

B.O.S.
(BUILDING OVER SEWER)

LOT NUMBER : 13

SITE AREA :	766m ²
DRIVEWAY AREA :	72.61m ²
LANDSCAPED OPEN SPACE (MIN 40% OF SITE AREA) SITE AREA EXCL. DRIVEWAY, PAVEMENT PATHS, HOUSE & OPEN AREA <2m WIDE):	495.72 ² - 64.15%
PRIVATE OPEN SPACE (MIN 60m ² (MIN DIM. 5m) :	323.08 m ²
SITE COVERAGE	
GF Total : (incl. driveway & path):	(33.19%) - 254.22 m ²
FF Total :	(14.90%) - 114.03 m ²

BASIX INFORMATION		The items shown here are the minimums required to pass BASIX. Should the Specification nominate a better performing item then use that item instead.
Soft Landscaping area	497.95 sqm	Roof area total
Glazing	Wide aluminium framed windows	Window performance values as per NatHERS certificate
Doors/windows/	Default/Proxy values used for windows not available in HERO library	Given values are AFRC, total window system values (glass and frame)
clerestory	Window restrictors are modelled in accordance with NCC 2022	
Window restrictors		
Roof	Metal roof & builders blanket, R value as per NatHERS Certificate	
Ceiling	Ceiling insulation value and locations as per NatHERS certificate.	Ceiling insulation must extend to the external wall.
Wall & roof frames	120mm untreated softwood timber frames	
External Walls	External wall insulation values and locations as per NatHERS certificate	
Internal walls	Plasterboard on studs, insulation values and locations as per NatHERS certificate	
Floors	Concrete slab on ground with 225mm waffle pods	LVL timber floor between levels
Ventilation	All external doors have draft protection and weather seals	All exhaust fans to have dampers
Ceiling fans	Size and location as per NatHERS certificate	
General notes	Insulation Note: All insulations listed are product only values. All insulation and vapour membranes must be installed in accordance with ABCB Housing provisions Part 10.8 and Part 13.	
BASIX Water		
Commitments		
Alternative Water		Tank size and connections as per BASIX certificate
BASIX Energy		
Commitments		
Hot water System		Electric Heat Pump - 5.2 c.o.p. rating
Heating system		1 phase air conditioning to living areas and bedrooms: EER 3.5-4.0
Cooling system		1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation		Kitchen - Individual fan, externally ducted, manual on/off switch
Other		Bathrooms - with window = Naturally vented, - without window = Fan externally ducted with switch interlocked with light & run-on timer.
Alternative		Laundry - With wind or door = Naturally Ventilated, otherwise ext ducted ex/fan
Energy		Induction cooktop & electric oven
		Outdoor clothes drying line
		PV system size as per BASIX certificate
		PV connected to the developments electrical system

LEGEND		Trees to be removed prior to commencement of building operations.
Existing Trees	New Trees	A.G. Drain
Stormwater Main	Stormwater Disposal	Sewer Pipe
Existing Fencing	Underground Power	Fencing by Contractor
Overhead Power	Stormwater to tank	Grated Drain
Stormwater disposal		

NOTE: MIN 200mm FREEBOARD
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

DETAILS

DATUM: RL Levels to AHD

CONTOUR INTERVALS: 0.20 Metres

WATER CONNECTION: (BY THE BUILDER)
20mm line from water meter to entry point.

WASTE DISPOSAL: (BY THE BUILDER)
Connection to mains sewer in accordance with local authority requirements.

ROOFWATER DISPOSAL: (BY THE BUILDER)
Connection of downpipes to water tank and underground drain. Position of roofwater lines are indicative only and may vary depending on site.

POWER CONNECTION:
Installation to underground line by the builder. Connection of power to main line by Electricity Authority.

EARTHWORKS: (BY THE BUILDER) AG Drains: 0 Metres
Site scrape to remove vegetation / fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.

GAS CONNECTION:
Installation of underground line to mains by the builder. connection to mains by gas authority upon application by the owner.

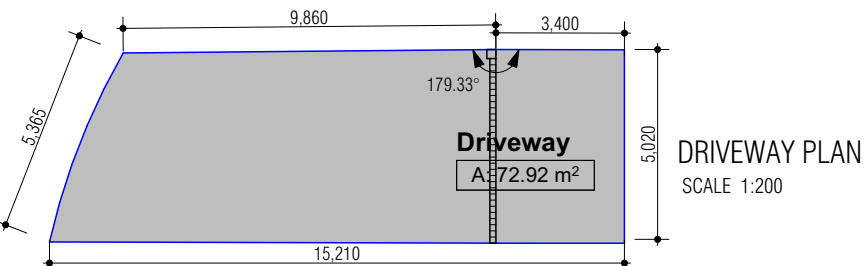
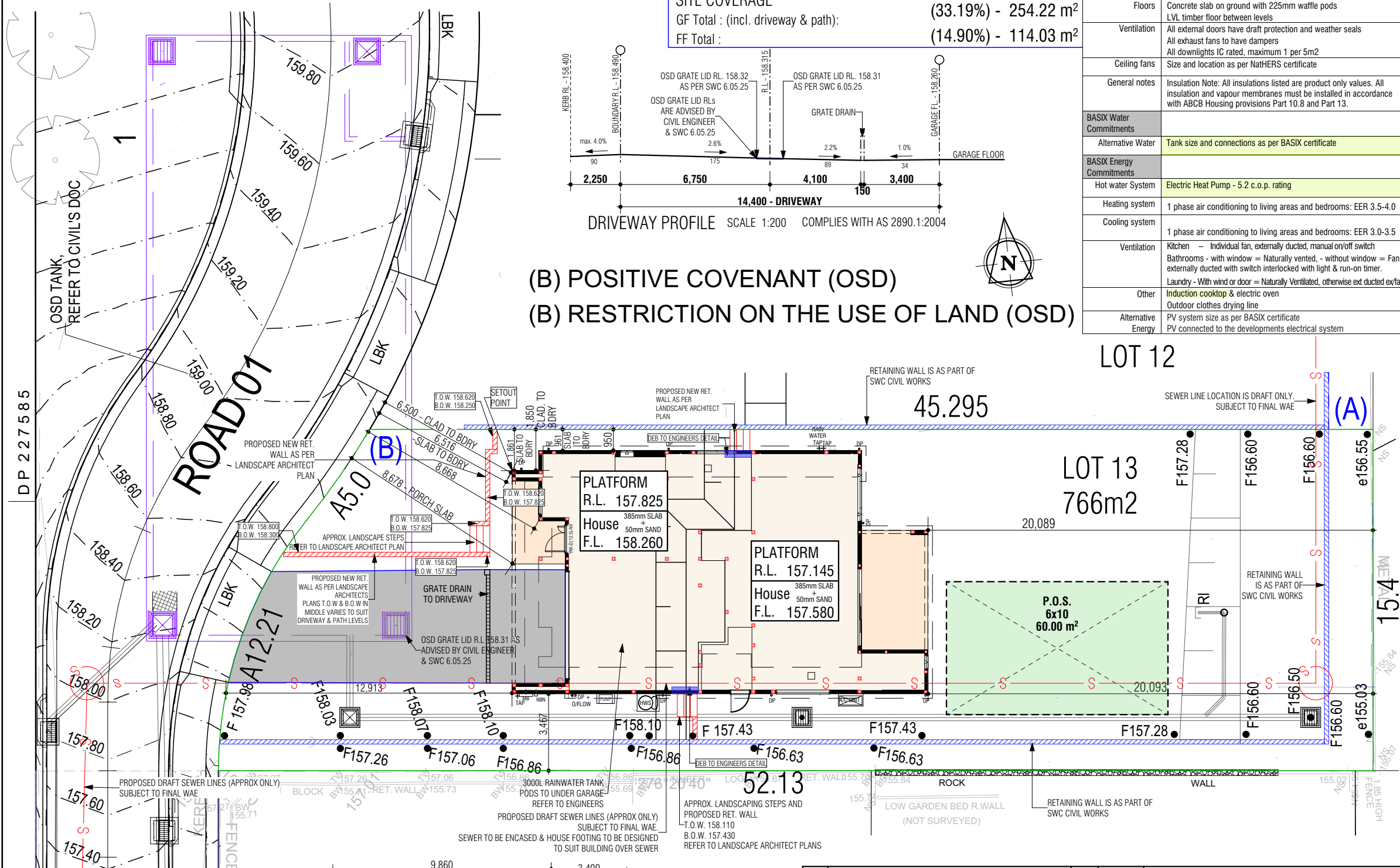
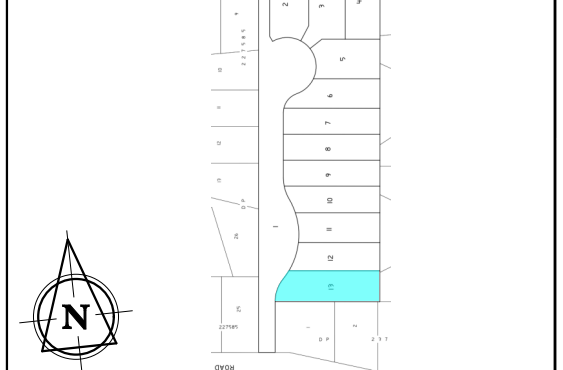
LOCAL AUTHORITY: Northern Beaches Council

