

19.10.2023

64 Elimatta Rd, Mona Vale 2103

Statement of Environmental Effects

1. Summary

Land to be developed (Address)	Lot 7 DP 229542 64 Elimatta Rd, Mona Vale 2103
Proposed Development	Alteration & Addition to existing dwelling house – extension of the front bedroom
Zoning	C4 – Environmental Living
Development Permissible	Yes
Consent Authority	Northern Beaches Council

2. Introduction

This Statement of Environment Effects has been prepared by Blue Sky Building Designs on behalf of Jim Bullough in support of a Development Application (DA) proposing an extension of the bedroom at property located at 64 Elimatta Rd, Mona Vale.

The Development Application is accompanied by:

1. Building Plans - prepared by Blue Sky Building Designs "DA Issue" dated 16/10/2023
2. Site Survey Plan including Boundary Definition – prepared by DS&P dated 11/05/2023
3. Basix Certificate A1372776 dated 16 October 2023
4. Statement of Environmental Effects - prepared by Blue Sky Building Designs

In preparation of this document, consideration has been given to the following:

- Environmental Planning and Assessment Act (EPAA) , 1979
- Pittwater Local Environmental Plan 2014
- Pittwater Development Control Plan

3. Proposed Modification in Detail

The application seeks development consent for an alteration and addition to the existing dwelling, including the extension of the front, upper-level bedroom.

Key aspects of the proposed development are noted as follow:

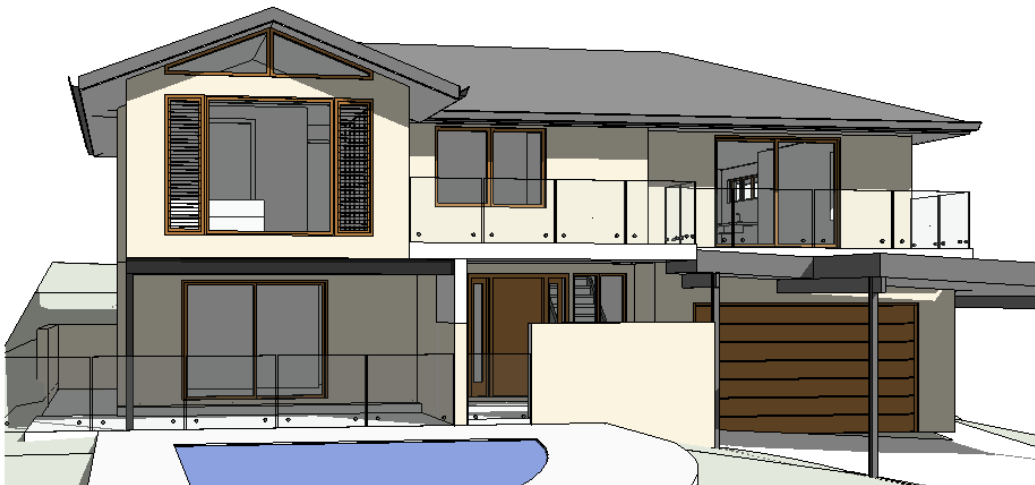
- Demolition of the timber deck in front of the existing upper bedroom
- Demolition of the front wall and gable roof over the existing front bedroom to allow for the new extension.
- Extension of the existing bedroom by approximately 2.2m towards the front boundary & creation of the walking robe.
- Extension of the deck to be in line with the proposed front wall and roof over the entry.

The proposed plan includes a more spacious bedroom and a designated area for a walk-in-robe. The extension, approximately 2.2m towards the front, will seamlessly align with the current deck. The colours and materials chosen will match the existing.

Existing:



Proposed.



4. Site Description

Property Description:

Lot 7 DP 229542 known as 64 Elimatta Rd, Mona Vale is zoned as C4- Environmental Living.

Detailed Site Description:

64 Elimatta Rd is located on the southwestern side of Elimatta Road. The site is irregular in shape and has a frontage of 20.335m and depth of 42.545m. Site area is 696.73m²

The site is in C4 Environmental Living zone and accommodates a two-storey residential dwelling with an in-ground swimming pool at the front.

5. Site History

Development Application N0772/99 – Addition to the dwelling and inground swimming pool, approved on 21/10/1999.

Development Application N0083/01 – Construction of a retaining wall – approved on 16/03/2001.

Development Application N0420/07 – Alteration and addition to the existing dwelling including new carport – approved on 21/09/2007.

Development Application DA2020/0134 – Alteration and addition – construction of a covered entry structure, approved on 09/04/2020.

Section 4.55 Modification Mod2021/0159 – Modification of DA 2020/0134, approved on 07/05/2021.

6. Compliance Assessment

6.1. Pittwater Local Environmental Plan 2014 (PLEP)

Part 2 - Land Use Table

The proposed development is zoned C4 – Environmental Living and it is permissible with the consent

Part 4.3 - Height of the building.

