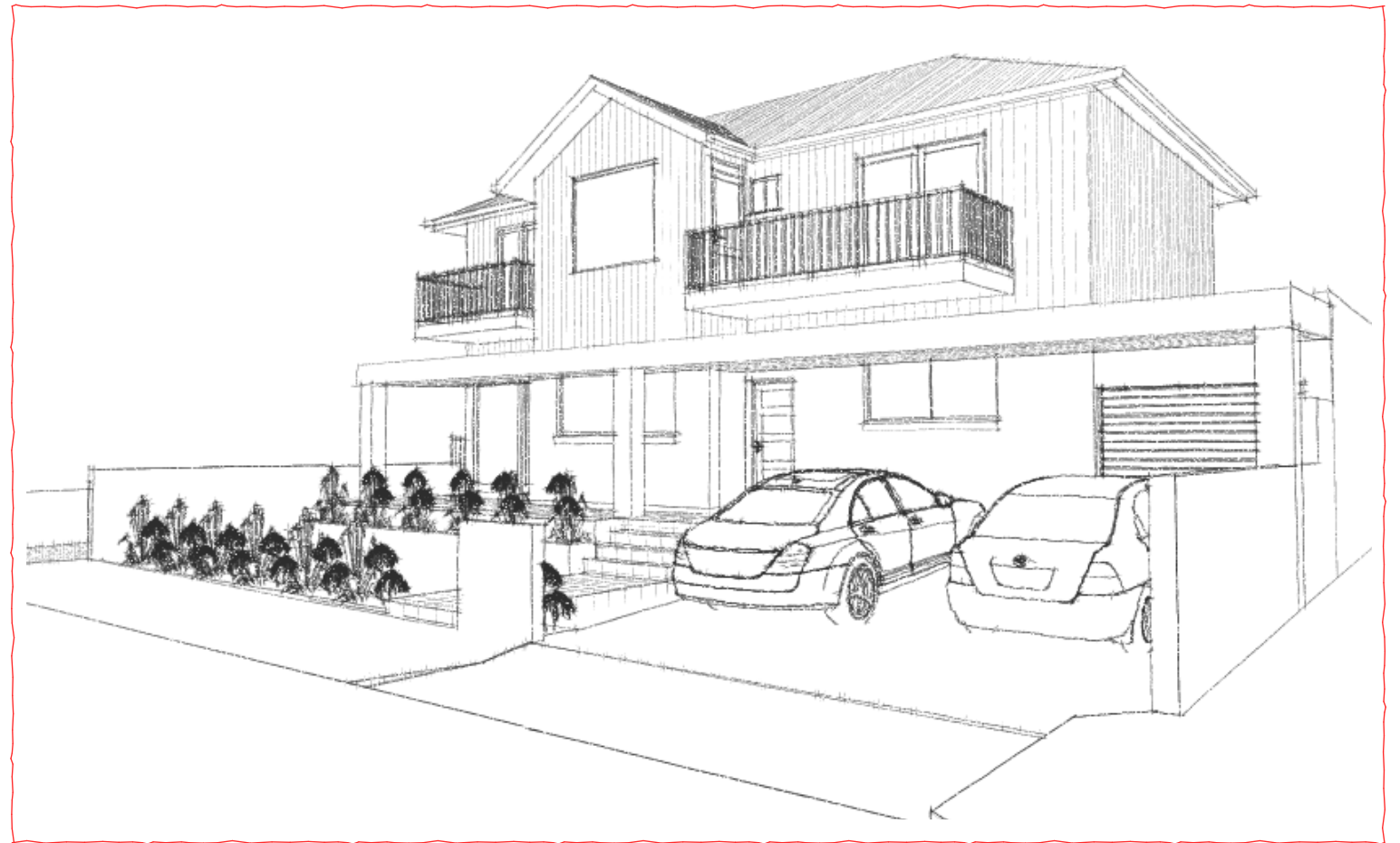


SECTION 4.55 APPLICATION SAKELLARIS RESIDENCE

3 Summit Avenue DEE WHY NSW

ADDITIONS & ALTERATIONS

DRAWING REGISTER				
NO.	DRAWING	SCALE	REV	DATE
Mod-01	COVER SHEET	NTS	A	FEB 2024
Mod-02	SITE PLAN	1:200	A	FEB 2024
Mod-03	GROUND FLOOR PLAN	1:100	A	FEB 2024
Mod-04	FIRST FLOOR PLAN	1:100	A	FEB 2024
Mod-05	ELEVATIONS	1:100	A	FEB 2024
Mod-06	ELEVATIONS	1:100	A	FEB 2024
Mod-07	STREET ELEVATION	1:100	A	FEB 2024
Mod-08	SECTIONS	1:100	A	FEB 2024
Mod-09	SECTION C:C	1:100	A	FEB 2024



BUILDING DESIGN STATEMENT

In accordance with the provisions of Clause A2.2 of, The National Construction Code 2022 (NCC) Volume 2, I hereby certify that the design of this project as documented in drawings 1619-Mod-01 through Mod-09, meets the requirements of the NCC. The design follows established building design principles and is in accordance with all relevant Australian Standards.

Regards

GRANT SEGHERS B.Arch(Hon) Assoc Dip Surv.
Building Designer
GS DESIGN
ABN:93 370 632 963
0424 428 602

**SECTION 4.55 AMENDMENTS
SHOWN CLOUDED**

NOTES:

**ALL CONSTRUCTION TO MEET THE COMMITMENTS
OUTLINED IN BASIX CERTIFICATE No. A307857_02.**

**REFER TO STAMPED PLANS & NOTICE OF
DETERMINATION DA2018/0383, DATED 24 MAY 2018.**

SECTION 4.55 AMENDMENT SCHEDULE

- New Parking Spot Provided, demolish existing brick column.
- Proposed New Crossover.
- New Stepped Garden Beds from Existing Front Deck.
- New Front Entry Path, Low Sandstone Front Boundary Walls Landscaping Behind.
- New Steps to existing front deck from new path and car-parking area.
- Existing Chimney to be demolished.
- Amended Window and Door to Laundry.
- Internal re-configuration of Laundry, Pantry and Kitchen. W07 deleted, WD08 extended.
- Front First Floor Balustrades to be Metal in Lieu of Glass.
- Front Door moved forward.
- W10 to be glass sliding door.

