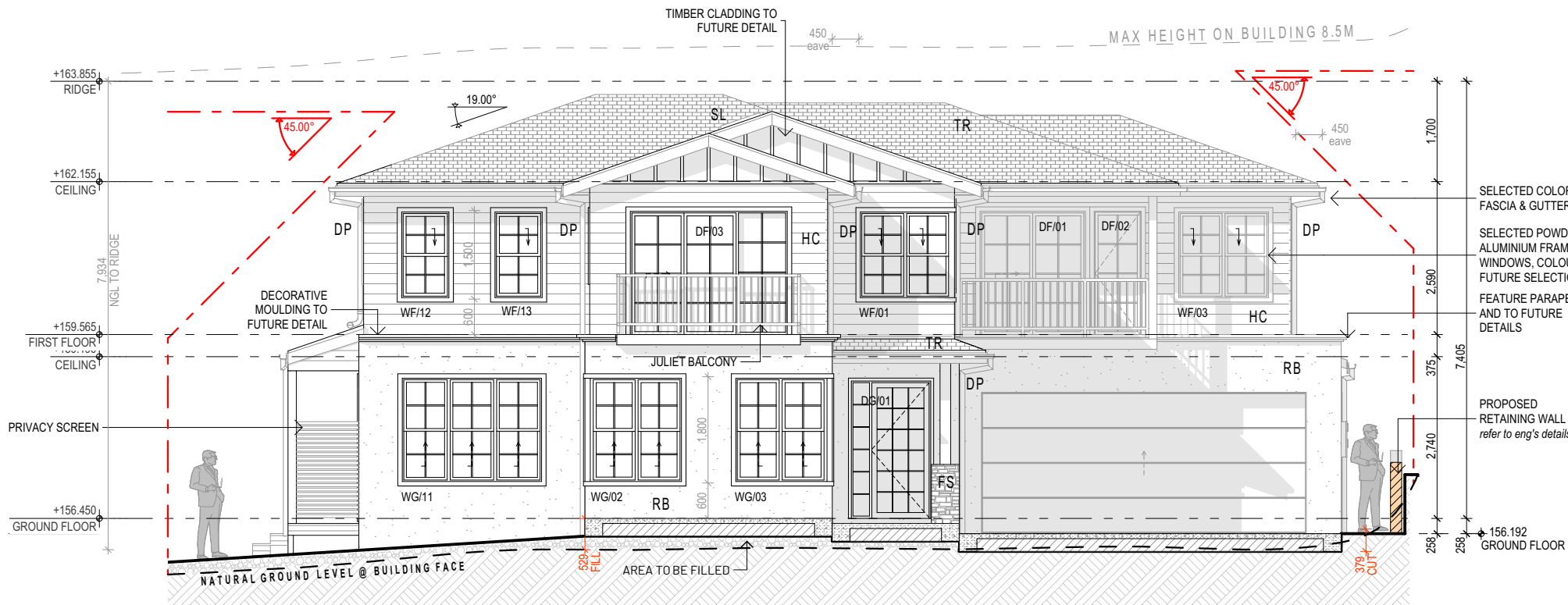
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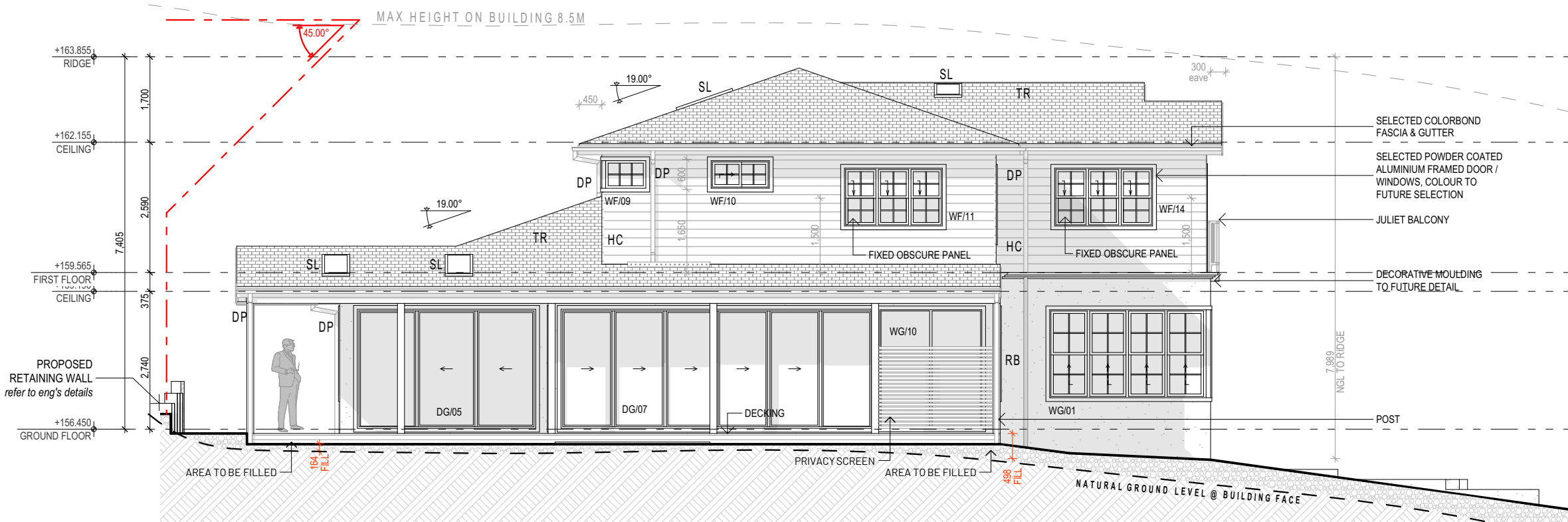
LEGEND

| | |
|-----|------------------------|
| CB | COLOURBOND |
| TR | TILED ROOF |
| FB | FACEBRICK |
| HC | HORIZONTAL CLADDING |
| DR | DECO WOOD |
| WB | RENDERED BRICK |
| MC | MATRIX CLADDING |
| SL | SKYLIGHT |
| DP | DOWNPipe |
| NRG | NRG BOARD RENDER OVER |
| FS | FEATURE STONE CLADDING |

NOTE:
PROTECTION OF OPENABLE
WINDOWS IN ACCORDANCE WITH
3.9.2.6



01 ELEVATION 01 NORTH
1:100



02 ELEVATION 02 EAST
1:100

DEVELOPMENT APPLICATION CLIENT SIGNATURE



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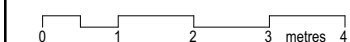
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rev date revision notes

DR
DR
DR
by
project No.
80121

CUSTOM DESIGNED HOME



stage drawn checked scale @ A3
DA DR AS 1:100,

drawing

ELEVATIONS 01 & 02

lot no. | D.P. no. | dwelling type

Lot -7 | D.P. -DP 238 331

drawing #

00.03.01

revision

C

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| | |
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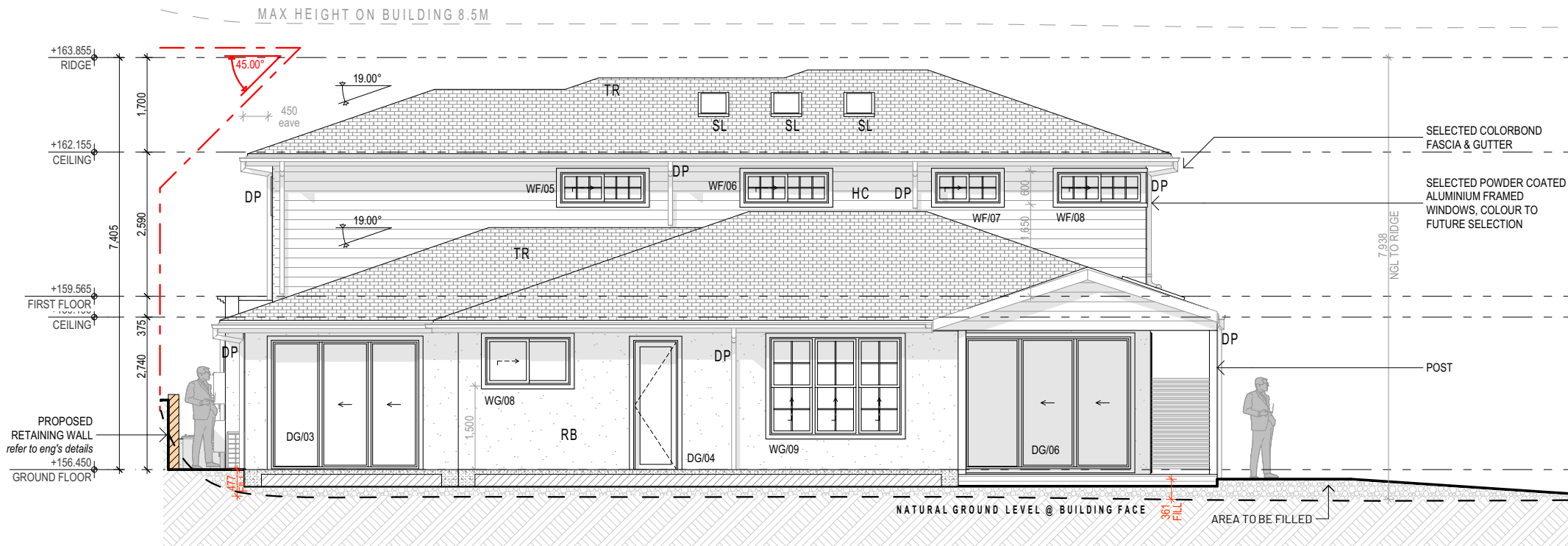
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| 5. POOL: | NO HEATING |
| 6. 2kW PV SYSTEM | |
| 7. GAS COOKTOP & ELECTRIC OVEN | |
| 8. INDOOR & OUTDOOR CLOTHES LINES | |