TITLE PARTICULARS:

LOT: 13 DIA/PLAN: -
VOL: - PARISH: -
FOL: - COUNTY: -

LOCATION:

MAP REFERENCE:



REV	AMENDMENT	BY	DATE
04	REAR DROPPED CEILING AND STACKER DOOR HEIGHT ADJUSTMENT	SA	28.10.2024
05	FRONT SETBACK INCREASED	SA	11.11.2024
06	WO PLANS	MSS	19.12.2024
07	BED 3 WINDOW AND PRINCIPAL SUITE AC DUCT ADJUSTMENTS	MSS	20.12.2024
08	AMENDED DA - NEW SITE APPLIED & LEVELS ADJUSTED AS PER SWC	MSS	11.02.2025
09	DRAFT SEWER LINE INFORMATION ADDED TO PLANS	MSS	12.02.2025
10	OSD PITT LID RL INFO. ADDED TO PLANS	MSS	05.03.2025
11	DA RFS + PCV#3: COUNCIL REQUIREMENTS	SA	28.04.2025
12	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	09.05.2025
13	DA PLANS AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	15.05.2025

ADDRESS: LOT 13 ROAD NO. 1
FRENCHS FOREST NSW

SHAWOOD

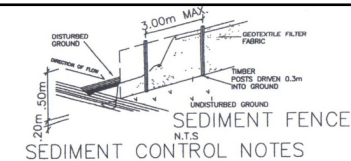
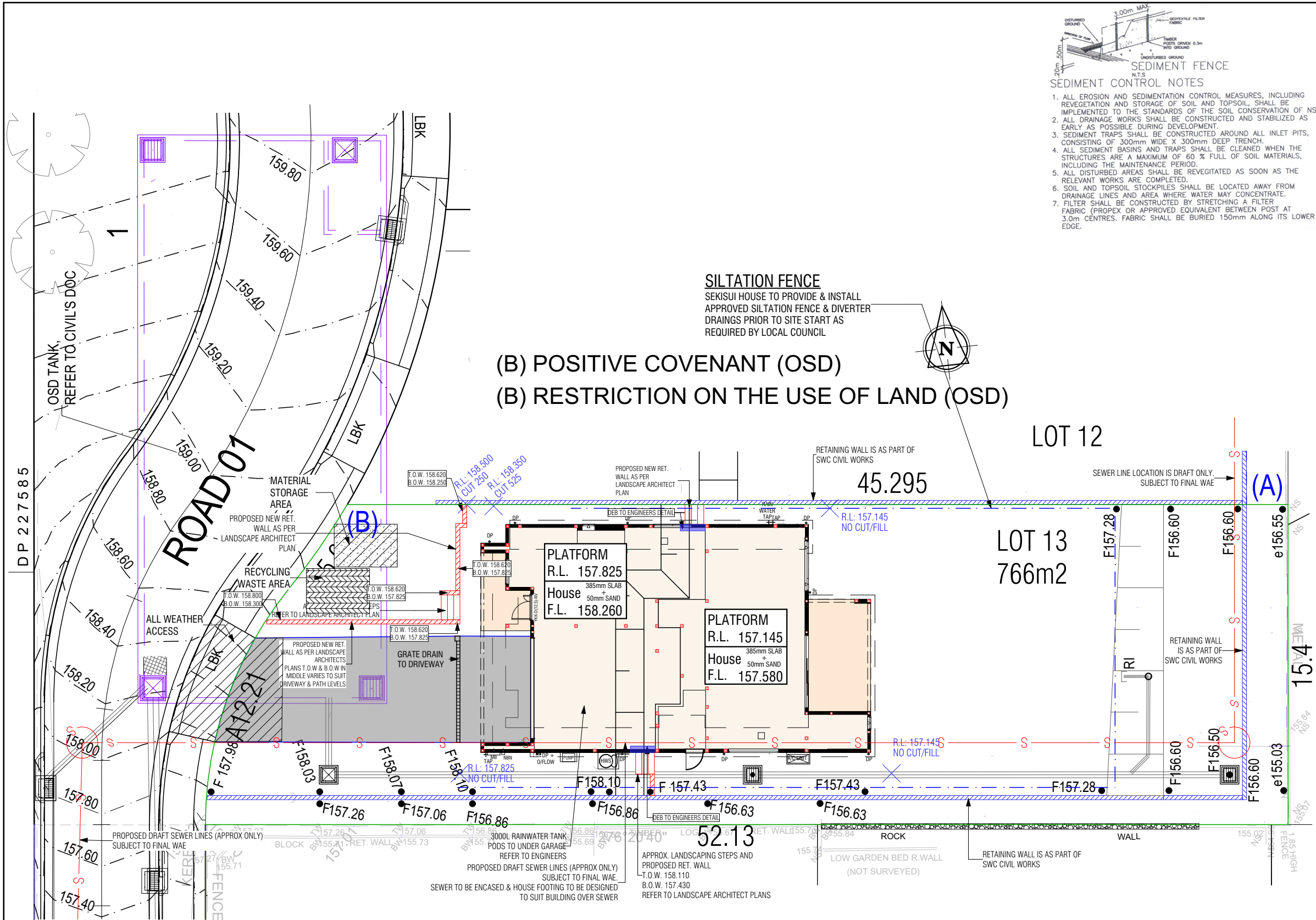
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SITE PLAN

FR01.1		F01	ALTERATION ISSUE		
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA
CONTRACT No: NM105572			SHEET DA-1		
MASTER DESIGN		MASTER CHECKED		PAGE:	
MSS		-		SCALE: 1:200, 1:1	



- SEDIMENT CONTROL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

LEGEND	
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Stormwater Main	Stormwater Disposal
Existing Fencing	Underground Power
Overhead Power	Stormwater to tank
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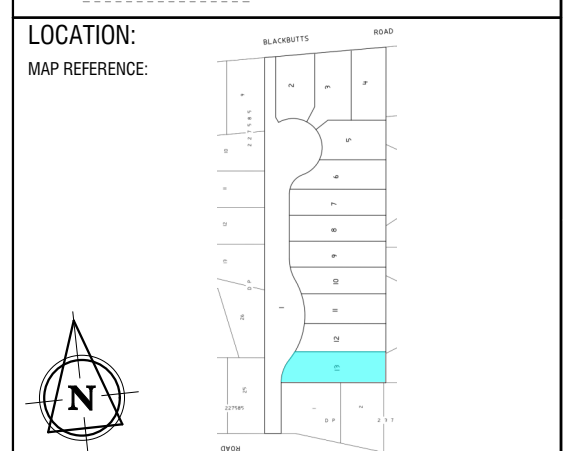
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SHAWOOD

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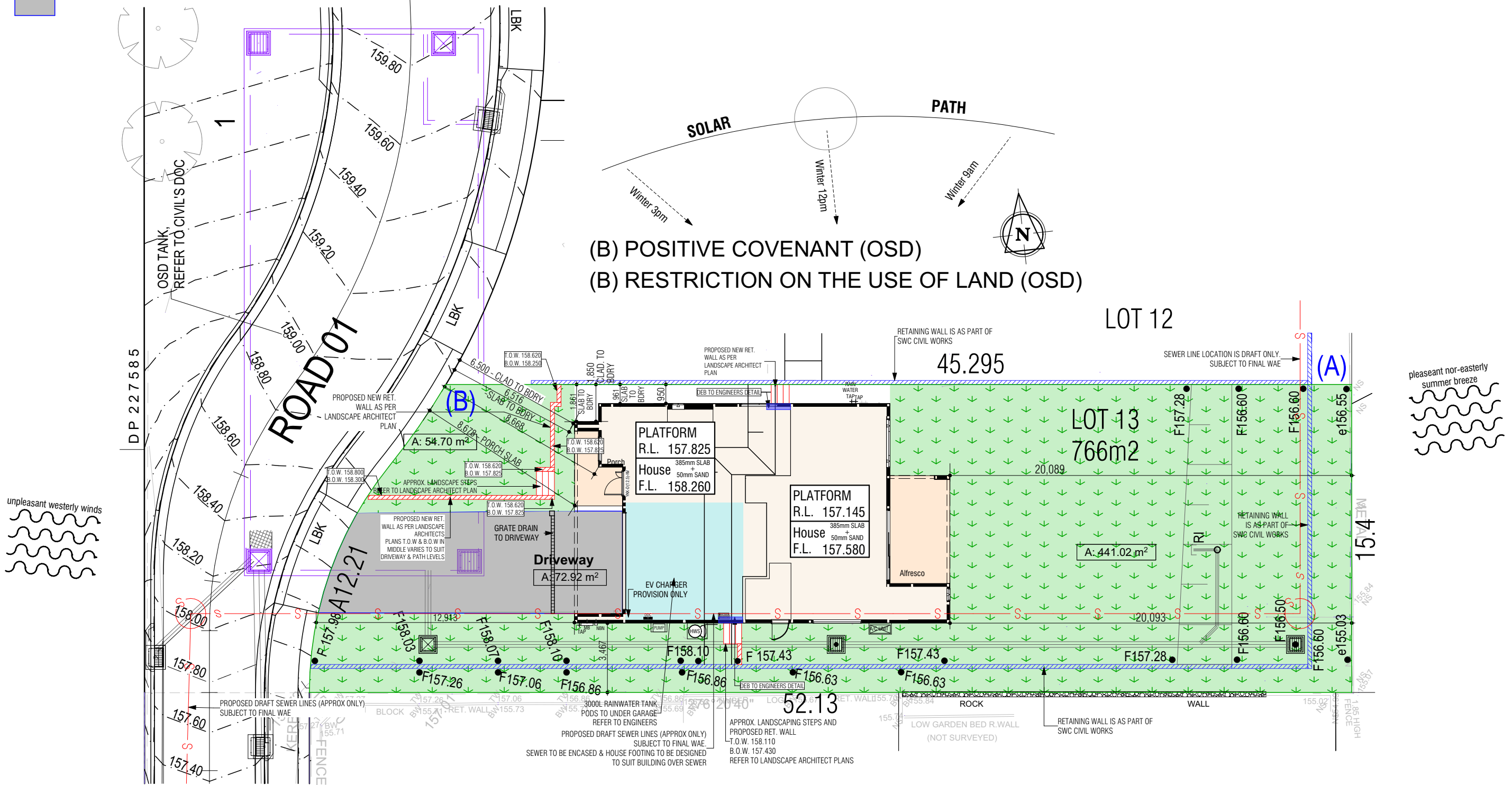
SITE WORKS PLAN				
FR01.1		F01	ALTERATION ISSUE	
TYPE	ACCOM	FACADE	GENERAL ISSUE	23 DESIGN ISSUE NA
CONTRACT No: NM105572			SHEET: DA-2	
MASTER DESIGN		MASTER CHECKED		PAGE:
MSS		-		SCALE: 1:200

