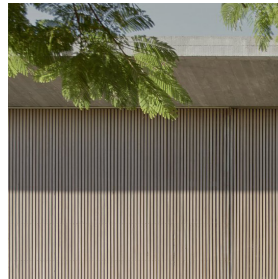


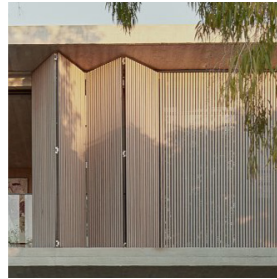
DA DOCUMENTATION SCHEDULE

DWG NO.	SUBSET	TITLE	SCALE	REV.	DATE	STATUS
DA-000	COVER & SITE INFORMATION	COVER PAGE & DRAWING SCHEDULES		01	20/11/24	DEVELOPMENT APPLICATION
DA-001	COVER & SITE INFORMATION	SITE PLAN	1:200	01	20/11/24	DEVELOPMENT APPLICATION
DA-100	GENERAL ARRANGEMENT PLANS	LOWER GROUND FLOOR	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-101	GENERAL ARRANGEMENT PLANS	GROUND FLOOR	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-102	GENERAL ARRANGEMENT PLANS	FIRST FLOOR	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-300	ELEVATIONS	SHEET 01	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-301	ELEVATIONS	SHEET 02	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-302	ELEVATIONS	SHEET 02	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-400	SECTIONS	SHEET 01	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-401	SECTIONS	SHEET 02	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-500	SITE STRATEGY PLANS	LANDSCAPE CONCEPT PLANS	1:200	01	20/11/24	DEVELOPMENT APPLICATION
DA-501	SITE STRATEGY PLANS	SITE ANALYSIS PLANS	1:200	01	20/11/24	DEVELOPMENT APPLICATION
DA-502	SITE STRATEGY PLANS	WASTE MANAGEMENT, EROSION & SEDIMENT CONTROL PLAN	1:200	01	20/11/24	DEVELOPMENT APPLICATION
DA-503	SITE STRATEGY PLANS	HARD & SOFT LANDSCAPE CALCULATIONS	1:250	01	20/11/24	DEVELOPMENT APPLICATION
DA-504	SITE STRATEGY PLANS	BUILDING BLANKETS		01	20/11/24	DEVELOPMENT APPLICATION
DA-800	POOL DETAILS/ DRIVEWAY PLANS	SHEET 01	1:100	01	20/11/24	DEVELOPMENT APPLICATION
DA-900	SHADOW DIAGRAMS	SHADOW DIAGRAM 9am	1:250	01	20/11/24	DEVELOPMENT APPLICATION
DA-901	SHADOW DIAGRAMS	SHADOW DIAGRAM 12pm	1:250	01	20/11/24	DEVELOPMENT APPLICATION
DA-902	SHADOW DIAGRAMS	SHADOW DIAGRAM 3pm	1:250	01	20/11/24	DEVELOPMENT APPLICATION

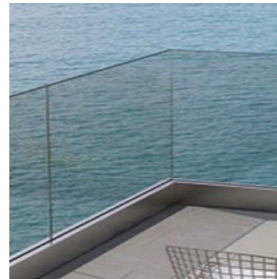
EXTERNAL FINISHES



1. Vertical Timber Cladding



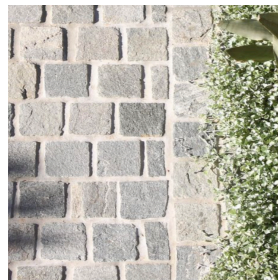
2. Vertical Timber Screening



3. Glass Balustrading



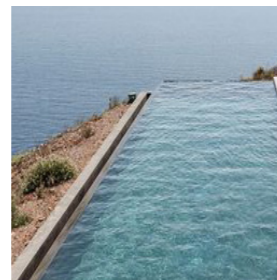
4. Mid-Grey Bagged Brick



5. Grey Stone Paving and Hardstand



6. Native Gardens



7. Infinity Edge Pool



8. Dark Aluminium Doors and Windows

SCHEDULE OF BASIX COMMITMENTS

POOL AND SPA

Rainwater tank

The applicant must install a rainwater tank of at least 7393.75 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 120 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 47 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: solar (electric boosted).

Outdoor spa

The swimming pool must not have a capacity greater than 9 kilolitres.

The swimming pool must have a spa cover.

The applicant must install a spa pump timer for the swimming pool.

The applicant must install the following heating system for the outdoor spa that is part of this development: solar (electric boosted).

FIXTURES AND SYSTEMS

Hot Water

The applicant must install the following hot water system in the development: gas instantaneous.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

CONSTRUCTION

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction, Additional insulation required (R-value), Other specifications

concrete slab on ground floor: nil, N/A

suspended floor above garage: concrete (R0.7), nil, N/A

external wall: brick veneer, R1.16 (or R1.70 including construction)

external wall: framed (weatherboard, fibro, metal clad), R1.30 (or R1.70 including construction)

flat ceiling, pitched roof, ceiling: R1.45 (up), roof: foil backed blanket (55mm), medium (solar absorptance 0.475 - 0.70)

GLAZING REQUIREMENTS

Windows and Glazed Doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no. Orientation Area of glass inc. frame (m²) Overshadowing Height (m) Distance (m) Shading device Frame and glass type

W1 NE 2.04 0 0 eave/verandah/pergola/balcony >=900 mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D1 NE 14.56 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D2 NE 26 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W2 SE 13.52 0 0 none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D3 SE 1.5 0 0 none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D5 NE 1.92 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D6 NE 45.36 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W3 SE 14.04 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W4 SE 3 0 0 none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D7 SW 11.57 0 0 none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D8 SW 2.7 0 0 none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D9 SW 8.37 0 0 none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W5 SW 2.43 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D10 SW 8.13 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W6 NW 2.21 1.6 2 awning (adjustable) >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D11 NW 2.16 2.7 2 awning (adjustable) >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W7 NW 1.21 5 2 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W8 NW 4.27 5 2 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W9 NE 6.08 0 0 awning (fixed) >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D11 NE 12.74 0 0 awning (fixed) >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W10 SE 4.94 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W11 SE 4.94 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)








D13 SW 12.74 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W12 NW 1.66 0 0 awning (fixed) >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

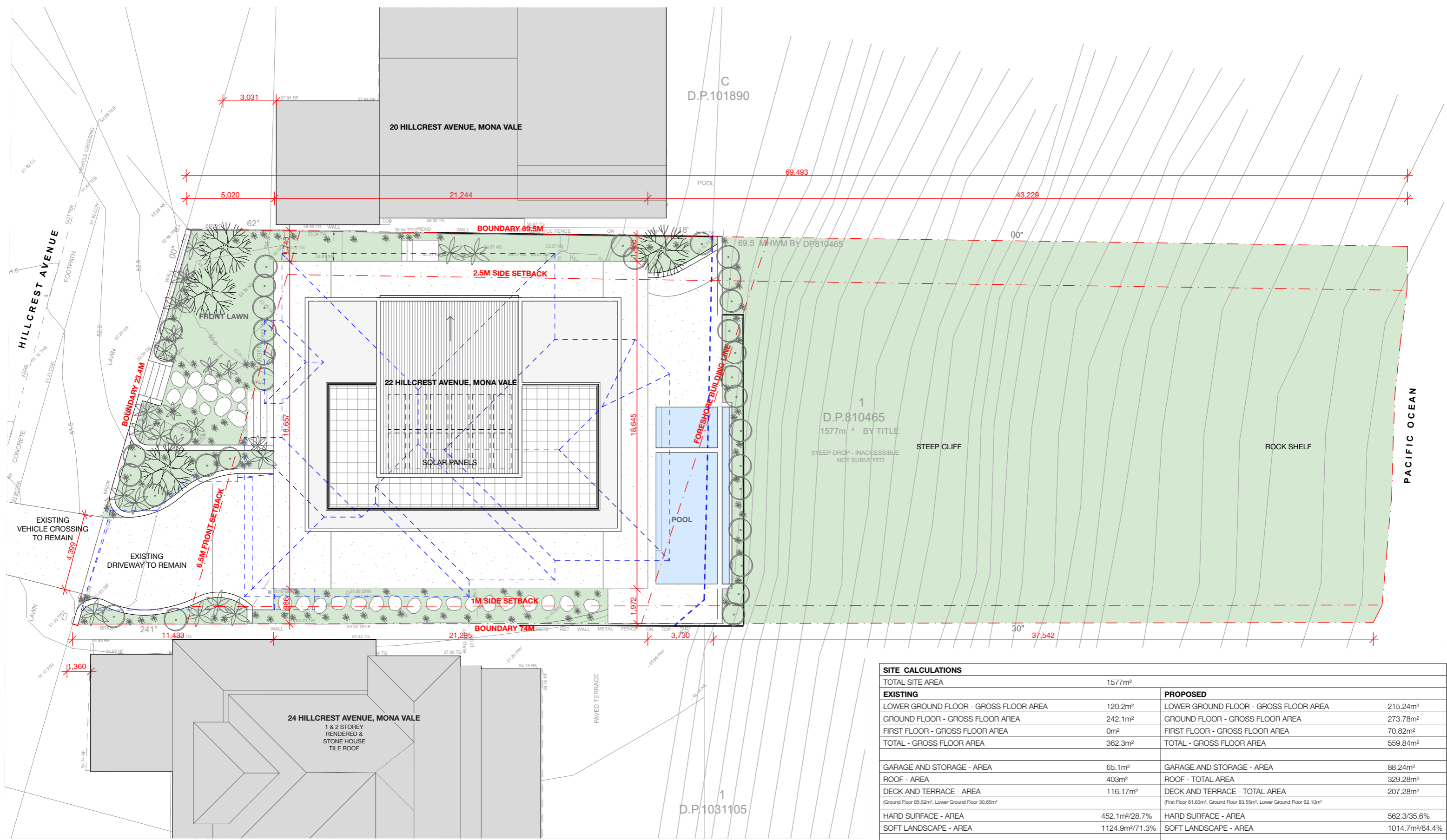
W13 NW 1.66 0 0 awning (fixed) >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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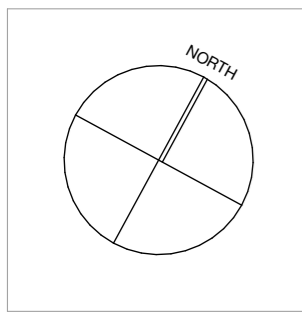
	DENOTES EXISTING STRUCTURE TO BE RETAINED
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	DENOTES AREA OF SWIMMING POOL
	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED
	DENOTES PROPOSED ADDITION
	DENOTES PROPOSED ALTERATIONS

<p>PROJECT: ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING</p>	<p>PROJECT STAGE: DEVELOPMENT APPLICATION</p>	<p>DATE OF ISSUE: 20/11/24</p>	<p>rama</p> <p>nominated architect Thomas Martin nsw reg. #10383 6 / 20 AVALON PARADE, AVALON BEACH, NSW 2107 www.ramarchitects.com e. info@ramarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
<p>CLIENT: ZLAT AND BECC JOVANOV</p>	<p>DRAWING TITLE: COVER & SITE INFORMATION: COVER PAGE & DRAWING SCHEDULES</p>	<p>DRAWING NO.: DA-000</p>	
<p>LOCATION: 22 HILLCREST AVENUE, MONA VALE, NSW</p>	<p>SCALE: @ A3</p>	<p>REVISION: 01</p>	



SITE PLAN A3 @1:200

SITE CALCULATIONS			
TOTAL SITE AREA	1577m ²		
EXISTING	PROPOSED		
LOWER GROUND FLOOR - GROSS FLOOR AREA	120.2m ²	LOWER GROUND FLOOR - GROSS FLOOR AREA	215.24m ²
GROUND FLOOR - GROSS FLOOR AREA	242.1m ²	GROUND FLOOR - GROSS FLOOR AREA	273.78m ²
FIRST FLOOR - GROSS FLOOR AREA	0m ²	FIRST FLOOR - GROSS FLOOR AREA	70.82m ²
TOTAL - GROSS FLOOR AREA	362.3m ²	TOTAL - GROSS FLOOR AREA	559.84m ²
GARAGE AND STORAGE - AREA	65.1m ²	GARAGE AND STORAGE - AREA	88.24m ²
ROOF - AREA	403m ²	ROOF - TOTAL AREA	329.28m ²
DECK AND TERRACE - AREA	116.17m ²	DECK AND TERRACE - TOTAL AREA	207.28m ²
<small>(Ground Floor 85.52m², Lower Ground Floor 30.65m²)</small>		<small>(First Floor 61.63m², Ground Floor 83.55m², Lower Ground Floor 62.10m²)</small>	
HARD SURFACE - AREA	452.1m ² /28.7%	HARD SURFACE - AREA	562.3/35.6%
SOFT LANDSCAPE - AREA	1124.9m ² /71.3%	SOFT LANDSCAPE - AREA	1014.7m ² /64.4%
POOL - VOLUME	0m ³	POOL - VOLUME (Pool 47.16m ³ , Spa 9.44m ³)	56.6m ³



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 ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE, MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 COVER & SITE INFORMATION: SITE PLAN