LEGEND

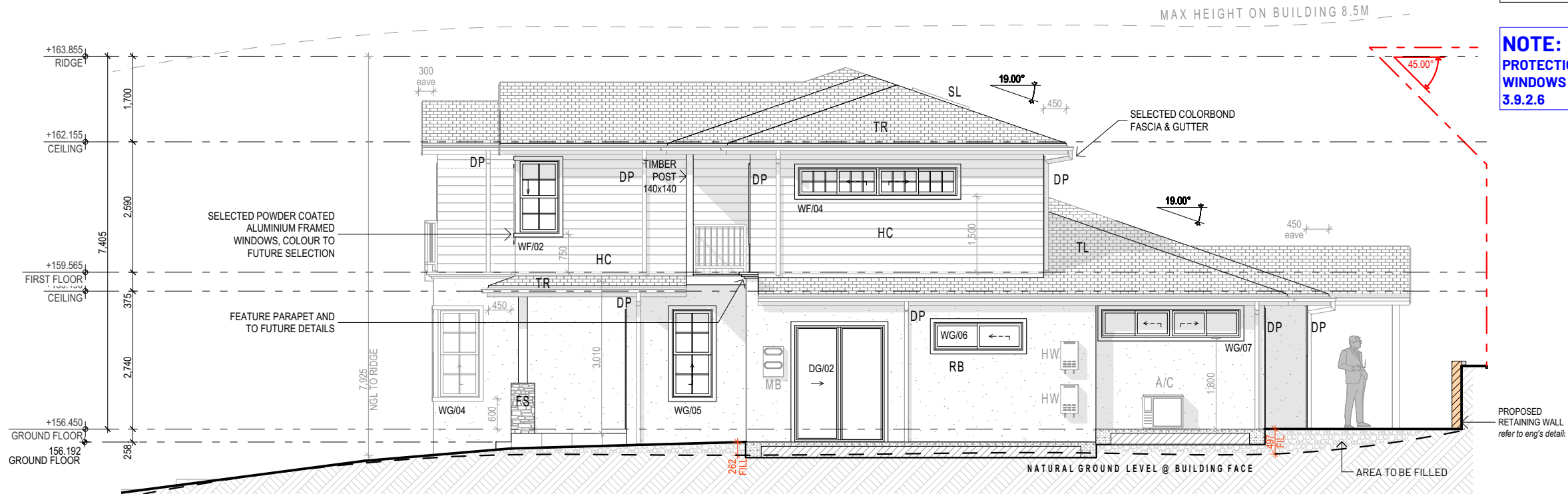
| | |
|-----|------------------------|
| CB | COLOURBOND |
| TR | TILED ROOF |
| FB | FACEBRICK |
| HC | HORIZONTAL CLADDING |
| DW | DECO WOOD |
| RB | RENDERED BRICK |
| MC | MATRIX CLADDING |
| SL | SKYLIGHT |
| DP | DOWNPipe |
| NRG | NRG BOARD RENDER OVER |
| FS | FEATURE STONE CLADDING |

NOTE:
PROTECTION OF OPENABLE
WINDOWS IN ACCORDANCE WITH
3.9.2.6



01

ELEVATION 03 SOUTH
1:100



02

ELEVATION 04 WEST
1:100

DEVELOPMENT APPLICATION CLIENT SIGNATURE



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

| | |
|---------------------------|--|
| - EARTHWORKS | - TO COMPLY WITH BCA pt 3.1.1 |
| - GUTTERS / DOWNPIPES | - TO COMPLY WITH AS/NZS 3500.3.2 |
| - FOOTINGS AND SLABS | - TO COMPLY WITH AS2601 |
| - MASONRY | - TO COMPLY WITH AS3700 |
| - GLAZING | - TO COMPLY WITH AS1288 and AS2047 |
| - SMOKE ALARMS | - TO COMPLY WITH BCA pt 3.7.2 & AS3796 |
| - WATERPROOFING WET AREAS | - TO COMPLY WITH AS3740 |
| - ARTIFICIAL LIGHTING | - TO COMPLY WITH BCA pt 3.8.4.3 |
| - MECHANICAL VENTILATION | - TO COMPLY WITH AS1668.2 |
| - STAIR CONSTRUCTION | - TO COMPLY WITH BCA pt 3.9.1 |
| - BALUSTRADES | - TO COMPLY WITH BCA pt 3.9.2 |



ALLURA HOMES
PH : (02) 920 4122

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CONSENT.

client

MRS.S & MR.F NILE

project

PROPOSED TWO STOREY DWELLING

site address

**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

| | | |
|-----|------------|------------------------|
| C | 06/04/2021 | UPDATED DA ISSUE C |
| B | 17/11/2020 | DA SUBMISSION ISSUE B |
| A | 14/09/2020 | PRE DA MEETING ISSUE A |
| rev | date | revision notes |

DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

| | | | |
|------------------|-------|---------|------------|
| 0 1 2 3 metres 4 | | | |
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:100, |

drawing

ELEVATIONS 03 & 04

lot no. | D.P. no. | dwelling type

Lot -7 | D.P. -DP 238 331

drawing #

00.03.02

revision

C

AUSTRALIAN STANDARDS & BCA

ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA & OTHER RELEVANT STATUTORY & LOCAL REGULATION CODES & MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.

1. INSTALL ALL SMOKE ALARMS ACCORDANCE TO PART 3.7.5 OF THE BCA.
2. ALL HANDRAIL'S TO COMPLY WITH BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION.
3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012
4. GUTTERS/DOWNPipes - COMPLY TO AS/NZS 3500.3.2

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

GENERAL NOTES

1. ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.
2. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE.
3. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.

(SA) SMOKE ALARM

BASIS NOTES

WATER

1. SHOWERHEADS: 4 STARS min
2. TOILETS: 4 STARS min
3. KITCHEN TAPS: 4 STARS min
4. BATHROOM TAPS: 4 STARS min
5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

THERMAL

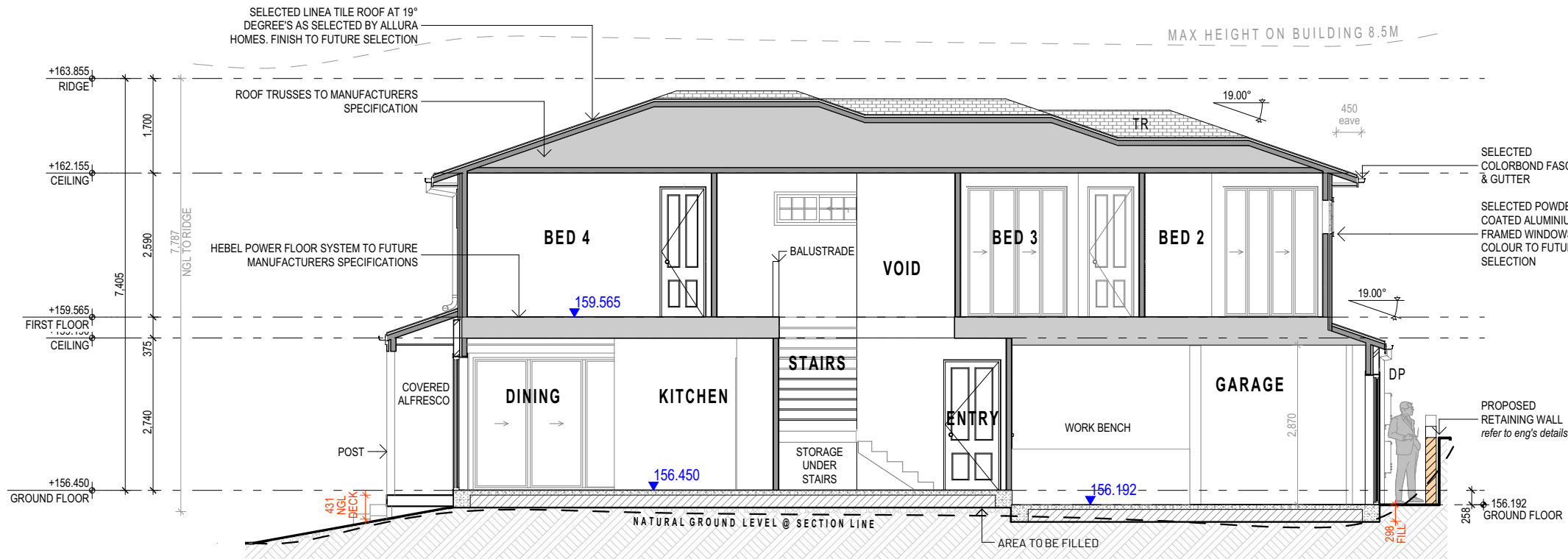
1. WAFFLE POD SLAB: 225mm
2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
3. EXTERNAL WALLS: R2.5 INSULATION
4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
5. CEILINGS: R4.0 INSULATION
6. ROOF: R1.5 BLANKET
7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basis for glazing type)
8. SKYLIGHTS: DOUBLE GLAZED
9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT

ENERGY

1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
2. HEATING & COOLING TO DWELLING: DUCTING ONLY
3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
4. LED OR FLUORO LIGHTING
5. POOL: NO HEATING
6. 2kW PV SYSTEM
7. GAS COOKTOP & ELECTRIC OVEN
8. INDOOR & OUTDOOR CLOTHES LINES

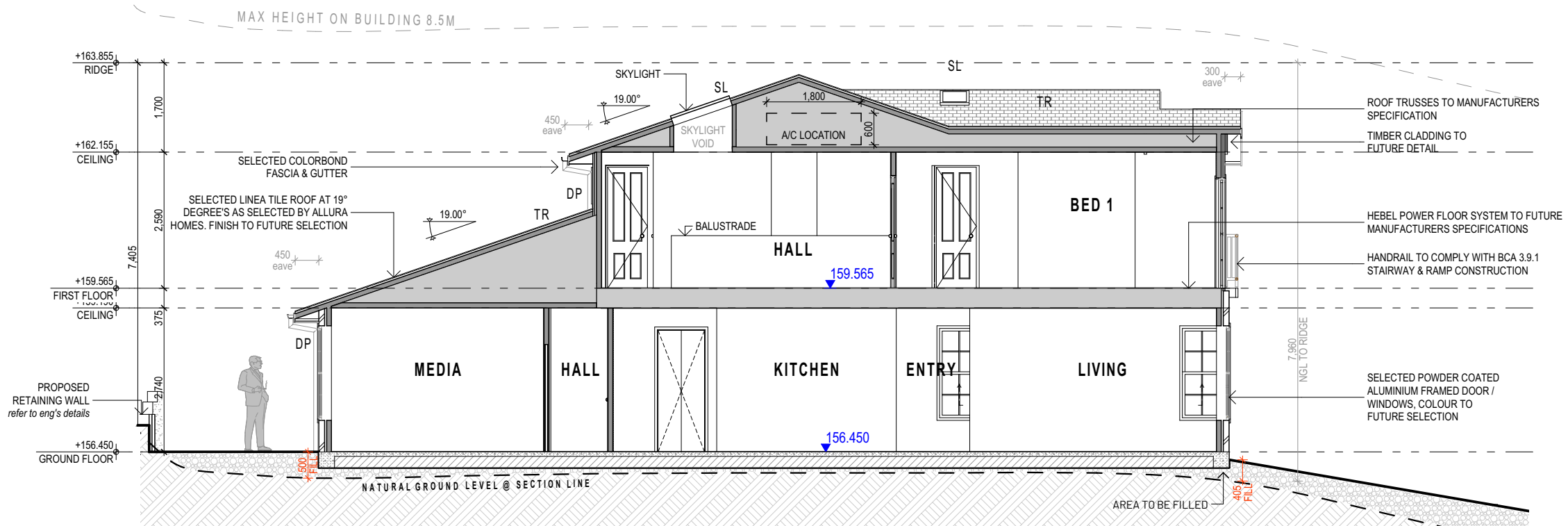
LEGEND

| | |
|-----|------------------------|
| CB | COLOURBOND |
| TR | TILED ROOF |
| FB | FACEBRICK |
| HC | HORIZONTAL CLADDING |
| DW | DECO WOOD |
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| MC | MATRIX CLADDING |
| SL | SKYLIGHT |
| DP | DOWNPipe |
| NRG | NRG BOARD RENDER OVER |
| FS | FEATURE STONE CLADDING |



A

SECTION A
1:100



B

SECTION B
1:100

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 6/04/2021 | Time: 11:07 AM



AUSTRALIAN STANDARDS AND BCA
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- EARTHWORKS
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 - GLAZING
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C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

| | | | | | |
|-------|-------|---------|------------|--------|---|
| 0 | 1 | 2 | 3 | metres | 4 |
| stage | drawn | checked | scale @ A3 | | |
| DA | DR | AS | 1:100, | | |