LEGEND

LANDSCAPE OPEN SPACE AS PER WARRINGAH DCP -
D1 LANDSCAPED OPEN SPACE & BUSHLAND SETTING.
AREAS >2m WIDE

GARAGE

DRIVEWAY



Certificate No. #HR-GQCB78-01
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Assessor name: Haylea Edwards
Accreditation No.: HERA 10213
Property Address: Lot 13, Road No.1, Frenchs Forest, NSW, 2086
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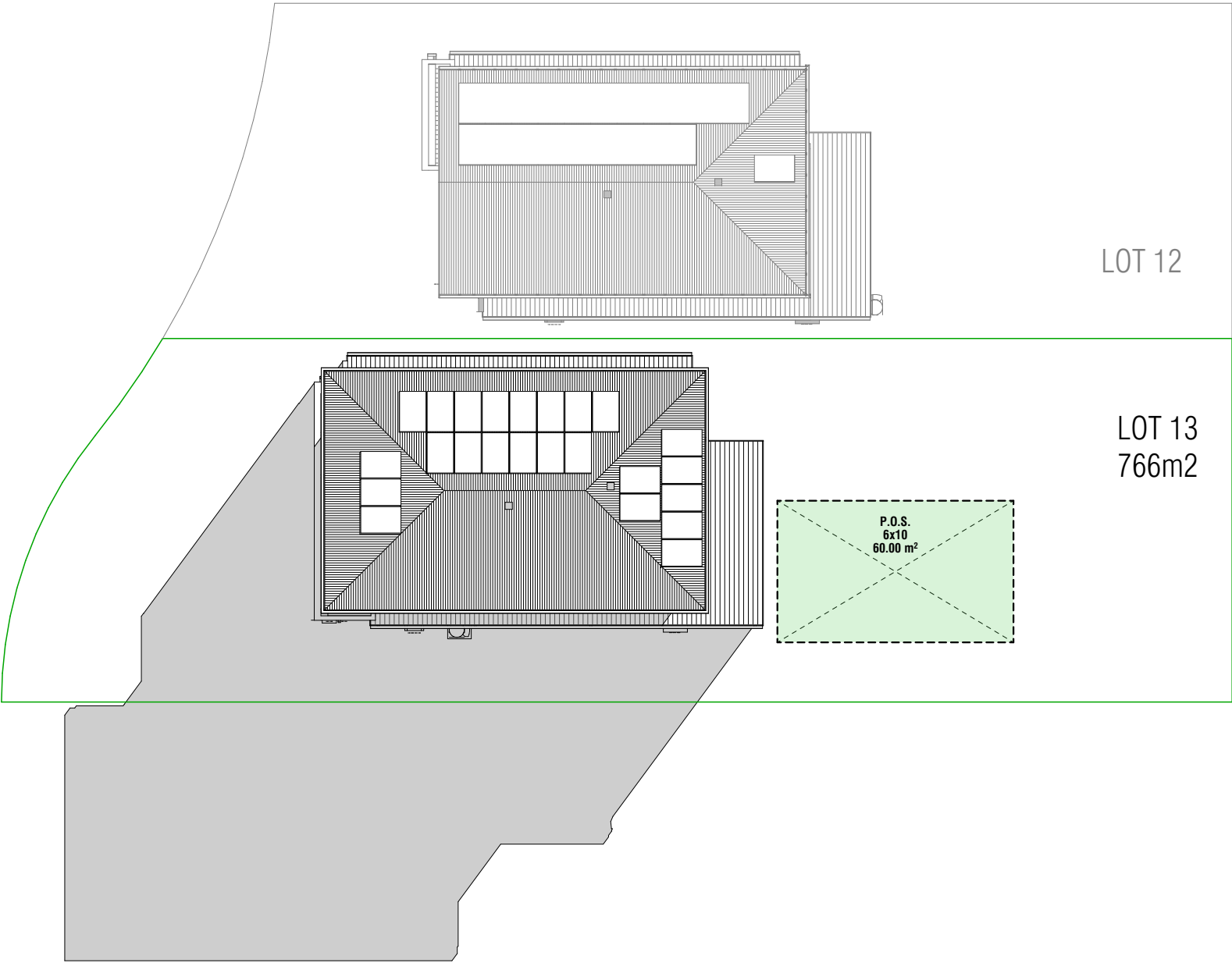
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SITE ANALYSIS PLAN					
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June 21st 9am



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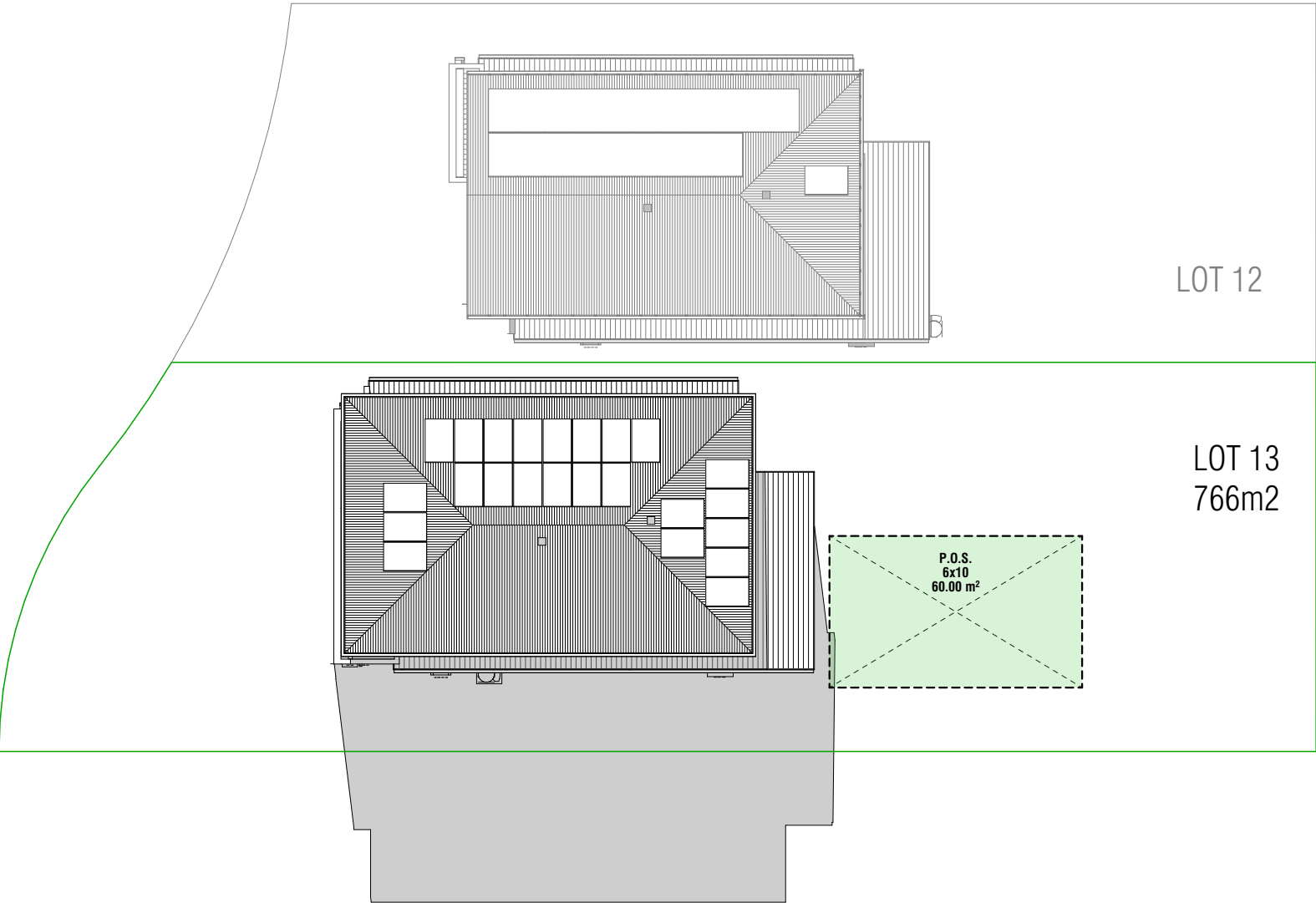
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June 21st 12pm