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Figured dimensions to be used rather than scaling.
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CAD Ref: 3 Summit Ave Sect 4.5.pin
Grant Seghers Design

REV DATE AMENDMENT
A FEB 2024 SECTION 4.55 MODIFICATION APPLICATION

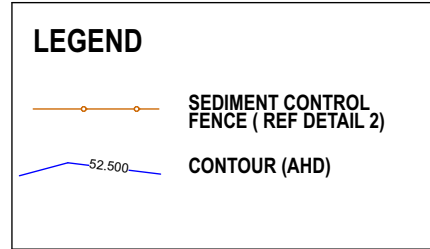


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DRAWING TITLE
COVER SHEET

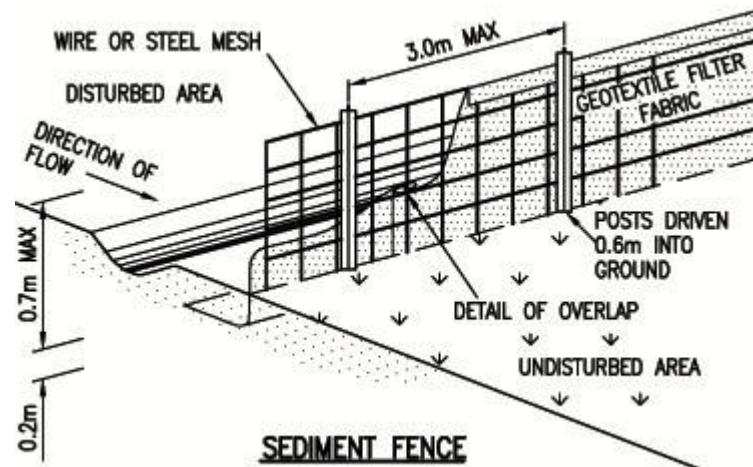
SCALE N.T.S.
PROJECT NO. 1619
DRAWN BY GS
PLOT DATE 29/2/2024
DRAWING NO. Mod-01
REVISION A



NOTES

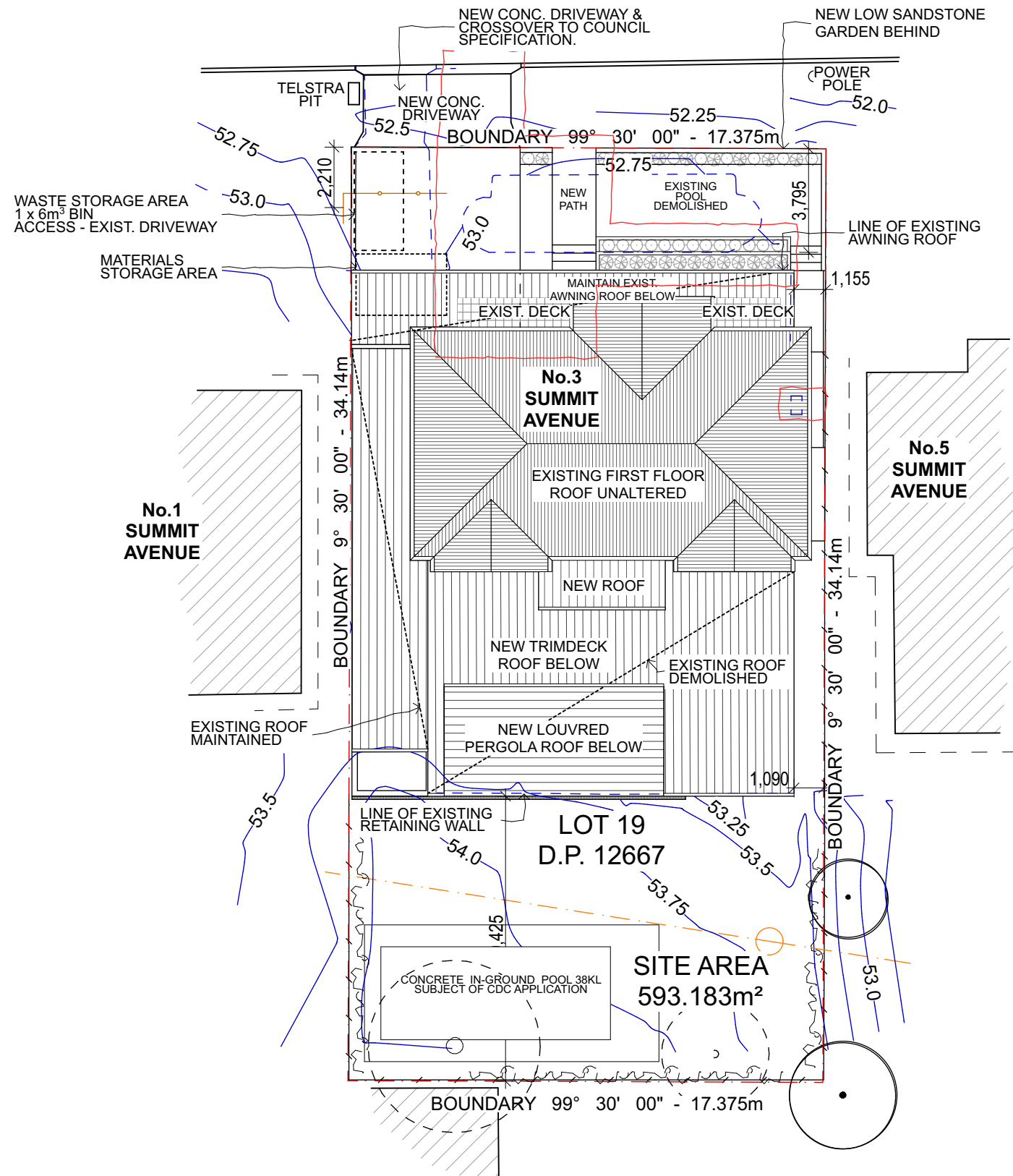
- EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.
- CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES
- "WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING
- ALL DOWNPIPES AND STORMWATER TO BE DIRECTED INTO THE EXISTING SUMMIT AVE STORMWATER NETWORK VIA GRAVITY
- ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857_02.