drawing

SECTIONS A & B

lot no. | D.P. no. | dwelling type

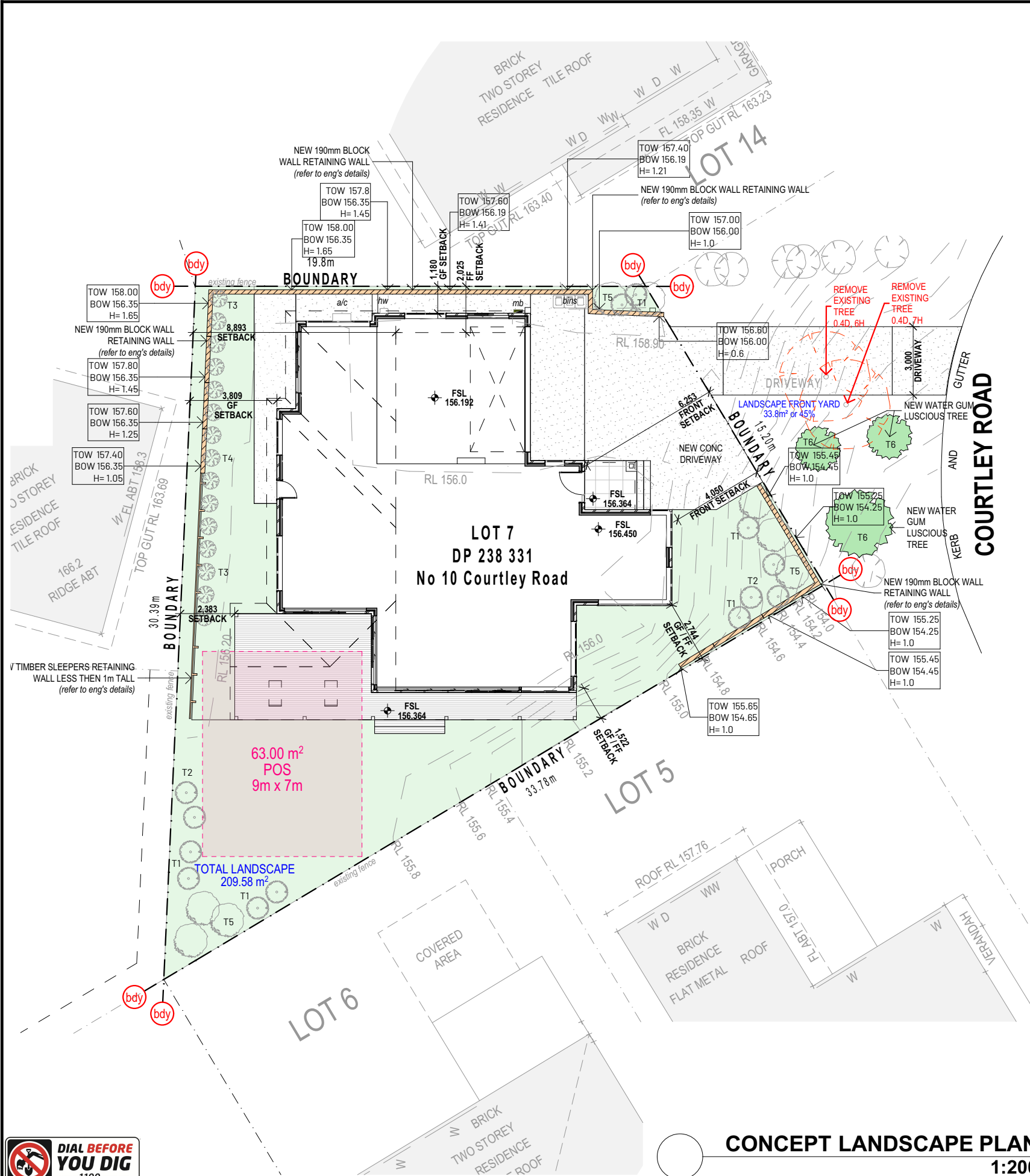
Lot -7 | D.P. -DP 238 331

drawing #

00.04.01

revision

C



NOTES

1. ALL LANDSCAPE WORKS SHALL BE CARREID OUT BY MEMBERS OF THE LANDSCAPE CONTRACTORS ASSOCIATION OF AUSTRALIA
2. CONTRACTORS MUST VERIFY ALL DIMENSIONS AT THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS WHICH MUST BE APPROVED BEFORE MANUFACTURING.
3. DO NOT SCALE DRAWING, IF IN DOUBT - ASK
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, HYDRAULIC AND SURVEY PLANS.
5. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AS PER ARBORIST REPORT & COUNCIL REQUIREMENTS.
6. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE AS 4373.
7. THOROUGHLY ERADICATE WEEDS FROM ALL GARDEN AREAS.
8. NO VARIATION TO THE WORKS TO BE CARREID OUT WITHOUT PRIOR APPROVAL FROM OWNER.
9. ALL MATERIALS TO BE THE BEST OF THEIR RESPECTIVE KINDS AND SHALL COMPLY WITH APPROVED SAMPLE TYPE SUBMITTED OR SPECIFIED.
10. SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL NOT BE PERMITTED
11. UNLESS OTHERWISE SPECIFIED OR DIRECTED, ALL INSTRUCTIONS ARE TO BE ISSUED BY THE CONSULTING LANDSCAPE DESIGNER.
12. ALL STORMWATER OUTLETS & SURFACE RUN OFF SHALL BE TO HYDRAULIC ENGINEERS DETAIL.
13. PROVIDE SUB-SOIL DRAINAGE TO GARDEN BEDS & LAWNS AREA WHERE REQUIRED - TO BE CONFIRMED ON SITE.
14. REFER TO SURVEY PLAN FOR POSITION OF ALL EXISTING SERVICES.
15. REFER TO ARCHITECTURAL ELEVATIONS & SECTIONS FOR EXISTING AND PROPOSED GROUND LINES.
16. ALL LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCILS DA & CC CONDITIONS AND ALL RELEVANT 'AUSTRALIAN STANDARDS' AND AUS SPEC NO.1 SPECIFICATION C273 - LANDSCAPING.
17. IRRIGATION SYSTEMS - IF REQUIRED, SHALL BE DESIGNED & INSTALLED TO COMPLY WITH AS 2698, AS 2698.1 - 1994, AS 2698.2-1985, AS 2698.3-1990, WATERBOARD AND OTHER RELEVANT AUTHORITY REGULATIONS.

MAINTENANCE

ALL LANDSCAPE WORKS ARE TO BE MAINTAINED FOR A PERIOD OF 12 MONTHS (OR AS REQUIRED BY COUNCIL DA CONSENT) BY LANDSCAPE CONTRACTOR AFTER FINAL COMPLETED AND SHALL BE MAINTAINED AT ALL TIMES IN A SUITABLE MANNER. REPLACE ALL PLANTS WHICH HAVE FAILED WITH THE SAME SPECIES. MULCH IS TO BE MAINTAINED AT SPECIFIED DEPTH. ALL PLANTS AND TURF SHALL BE WATERED ON A REGULAR BASIS TO MAINTAIN MOISTURE LEVELS REQUIRED FOR OPTIMUM GROWTH. ALL GARDEN AREAS ARE TO BE MAINTAINED FREE FROM WEEDS.

| PROPOSED PLANT SCHEDULE | | | | | |
|---------------------------|------------------|--------|----------|----------|--|
| BOTANICAL NAME | COMMON NAME | HEIGHT | POT SIZE | QUANTITY | |
| GROUND COVER | | | | | |
| T1 LIRIOPE MUSCARI | TURF LILY | 0.5M | 0.2L | 6 | |
| T2 CLIVEA MINIATE | KAFFIR LILY | 0.5M | 0.2L | 7 | |
| LOW SHRUBS | | | | | |
| T3 CAMELLIA JAPONICA | CAMELLIA | 1M | 0.3L | 10 | |
| T4 RHAPHIOLEPIS UMBELLATA | INDIAN HAWTHORNE | 1.5M | 0.3L | 5 | |
| TALL SHRUBS | | | | | |
| T5 MURRAYA PANICULATA | MURRAYA | 3M | 25L | 8 | |
| TREES | | | | | |
| T6 TRISTANOPSIS LAURINA | WATER GUM | 5-12M | 100L | 3 | |

LEGEND

- CONCRETE
- TIMBER DECK
- SELECTED TILES
- TURF SELECTED BY CLIENT
- PRIVATE OPEN SPACE (POS)
- HOT WATERSYSTEM
- METER BOX
- AIR CONDITIONING UNIT
- LAPPED & CAPPED TIMBER FENCING TO BE NATURAL OR CLEAR FINISH ONLY.
- REMOVE TREE
- RETAIN EXISTING TREE

NOTE:

1. DIG HOLE TWICE AS DEEP AS ROOT BALL & ALLOW AT ATLEAST 200mm AROUND SIDES FOR BACKFILLING WITH TOPSOIL.
2. APPLY FERTILISER IN BASE OF HOLE. COVER WITH TOP SOIL. AVOID ROOT CONTACT.
3. PLACE PLANT IN CENTRE OF HOLE. BACKFILL WITH SPECIFIED TOPSOIL, FIRING PROGRESSIVELY.
4. WATERWELL INTO SAUCER AROUND CROWN OF PLANT.
5. STAKE LARGER SHRUBS WHERE NECESSARY USING 50x50x1200mm HARDWOOD STAKES.

PROVIDE MOUNDED TOPSOIL BERM TO HOLD WATER DURING MAINTENANCE & ESTABLISHMENT.

MULCH 100mm DEPTH

NEW TOPSOIL 300mm DEPTH, OR AS SPECIFIED, CULTIVATED INTO EXISTING SUBSOIL MIN 150mm DEPTH.

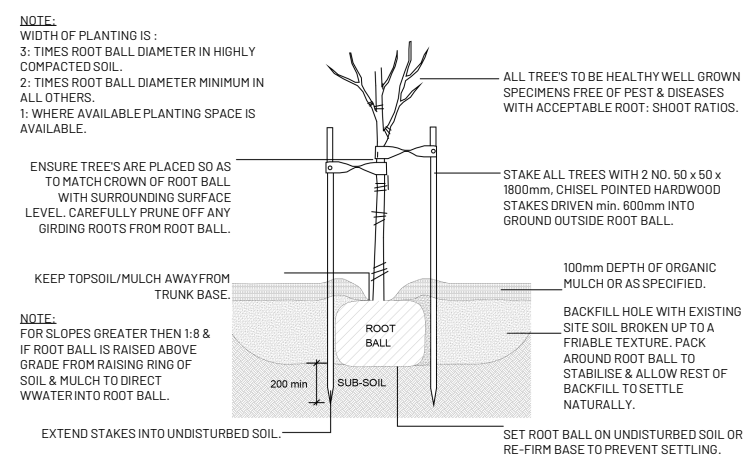
BREAK UP SIDES & BASE OF HOLE.

GENERAL PLANTING SPECIFICATIONS

- DIG PLANTING HOLE AT LEAST THREE TIMES AS WIDE AS ROOT BALL.
- PLANTING HOLE SHOULD ONLY BE AS DEEP AS ROOT BALL.
- DO NOT DIG INTO CLAD SUBSOILS - PLANTING AREA CAN BE BUILT UP TO DESIRED LEVEL.
- SIDES OF PLANTING HOLE SHOULD TAPER OUT AND BE ROUGHENED UP.
- PLANTING STOCK SHOULD BE BROUGHT TO CONTAINER CAPACITY PRIOR TO PLANTING.
- THE ROOT CONTAINER SHOULD BE CAREFULLY REMOVED PRIOR TO PLANTING.
- PLANT STOCK SHOULD BE ROTT PRUNED PRIOR TO PLANTING.
- PLANTING HOLE SHOULD BE BACK FILLED WITH MINERAL SOIL TO SPECIFICATIONS.
- ORGANIC MATTER TO SPECIFICATION MAY BE MIXED WITH THE TOP LAYER OF BACKFILL SOIL.
- DO NOT COMPACT BACKFILL.
- TOP OF EXISTING ROOT BALL SHOULD BE LEVEL WITH EXISTING GARDEN LEVEL.
- DO NOT ALLOW BACKFILL TO COVER ROOT BALL EXCEPT FOR BARE ROOTED STOCK.
- BARE-ROOTED STOCK MAY REQUIRE TEMPORARY STAKING.
- EXCESS SOIL MAY BE MOUNDED AROUND OUTSIDE OF ROOT BALL.
- APPLY FERTILISER TO SPECIFICATION FOR THE SPECIES AND AT RECOMMENDED RATES.
- CHECK AND ADJUST PH TO THAT REQUIRED FOR SPECIES.
- ALL PLANTS MUST BE WATERED IN THROUGH THE ROOT BALL AT A MINIMUM RATE OF 1 LITRE OF WATER PER LITRE OF ROOTBALL VOLUME AT THE INFILTRATION RATE OF THE PLANTING HOLE.
- REMOVE ALL PLANT LABELS, TIES AND NURSERY STAKES.
- INSTALL TEMPORARY SUPPORT STAKES (IF REQUIRED) AS PER STAKING DIAGRAM.
- APPLY MULCH TO A DEPTH OF 100MM TO SPECIFICATION COVING DOWN AT PLANT STEM.

