

General notes:

1. All drawings are to be read in conjunction with all other relevant drawings, which include consultant's drawings and specifications . All discrepancies shall be referred to Budget Granny Flats.
2. All work to be carried out according to all relevant legislative requirements, codes of practice and Australian Standards.
3. All dimensions are in millimetres and all leves are in metres unless otherwise noted. All dimensions are to be read and not measured off drawings.
4. All levels, dimensions and setting out dimensions are to be checked and verified by builder before building work commences.
5. During construction the structure shall be maintained in a stable condition. Temporary structures, formwork, temporary bracing, shoring and the like is the sole responsibilty of the contractor.
6. Any structural variations or substitutions are to be with the approval of the engineer.

Ground preparation:

1. Strip all vegetation and root affected material. Cut and fill site where required to levels indicated.
2. Where additional fill is required, non-cohesive materials such as sand and gravel dust shall be placed by 'controlled' compaction in horizontal layers of not greater than 200mm loose thickness.
3. All fill is to be inspected, placed, compacted and tested in accordance to relvant standards.
4. Floor slabs on ground - minimum of 50mm thick sand is to be spread as a levelling layer and well-watered down, with a suitable membrane placed.

Structural:

1. All structural work is in accordance to engineers details.
2. Floor structures - suspended floors or concrete slabs, footings and piers have been designed by engineers in accordance with the relevant site classifications - refer to relevant drawings.
3. Any deviation to structural engineers details must be confirmed with engineers.
4. All structural work is to be in accordance with Australian National Standards.

BASIX certificate commitments (refer to BASIX certificate for details)

Landscaping

A min planting of 100m² low water use/indigenous vegetation is required

Fixtures

New or altered shower heads to have min flow rate of: 3 star >4.5 but <6.0lt/min.

New or altered toilets to have a minimum rating of: 4 star.

New or altered taps to have a minimum rating of: 5 star.

Alternative water

Min 2000 litre water tank to be installed on site.

Direct a min 86.29m² of roof water to the rain water tank.

Redirect from water tank at least one outdoor tap. Provide adequate signage at tap that water is not for human consumption.

Construction insulation

Floor (suspended) min R0.8

External walls: min R2.0

Ceilings: min R4.0

Roof: Sarking (or 2 wind-driven ventilators with eave and/or roof vents).

Hot water

Electric heat pump – air sourced with a performance of 36 to 40 STCs or better.

Cooling system/heating system

The living and bedroom areas must incorporate ceiling fans.

The living and bedroom areas must not incorporate any heating system.

Ventilation

At least one bathroom must have individual fan, not ducted with manual on/off switch.

Kitchen must have individual fan, not ducted with manual on/off switch.

Artificial lighting

The primary type if artificial lighting is to be fluorescent or led in the following rooms:

At least 2 bedrooms

At least 2 living/dining rooms

Natural lighting

There must be a window/skylight in the following rooms:

Kitchen

1 bathroom

Other

There must be an outdoor clothes drying line.

General notes

1. New guttering and downpipes routed into existing system and routed to the street to council requirements and Australian standards.
2. New waste water system routed into existing sewer lines to council requirements.
3. Unless noted otherwise it is understood the site is free from easements or rights of ways.
4. All work is to comply with the BASIX certificate.
5. All work to be performed in a tradesman like manner in accordance with local regulations, Australian standards and building code of Australia requirements

Stormwater notes

1. Roof guttering is to be connected to the stormwater system as soon as practicable.
2. All roof water to be directed to water tank. Tank overflow to be connected to existing stormwater system

Sedimentation notes

1. Site works will not start until the erosion and sediment controls measures are installed and functional.
2. Entry and departure of vehicles is to be confined to the stabilised site access.
3. Topsoil is to be stripped and stockpiled for later use in landscaping the site. Topsoil is to be respread and all disturbed areas rehabilitated (turfed) within 20 working days of completion of works.
4. Sediment traps to be constructed around all inlet pits consisting of 300w x 300d trench. These shall be cleared when the structures are a maximum 60% full of soil materials including the maintenance period.
5. The footpath, other than the stabilised site access is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated as soon as possible.
6. Bins are to be provided within the development site (NOT on footpath or roadway) for building waste and arrangements are to be make for regular collection and disposal.
7. Roof guttering is to be connected to the stormwater system as soon as practicable.
8. All erosion controls are to be checked daily (at a minimum weekly) and after all rein events to ensure they are maintained in fully functional condition.