The proposed development meets the objectives and maximum building height is below 8.5m

6.2. Pittwater 21 Development Control Plan

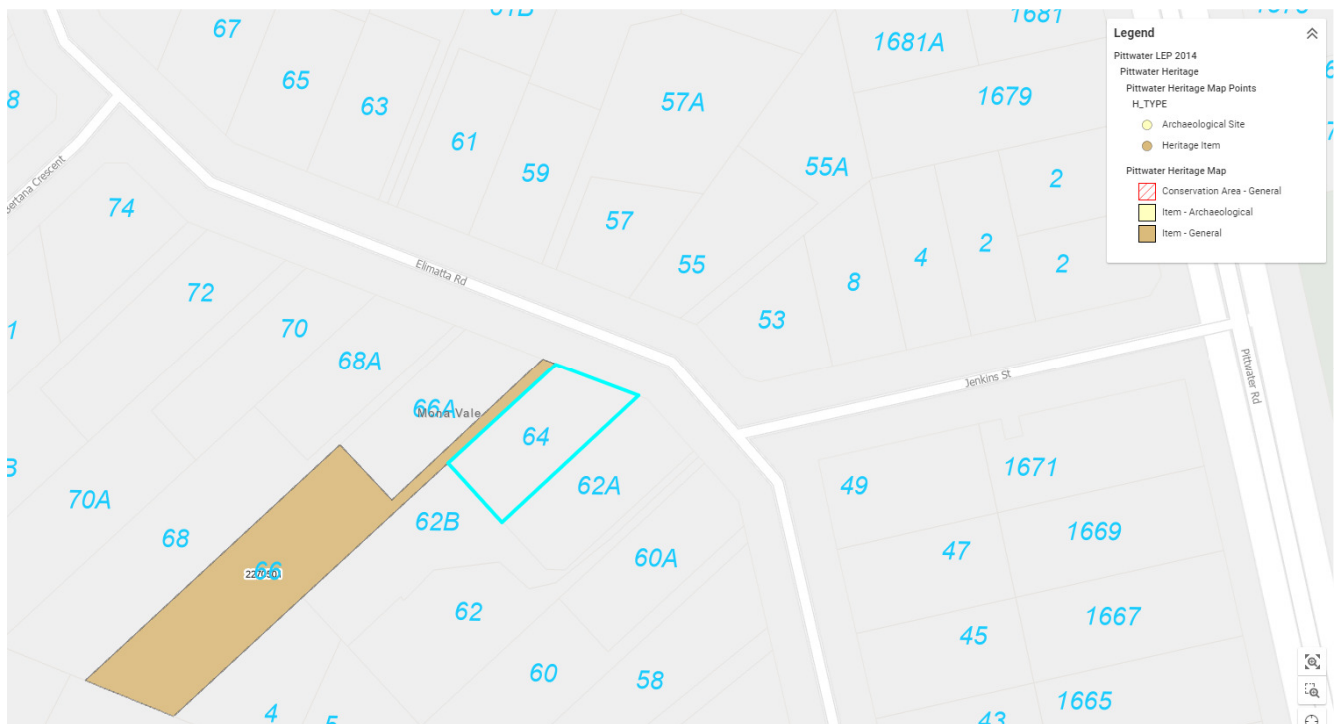
B1.2 – Heritage Conservation – Development in the vicinity of heritage items, heritage conservation areas, archaeological sites or potential archaeological sites.

Developments in the vicinity of a heritage item, heritage conservation area, archaeological site or potential archaeological site are to be designed to respect and complement the heritage significance in terms of the building envelope, proportions, materials, colours and finishes, and building alignment.

Developments in the vicinity of a heritage item, heritage conservation area, archaeological site or potential archaeological site are to minimise the impact on the heritage significance by providing an adequate buffer zone and maintaining and respecting significant views to and from the heritage item, heritage conservation area, archaeological site or potential archaeological site.

“The house at 66 Elimatta Road, Mona Vale has historic and aesthetic significance as a good example of a Federation House typically of the early Warriewood Estate/Narrabeen subdivision.”

Although the dwelling at 66 Elimatta Road is a heritage item, it is situated at a considerable distance from the subject site. The proposed extension towards the Eastern aspect will not adversely affect the heritage item or its significance.



B3. Hazard Controls

The site is not classified as:

- Bushfire Prone Land
- Estuarine Hazard
- Flood Prone Land

C1. Design Criteria for Residential Development

C1.3. View Sharing

The proposed extension, being only 2.2m toward the front of the property, poses no risk to obstruct any views for the adjacent properties. This design remains compliant with the established controls.

C1.4. Solar Access

The proposed extension will have a minimal overshadowing impact on the property at 62a Elimatta Rd. The windows of the principal living area will retain current level of sunlight exposure.

C1.6. Acoustic Privacy

Acoustic privacy has been maintained across the development. This project imposes minimal noise impact on neighbouring properties.

D9. Locality Specific Development Controls – Mona Vale Locality

Built Form Control	Requirement	Proposed	Variation	Complies
Front building line	6.5m	>15.85m	N/A	Yes
Rear Building line	6.5m	N/A	N/A	Yes
Side Building line	NW min 2.5m	>12m	N/A	Yes
	SE min 1m	1.75m	N/A	Yes
Building envelope	NW – 3.5m	Within envelope	N/A	Yes
	SE – 3.5m	Within envelope	N/A	Yes
Landscaped area	60%	No change to existing landscaped area	N/A	N/A

D9.11 Landscaped Area

Controls

The total landscaped area on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living shall be 60% of the site area.

The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 60% of the site area as landscaped area.

The proposed plan does not involve any modification to the current landscaped area. The building form will stay within existing parameters, ensuring no additional hard surfaces or encroachment on soft area. As a result, the proposal complies with the established guidelines.



7. Conclusions

The planned extension of the bedroom and deck will fulfill the requirements outlined in Pittwater Council Development Control Plan 2014 and the Pittwater Local Environmental Plan 2014. The proposed development is anticipated to have no adverse environmental impact and will enhance the amenity for the current property owners. Considering the minimal impact, the council's support for the development application is appreciated.