

STATEMENT OF ENVIRONMENTAL EFFECTS

PROJECT
**SECTION 4.55(1A) PROPOSED
MODIFICATIONS ON APPROVED DA/2020/0716
FOR INSTALLATION OF FIXED PRIVACY LOUVRE
FOR THE APPROVED SECONDARY DWELLING**

PROPERTY
1 GILLES CRESCENT, BEACON HILL

CLIENT
MR. JASON EMMELKAMP

JOB NO 19-103

DATED 28 September 2020

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1.0 INTRODUCTION

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed section 4.55(1A) of the approved DA/2020/0716 against DA condition 6 for a Secondary dwelling the Proprietors wish to construct on the property at 1 Gilles Crescent, Beacon Hill.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

2.0 THE SITE AND EXISTING BUILDING

The property is located at 1 Gilles Crescent, Beacon Hill on the corner of McKillop Road. The block of land is approximately 653sqm in site area, faces north on Gilles Crescent and east on McKillop Road. The site slopes down towards East boundary (McKillop Road).

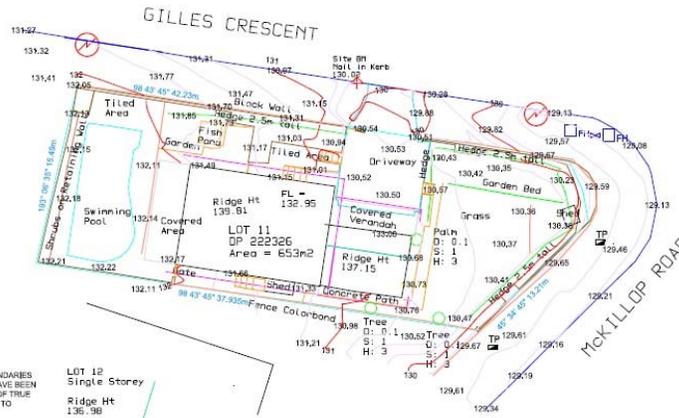
A two storey dwelling and an attached garage exist on the property. There is a vehicle crossing on Gilles Crescent and a driveway runs to lead into the attached garage. Refer to image 1,2 and 3.



Image 1. 1 Gilles Crescent, Beacon Hill



Image 2. View from McKillop Road, Beacon Hill



NOTES

NO SURVEY HAS BEEN MADE ON THE BOUNDARIES SO ALL BEARINGS, DISTANCES & AREAS HAVE BEEN TAKEN FROM THE TITLE PLANS IN TERMS OF TRUE NORTH. A SURVEY MUST BE CARRIED OUT TO CONFIRM EXACT BOUNDARY LOCATIONS.

PLAN IS NOT TO BE USED FOR CONSTRUCTION DO NOT SCALE FOR DIMENSIONS

UNDERGROUND SERVICES ARE SURVEYED FROM ABOVE SO EXACT LOCATIONS MUST BE OBTAINED THROUGH DIAL BEFORE YOU DIG OR POT HOLE SERVICES

ALL LEVELS ARE BASED ON (AHD) AUSTRALIAN HEIGHT DATUM

CONTOUR INTERVALS 0.25m

LOT 12
Single Storey
Ridge Ht
136.96

LEGEND

PIPE HYDRANT	TP
TELEPHONE	TP
ELECTRICAL POLE	TP
SITE BM	TP
DRIVEWAY	TP
SURVEY BOUNDARY	TP
FENCE LINE	TP
TOP OF KERB	TP
FOOTPATH CONC.	TP
SHED BUILDINGS	TP
TOP OF GUTTER	TP
STOP VALVE	TP
WALL	TP
TREE	TP
EDGE LINE	TP

Image 3. Survey

3.0 EXISTING STREETScape

To the immediate west of the subject property, at 3 Gilles Crescent, Beacon Hill, a two storey dwelling exists. Refer to image 4.



Image 4. 3 Gilles Crescent, Beacon Hill

To the immediate South of the subject property, at 2 McKillop Road, Beacon Hill, a two storey dwelling exists. Refer to image 5.



Image 5. 2 McKillop Road, Beacon Hill

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Across the road of the subject property, at 4 Gilles Crescent, Beacon Hill, a two storey dwelling exists. Refer to image 6.