SCALE:
 1:200 @ A3

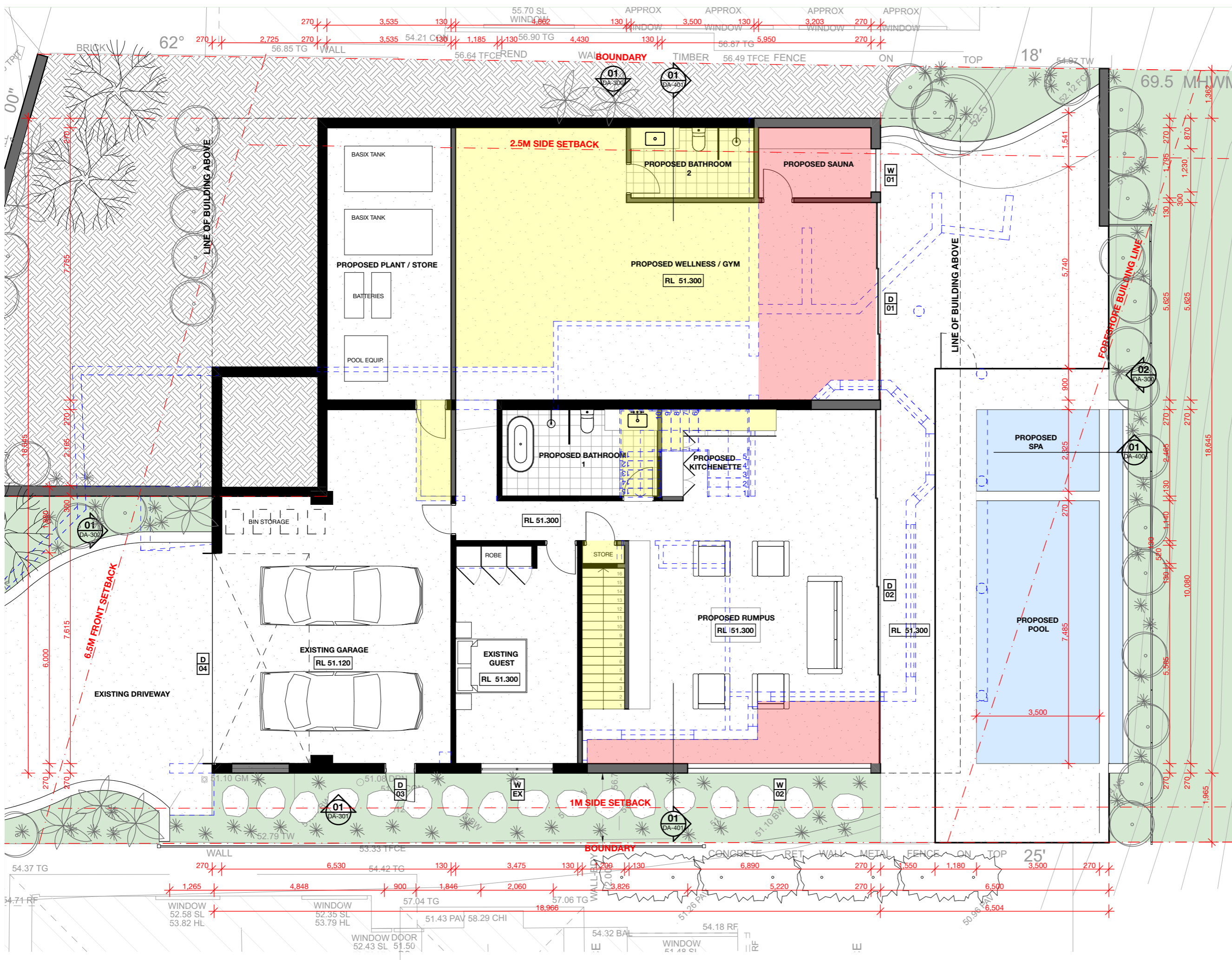
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LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 GENERAL ARRANGEMENT PLANS: LOWER GROUND FLOOR

SCALE:
 1:100 @ A3

DATE OF ISSUE:
 20/11/24

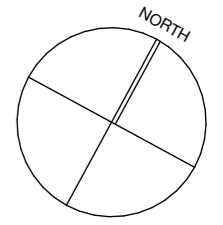
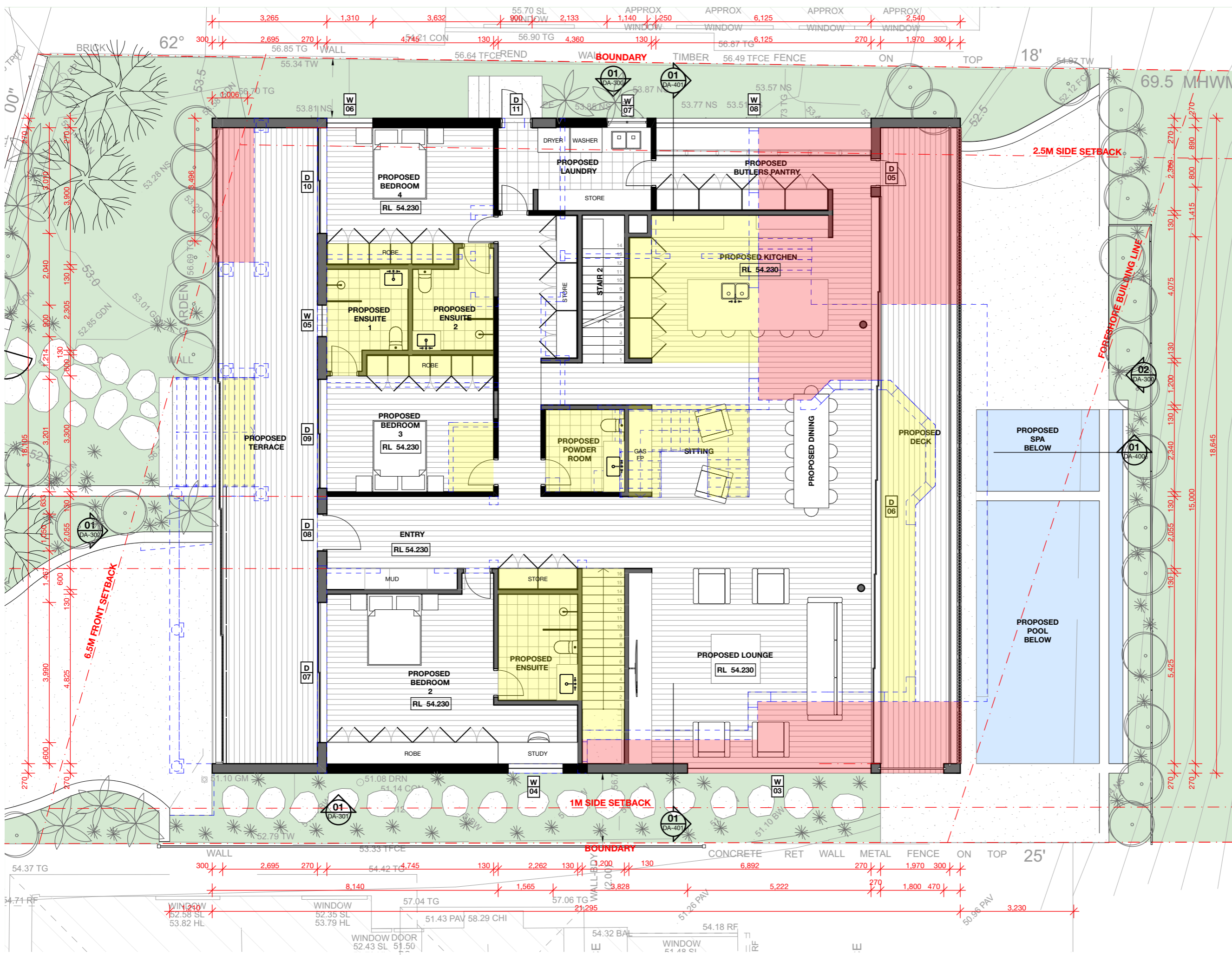
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LOWER GROUND FLOOR A3 @1:100



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 22 HILLCREST AVENUE,
 MONA VALE, NSW

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 DEVELOPMENT APPLICATION

DRAWING TITLE:
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SCALE:
 1:100 @ A3

DATE OF ISSUE:
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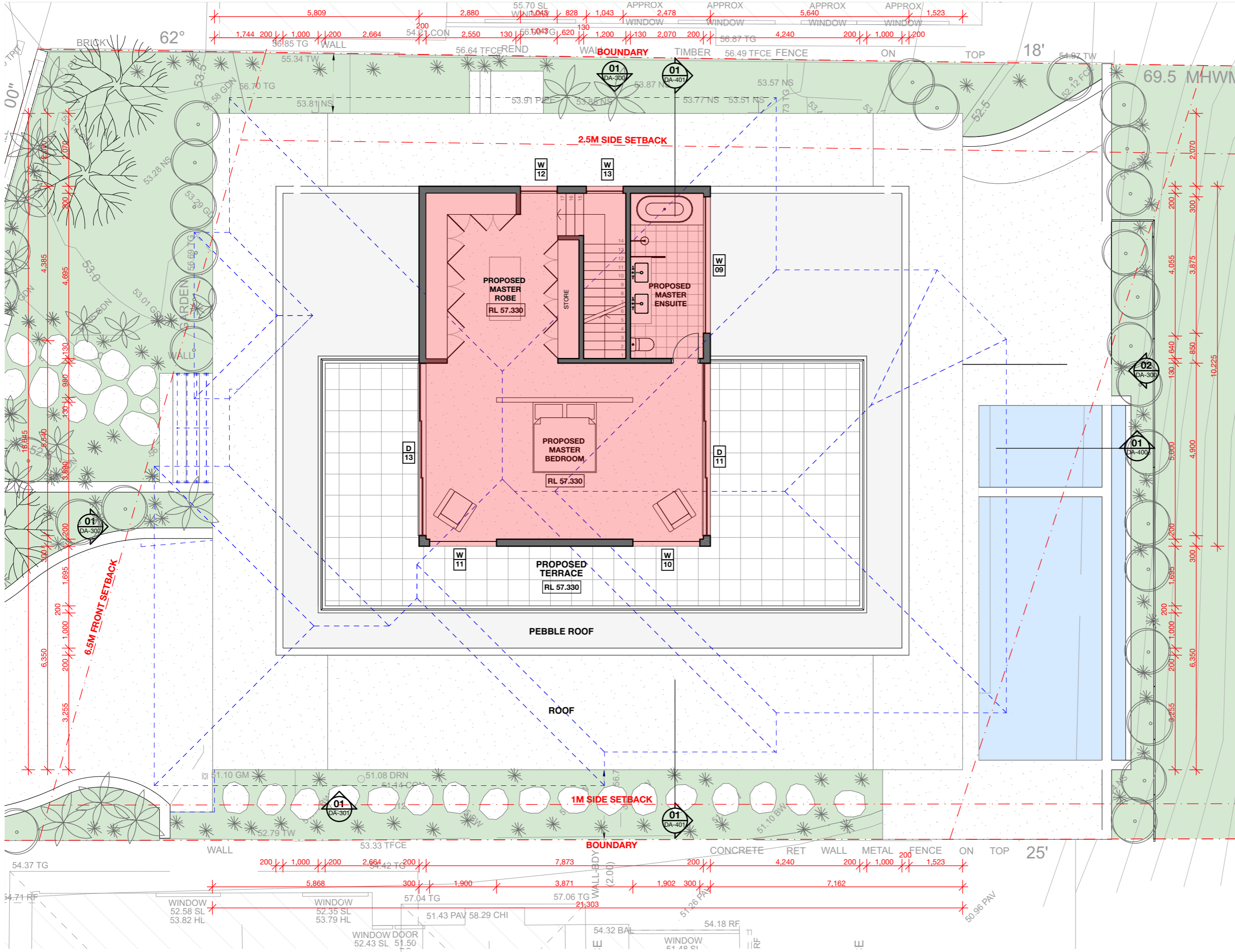
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GROUND FLOOR **A3 @1:100**



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LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 GENERAL ARRANGEMENT PLANS: FIRST FLOOR