Dust Control

Adequate measures are to be taken during excavation, demolition and construction to prevent dust from affecting the amenity of the neighborhood by using the following measures:

1. barriers are to be erected at right angles to prevent wind direction or shall be placed around/over dust sources to prevent wind or activity from generating dust.
2. all dust creating activities shall be time managed to coincide with the next stage of development to minimise the amount of time the site is left cut or exposed.
3. all materials shall be stored or stockpiled at the appropriate locations.
4. the ground surface should be dampened slightly to prevent dust but not to the extent of creating run-off.
5. all vehicles carrying soil or rubble shall be covered at all tomes to prevent dust escaping.
6. all equipment wheels are to be washed on exiting the site.
7. gates fitted with shade cloth are to be closed between vehicle movements.
8. footpaths and roadways are to be cleaned daily.
9. all site waste that is not usable for landscaping shall be removed from the site on completion of works.

PROPOSED DEVELOPMENT  
10 The Esplanade, Narrabeen,  
NSW, 2101

Construction of granny flat & alterations to existing residence

Site Calculations

Name	Area
Site	737.82m²
Proposed Granny Flat	60m²
Proposed Bay Window	3.4m²
Ex. Residence (footprint)	124.72m²

Floor Area

Name	Area
Proposed Granny Flat	60m²
Proposed Bay Window	3.4m²
Proposed Balcony	5.92m²
Existing Residence	124.72m²

Site Coverage

Name	Area
Proposed Granny Flat	60m²
Proposed Deck	48.5m²
Proposed Bay Window	3.4m²
Proposed Deck & Stair	42.70m²
Existing Residence	124.72m²
Existing Carport	35.31m²
Exist. Driveway & Paths	121.00m²
Exist. Deck & Entry Porch	10.06m²
TOTAL COVERAGE	445.69m²

Total Site Coverage

Total Coverage	445.69m² = 60%
total landscaped area	292.13m² = 40%



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CUSTOM GRANNY FLATS AND STUDIOS  
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All structural work is to Engineers details.

Client sign off signature:

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

16.05.19	For Approval		
16.10.18	Window amends		
10.09.18	Site location amended		
10.09.18	Minor amends		
30.08.18	Floor level & minor amends		
22.08.18	Client Sign Off		
DATE	ISSUED	DATE	ISSUED