Image 6. 4 Gilles Crescent, Beacon Hill

Across the road of the subject property, at 162 Warringah Road, Beacon Hill, a single storey dwelling exists. Refer to image 7.



Image 7. 162 Warringah Road, Beacon Hill

4.0 THE PROPOSAL

The proposal's compliance with requirements of the Northern Beaches Council with Warringah Development Control Plan 2011 for modification approved DA/2020/0716 against DA condition 6 for the installation of the fixed privacy louvre on the south of the secondary dwelling.

The letter of determination of the approved DA condition 6 states sill heights of south-facing windows including 04 and 05 to be adjusted to 1500mm to reduce privacy issue affecting 2 McKillop Road, Beacon Hill. Fixed privacy louvre is proposed above the approved windows 04 and 05 to address this issue. The proposed privacy screen will improve privacy between the proposed secondary dwelling and 2 McKillop Road. Refer to image 8 and 9.

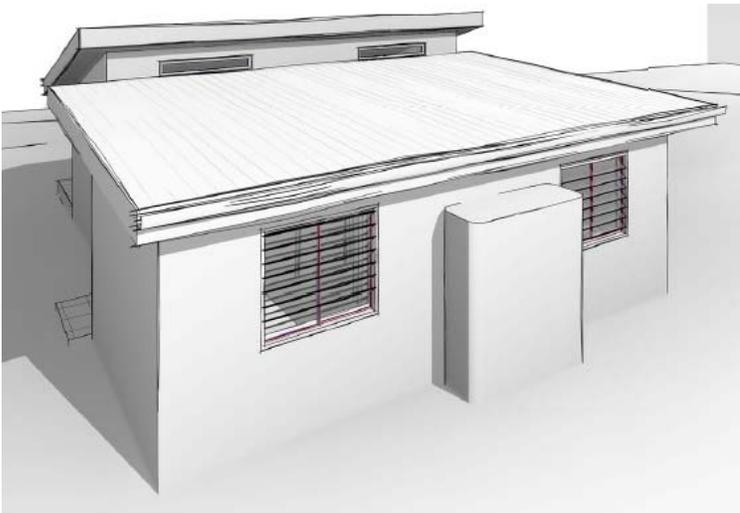


Image 8. South elevation with fixed privacy louvre

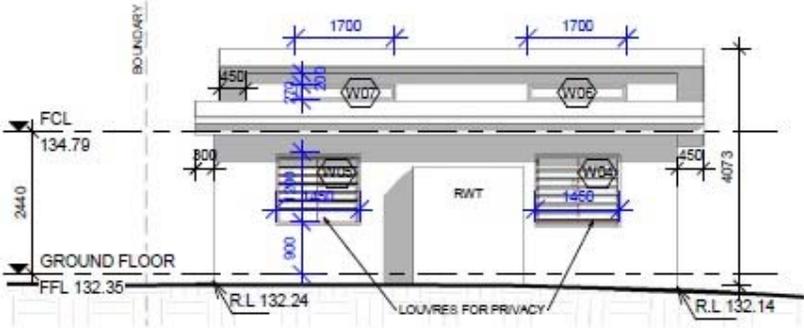


Image 9. South elevation

Building Setbacks

Front, rear, side setbacks remain as per the approved DA/2020/0716.
The modified installation of fixed privacy louvre complies with the WDCP and is a minor modification that does not affect the existing/future adjoining properties.

Streetscape and Design

The proposed modifications do not impact streetscape and design from the approved DA/2020/0716.

Height

The proposed modifications do not increase height from the approved DA/2020/0716.

FSR

The proposed modifications do not increase FSR from the approved DA/2020/0716.

Landscape area & Deep soil zone

The proposed modifications do not affect Landscape from the approved DA/2020/0716.

Parking Requirement

The proposed modifications do not change parking requirements from the approved DA/2020/0716.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to architectural drawings.

5.0 CONCLUSION

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our Client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters mentioned above and deliberate on the proposal in such a manner that will assist the Proprietors to achieve their ultimate goals for their family residence and property in general.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the Proprietors for your efforts.

Should you require any further information, however, please do not hesitate to contact our office.

Rammi Kanj
RK Designs