SCALE:
 1:100 @ A3

DATE OF ISSUE:
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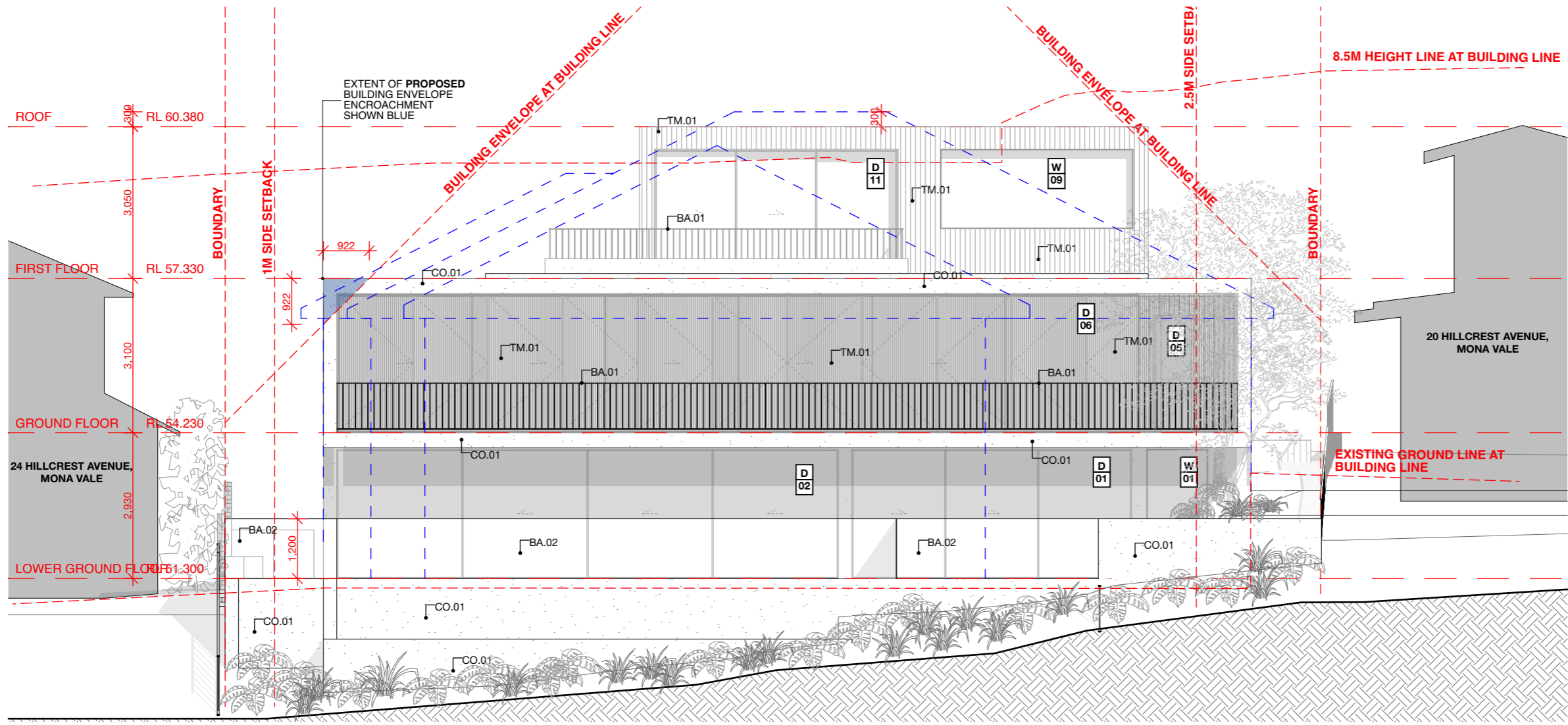
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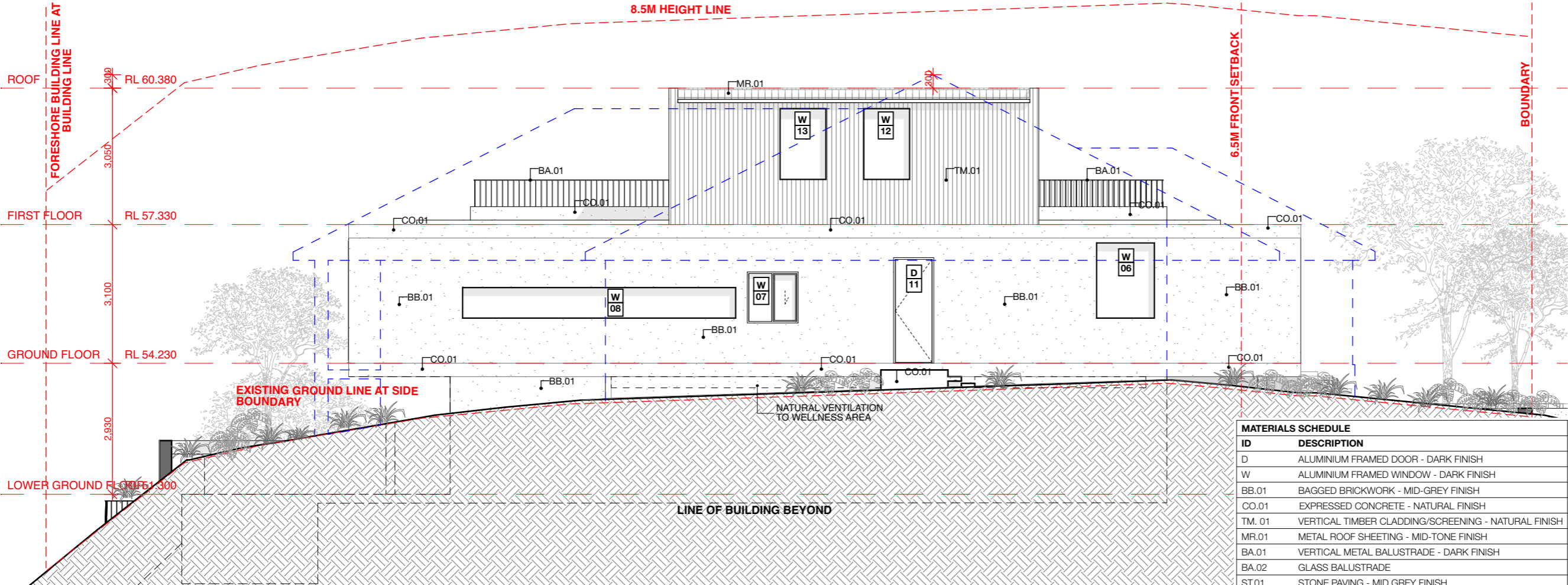
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FIRST FLOOR A3 @1:100



EAST ELEVATION A3 @1:100



NORTH ELEVATION A3 @1:100

MATERIALS SCHEDULE	
ID	DESCRIPTION
D	ALUMINIUM FRAMED DOOR - DARK FINISH
W	ALUMINIUM FRAMED WINDOW - DARK FINISH
BB.01	BAGGED BRICKWORK - MID-GREY FINISH
CO.01	EXPRESSED CONCRETE - NATURAL FINISH
TM. 01	VERTICAL TIMBER CLADDING/SCREENING - NATURAL FINISH
MR.01	METAL ROOF SHEETING - MID-TONE FINISH
BA.01	VERTICAL METAL BALUSTRADE - DARK FINISH
BA.02	GLASS BALUSTRADE
ST.01	STONE PAVING - MID GREY FINISH

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LOCATION:
 22 HILLCREST AVENUE, MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 ELEVATIONS: SHEET 01

SCALE:
 1:100 @ A3

DATE OF ISSUE:
 20/11/24

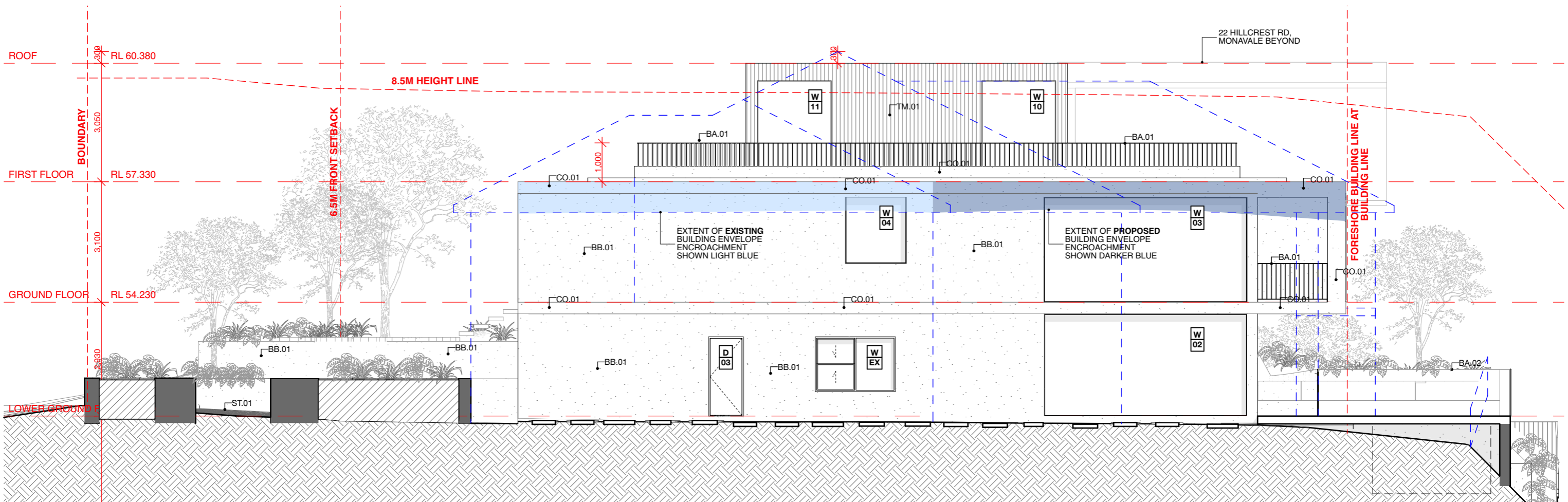
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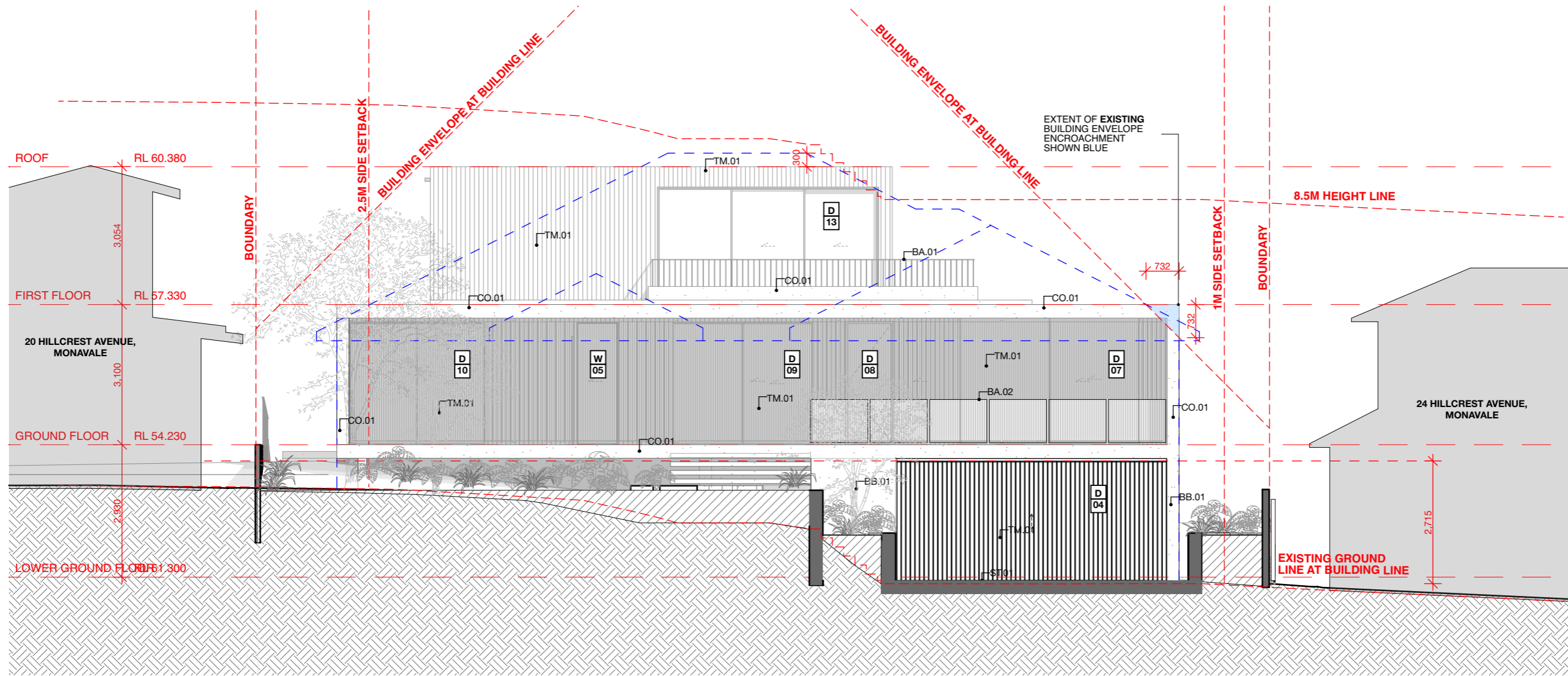
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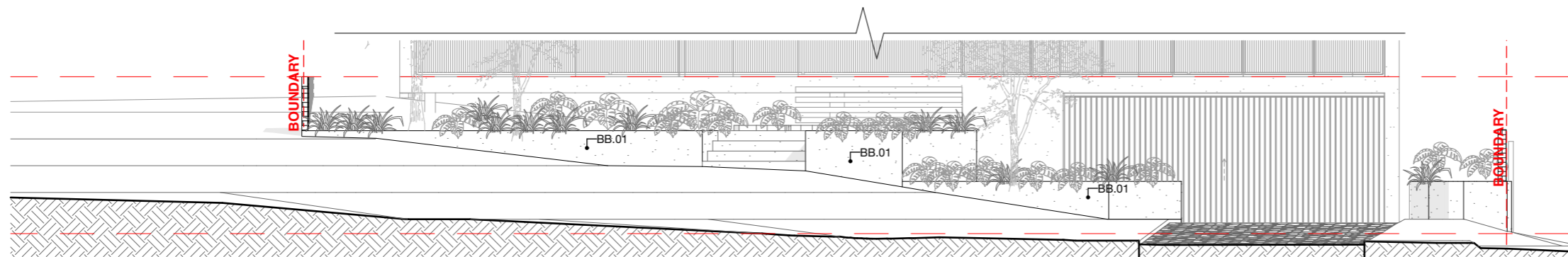
SOUTH ELEVATION A3 @1:100