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Assessor name Haylea Edwards
Accreditation No. HERA 10213
Property Address Lot 13, Road No.1, Frenchs Forest, NSW, 2086
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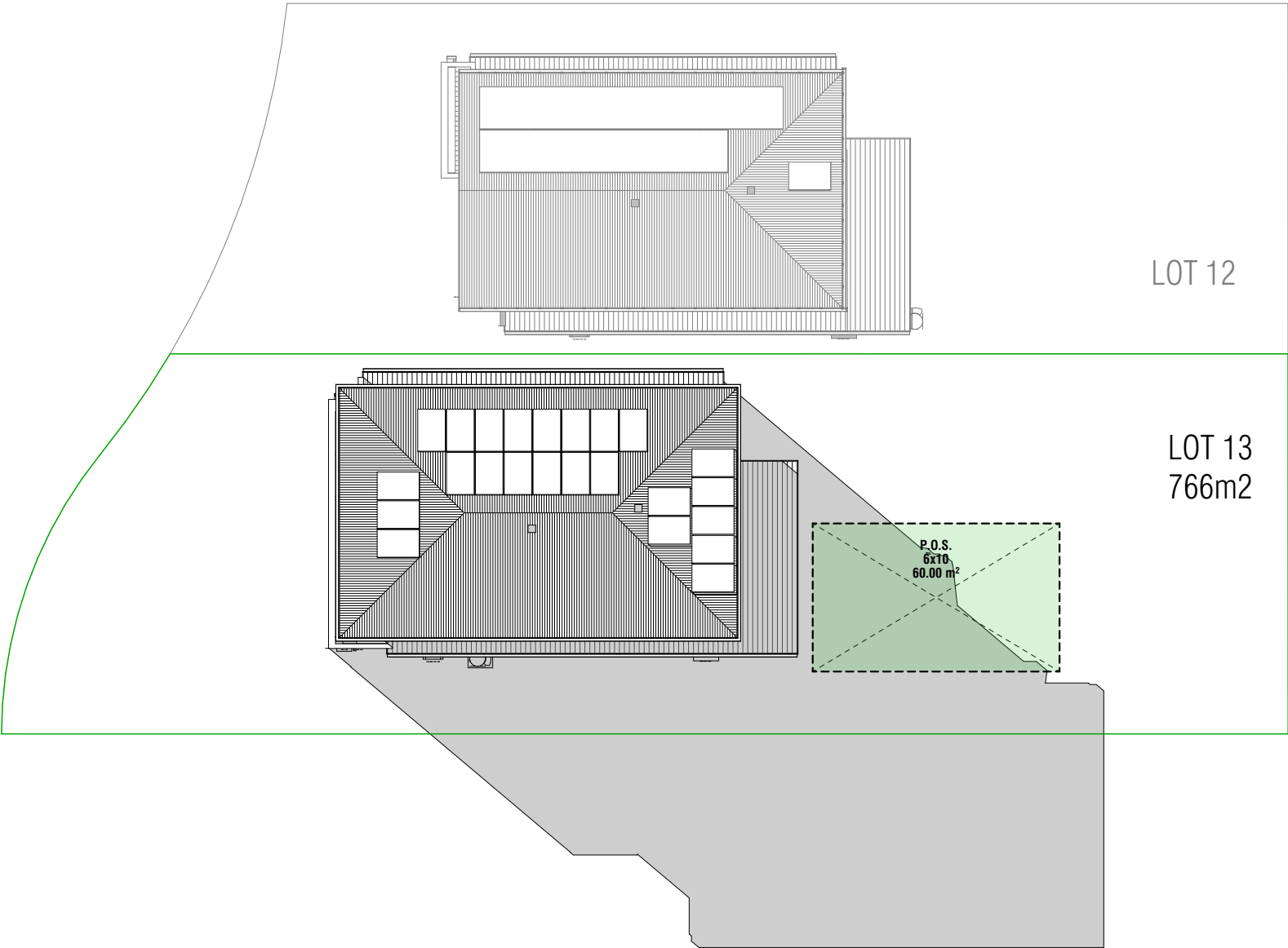
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June 21st 3pm





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Assessor name
Haylea Edwards

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Property Address
Lot 13, Road No.1, Frenchs Forest, NSW, 2086


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GENERAL NOTES

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
 - GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
 - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
 - INTERNAL = 90mm STUD AND 120mm STUD
 - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 TO 5.3-5

CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

- N1 - STANDARD FUGE
- R1 - RENDER
- R2 - RENDER 2

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QR Code

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LEGEND

- DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK
- RA - ROOF ACCESS
- RA - RETURN AIR CEILING GRILL
- CEILING VENTS
- MB - DENOTES SHAWOOD POST
- SMOKE ALARM (DIRECT WIRED)
- 120mm WALL
- 90mm WALL

- WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LowE (DG-LowE+): DOUBLE GLAZED WITH LowE PLUS
- WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER
REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

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Floor Areas	
First flr.	114.03
Garage	36.35
Ground flr.	120.35
Total	270.73 m²
Alfresco	16.11
Pier	2.03
Porch	6.77
S. Void	6.54
Total	302.18 m²

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GROUND FLOOR PLAN

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TYPE	ACCOM	FACADE	GENERAL ISSUE 23 DESIGN ISSUE NA
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MASTER DESIGN		MASTER CHECKED	PAGE:
MSS		-	SCALE: 1:100, 1:2

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- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
 - GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
 - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
 - INTERNAL = 90mm STUD AND 120mm STUD
 - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

- N1 - STANDARD FUGE
- R1 - RENDER
- R2 - RENDER 2



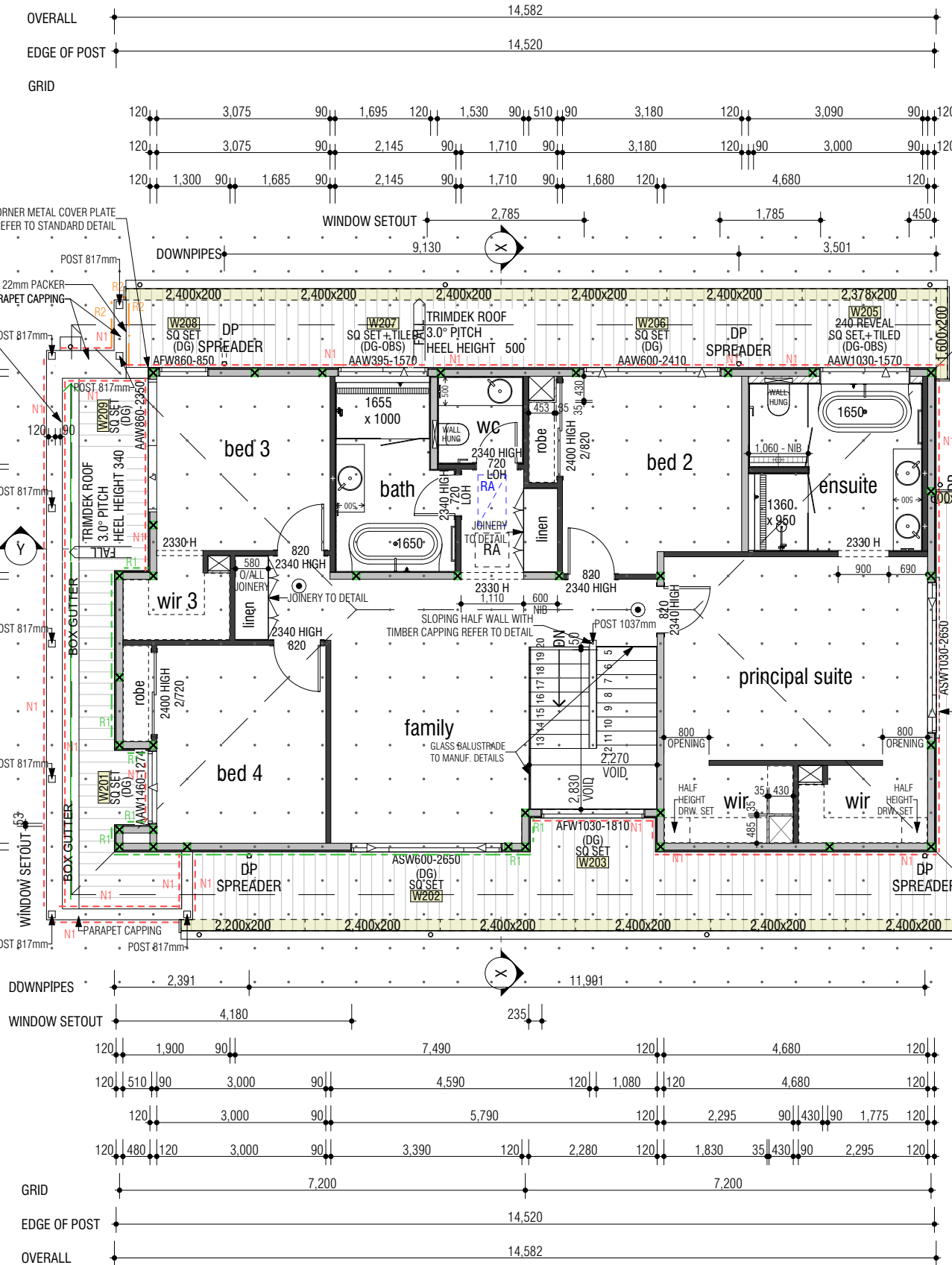
LEGEND

- DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK
- RA - ROOF ACCESS
- RA - RETURN AIR CEILING GRILL
- CEILING VENTS
- SMOKE ALARM (DIRECT WIRED)
- 120mm WALL
- 90mm WALL

- WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LowE (DG-LowE+): DOUBLE GLAZED WITH LowE PLUS
- WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER
REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Printed Date: 9/05/2025 - Printed by:AhmadiS - File Name:W:\c.Shawood\Frenchs Forest\4. Lot Plans\Lot 13 - FR01.1 F01\5. CAD File\Lot 13 FR - FR01.1 F01.pln



REV	AMENDMENT	BY	DATE
04	REAR DROPPED CEILING AND STACKER DOOR HEIGHT ADJUSTMENT	SA	28.10.2024
05	FRONT SETBACK INCREASED	SA	11.11.2024
06	WO PLANS	MSS	19.12.2024
07	BED 3 WINDOW AND PRINCIPAL SUITE AC DUCT ADJUSTMENTS	MSS	20.12.2024
08	AMENDED DA - NEW SITE APPLIED & LEVELS ADJUSTED AS PER SWC	MSS	11.02.2025
09	DRAFT SEWER LINE INFORMATION ADDED TO PLANS	MSS	12.02.2025
10	OSD PITT LID RL INFO. ADDED TO PLANS	MSS	05.03.2025
11	DA RFS + PCV#3: COUNCIL REQUIREMENTS	SA	28.04.2025
12	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	09.05.2025
13	DA PLANS AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	15.05.2025

ADDRESS:	LOT 13 ROAD NO. 1 FRENCHS FOREST NSW
	SHAWOOD
	68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
	Sekisui House Services (NSW) Pty Limited
	ABN: 42119550220. BL: 226045C.
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FIRST FLOOR PLAN			
FR01.1		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No:	NM105572		DESIGN ISSUE
MASTER DESIGN	MASTER CHECKED		SCALE: 1:100, 1:2
MSS			

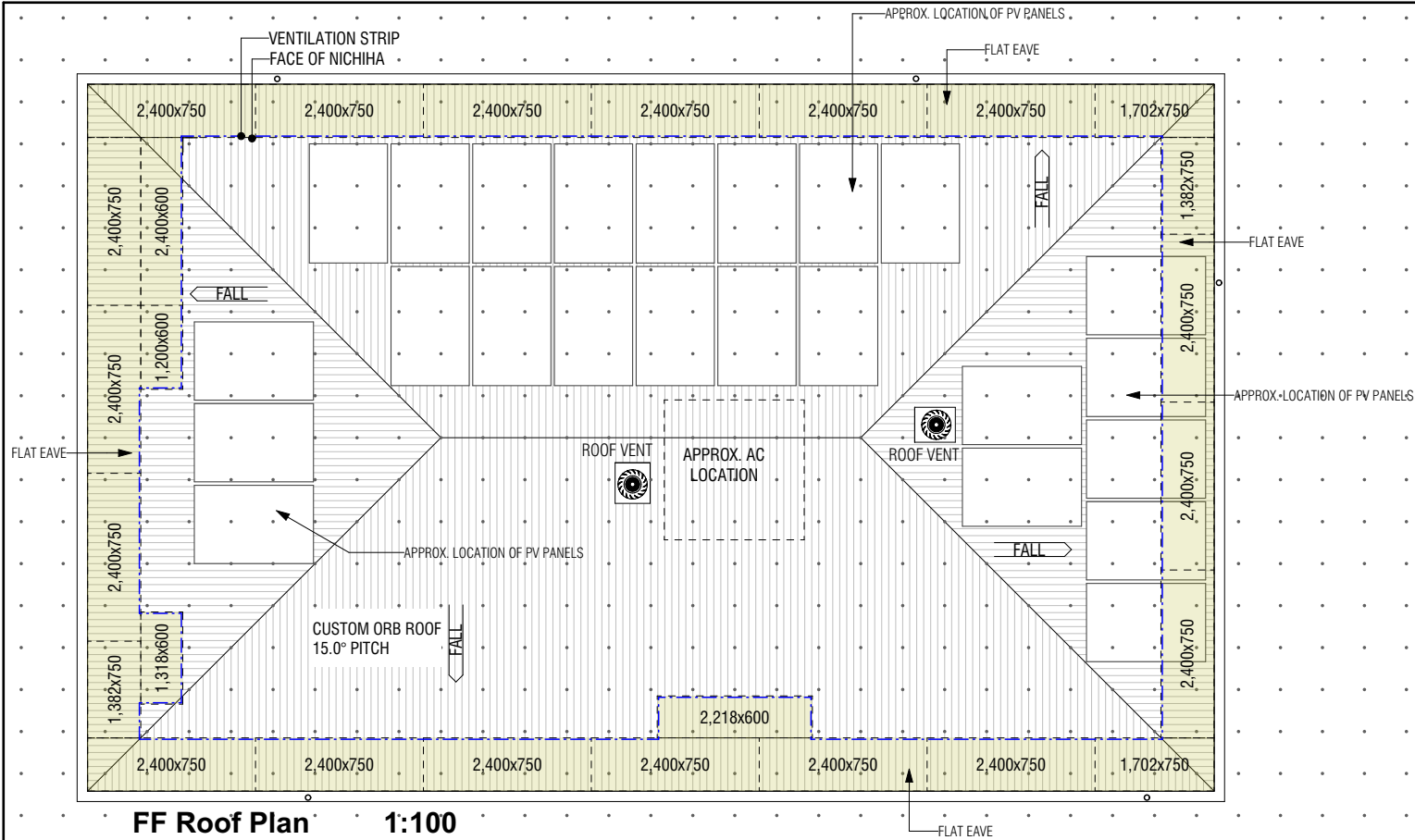
please consider the environment before printing this sheet

Window Schedule														
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note for Schedule	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW2050-1210	☐	2,050	1,210	117	☒	☐			DG:- Double Glass	--	WID-101-032	4.00	0.58
W102	AFW600-2410	☐	600	2,410	117	☒	☐			DG:- Double Glass	--	WID-106-017	3.10	0.71
W103	AAW2400-610	☐	2,400	610	117	☒	☐			DG:- Double Glass	--	WID-101-032	4.00	0.58
W105	AAW2400-2400	☐	2,400	2,400	139	☒	☐			DG:- Double Glass	--	WID-101-032	4.00	0.58
W106	ASW1030-1810	☐	1,030	1,810	117	☒	☐			DG:- Double Glass	--	WID-102-018	4.00	0.61
W107	AAW1030-610	☐	1,030	610	240	☒	☒			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W201	AAW1460-1274	☐	1,460	1,274	117	☒	☐			DG:- Double Glass	--	WID-101-032	4.00	0.58
W202	ASW600-2650	☐	600	2,650	117	☒	☐			DG:- Double Glass	--	WID-102-018	4.00	0.61
W203	AFW1030-1810	☐	1,030	1,810	117	☒	☐			DG:- Double Glass	--	WID-106-017	3.10	0.71
W204	ASW1030-2650	☐	1,030	2,650	117	☒	☐			DG:- Double Glass	--	WID-102-018	4.00	0.61
W205	AAW1030-1570	☐	1,030	1,570	240	☒	☒			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W206	AAW600-2410	☐	600	2,410	117	☒	☐			DG:- Double Glass	--	WID-101-032	4.00	0.58
W207	AAW395-1570	☐	395	1,570	117	☒	☐			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W208	AFW860-850	☐	860	850	117	☒	☐			DG:- Double Glass	--	WID-106-017	3.10	0.71
W209	AAW860-2350	☐	860	2,350	117	☒	☐			DG:- Double Glass	---	WID-101-032	4.00	0.58
15														

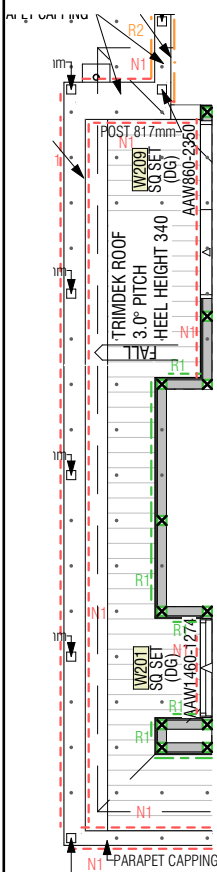
Door Schedule												
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Special Note	Glazing	werslink	Uvalue	SHGC
D102	AFD2120-900	☒	2,120	900	117	☒			DG:- Double Glass	WID-122-017	3.90	0.51
D103	AST2920-3500	☒	2,920	3,500	139	☒			DG:- Double Glass	WID-124-018	4.10	0.58
2												