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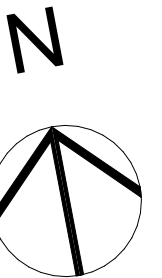
2 Sediment Control Fence

SUMMIT AVENUE



1 Site Plan

1:200



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CAD Ref: 3 Summit Ave Sect 4.5.pin
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REV DATE AMENDMENT
A FEB 2024 SECTION 4.55 MODIFICATION APPLICATION

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DRAWING TITLE
SITE PLAN & SITE ANALYSIS PLAN

SCALE 1:200@A3
PROJECT NO. 1619

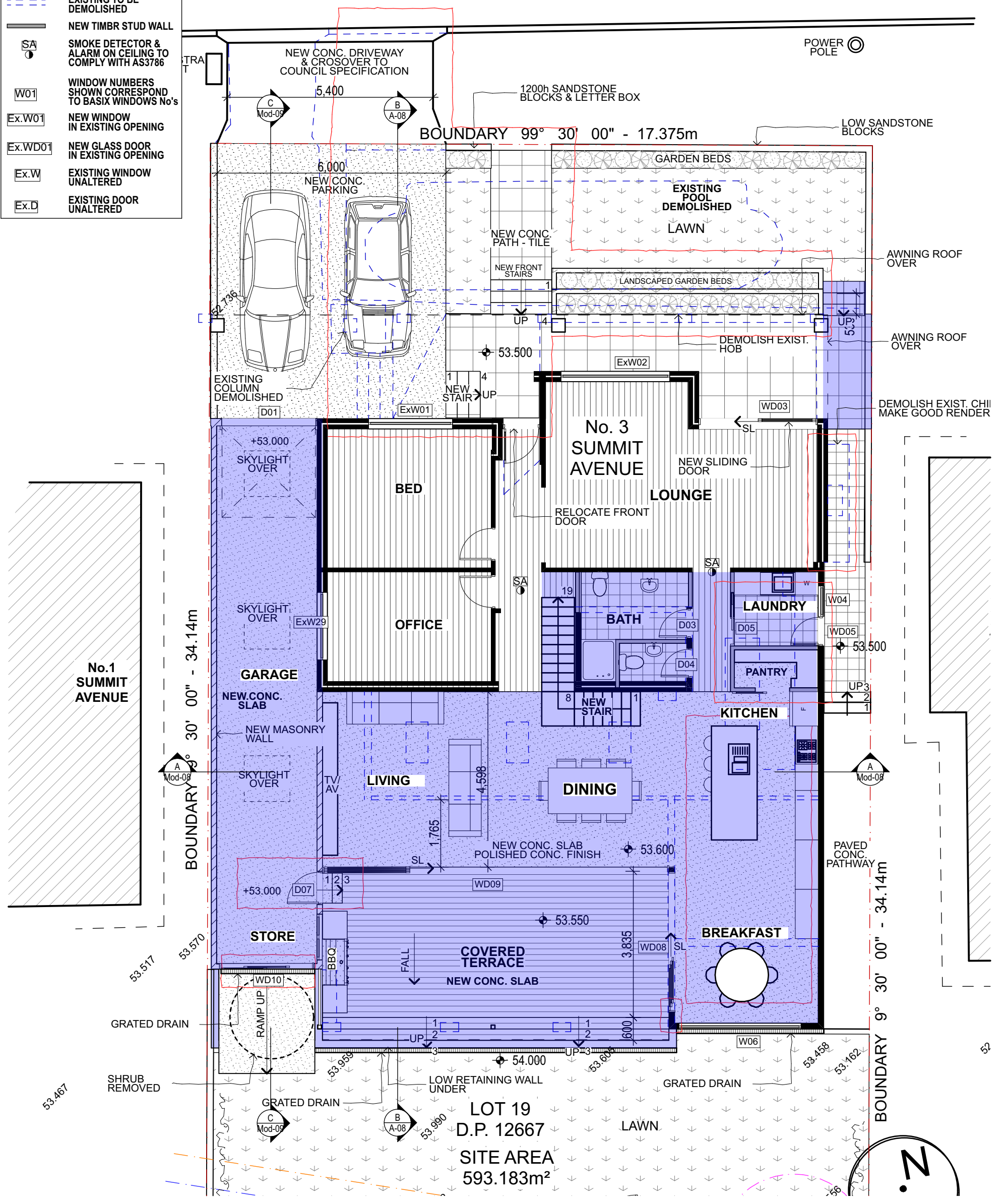
DRAWN BY GS
DRAWING NO. Mod-02

PLOT DATE 29/2/2024
REVISION A

LEGEND

- PROPOSED NEW WORKS
- EXISTING WALLS UNALTERED
- EXISTING TO BE DEMOLISHED
- NEW TIMBR STUD WALL
- SA SMOKE DETECTOR & ALARM ON CEILING TO COMPLY WITH AS3786
- W01 WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
- Ex.W01 NEW WINDOW IN EXISTING OPENING
- Ex.WD01 NEW GLASS DOOR IN EXISTING OPENING
- Ex.W EXISTING WINDOW UNALTERED
- Ex.D EXISTING DOOR UNALTERED