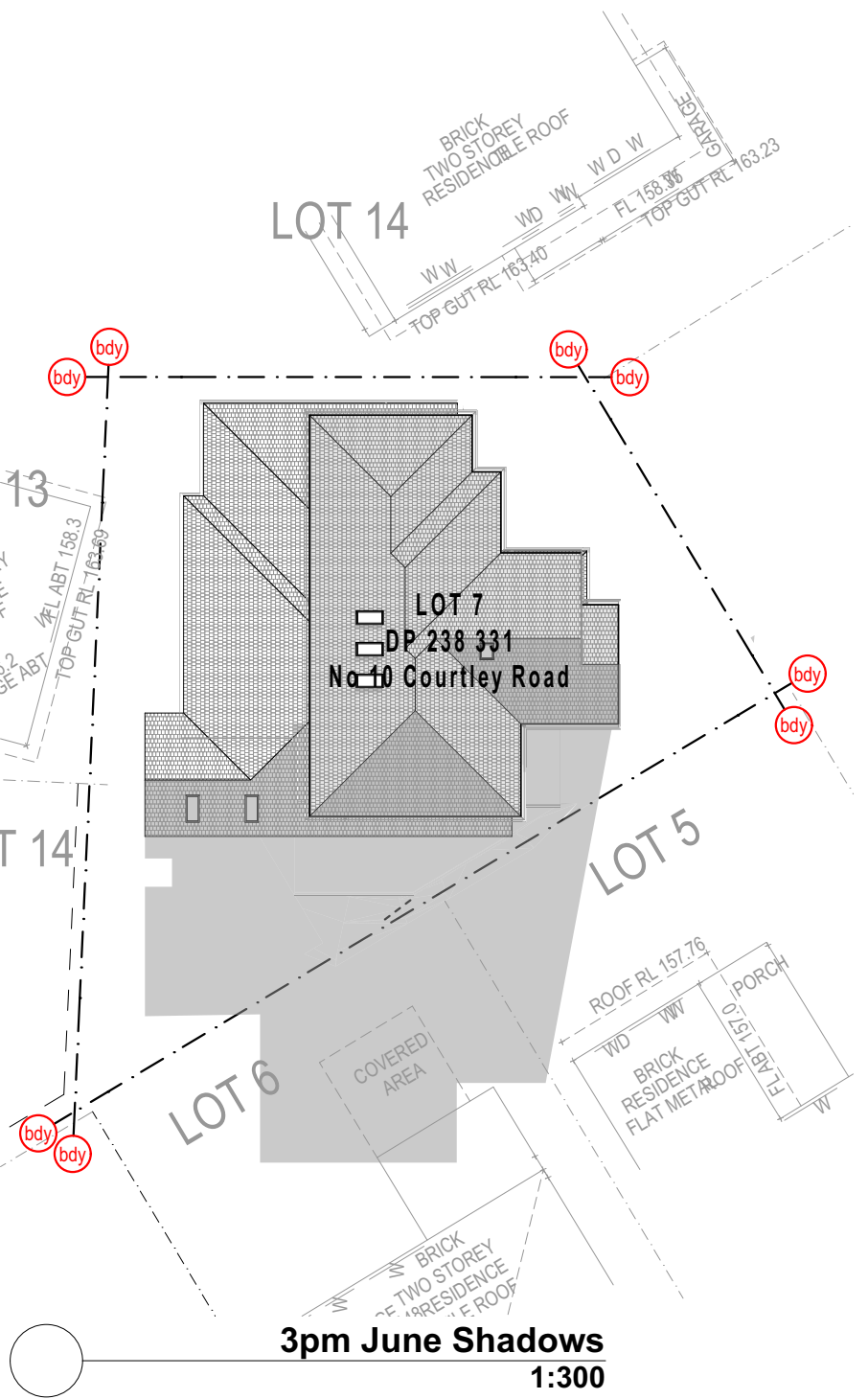
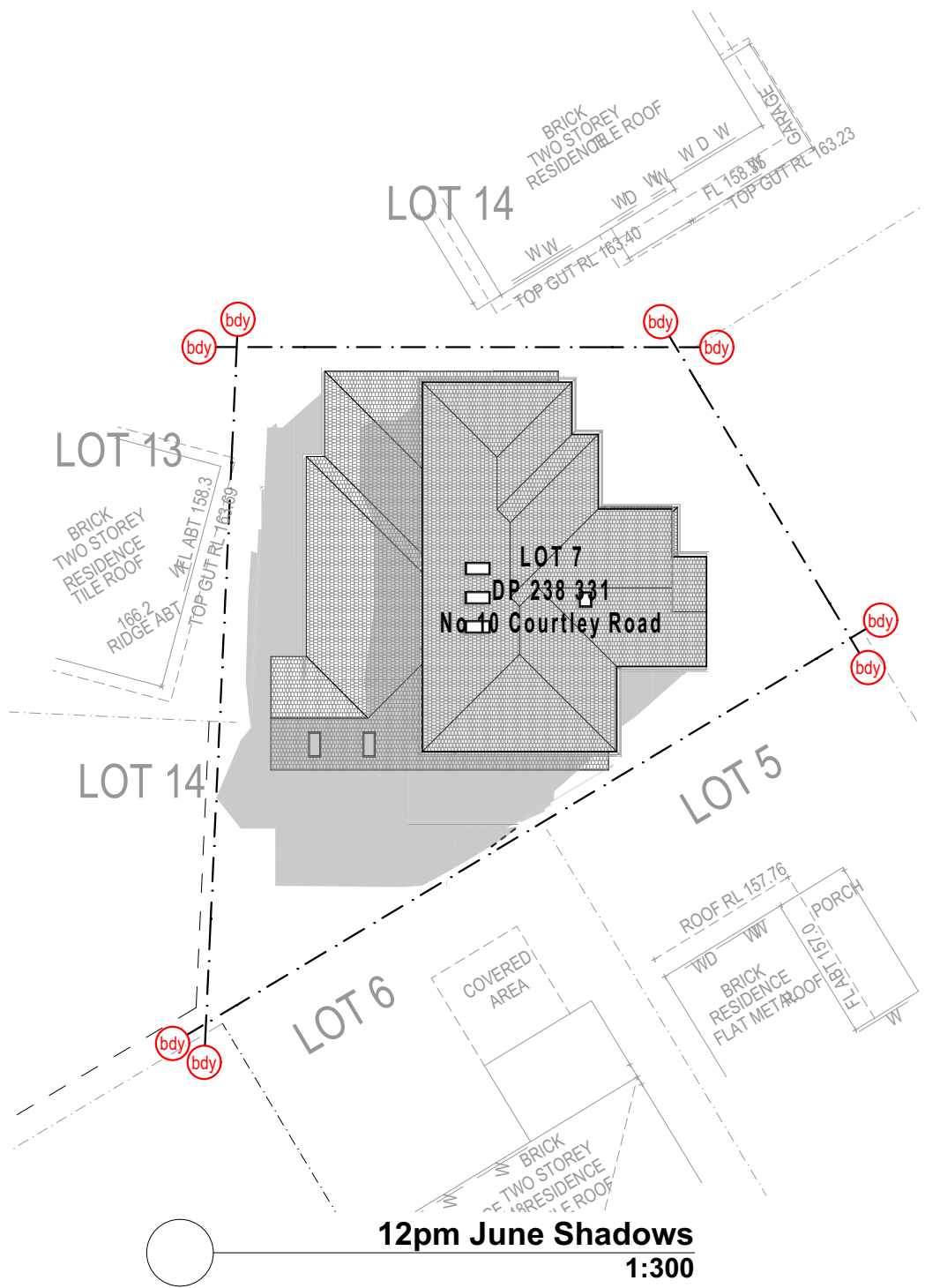
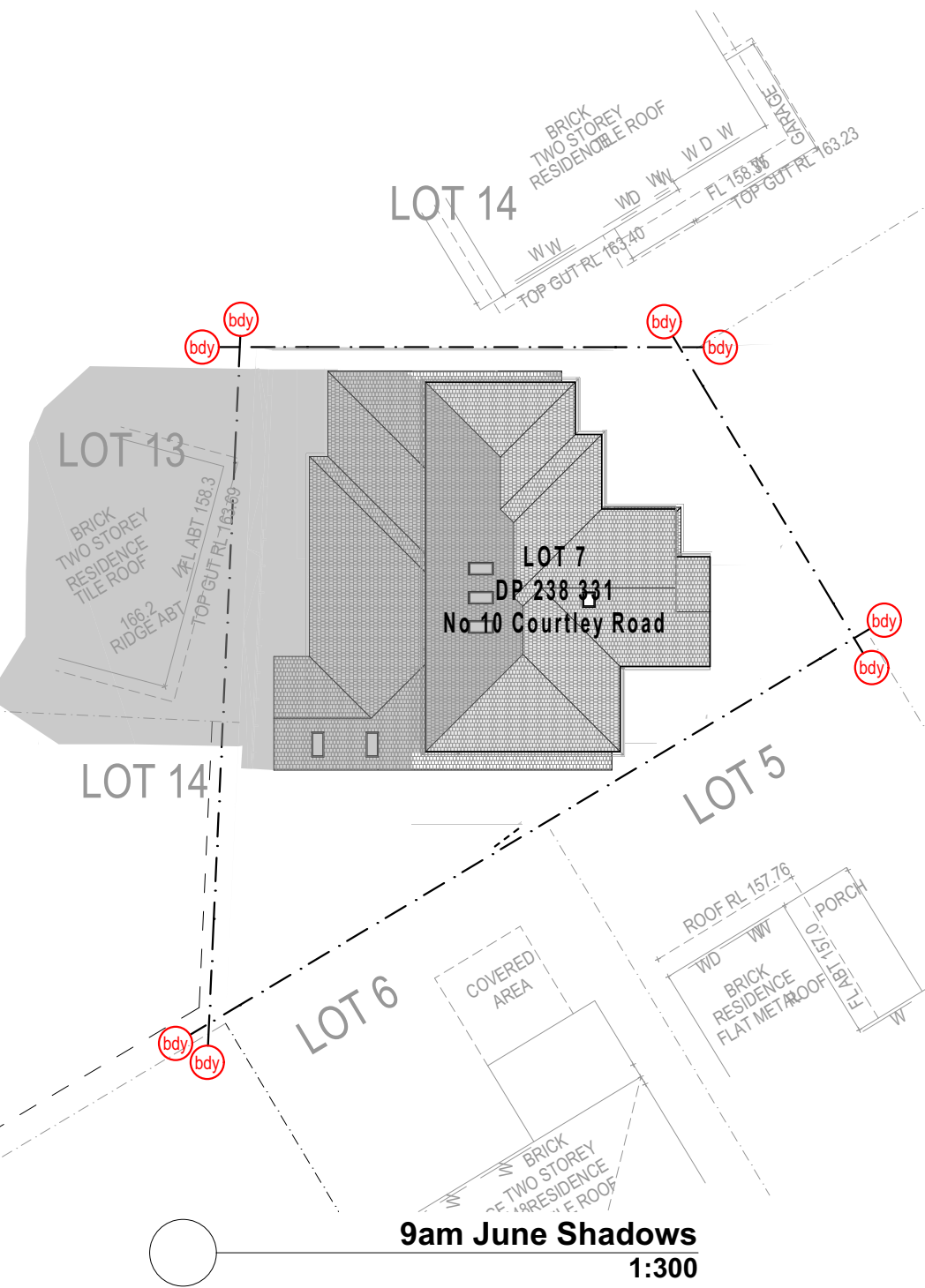
| LANDSCAPE AREA | |
|--------------------------------------|--------------------------|
| NO. | 07 |
| LOT: | DP 238 331 |
| COUNCIL: | N/A |
| AREA OF SITE: | 557.3m² |
| EXCLUDES CARRIAGEWAY | |
| PRIVATE OPEN SPACE (POS): | 63 m² |
| REQUIRED LANDSCAPE AREA: | 222m² or 40% |
| PROPOSED SOFT LANDSCAPE AREA: | 209.58m² or 37.6% |
| (grass & mulch) | |
| FRONT YARD AREA | 74.11 |
| FRONT YARD SOFT LANDSCAPE AREA | 33.80 or 45% |
| BACKYARD SOFT LANDSCAPE AREA | 175.94m² |