REV	AMENDMENT	BY	DATE	ADDRESS:				WINDOW & DOOR SCHEDULE			
04	REAR DROPPED CEILING AND STACKER DOOR HEIGHT ADJUSTMENT	SA	28.10.2024	LOT 13 ROAD NO. 1 FRENCHS FOREST NSW				FR01.1			
05	FRONT SETBACK INCREASED	SA	11.11.2024								
06	WO PLANS	MSS	19.12.2024	SHAWOOD				F01			
07	BED 3 WINDOW AND PRINCIPAL SUITE AC DUCT ADJUSTMENTS	MSS	20.12.2024								
08	AMENDED DA - NEW SITE APPLIED & LEVELS ADJUSTED AS PER SWC	MSS	11.02.2025	68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400				GENERAL ISSUE			
09	DRAFT SEWER LINE INFORMATION ADDED TO PLANS	MSS	12.02.2025								
10	OSD PITT LID RL INFO. ADDED TO PLANS	MSS	05.03.2025	Sekisui House Services (NSW) Pty Limited				MASTER DESIGN			
11	DA RfIs + PCV #3: COUNCIL REQUIREMENTS	SA	28.04.2025								
12	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	09.05.2025	ABN: 42119550220. BL: 226045C.				MASTER CHECKED			
13	DA PLANS AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	15.05.2025								
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								PAGE:			
								SCALE:			

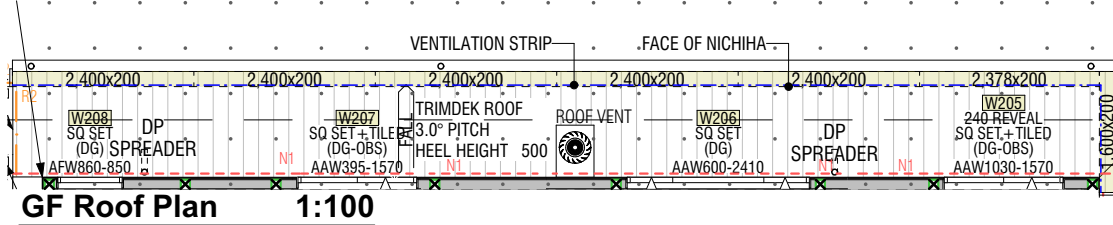
ALL EAVES RAKED UNLESS NOTED OTHERWISE



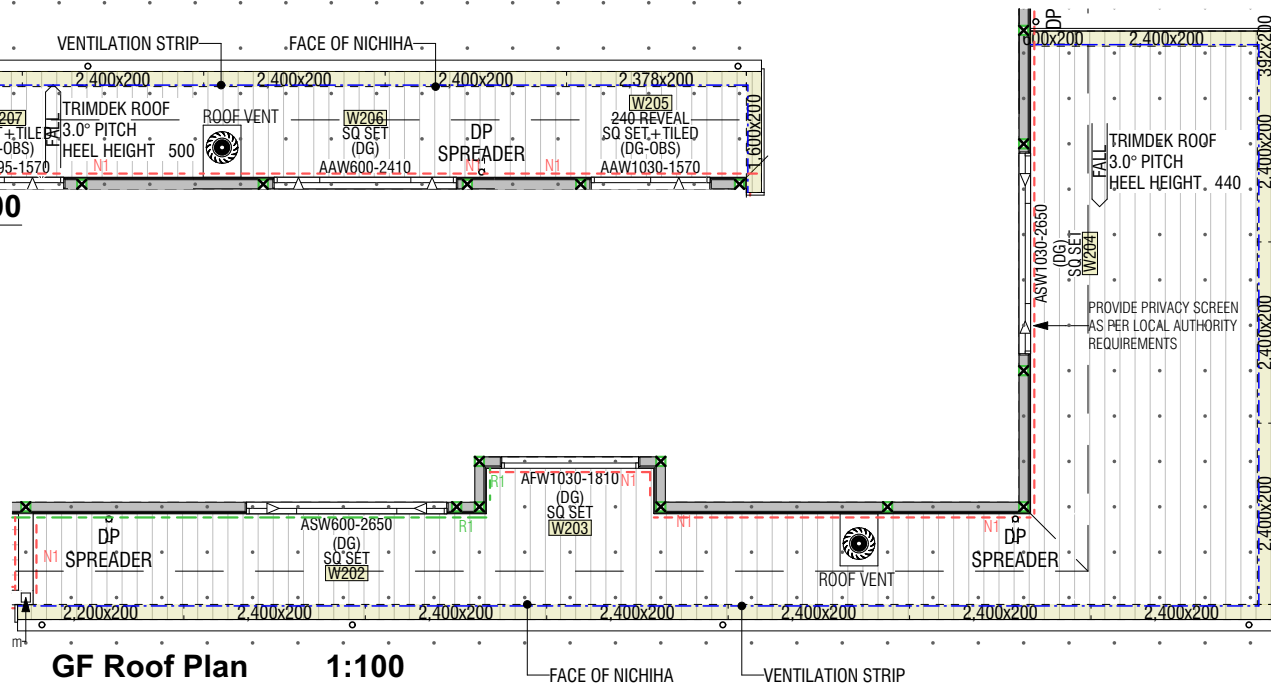
FF Roof Plan 1:100



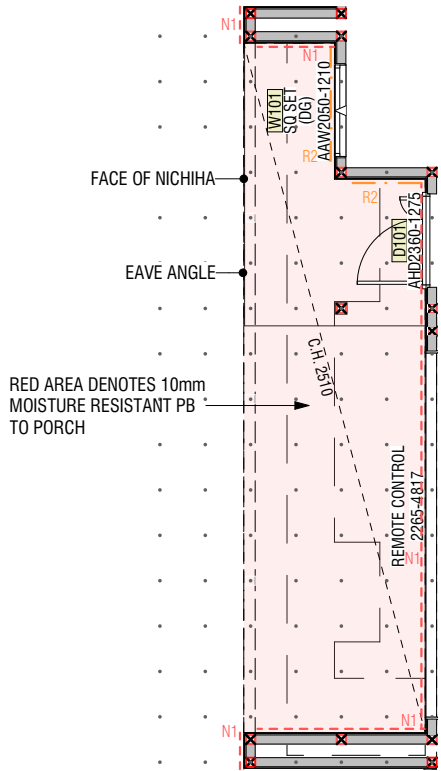
GF Roof Plan 1:100



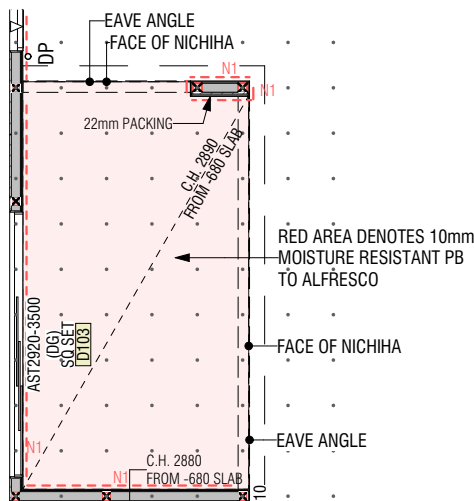
GF Roof Plan 1:100



GF Roof Plan 1:100



GF Roof Plan (Lower) 1:100



GF Roof Plan (Lower) 1:100

LEGEND

N1	- STANDARD FUGE
R1	- RENDER
B2	- RENDER 2

ROOF PLAN NOTES

- DP - DOWNPIPE
- EAVE VENT
- PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE STANDARD DETAILS 5.3-2 to 5.3-5
- THE NUMBER OF PHOTOVOLTAIC PANELS SHOWN HERE IS APPROX. THE QUANTITY AND LOCATION CAN VARY WHEN INSTALLED