Proposed Granny Flat

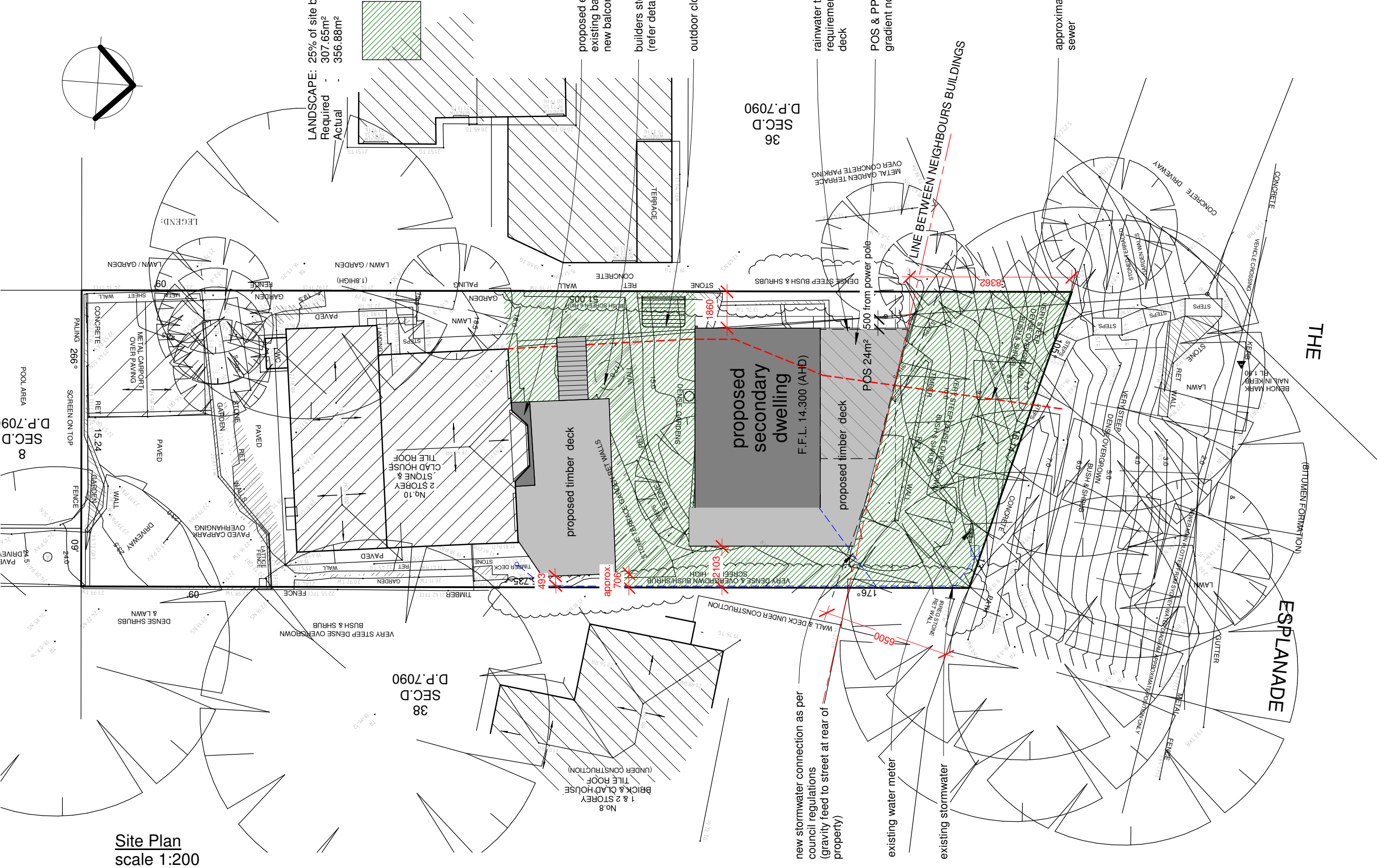
PROJECT: LOT 37 SEC. D,  
DP 7090, 10 THE ESPLANADE,  
NARRABEEN, NSW, 2101

Site Information &  
BASIX

Scale	As Shown (A3)
Date	MAY 2019
Drawn by	DO