SUMMIT AVENUE



1 Ground Floor
1:100

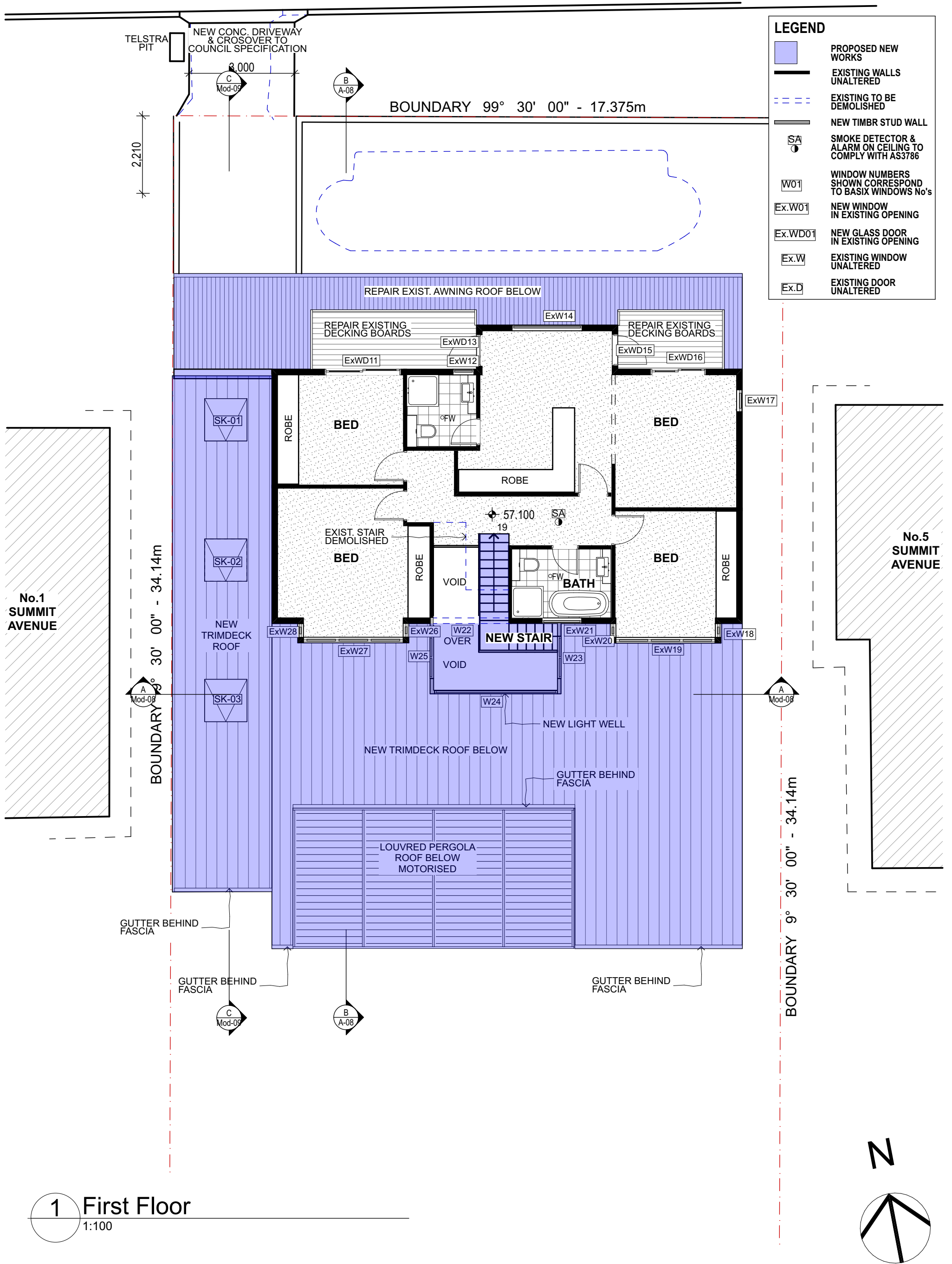
NOTES
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CAD Ref: 3 Summit Ave Sect 4.5.pln
Grant Seghers Design

REV DATE AMENDMENT
A FEB 2024 SECTION 4.55 MODIFICATION APPLICATION

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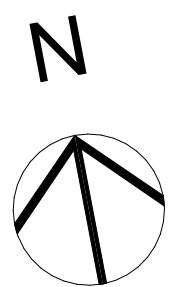
DRAWING TITLE
GROUND FLOOR PLAN
SCALE
1:100@A3
PROJECT NO.
1619
DRAWN BY
GS
PLOT DATE
29/2/2024
DRAWING NO.
Mod-03
REVISION
A



LEGEND

- PROPOSED NEW WORKS
- EXISTING WALLS UNALTERED
- EXISTING TO BE DEMOLISHED
- NEW TIMBR STUD WALL
- SA SMOKE DETECTOR & ALARM ON CEILING TO COMPLY WITH AS3786
- W01 WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
- Ex.W01 NEW WINDOW IN EXISTING OPENING
- Ex.WD01 NEW GLASS DOOR IN EXISTING OPENING
- Ex.W EXISTING WINDOW UNALTERED
- Ex.D EXISTING DOOR UNALTERED