MATERIALS SCHEDULE	
ID	DESCRIPTION
D	ALUMINIUM FRAMED DOOR - DARK FINISH
W	ALUMINIUM FRAMED WINDOW - DARK FINISH
BB.01	BAGGED BRICKWORK - MID-GREY FINISH
CO.01	EXPRESSED CONCRETE - NATURAL FINISH
TM. 01	VERTICAL TIMBER CLADDING/SCREENING - NATURAL FINISH
MR.01	METAL ROOF SHEETING - MID-TONE FINISH
BA.01	VERTICAL METAL BALUSTRADE - DARK FINISH
BA.02	GLASS BALUSTRADE
ST.01	STONE PAVING - MID GREY FINISH

<p>KEY:</p> <ul style="list-style-type: none"> DENOTES EXISTING STRUCTURE TO BE RETAINED DENOTES PROPOSED NEW STRUCTURE DENOTES AREA OF SOFT LANDSCAPING DENOTES AREA OF SWIMMING POOL DENOTES PROPOSED ADDITION DENOTES PROPOSED ALTERATIONS <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE N.C.C. 2022 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</small></p>	<p>PROJECT: ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING</p> <p>CLIENT: ZLAT AND BECC JOVANOV</p> <p>LOCATION: 22 HILLCREST AVENUE, MONA VALE, NSW</p>	<p>PROJECT STAGE: DEVELOPMENT APPLICATION</p> <p>DRAWING TITLE: ELEVATIONS: SHEET 02</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 20/11/24</p> <p>DRAWING NO. DA-301</p> <p>REVISION: 01</p>	<p style="text-align: center; font-size: 24px; font-weight: bold; letter-spacing: 0.5em;">r a m a</p> <p style="font-size: 8px; text-align: center;"> <small>nominated architect Thomas Martin nsw reg. #10383 6 / 20 AVALON PARADE, AVALON BEACH, NSW 2107 www.ramaarchitects.com e. info@ramaarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small> </p>
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WEST ELEVATION A3 @1:100



FRONT FENCE ELEVATION A3 @1:100

MATERIALS SCHEDULE	
ID	DESCRIPTION
D	ALUMINIUM FRAMED DOOR - DARK FINISH
W	ALUMINIUM FRAMED WINDOW - DARK FINISH
BB.01	BAGGED BRICKWORK - MID-GREY FINISH
CO.01	EXPRESSED CONCRETE - NATURAL FINISH
TM. 01	VERTICAL TIMBER CLADDING/SCREENING - NATURAL FINISH
MR.01	METAL ROOF SHEETING - MID-TONE FINISH
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	DENOTES PROPOSED NEW STRUCTURE
	DENOTES AREA OF SOFT LANDSCAPING
	DENOTES AREA OF SWIMMING POOL
	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED
	DENOTES PROPOSED ADDITION
	DENOTES PROPOSED ALTERATIONS

PROJECT:
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CLIENT:
 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 ELEVATIONS: SHEET 02

SCALE:
 1:100 @ A3

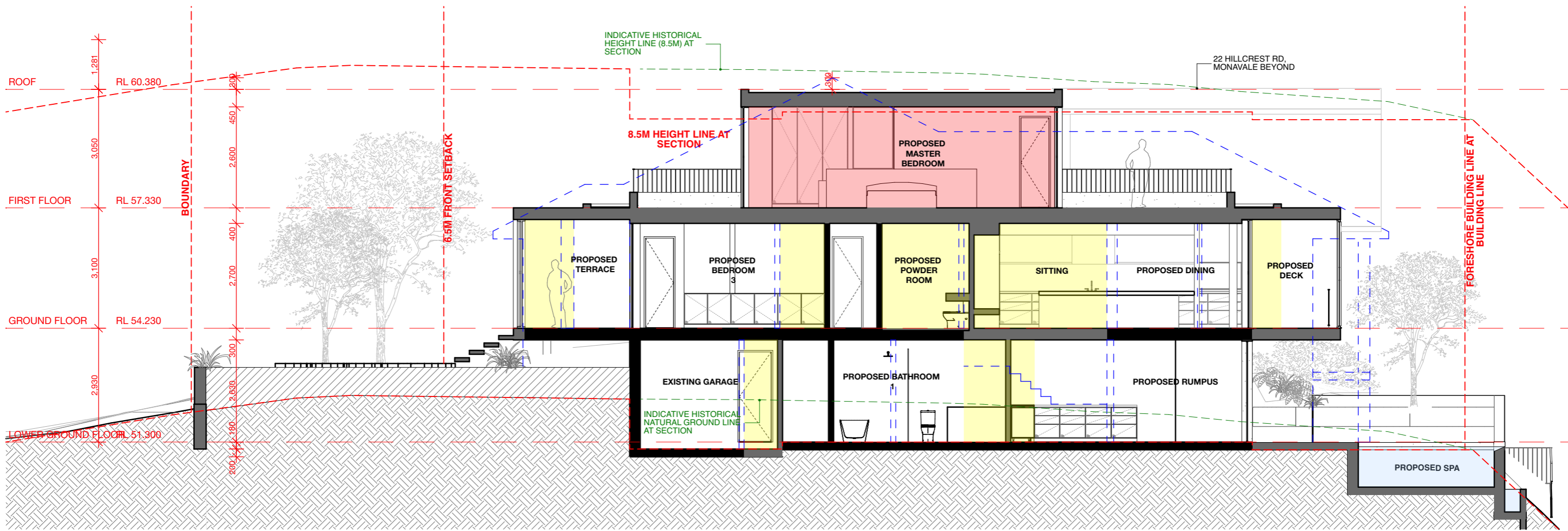
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SECTION A **1:100**

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CLIENT:
 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SECTIONS: SHEET 01

SCALE:
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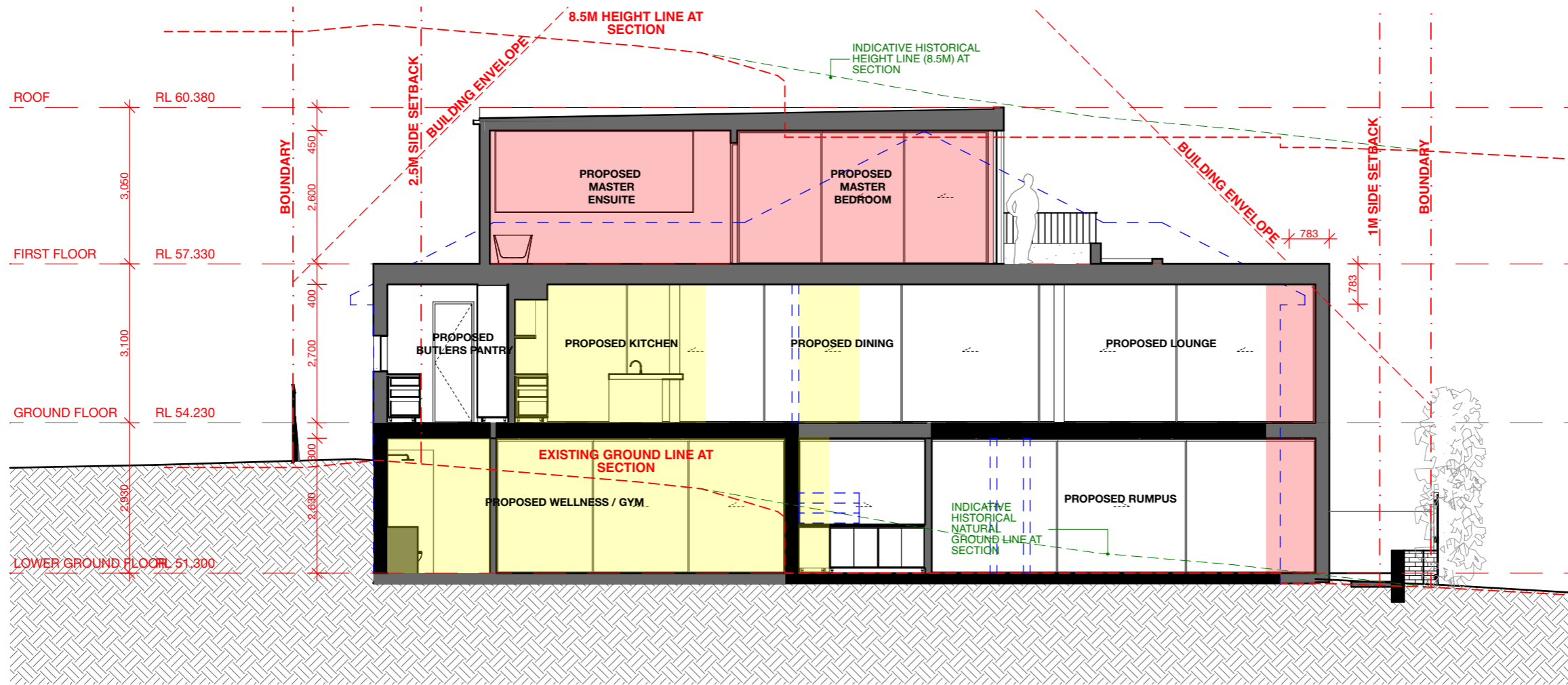
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 20/11/24

DRAWING NO.:
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SECTION B 1:100

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 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SECTIONS: SHEET 02

SCALE:
 1:100 @ A3

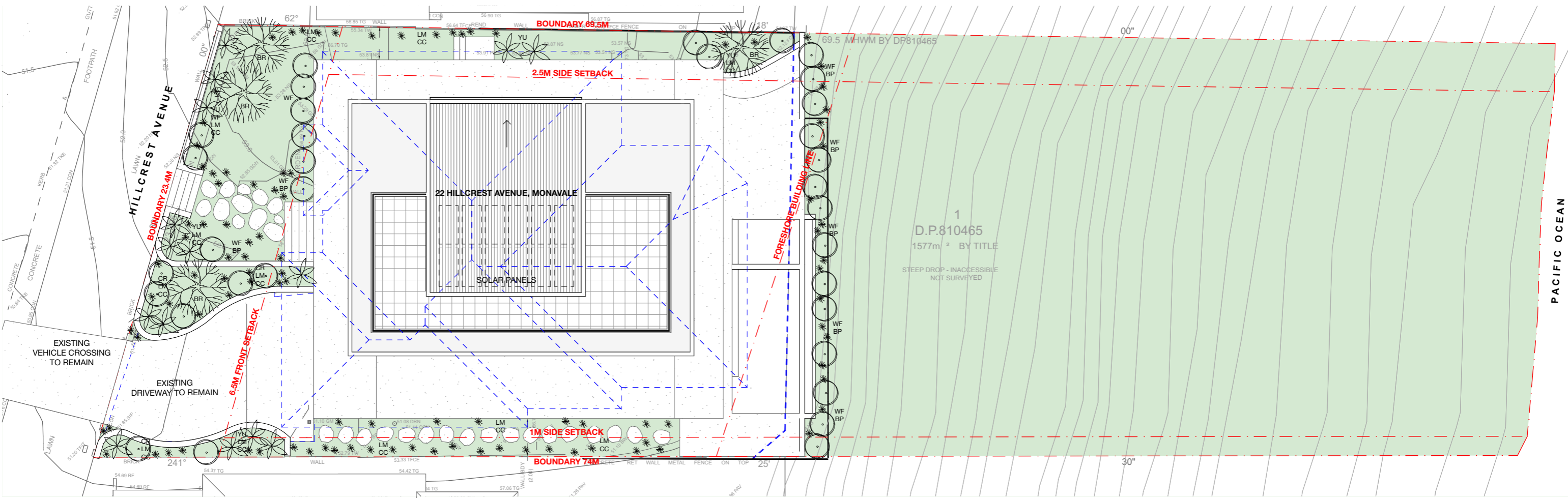
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LANDSCAPE PLAN A3 @1:200

LANDSCAPE LEGEND	
ID	DESCRIPTION
	PROPOSED TREE
	PROPOSED SHRUBS AND ACCENTS
	PROPOSED GRASSES AND GROUNDS COVERS
	PROPOSED LANDSCAPED AREA
	PROPOSED POOL AREA

PLANT SCHEDULE				
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
<u>TREES</u>				
BR	4	BANKSIA ROBUR	SWAMP BANKSIA	75L
<u>SHRUBS/ACCENTS</u>				
WF	22	WESTRINGRIA FRUITCOSA	COASTAL ROSEMARY	300MM
YU	14	YUKKA ELEPHANTIPES	YUKKA	500MM
CR	8	CORREA ALBA	WHITE NATIVE FUSCHIA	200MM
<u>GRASSES/GROUND COVERS</u>				
BP	34	BANKSIA SPINULOSA	BIRTHDAY CANDLES BANKSIA	150MM
CC	42	CASUARINA GLAUCA	COUSIN IT GRASS	150MM
LM	54	LIROPE 'EVERGREEN GIANT'	GIANT MONDO GRASS	150MM

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION
All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the TPZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunneling within the TPZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use handsaw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL
Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL
Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting. Spread topsoil to the following typical depths:
Planting beds: 300mm
Grass areas: 100mm

PLANTING
trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball, break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole.
shrubs/ground covers: excavate a hole big enough for the plant plus 100mm all round, provide plants which have large healthy root systems, with no evidence of root curl, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species or variety; and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site. Trees: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified. Label at least one plant of each species or variety in a batch using a durable, readable tag, do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. In other than sandy soils, suspend excavation when the soil is wet, or during frost periods. when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball, ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the plant root ball level with the finished surface of the surrounding soil, or 75mm below paving level to allow placement of mulch, backfill with topsoil mixture, lightly tamp and water to eliminate air pockets, ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container. Thoroughly water plants before planting and immediately after planting. In planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.