S1 A

FFL to be confirmed onsite



Site Plan  
scale 1:200



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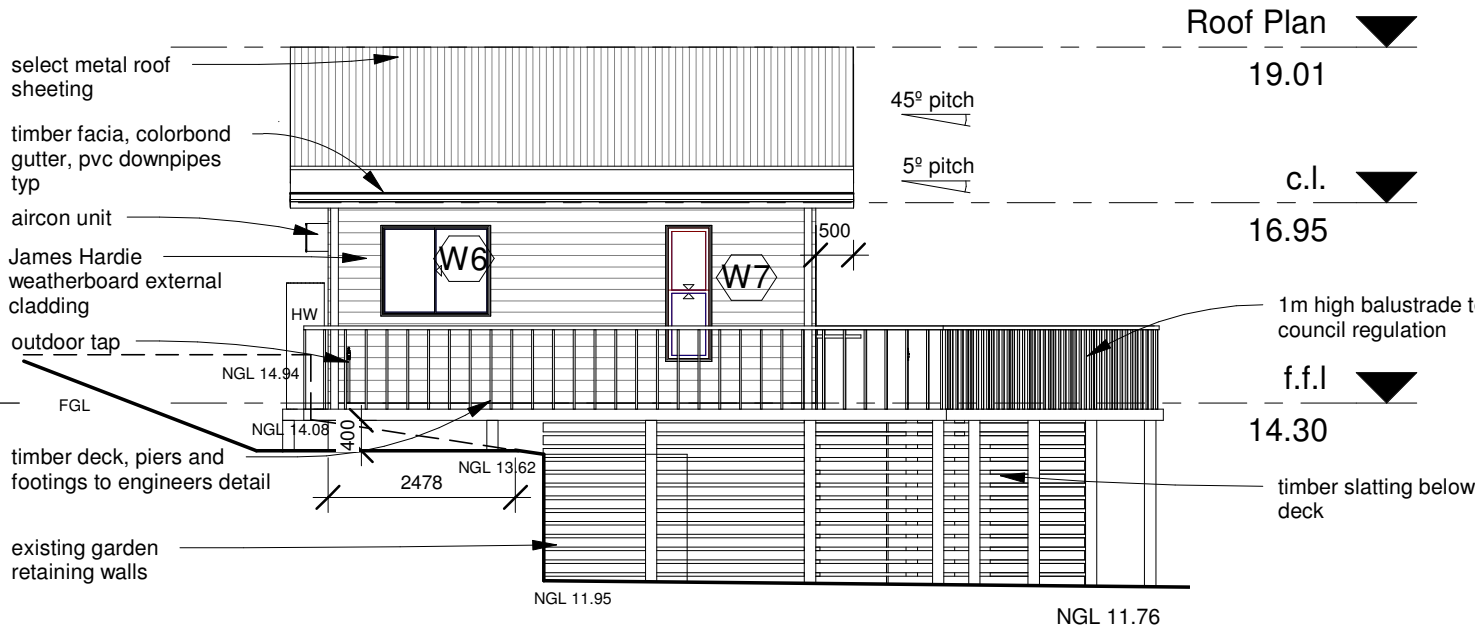
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Site Plan