1 First Floor
1:100

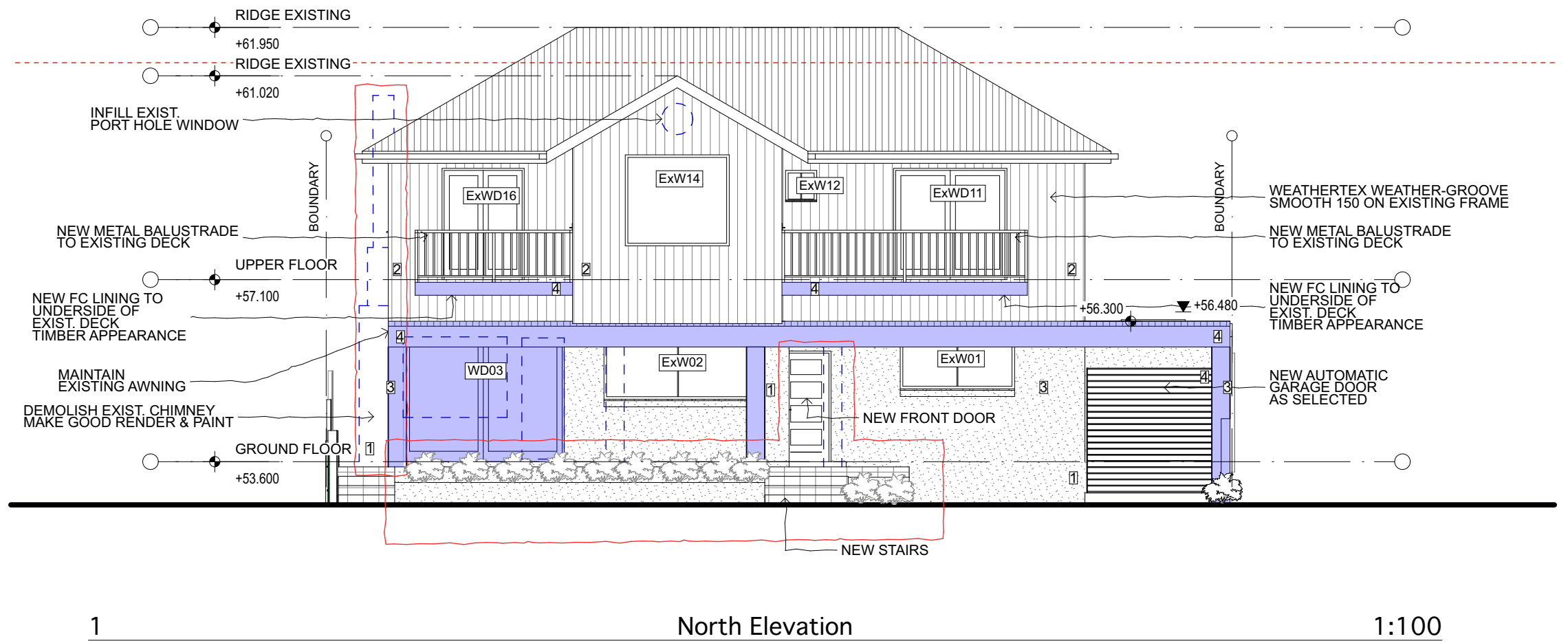
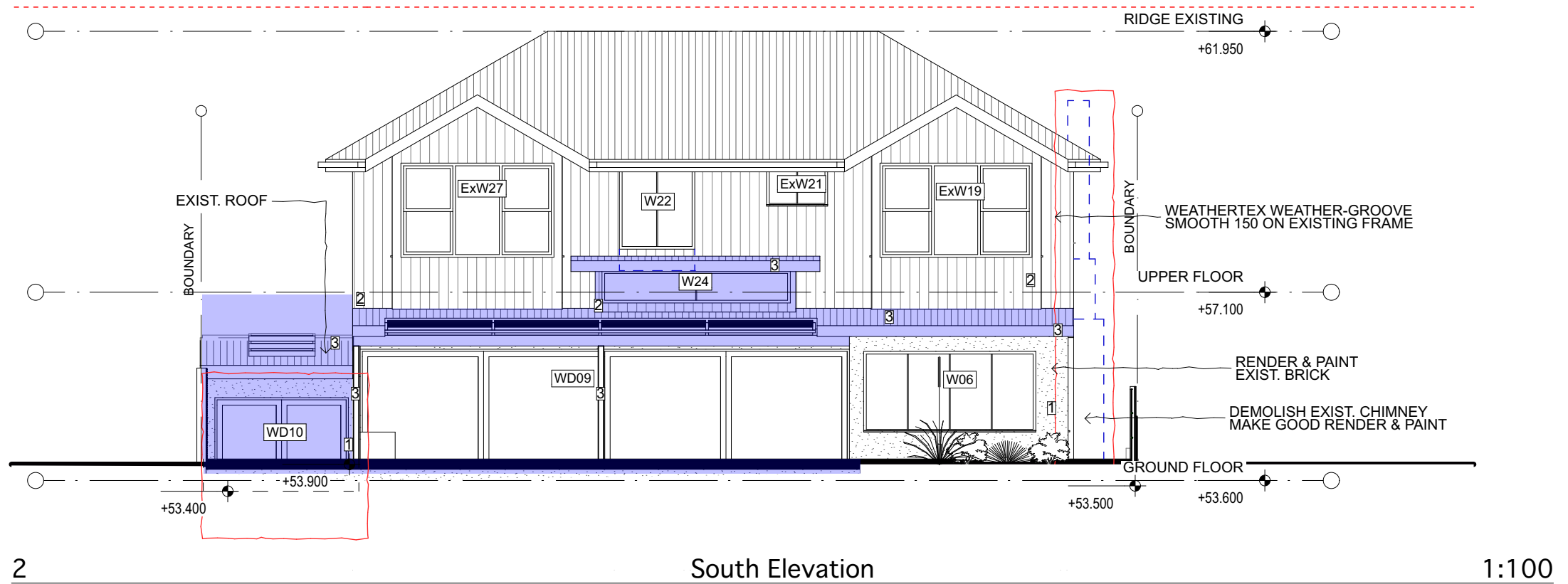


LEGEND

	PROPOSED NEW WORK
	NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
	NEW WINDOW IN EXISTING OPENING
	NEW GLASS DOOR IN EXISTING OPENING
	EXISTING WINDOW UNALTERED
	EXISTING DOOR UNALTERED

COLOUR SCHEME LEGEND

①	DULUX - DOMINO - GR10
②	DULUX - NATURAL WHITE - 15W
③	COLORBOND - SHALE GREY - C4
④	TIMBER - MERBAU - CLEAR FINISH
WINDOW FRAMES - BLACK	



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 CAD Ref: 3 Summit Ave Sect 4.5.pin
 Grant Seghers Design

REV DATE AMENDMENT
 A FEB 2024 SECTION 4.55 MODIFICATION APPLICATION

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DRAWING TITLE
ELEVATIONS

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	29/2/2024
PROJECT NO.	DRAWING NO.	REVISION
1619	Mod-05	A