MULCHING
All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks. Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

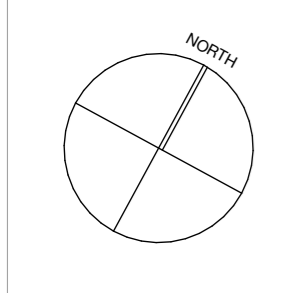
FERTILISER
Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

DRAINAGE
Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS
Retaining walls to be constructed as per Engineer's details.

CONCRETE WORKS
All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mixed concrete to AS1379 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE
Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseeding, reurfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.



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	DENOTES AREA OF SWIMMING POOL
	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED
	DENOTES PROPOSED ADDITION
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PROJECT:
ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
ZLAT AND BECC JOVANOV

LOCATION:
22 HILLCREST AVENUE, MONA VALE, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
SITE STRATEGY PLANS: LANDSCAPE CONCEPT PLANS

SCALE:
1:200 @ A3

DATE OF ISSUE:
20/11/24

DRAWING NO.:
DA-500

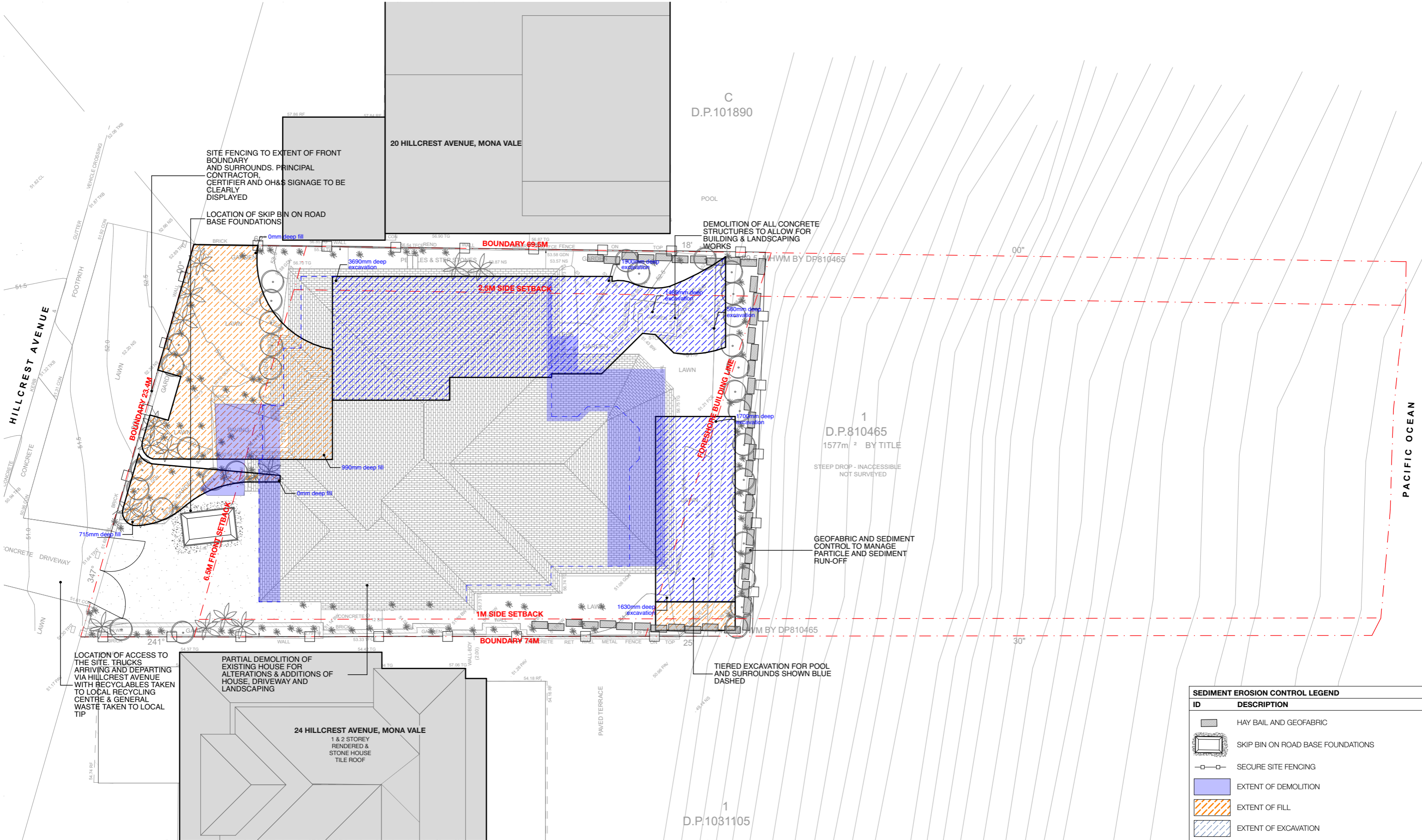
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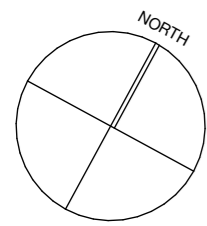
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SEDIMENT CONTROL & EROSION PLAN A3 @1:200



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CLIENT:
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LOCATION:
 22 HILLCREST AVENUE, MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SITE STRATEGY PLANS: WASTE MANAGEMENT, EROSION & SEDIMENT CONTROL PLAN

SCALE:
 1:200 @ A3

DATE OF ISSUE:
 20/11/24

DRAWING NO.
 DA-502

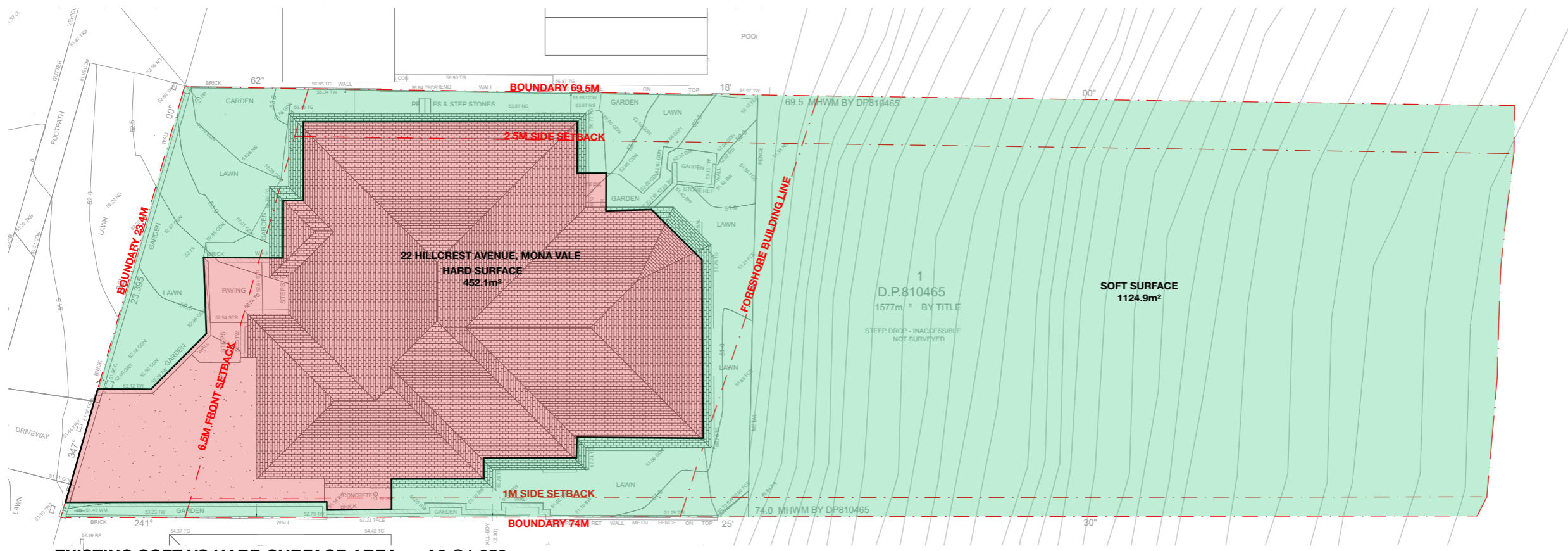
REVISION:
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SEDIMENT EROSION CONTROL LEGEND

ID	DESCRIPTION
	HAY BAIL AND GEOFABRIC
	SKIP BIN ON ROAD BASE FOUNDATIONS
	SECURE SITE FENCING
	EXTENT OF DEMOLITION
	EXTENT OF FILL
	EXTENT OF EXCAVATION

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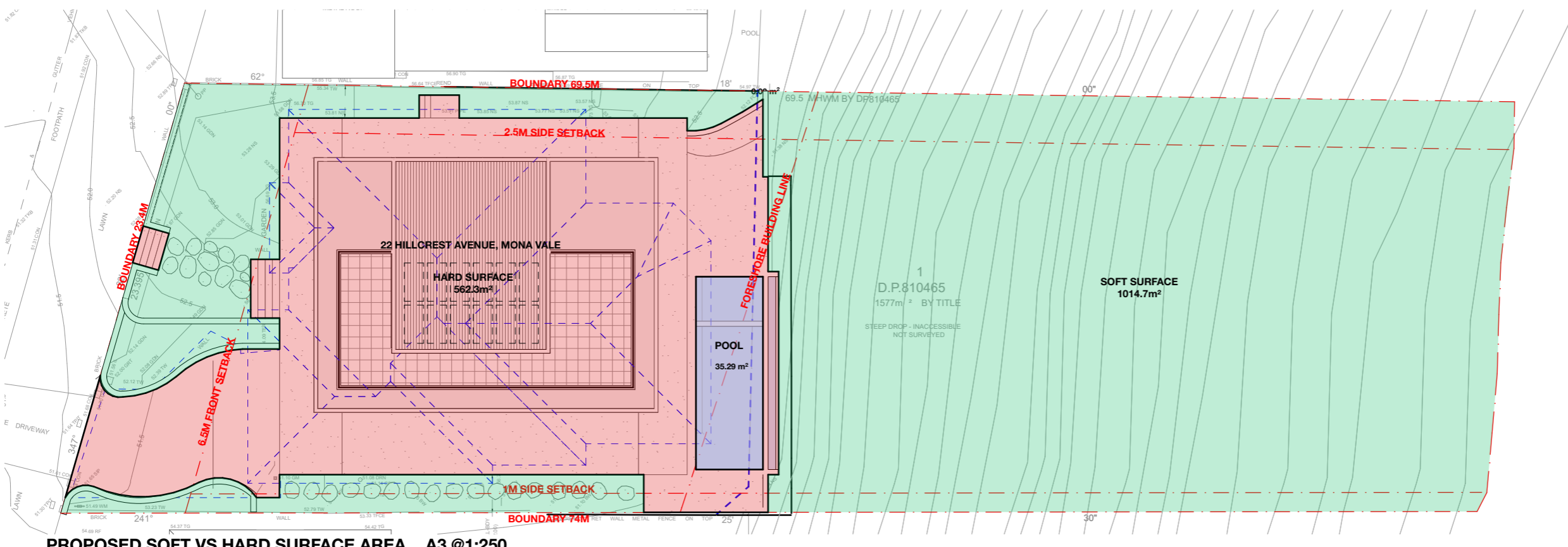
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EXISTING SOFT VS HARD SURFACE AREA A3 @1:250

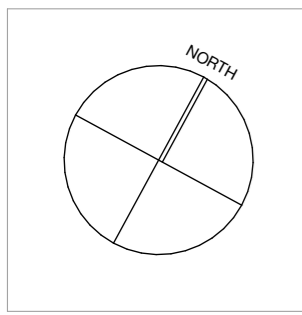
SOFT AND HARD LANDSCAPE LEGEND	
ID	DESCRIPTION
	PROPOSED SOFT LANDSCAPED AREA
	PROPOSED HARD SURFACE AREA
	PROPOSED PERMEABLE AREA

EXISTING LANDSCAPE CALCULATIONS	
TOTAL SITE	1577m ²
LANDSCAPED OPEN SPACE	1124.9m ² or 71.3%
HARD SURFACE	452.1m ² or 28.7%