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Date	MAY 2019
Drawn by	DO

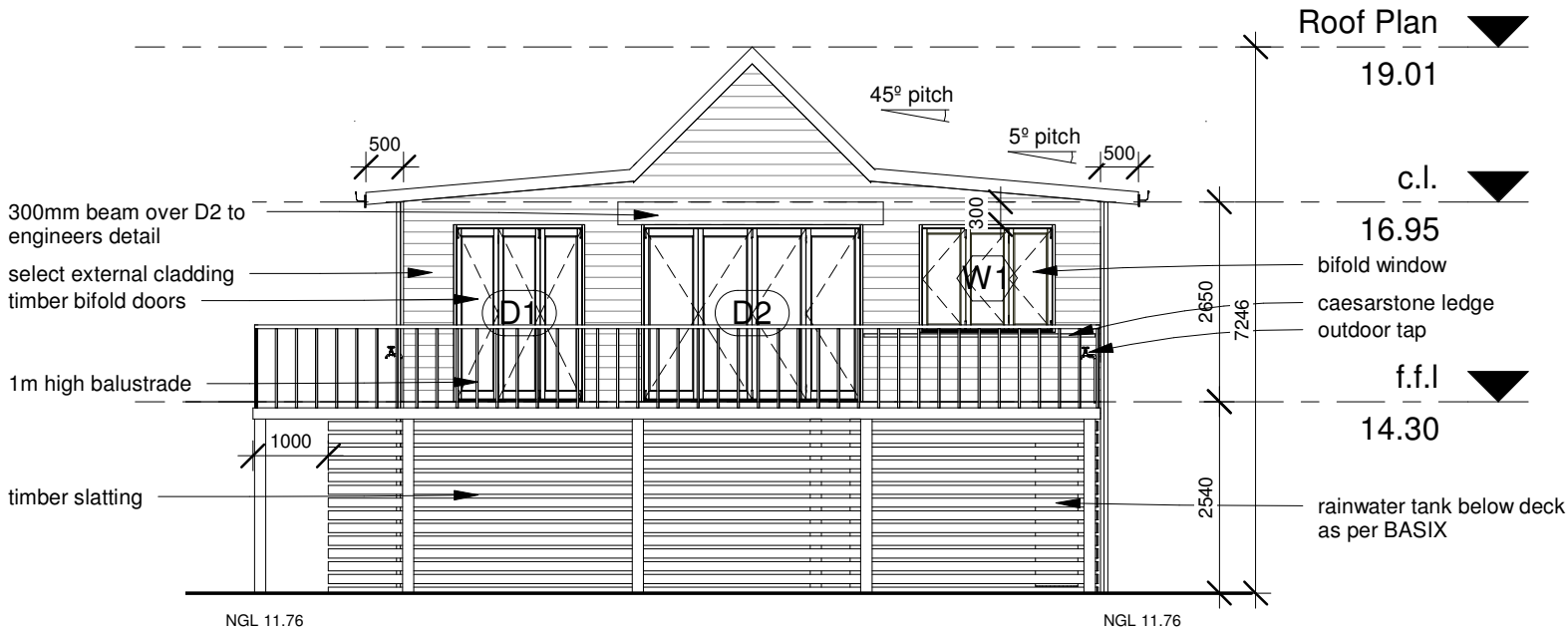
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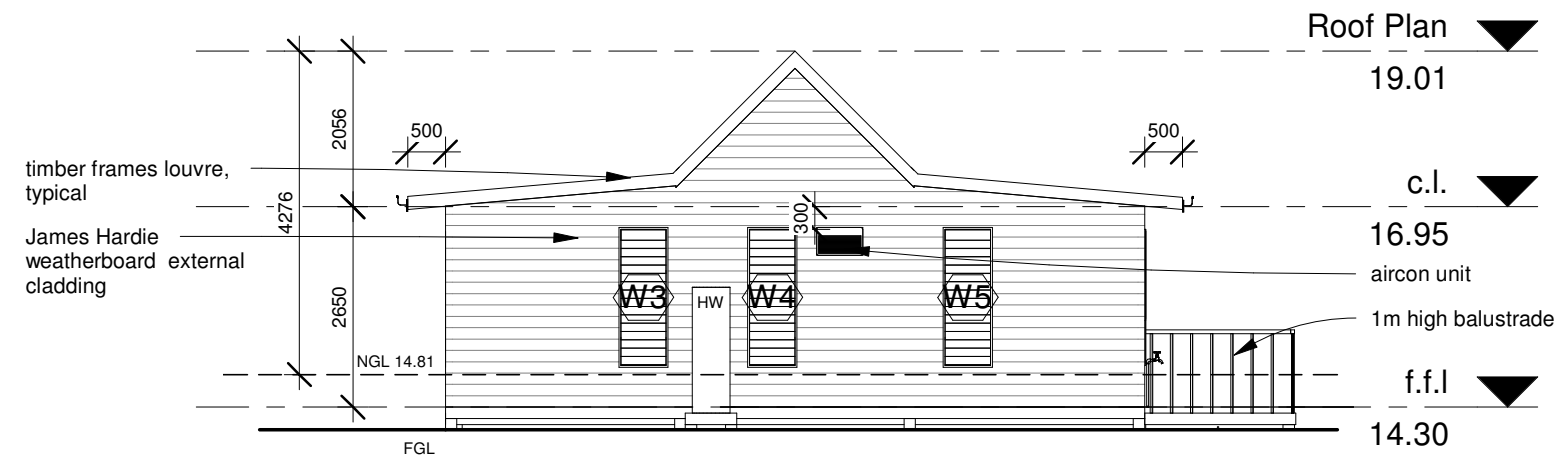
East Elevation