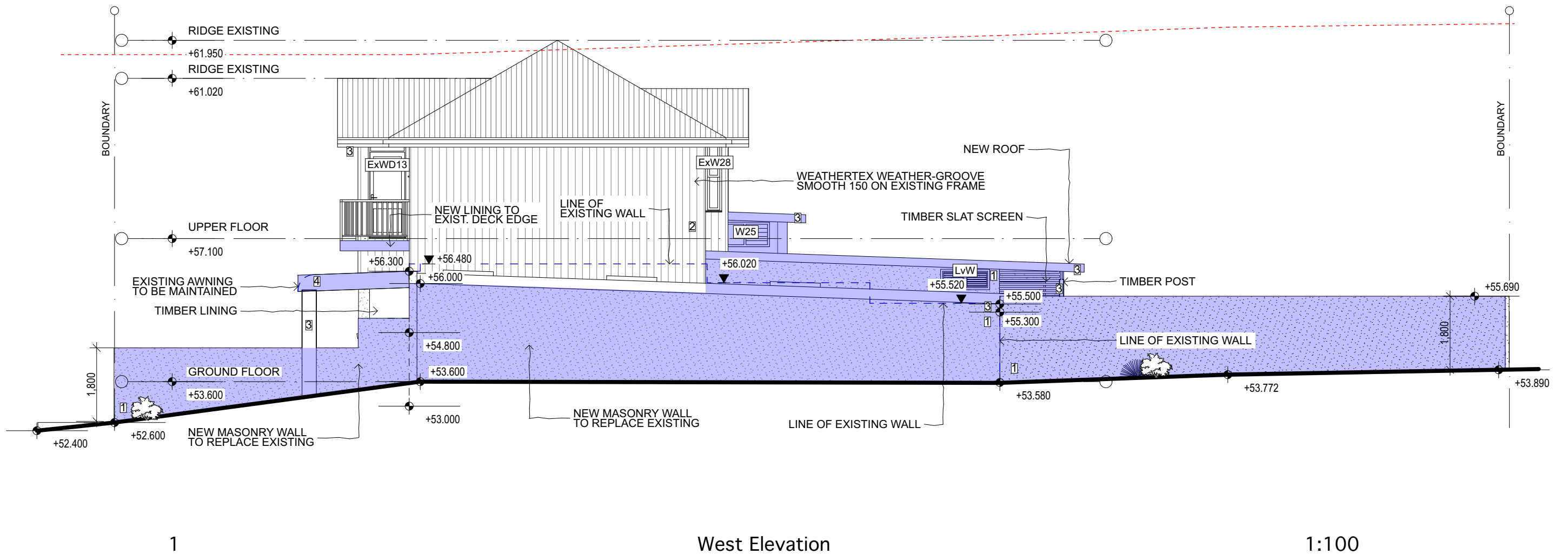
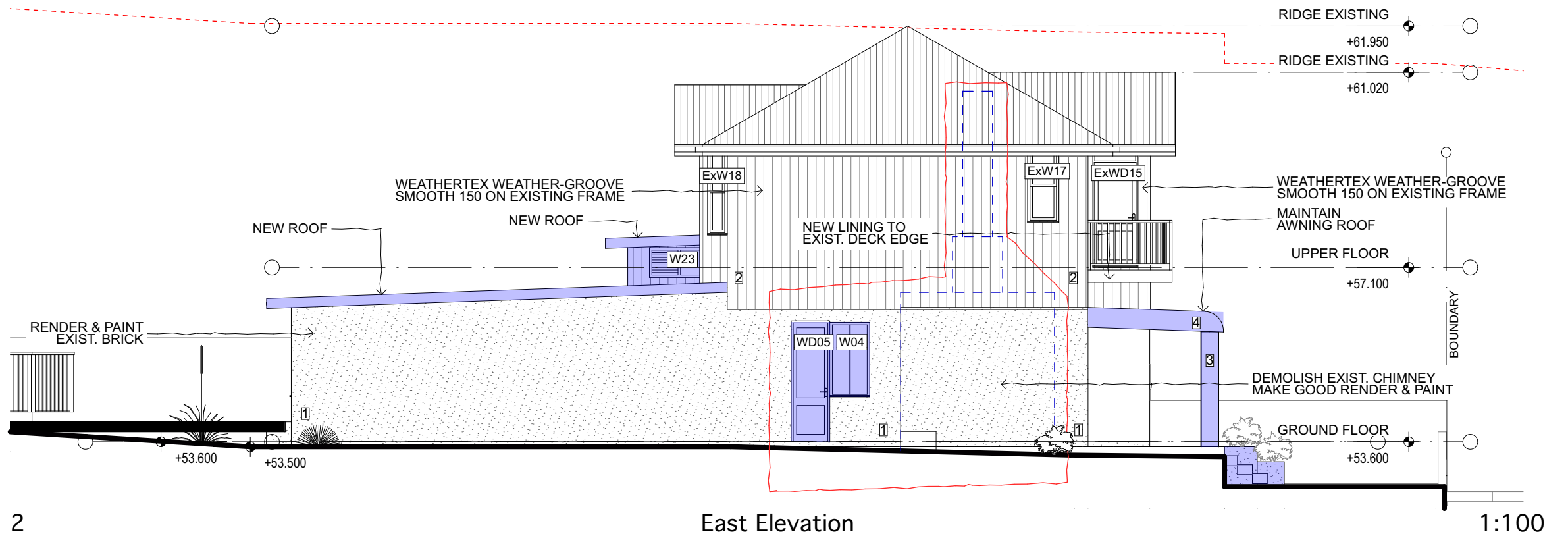
LEGEND

- PROPOSED NEW WORK
- W01 NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
- Ex.W01 NEW WINDOW IN EXISTING OPENING
- Ex.WD01 NEW GLASS DOOR IN EXISTING OPENING
- Ex.W EXISTING WINDOW UNALTERED
- Ex.D EXISTING DOOR UNALTERED

COLOUR SCHEME LEGEND

- ① DULUX - DOMINO - GR10
- ② DULUX - NATURAL WHITE - 15W
- ③ COLORBOND - SHALE GREY - C4
- ④ TIMBER - MERBAU - CLEAR FINISH

WINDOW FRAMES - BLACK



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CAD Ref: 3 Summit Ave Sect 4.5.pin

Grant Seghers Design

REV DATE AMENDMENT
A FEB 2024 SECTION 4.55 MODIFICATION APPLICATION

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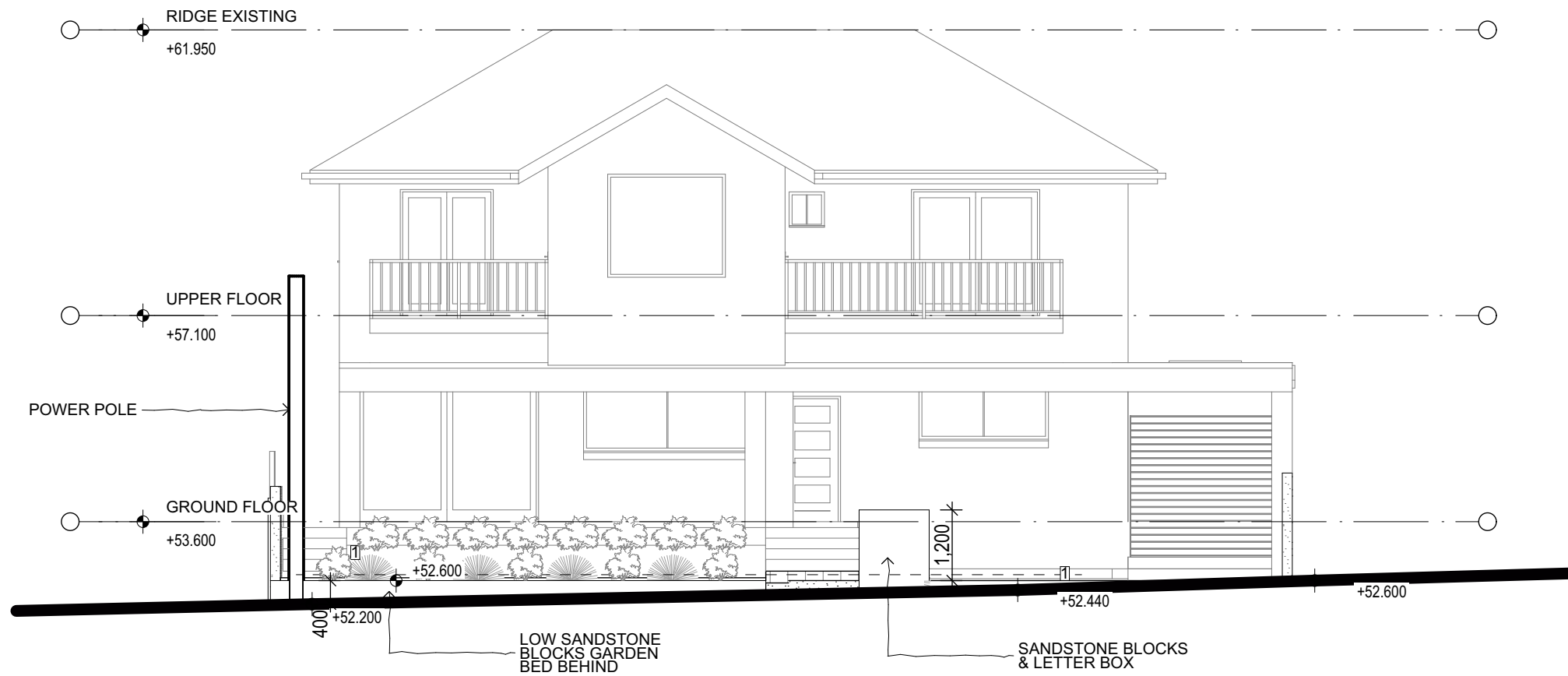
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DRAWING TITLE