PROPOSED SOFT VS HARD SURFACE AREA A3 @1:250

PROPOSED LANDSCAPE CALCULATIONS	
TOTAL SITE	1577m ²
LANDSCAPED OPEN SPACE	1014.7m ² or 64.4%
HARD SURFACE (INCL. POOL)	562.3m ² or 35.6%
POOL AREA	35.29m ²



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LOCATION:
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 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SITE STRATEGY PLANS: HARD & SOFT LANDSCAPE CALCULATIONS

SCALE:
 1:250 @ A3

DATE OF ISSUE:
 20/11/24

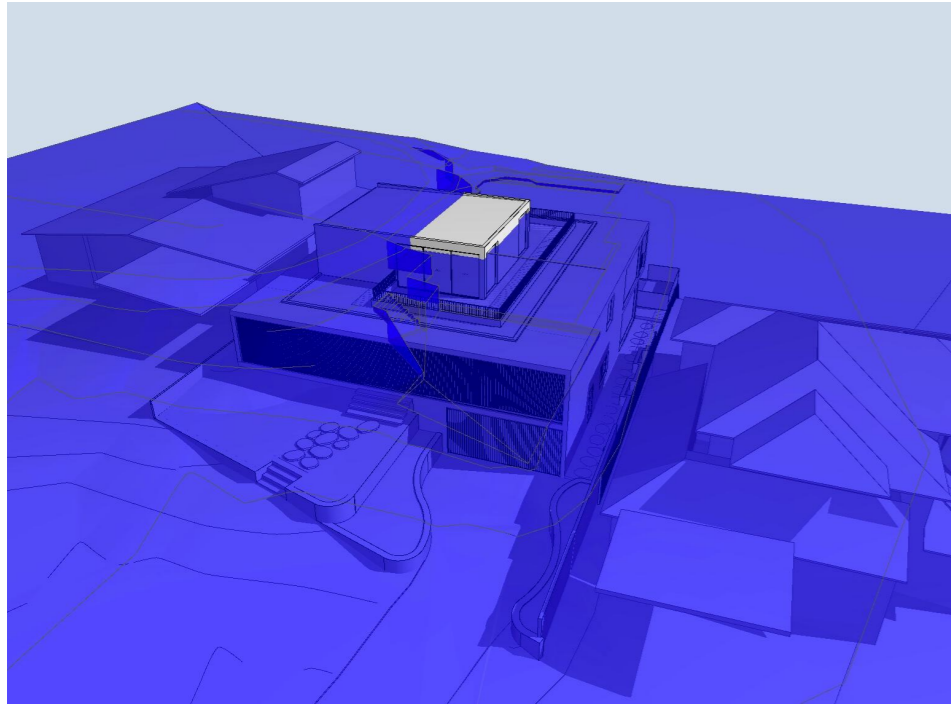
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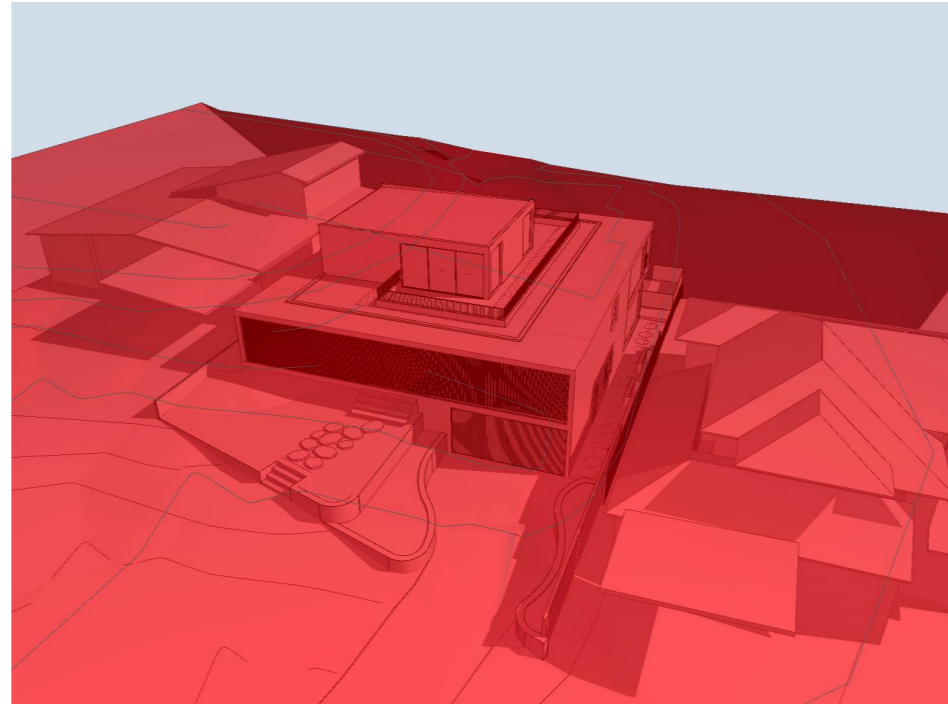
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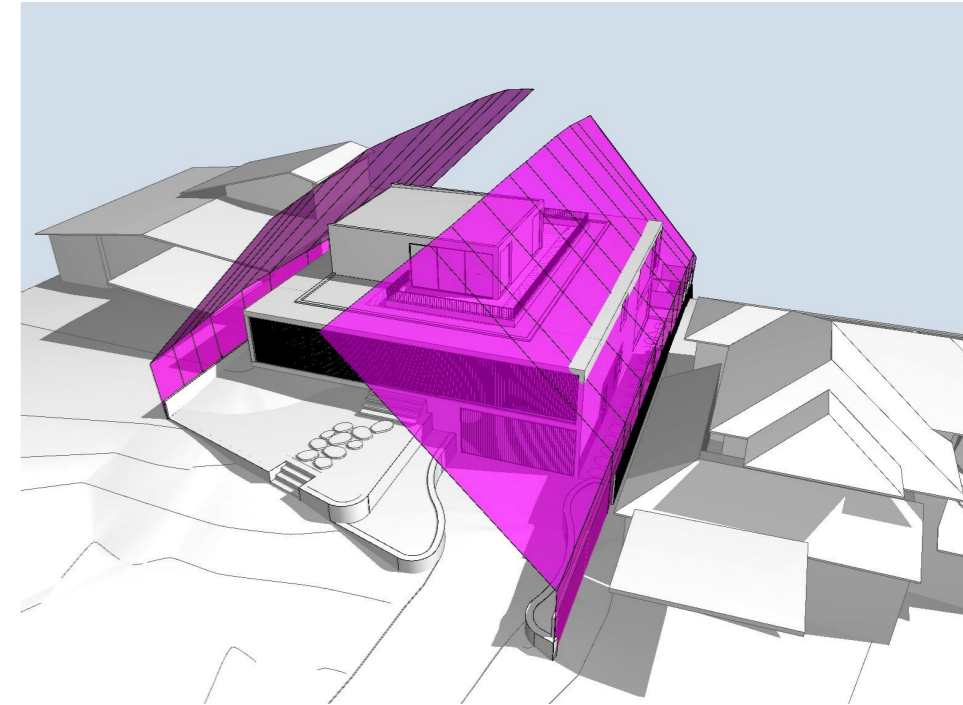
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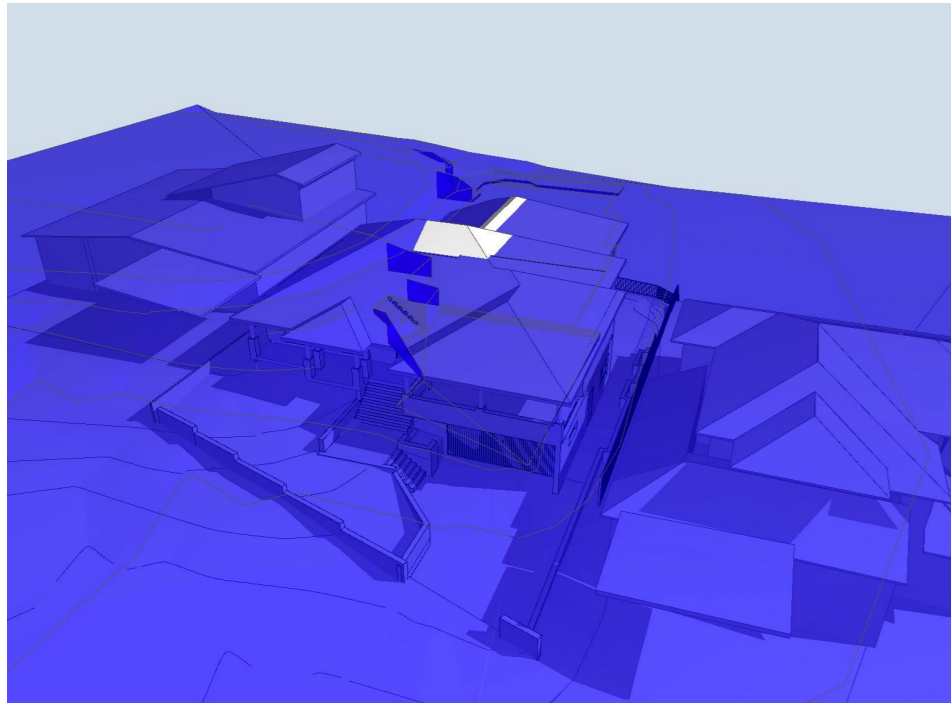
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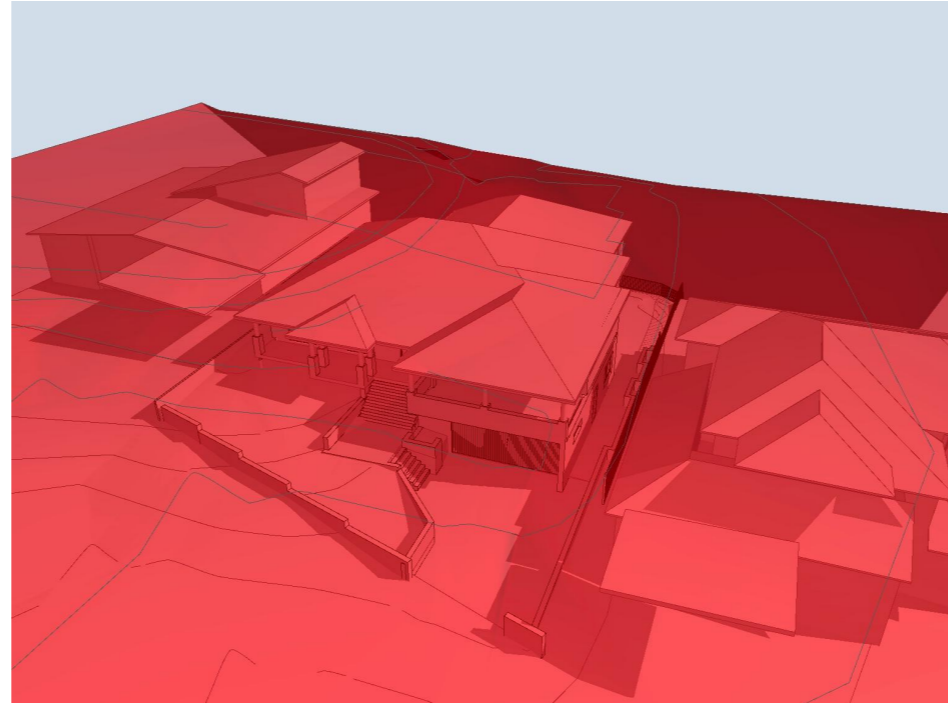
W - NATURAL GROUND LINE HEIGHT LINE - PROPOSED



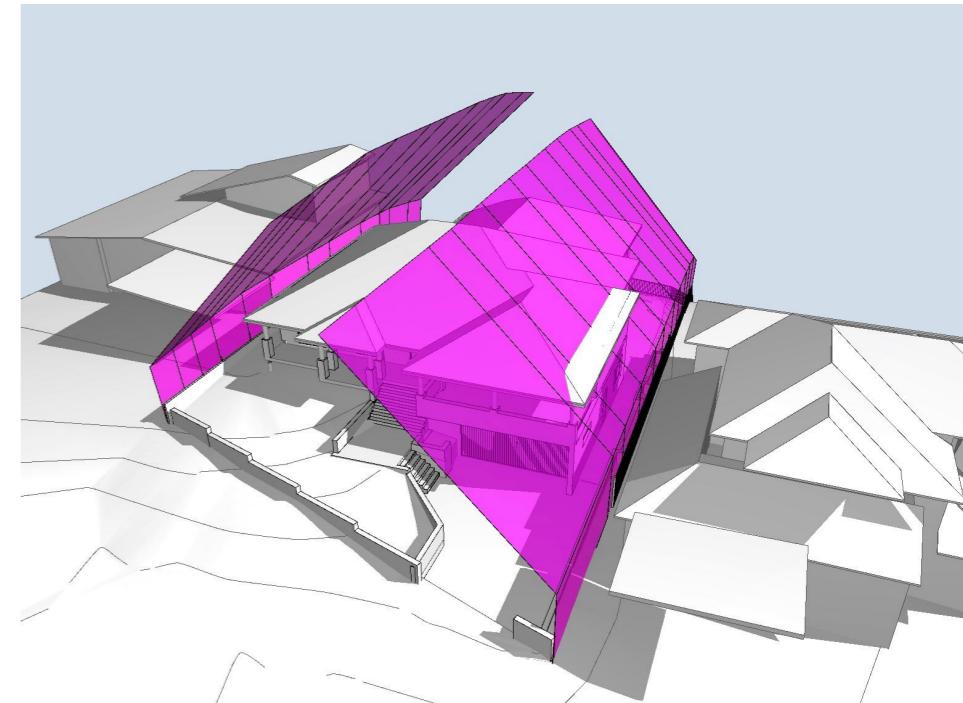
W - BUILDING ENVELOPE - PROPOSED



W - EXISTING GROUND LINE HEIGHT LINE - EXISTING



W - NATURAL GROUND LINE HEIGHT LINE - EXISTING



W - BUILDING ENVELOPE - EXISTING

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LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SITE STRATEGY PLANS: BUILDING BLANKETS