REV	AMENDMENT	BY	DATE
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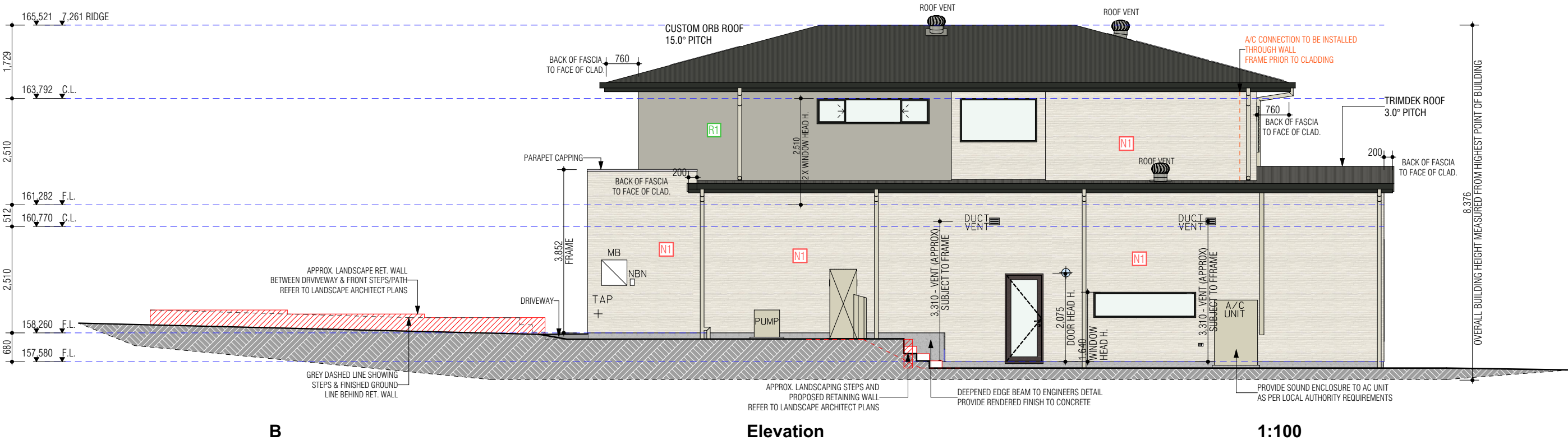
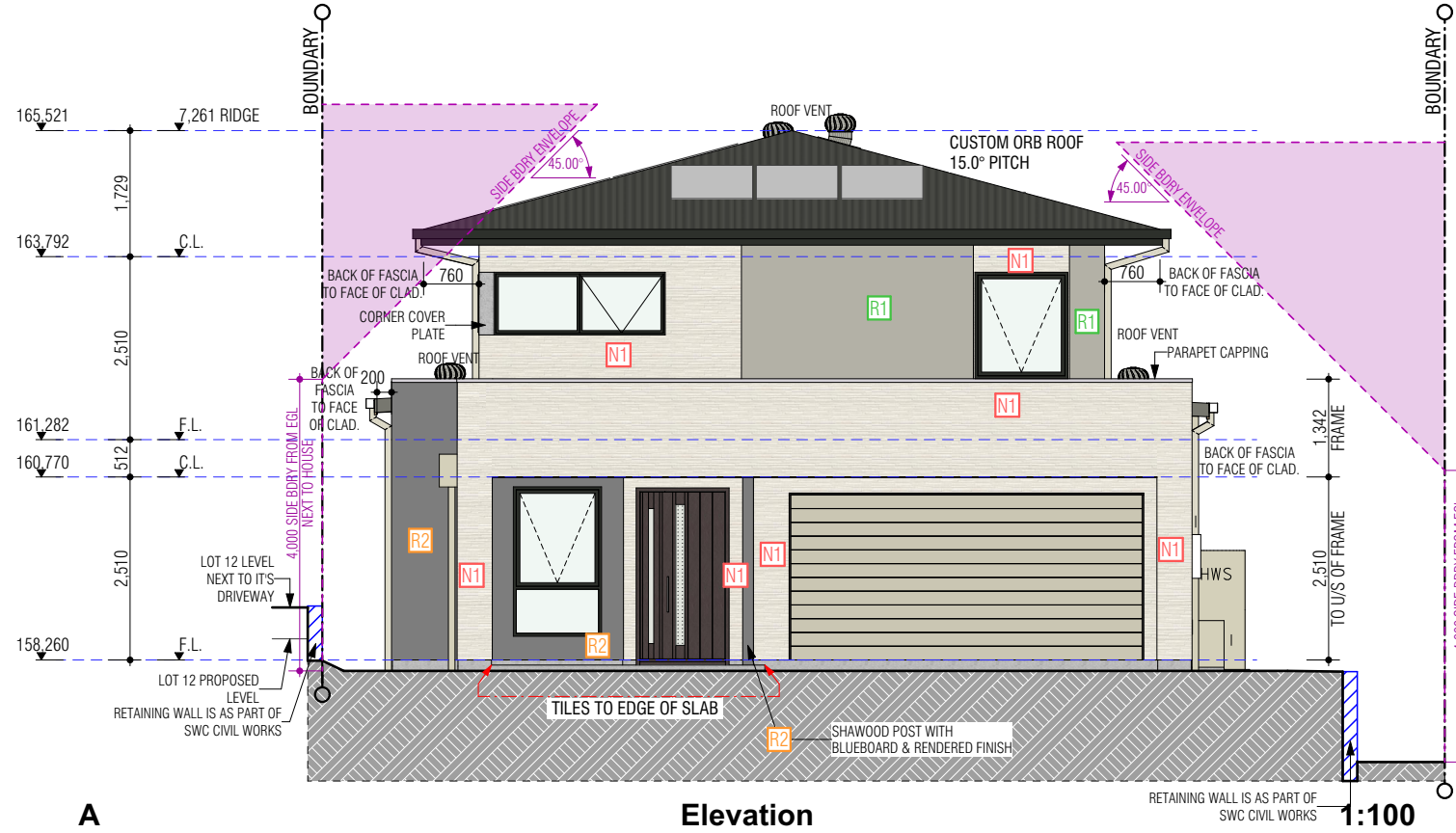
ADDRESS:	LOT 13 ROAD NO. 1 FRENCHS FOREST NSW
	SHAWOOD
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	ABN: 42119550220. BL: 226045C.

ROOF PLAN			
FR01.1		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No: NM105572			SHEET 23
MASTER DESIGN			MASTER CHECKED
MSS			-
PAGE:			DA-10
SCALE:			

LEGEND

	- OBSCURE GLASS
	- STANDARD FUGE
	- RENDER
	- RENDER 2

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS



Certificate No. #HR-GQCB78-01

Scan QR code or follow website link for rating details.

Assessor name Haylea Edwards

Accreditation No. HERA 10213

Property Address Lot 13, Road No.1, Frenchs Forest, NSW, 2086

<http://www.hera-software.com.au/pdf/HR-GQCB78-01>

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ADDRESS: LOT 13 ROAD NO. 1
FRENCHS FOREST NSW

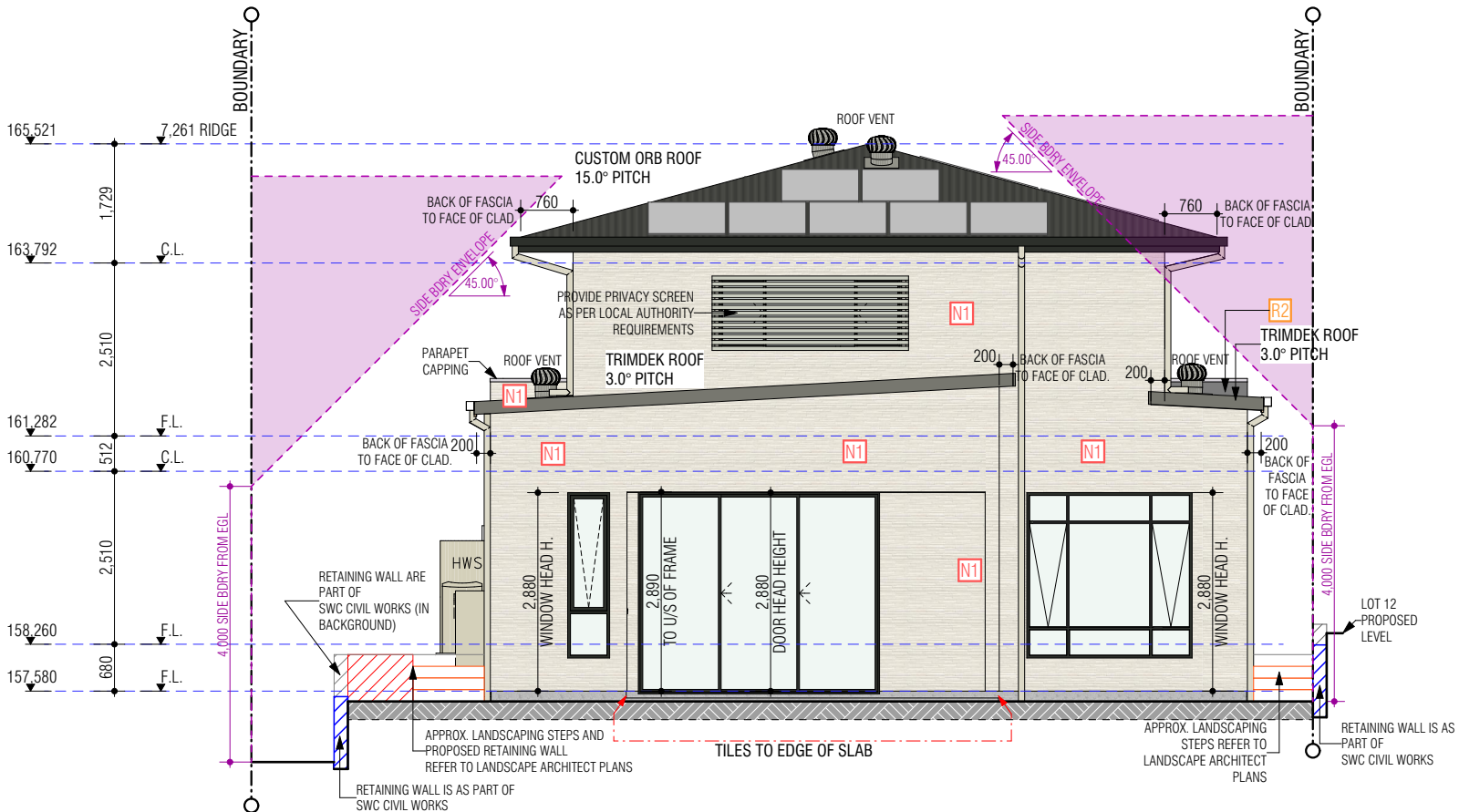
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