| GROSS FLOOR AREA OF BUILDING FOR DA | |
|---|-----------------|
| GROUND FLOOR: | 188.99m²-17m² |
| EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS | |
| INCLUDING GARAGE, OUT BUILDINGS AND ANY | |
| ENCLOSED SPACE WITH WALLS OVER 1.4m | |
| FIRST FLOOR: | 116.40m² |
| EXCLUDING VOID: | |
| TOTAL GFA: | 305.39m² |



LENGEND

PROPOSED WINTER SHADOWS



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- EARTHWORKS
- GUTTERS / DOWNPIPES
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- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3600.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 and AS2047
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- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



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C 06/04/2021 UPDATED DA ISSUE C
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rev date revision notes

DR
DR
DR
by



DEVELOPMENT APPLICATION

CUSTOM DESIGNED HOME

| | | | |
|-------|-------|---------|------------|
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:300 |

CLIENT SIGNATURE

drawing
SHADOW DIAGRAMS 22ND JUNE

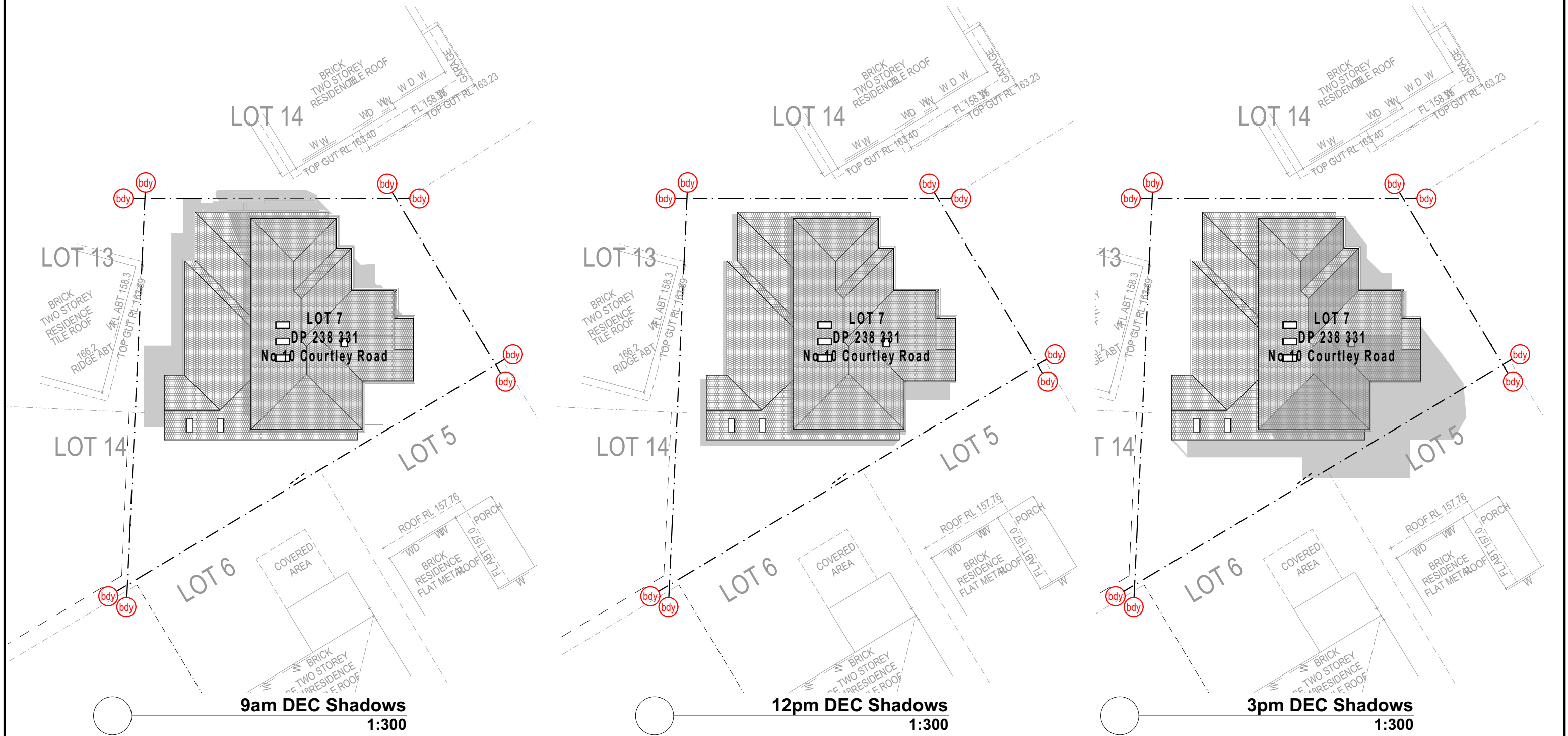
lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.05.01

revision
C

LENGEND

PROPOSED SUMMER SHADOWS



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rev date revision notes



project No.
80121

| CUSTOM DESIGNED HOME | | | |
|----------------------|-------|---------|------------|
| | | | |
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:300 |

drawing
SHADOW DIAGRAMS 22ND DEC

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.05.02

revision
C

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtney Road Beacon Hill DA ISSUE B-17.11.2020.ph | Date: 6/04/2021 | Time: 11:07 AM

EXTERNAL DOOR - GROUND

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|--------------|-------------------------------|---|---------------------------------------|--|
| DG/01 | GROUND FLOOR | | 2,340 | 1,370 | ALUM. FRAMED GLASS DOOR |
| DG/02 | GROUND FLOOR | | 2,340 | 1,810 | ALUM. FRAMED SLIDING GLASS DOOR |
| DG/03 | GROUND FLOOR | | 2,340 | 2,685 | ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR |
| DG/04 | GROUND FLOOR | | 2,340 | 820 | ALUM. FRAMED GLASS DOOR |
| DG/05 | GROUND FLOOR | | 2,400 | 3,585 | ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR |
| DG/06 | GROUND FLOOR | | 2,400 | 3,020 | ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR |

EXTERNAL DOOR - GROUND

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|--------------|-------------------------------|---|---------------------------------------|--|
| DG/07 | GROUND FLOOR | | 2,400 | 6,240 | ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR |

EXTERNAL DOOR - FIRST

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|-------------|-------------------------------|---|---------------------------------------|---------------------------------|
| DF/01 | FIRST FLOOR | | 2,100 | 1,810 | ALUM. FRAMED GLASS SLIDING DOOR |
| DF/02 | FIRST FLOOR | | 2,100 | 820 | ALUM. FRAMED GLASS DOOR |
| DF/03 | FIRST FLOOR | | 2,100 | 2,685 | ALUM. FRAMED GLASS SLIDING DOOR |

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE
NOTE:
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DEVELOPMENT APPLICATION CLIENT SIGNATURE



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- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3500.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 and AS2047
- TO COMPLY WITH BCA pt 3.7.2 & AS3796
- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

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client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

C 06/04/2021

UPDATED DA ISSUE C

B 17/11/2020

DA SUBMISSION ISSUE B

A 14/09/2020

PRE DA MEETING ISSUE A

rev

date

revision notes

DR

DR

DR

by

project No.

80121

CUSTOM DESIGNED HOME

stage

drawn

checked

scale @ A3

DA

DR

AS

drawing

EXTERNAL DOOR SCHEDULE

lot no. | D.P. no. | dwelling type

Lot -7 | D.P. -DP 238 331

drawing #

00.08.01

revision

C

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.ph | Date: 6/04/2021 | Time: 11:07 AM

WINDOWS - GROUND FLOOR

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|--------------|-------------------------------|---|---------------------------------------|--|
| WG/01 | GROUND FLOOR | | 1,800 | 3,140 | CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW |
| WG/02 | GROUND FLOOR | | 1,800 | 1,570 | CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW |
| WG/03 | GROUND FLOOR | | 1,800 | 1,570 | CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW |
| WG/04 | GROUND FLOOR | | 1,800 | 850 | CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW |
| WG/05 | GROUND FLOOR | | 1,800 | 850 | ALUM. FRAMED DOUBLE HUNG WINDOW |
| WG/06 | GROUND FLOOR | | 600 | 1,810 | ALUM. FRAMED SLIDING WINDOW |
| WG/07 | GROUND FLOOR | | 600 | 2,800 | ALUM. FRAMED SLIDING WINDOW |
| WG/08 | GROUND FLOOR | | 900 | 1,570 | ALUM. FRAMED SLIDING WINDOW |
| WG/09 | GROUND FLOOR | | 1,800 | 2,410 | ALUM. FRAMED DOUBLE HUNG WINDOW |

WINDOWS - GROUND FLOOR

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|--------------|-------------------------------|---|---------------------------------------|---------------------------------|
| WG/10 | GROUND FLOOR | | 2,400 | 2,080 | ALUM. FRAMED FIXED WINDOW |
| WG/11 | GROUND FLOOR | | 1,800 | 2,410 | ALUM. FRAMED DOUBLE HUNG WINDOW |

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
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A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
DR
by
project No.
80121

CUSTOM DESIGNED HOME

| | | | |
|-------|-------|---------|------------|
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | |

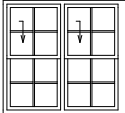
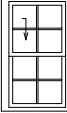
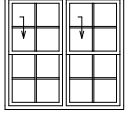
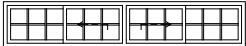



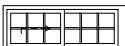


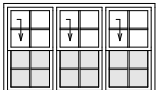
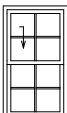
drawing
WINDOW SCHEDULE GROUND

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

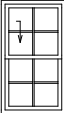
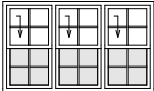
drawing #
00.08.02

revision
C







WINDOWS - FIRST FLOOR

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|-------------|---|---|---------------------------------------|---|
| WF/01 | FIRST FLOOR |  | 1,500 | 1,570 | CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW |
| WF/02 | FIRST FLOOR |  | 1,500 | 850 | CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW |
| WF/03 | FIRST FLOOR |  | 1,500 | 1,570 | ALUM. FRAMED DOUBLE HUNG WINDOW |
| WF/04 | FIRST FLOOR |  | 600 | 3,200 | ALUM. FRAMED SLIDING WINDOW |
| WF/05 | FIRST FLOOR |  | 600 | 1,570 | ALUM. FRAMED SLIDING WINDOW |
| WF/06 | FIRST FLOOR |  | 600 | 1,570 | ALUM. FRAMED SLIDING WINDOW |
| WF/07 | FIRST FLOOR |  | 600 | 1,210 | ALUM. FRAMED SLIDING WINDOW |
| WF/08 | FIRST FLOOR |  | 600 | 1,570 | CORNER WINDOW, ALUM. FRAMED SLIDING WINDOW |
| WF/09 | FIRST FLOOR |  | 600 | 850 | CORNER WINDOW, ALUM. FRAMED FIXED WINDOW |
| WF/10 | FIRST FLOOR |  | 600 | 1,210 | ALUM. FRAMED SLIDING WINDOW |
| WF/11 | FIRST FLOOR |  | 1,200 | 2,000 | OBSCURE PANEL - ALUM. FRAMED DOUBLE HUNG WINDOW |
| WF/12 | FIRST FLOOR |  | 1,500 | 850 | ALUM. FRAMED DOUBLE HUNG WINDOW |

WINDOWS - FIRST FLOOR

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|-------------|---|---|---------------------------------------|---|
| WF/13 | FIRST FLOOR |  | 1,500 | 850 | ALUM. FRAMED DOUBLE HUNG WINDOW |
| WF/14 | FIRST FLOOR |  | 1,200 | 2,000 | OBSCURE PANEL - ALUM. FRAMED DOUBLE HUNG WINDOW |

SKYLIGHTS

| ID | STOREY | ELEVATION VIEWED FROM OUTSIDE | (H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING | (W) FRAME WIDTH - REVEAL NOT INCLUDED | COMMENTS |
|-------|-------------|--|---|---------------------------------------|------------|
| SK/01 | CEILING |  | --- | --- | 550 x 700 |
| SK/02 | CEILING |  | --- | --- | 550 x 1180 |
| SK/03 | CEILING |  | --- | --- | 550 x 1180 |
| SK/04 | CEILING |  | --- | --- | 550 x 1180 |
| SK/05 | FIRST FLOOR |  | --- | --- | 550 x 1180 |
| SK/06 | FIRST FLOOR |  | --- | --- | 550 x 1180 |

NOTE:
PROTECTION OF OPENABLE WINDOWS ON FIRST FLOOR IN ACCORDANCE WITH BCA 3.9.2.6

NOTE:
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C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
DR
by
project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage drawn checked scale @ A3
DA DR AS

drawing
WINDOW SCHEDULE FIRST & SKYLIGHTS

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing # revision
00.08.03 C

PROJECT NUMBER: 80121
SITE ADDRESS: 10 COURTLEY RD, BEACON HILL
CLIENT NAME/S: FRED AND SILVANA NILE
CLIENTS EMAIL: SILVANA.NILE@OUTLOOK.COM
CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

| HOT WATER UNIT | | IMAGE | VARIATION NO. |
|--|---|-------|---------------|
| SUPPLIER: MODEL: | RINNAI INFINITY B26 | | |
| FASCIA | | IMAGE | VARIATION NO. |
| COLOUR: | PEARL WHITE | | |
| GUTTER | | IMAGE | VARIATION NO. |
| COLOUR: | COLORBOND - MONUMENT | | |
| DOWNPIPES | | IMAGE | VARIATION NO. |
| COLOUR: | WATTYL - COLORBOND WINDSPRAY | | |
| RAIN WATER TANK | | IMAGE | VARIATION NO. |
| COLOUR: | N/A - UNDERGROUND | | |
| GROUND FLOOR CLADDING | | IMAGE | VARIATION NO. |
| SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION: | N/A | | |
| FIRST FLOOR CLADDING | | IMAGE | VARIATION NO. |
| SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION: | JAMES HARDIE LINEA 180MM WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER | | |
| DECORATIVE MOULDING | | IMAGE | VARIATION NO. |
| SUPPLIER: TYPE: COLOUR: | EZY BUILD D06 WATTYL - CALCIUM | | |
| SIGNED: | APPROVED | DATE: | |
| SIGNED: | | DATE: | |

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2 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