ELEVATIONS

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	29/2/2024
PROJECT NO.	DRAWING NO.	REVISION
1619	Mod-06	A

LEGEND	
W01	NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
Ex.W01	NEW WINDOW IN EXISTING OPENING
Ex.WD01	NEW GLASS DOOR IN EXISTING OPENING
Ex.W	EXISTING WINDOW UNALTERED
Ex.D	EXISTING DOOR UNALTERED



1

Summit Street Elevation

1:100

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DRAWING TITLE
STREET ELEVATION

SCALE
1:100@A3

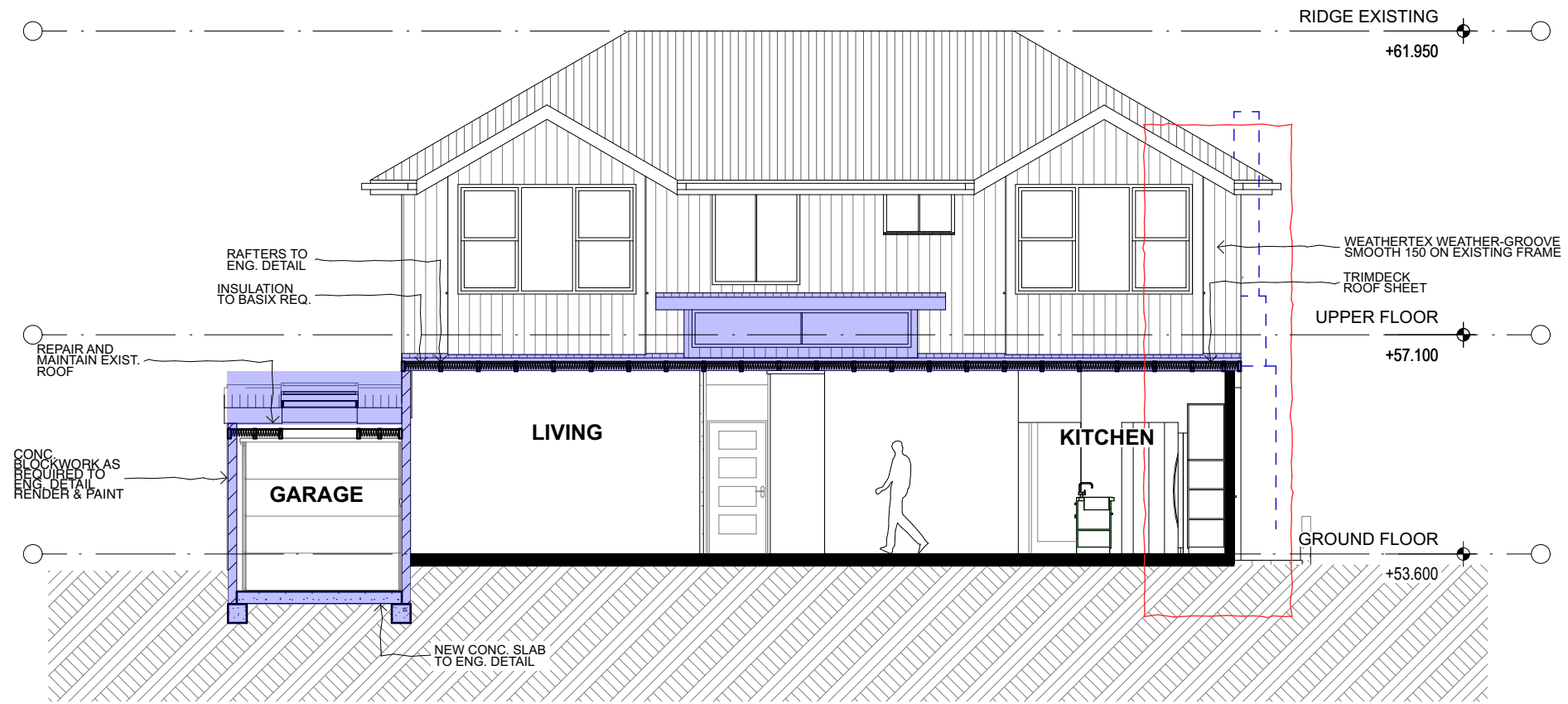
PROJECT NO.
1619

DRAWN BY
GS

PLOT DATE
29/2/2024

DRAWING NO.
Mod-07

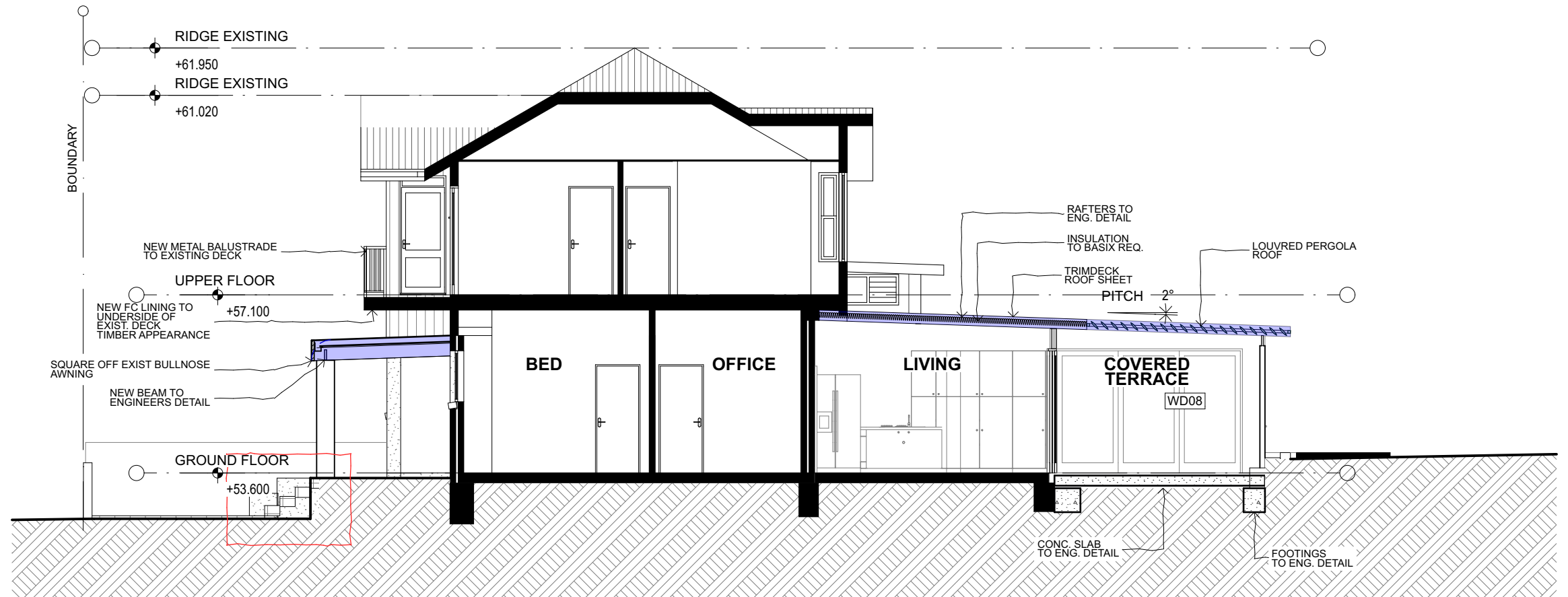