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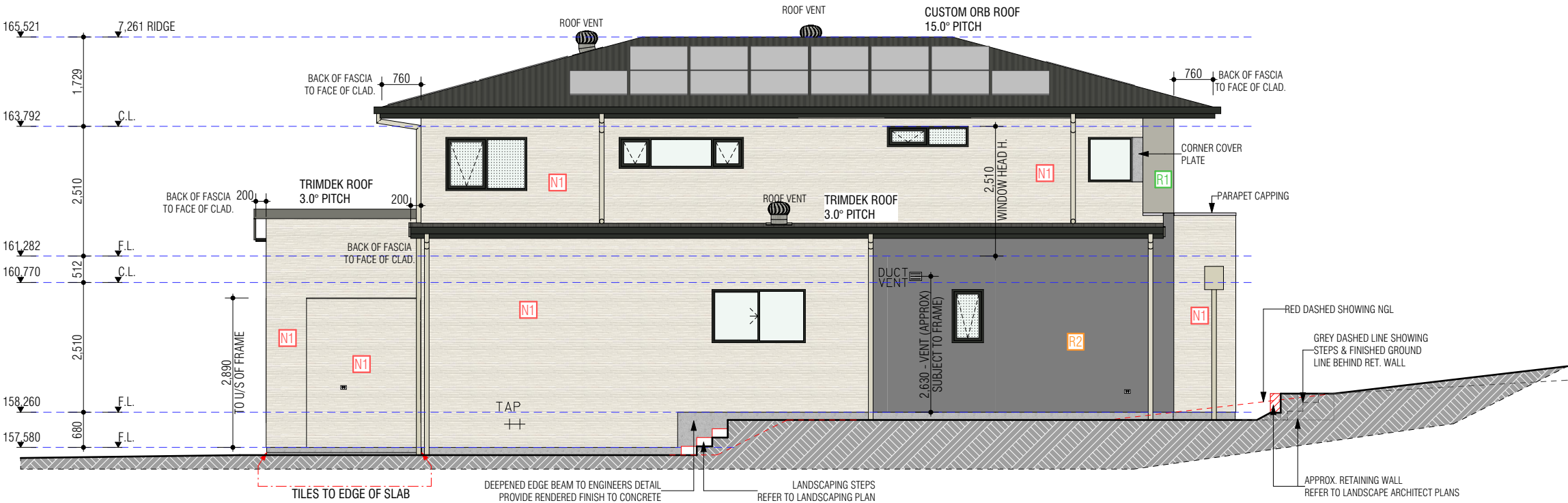
LEGEND

	- OBSCURE GLASS
	- STANDARD FUGE
	- RENDER
	- RENDER 2

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C Elevation 1:100



D Elevation 1:100

Certificate No. #HR-GQCB78-01

Scan QR code or follow website link for rating details.

Assessor name: Haylea Edwards

Accreditation No: HERA 10213

Property Address: Lot 13, Road No.1, Frenchs Forest, NSW, 2086

<http://www.hero-software.com.au/pdf/HR-GQCB78-01>

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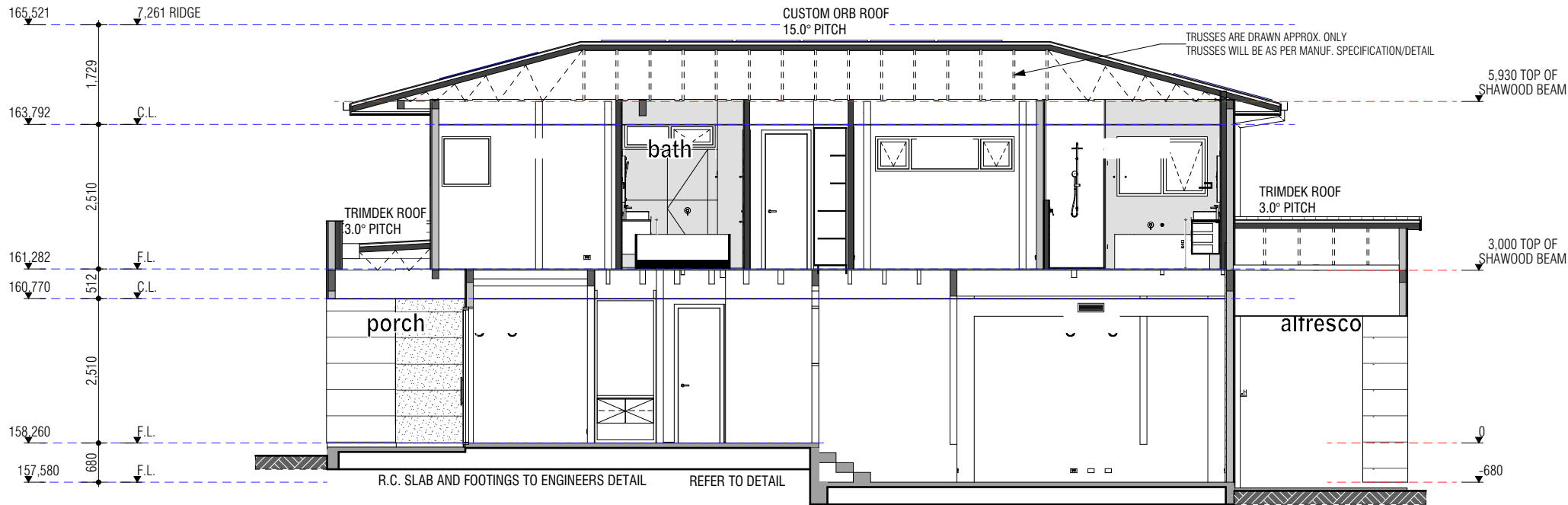
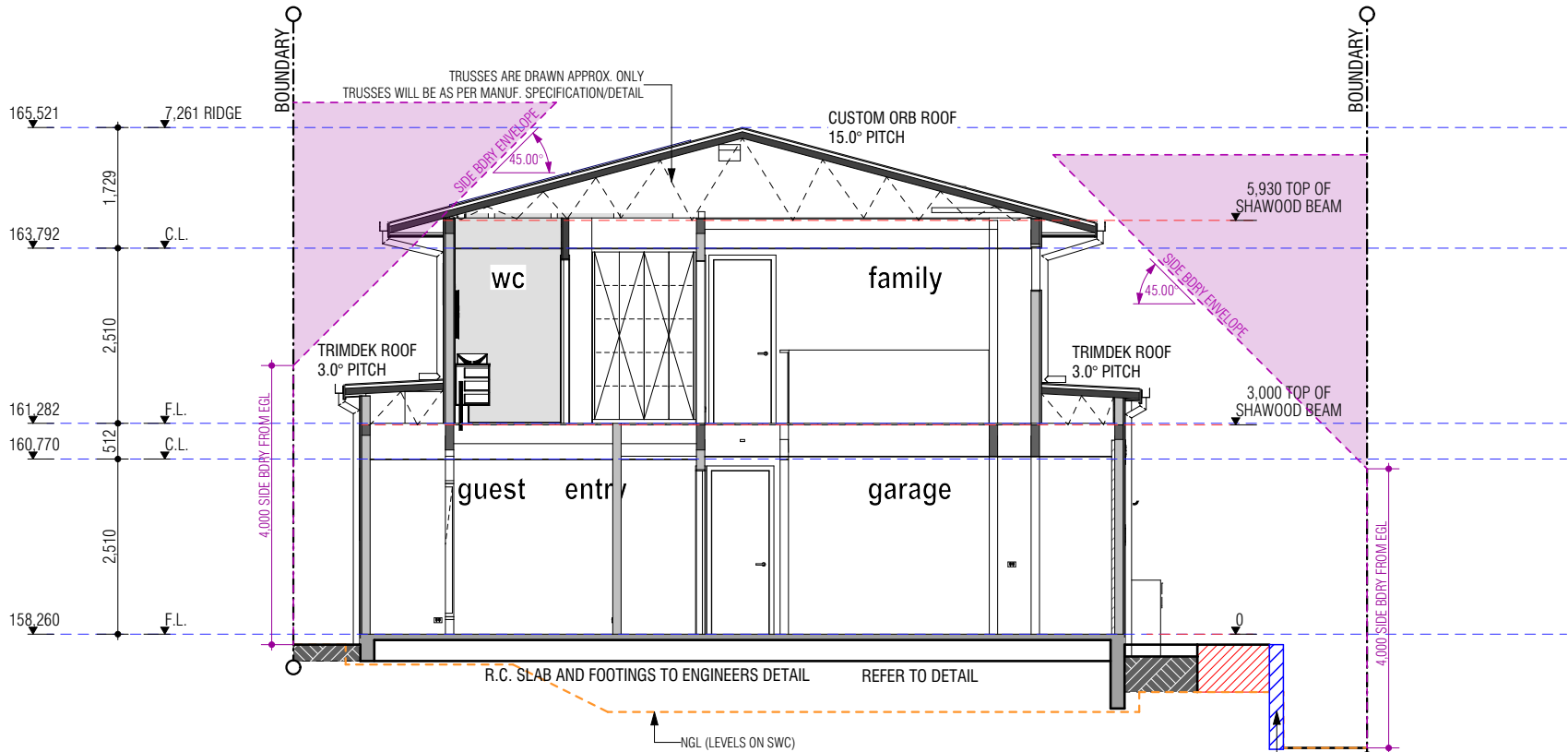
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
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EXTERNAL ELEVATIONS					
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MSS		-		SCALE: 1:100	

LEGEND

	- OBSCURE GLASS
	- STANDARD FUGE
	- RENDER
	- RENDER 2

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SECTIONS			
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