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SITE ADDRESS: 10 COURTLEY RD, BEACON HILL
CLIENT NAME/S: FRED AND SILVANA NILE
CLIENTS EMAIL: SILVANA.NILE@OUTLOOK.COM
CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

| GROUND FLOOR BRICK | | IMAGE | VARIATION NO. |
|---|--|-------|---------------|
| SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE: | PGH BRICKS COMMONS N/A FLUSH | | |
| FIRST FLOOR BRICK | | IMAGE | VARIATION NO. |
| SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE: | N/A | | |
| CULTURED STONE | | IMAGE | VARIATION NO. |
| SUPPLIER: CODE: GROUT: LOCATION: | CTM FLOORING 9236/01 WAL, ROC GRI 400 X 600 OLIVE (BLACK TRIM) FRONT ENTRY PIER | | |
| GROUND FLOOR RENDER | | IMAGE | VARIATION NO. |
| COLOUR: LOCATION: | WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER | | |
| FIRST FLOOR RENDER | | IMAGE | VARIATION NO. |
| COLOUR: LOCATION: | N/A | | |
| GARAGE DOOR | | IMAGE | VARIATION NO. |
| SUPPLIER: PROFILE: WINDOWS: COLOUR: FINISH: | DYNAMIC DOOR SERVICE RANCH N/A PERISHER WHITE WOODGRAIN | | |
| EXTERNAL BALUSTRADE | | IMAGE | VARIATION NO. |
| TYPE: COLOUR: | ALUMINIUM BALUSTRADE PEARL WHITE | | |
| ALUMINIUM DOORS & WINDOWS, FLYSCREENS, LAUNDRY DOOR | | IMAGE | VARIATION NO. |
| COLOUR: OBSCURED GLASS: | PEARL WHITE REMOVABLE FILM ONLY TO WG/08, WF/11, WF/14 | | |
| SIGNED: | APPROVED | DATE: | |
| SIGNED: | | DATE: | |

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CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

| ROOF TILES | | IMAGE | VARIATION NO. |
|--|---|-------|--------------------|
| SUPPLIER: TYPE: COLOUR: RIDGE TYPE: | MONIER HORIZON BARRAMUNDI LAPPED | | |
| PERGOLA ROOF | | IMAGE | VARIATION NO. |
| DESCRIPTION: COLOUR: | TWIN WALL POLYCARBONATE ROOFING GREY | | |
| COLORBOND ROOF | | IMAGE | VARIATION NO. |
| COLOUR: | COLORBOND - MONUMENT | | |
| SKYLIGHTS | | IMAGE | VARIATION NO. |
| SUPPLIER: MODEL: SIZE: LOCATION: | VELUX FIXED SKYLIGHT SQUARE SET OPENING VARIES REFER TO PLANS | | |
| PRIVACY SCREENS | | IMAGE | VARIATION NO. |
| COLOUR: | PEARL WHITE | | |
| ENTRANCE DOOR & SIDELIGHT | | IMAGE | VARIATION NO. |
| SUPPLIER: RANGE: DESIGN CODE: SIZE: COLOUR OR STAIN: GLASS: | HUME DOORS & TIMBER JOINERY - ENTRANCE JUST10 & JUST5 2340MM X 970MM & 2340MM X 400MM WATTYL - CALCIUM CLEAR | | PCV 01 ITEM 1-2 |
| DRIVEWAY | | IMAGE | VARIATION NO. |
| MATERIAL: COLOUR: | PLAIN CONCRETE N/A | | |
| LETTERBOX | | IMAGE | VARIATION NO. |
| TYPE: COLOUR: | PLYMOUTH PILLAR WATTYL - COLORBOND WINDSPRAY | | |
| SIGNED: | APPROVED | DATE: | |
| SIGNED: | | DATE: | |

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STAGE 1.

COLOUR & DESIGN SELECTIONS

| CLOTHESLINE | | IMAGE | VARIATION NO. |
|---|--|-------|---------------|
| COLOUR: | BASALT Midnight Sky | | |
| FENCING & GATES | | IMAGE | VARIATION NO. |
| TYPE: COLOUR: | ALUMINIUM COLORBOND - MONUMENT DISCLAIMER: BY SIGNING THIS DOCUMENT, YOU ARE CONFIRMING THAT THIS SELECTION HAS BEEN DISCUSSED WITH NEIGHBOURING PROPERTY OWNERS. ALLURA HOMES HOLDS NO RESPONSIBILITY FOR RECOUPING ANY FUNDS FROM NEIGHBOURING PROPERTY OWNERS. | | |
| FIREPLACE | | IMAGE | VARIATION NO. |
| MODEL: FASCIA: MANTLE & FUEL BED: LOCATION: | JETMASTER H-550X-AU TRIM 550 & CRANBOURNE 700 LIMESTONE MANTLE & HEARTH LOOSET GROUND FLOOR LIVING | | |
| AIR CONDITIONING | | IMAGE | VARIATION NO. |
| SUPPLIER: MODEL: GRILLE TYPE: TRUNKING COLOUR: | EPIC AIR ACTRON ESP PLUS 19.32KW 3-PHASE DUCTED SYSTEM CIRCULAR GRILLES (SAME AS DOWNPIPES) WATTYL - COLORBOND WINDSPRAY | | |
| SERVICES LOCATIONS | | IMAGE | VARIATION NO. |
| GAS POINT LOCATIONS: EXTERNAL TAPS: | COOKTOP, BBQ, GAS HEATER, FIREPLACE UNDER METERBOX, EASTERN RETAINING WALL, WATER TANK | | |
| CORNICE | | IMAGE | VARIATION NO. |
| SUPPLIER: TYPE: LOCATION: | USS BORAL SQUARESET THROUGHOUT EXC. GARAGE (COVERED 90MM) & WET AREAS | | |
| SKIRTING | | IMAGE | VARIATION NO. |
| SUPPLIER: TYPE: | HUME DOORS & TIMBER HALF SPLAYED (92MM X 18MM) | | |
| ARCHITRAVES | | IMAGE | VARIATION NO. |
| SUPPLIER: TYPE: | HUME DOORS & TIMBER HALF SPLAYED (67MM X 18MM) | | |
| SIGNED: | APPROVED | DATE: | |
| SIGNED: | | DATE: | |

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5 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING
CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION
CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
 - GUTTERS / DOWNPIPES
 - FOOTINGS AND SLABS
 - MASONRY
 - GLAZING
 - SMOKE ALARMS
 - WATERPROOFING WET AREAS
 - ARTIFICIAL LIGHTING
 - MECHANICAL VENTILATION
 - STAIR CONSTRUCTION
 - BALUSTRADES
- TO COMPLY WITH BCA pt 3.1.1
 - TO COMPLY WITH AS/NZS 3500.3.2
 - TO COMPLY WITH AS2670
 - TO COMPLY WITH AS3700
 - TO COMPLY WITH AS1288 and AS2047
 - TO COMPLY WITH BCA pt 3.7.2 & AS3796
 - TO COMPLY WITH AS3740
 - TO COMPLY WITH BCA pt 3.8.4.3
 - TO COMPLY WITH AS1668.2
 - TO COMPLY WITH BCA pt 3.9.1
 - TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

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CONSENT.

client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

| | | | |
|-------|-------|---------|------------|
| | | | |
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | 1:2.22 |

SCHEDULE OF EXTERNAL FINISHES

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.09.01

revision
C

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 6/04/2021 | Time: 11:07 AM



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- | | |
|---------------------------|--|
| - EARTHWORKS | - TO COMPLY WITH BCA pt 3.1.1 |
| - GUTTERS / DOWNPIPES | - TO COMPLY WITH AS/NZS 3500.3.2 |
| - FOOTINGS AND SLABS | - TO COMPLY WITH AS2601 |
| - MASONRY | - TO COMPLY WITH AS3700 |
| - GLAZING | - TO COMPLY WITH AS1288 and AS2047 |
| - SMOKE ALARMS | - TO COMPLY WITH BCA pt 3.7.2 & AS3786 |
| - WATERPROOFING WET AREAS | - TO COMPLY WITH AS3740 |
| - ARTIFICIAL LIGHTING | - TO COMPLY WITH BCA pt 3.8.4.3 |
| - MECHANICAL VENTILATION | - TO COMPLY WITH AS1668.2 |
| - STAIR CONSTRUCTION | - TO COMPLY WITH BCA pt 3.9.1 |
| - BALUSTRADES | - TO COMPLY WITH BCA pt 3.9.2 |



ALLURA
Welcome to your home

ALLURA HOMES
PH : (02) 920 4122

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client

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project

PROPOSED TWO STOREY DWELLING

site address

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| C | 06/04/2021 | UPDATED DA ISSUE C |
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| rev | date | revision notes |

| | | |
|-------------|--------------|----|
| DR | DR | DR |
| by | | |
| project No. | 80121 | |

CUSTOM DESIGNED HOME

| | | | |
|-----------|-----------|-----------|------------|
| | | | |
| stage | drawn | checked | scale @ A3 |
| DA | DR | AS | |

drawing

3D PERSPECTIVE

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

| | |
|-----------------|----------|
| drawing # | revision |
| 00.09.02 | C |

DEVELOPMENT APPLICATION CLIENT SIGNATURE

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