REVISION
A



1

Section A:A

1:100



2

Section B:B

1:100

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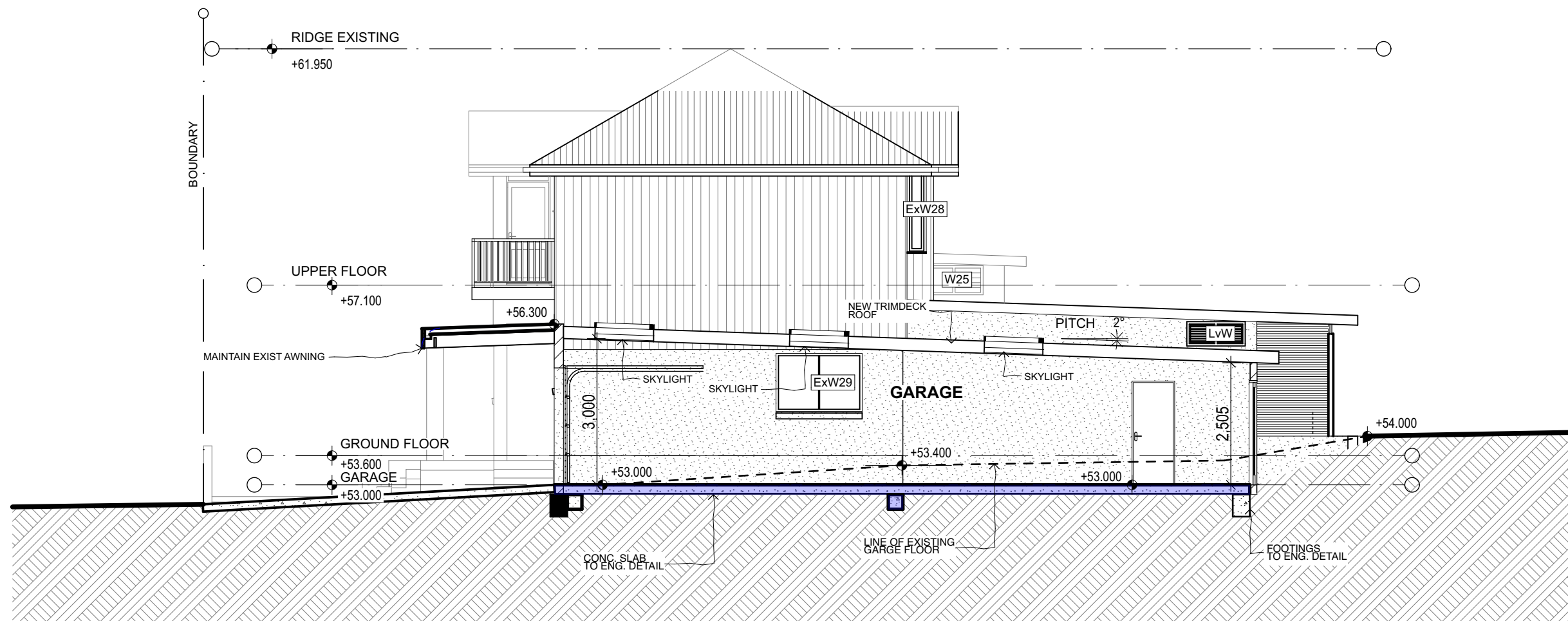
REV DATE AMENDMENT
 A FEB 2024 SECTION 4.55 MODIFICATION APPLICATION

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DRAWING TITLE
SECTIONS

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	29/2/2024
PROJECT NO.	DRAWING NO.	REVISION
1619	Mod-08	A



1

Section C:C

1:100

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DRAWING TITLE
SECTION C:C

SCALE
 1:100@A3

PROJECT NO.
 1619

DRAWN BY
 GS

PLOT DATE
 29/2/2024

DRAWING NO.
 Mod-09

REVISION
 A