SCALE:
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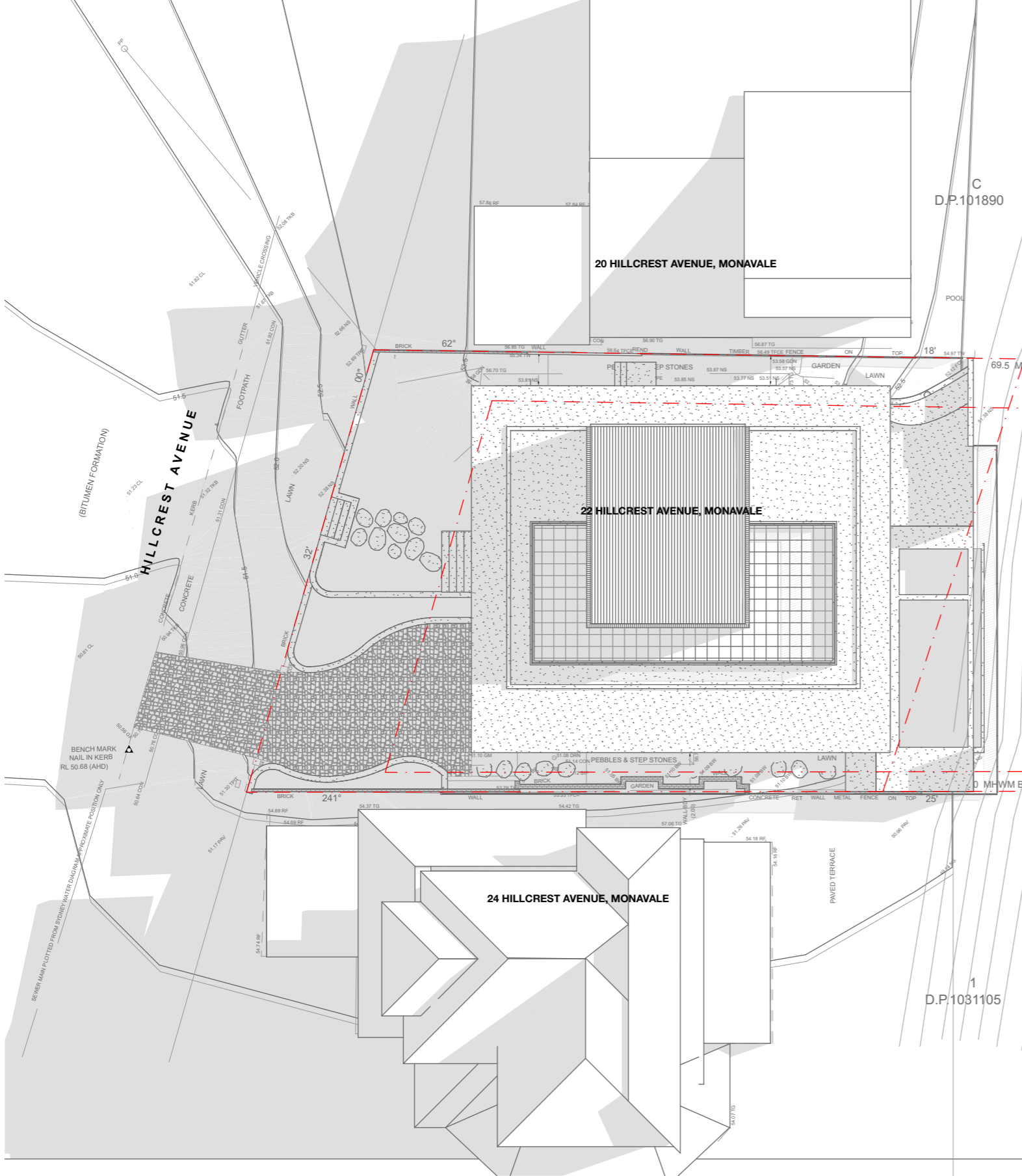
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 20/11/24

DRAWING NO.:
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REVISION:
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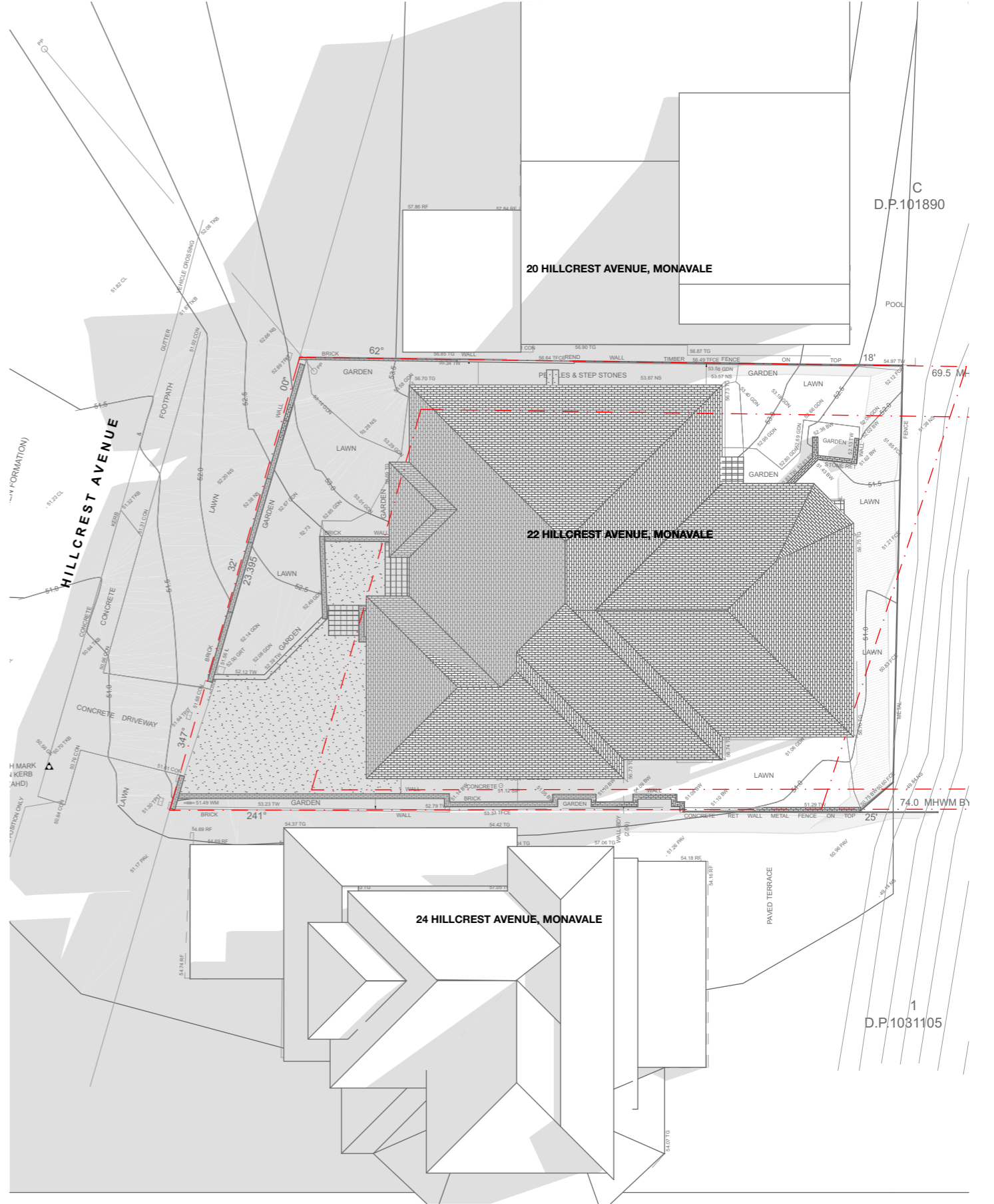
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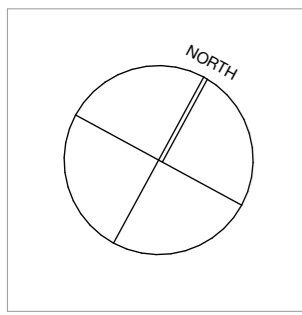
21 JUN at 0900h - PROPOSED

A3 @1:250



21 JUN at 0900h - EXISTING

A3 @1:250



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 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS
 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

- KEY:**
- DENOTES EXISTING STRUCTURE TO BE RETAINED
 - DENOTES PROPOSED NEW STRUCTURE
 - DENOTES AREA OF SOFT LANDSCAPING
 - DENOTES AREA OF SWIMMING POOL
 - DENOTES EXISTING STRUCTURE TO BE DEMOLISHED
 - DENOTES PROPOSED ADDITION
 - DENOTES PROPOSED ALTERATIONS

PROJECT:
 ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE, MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 9am

SCALE:
 1:250 @ A3

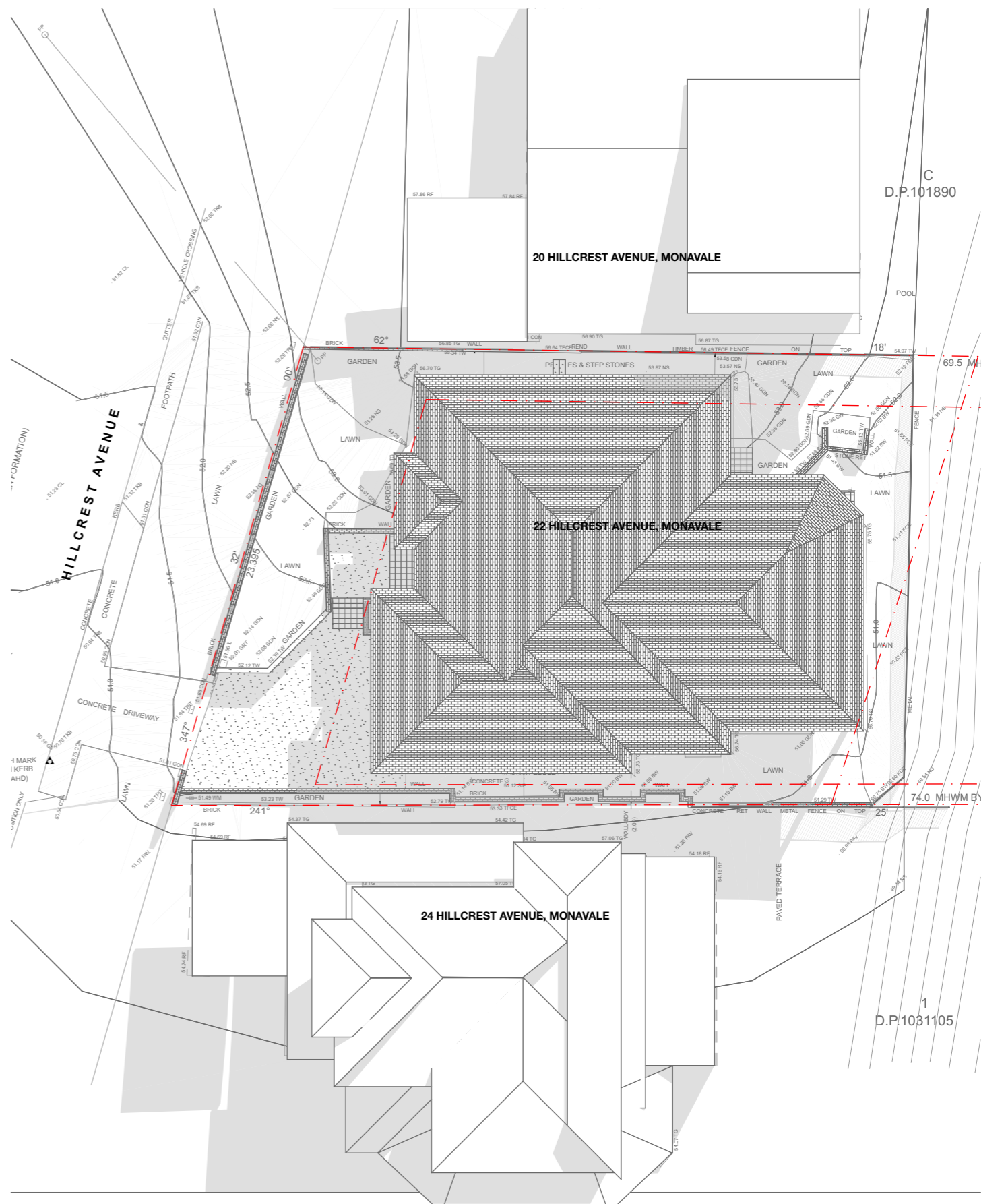
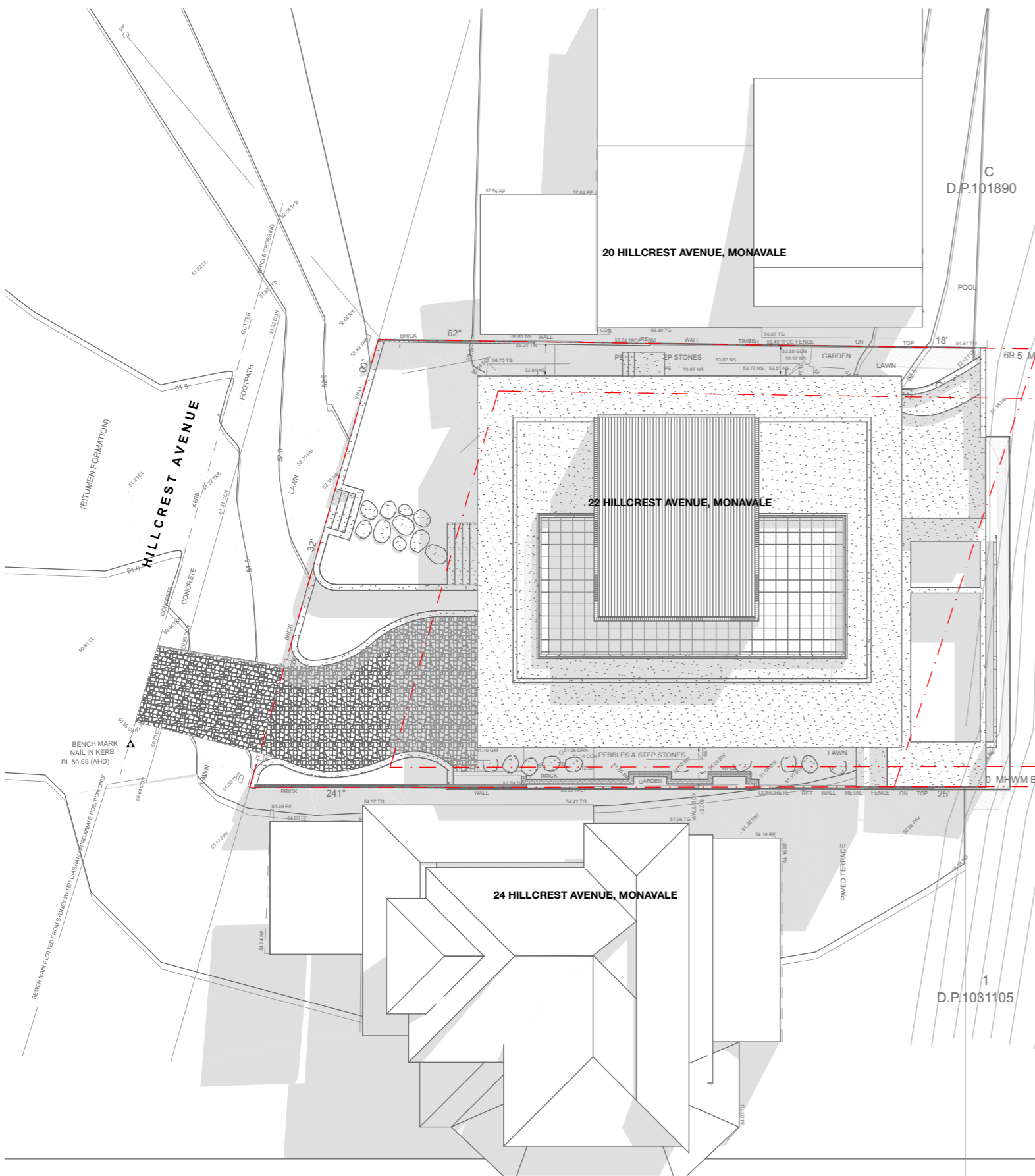
DATE OF ISSUE:
 20/11/24

DRAWING NO.:
 DA-900

REVISION:
 01

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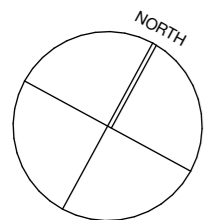


21 JUN at 1200h - PROPOSED

A3 @1:250

21 JUN at 1200h - EXISTING

A3 @1:250



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 - DENOTES PROPOSED ALTERATIONS

PROJECT:
 ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM
 12pm

SCALE:
 1:250 @ A3

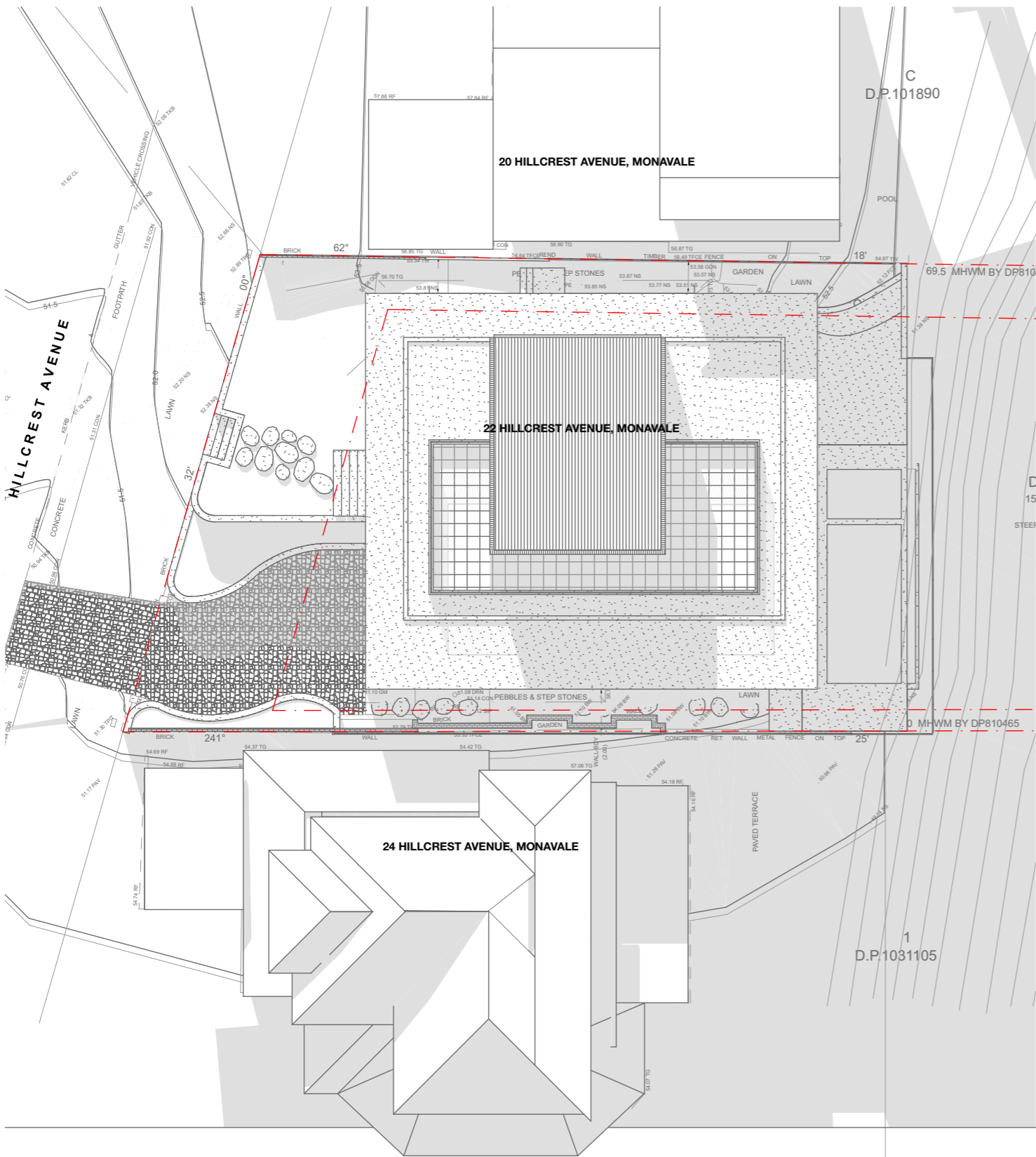
DATE OF ISSUE:
 20/11/24

DRAWING NO.
 DA-901

REVISION:
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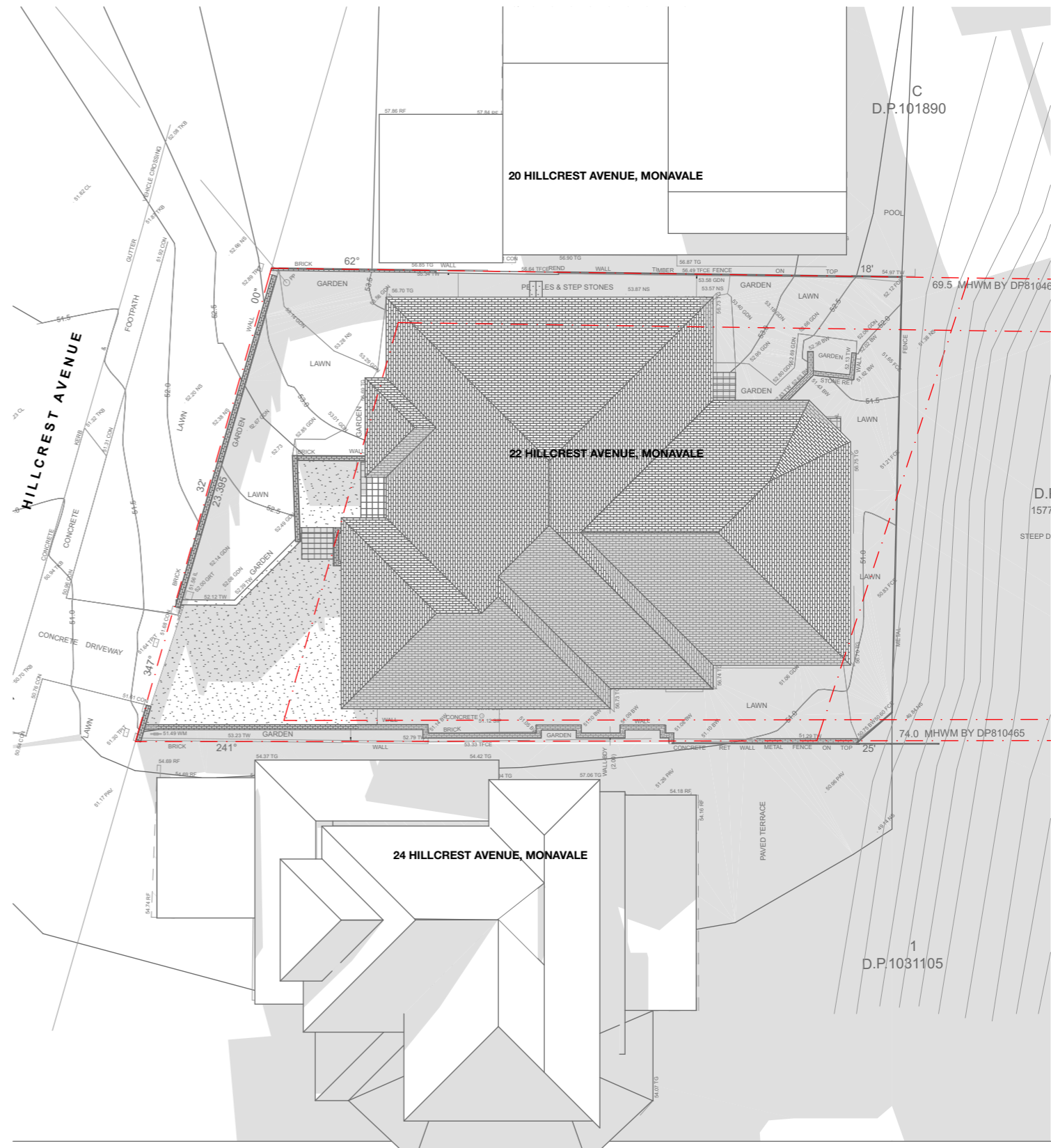
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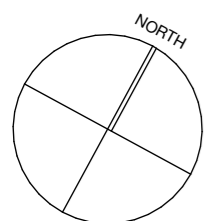
21 JUN at 1500h - PROPOSED

A3 @1:250



21 JUN at 1500h - EXISTING

A3 @1:250



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PROJECT:
 ALTERATIONS AND ADDITIONS TO EXISTING DWELLING, INCLUDING NEW SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 ZLAT AND BECC JOVANOV

LOCATION:
 22 HILLCREST AVENUE,
 MONA VALE, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM
 3pm

SCALE:
 1:250 @ A3

DATE OF ISSUE:
 20/11/24

DRAWING NO.
 DA-902

REVISION:
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