1 : 100



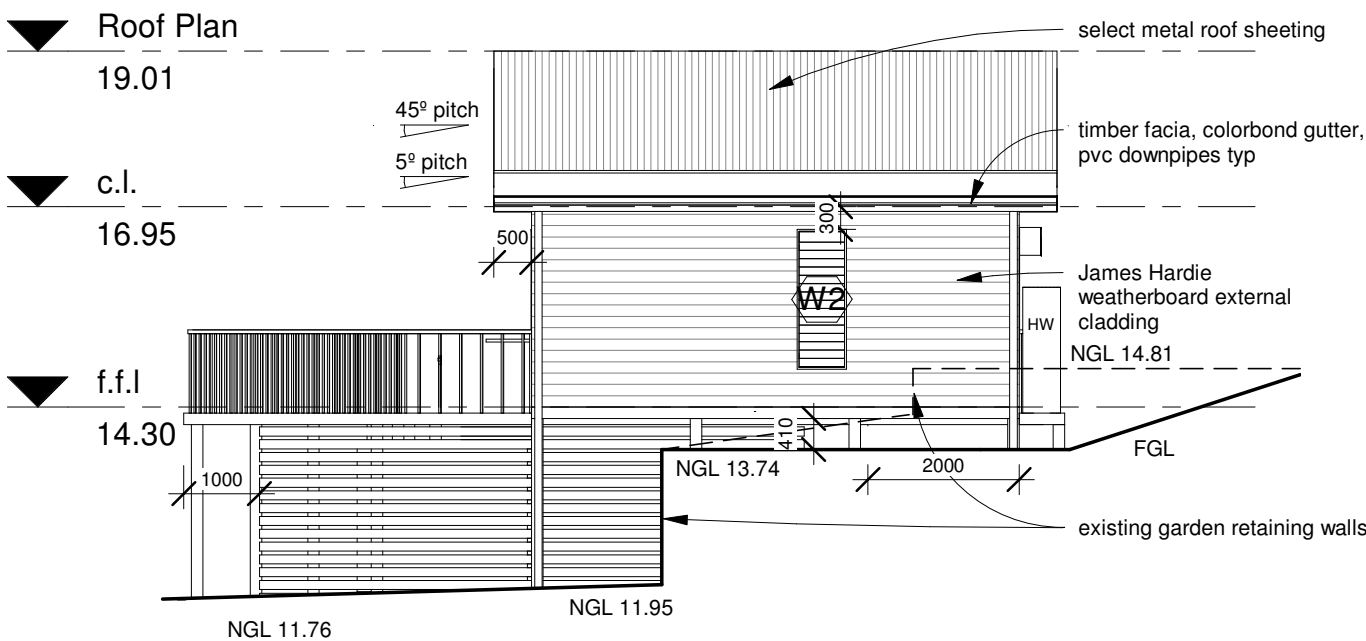
North Elevation

1 : 100



South Elevation

1 : 100



West Elevation

1 : 100



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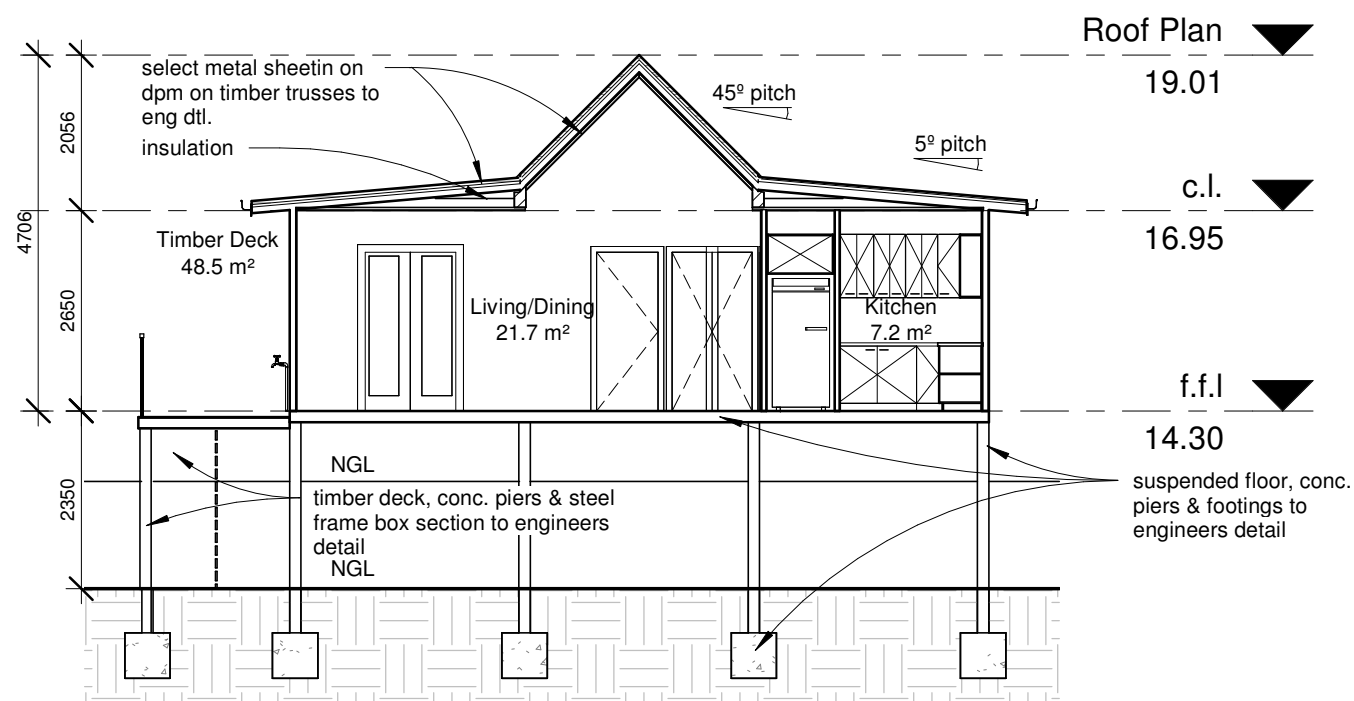
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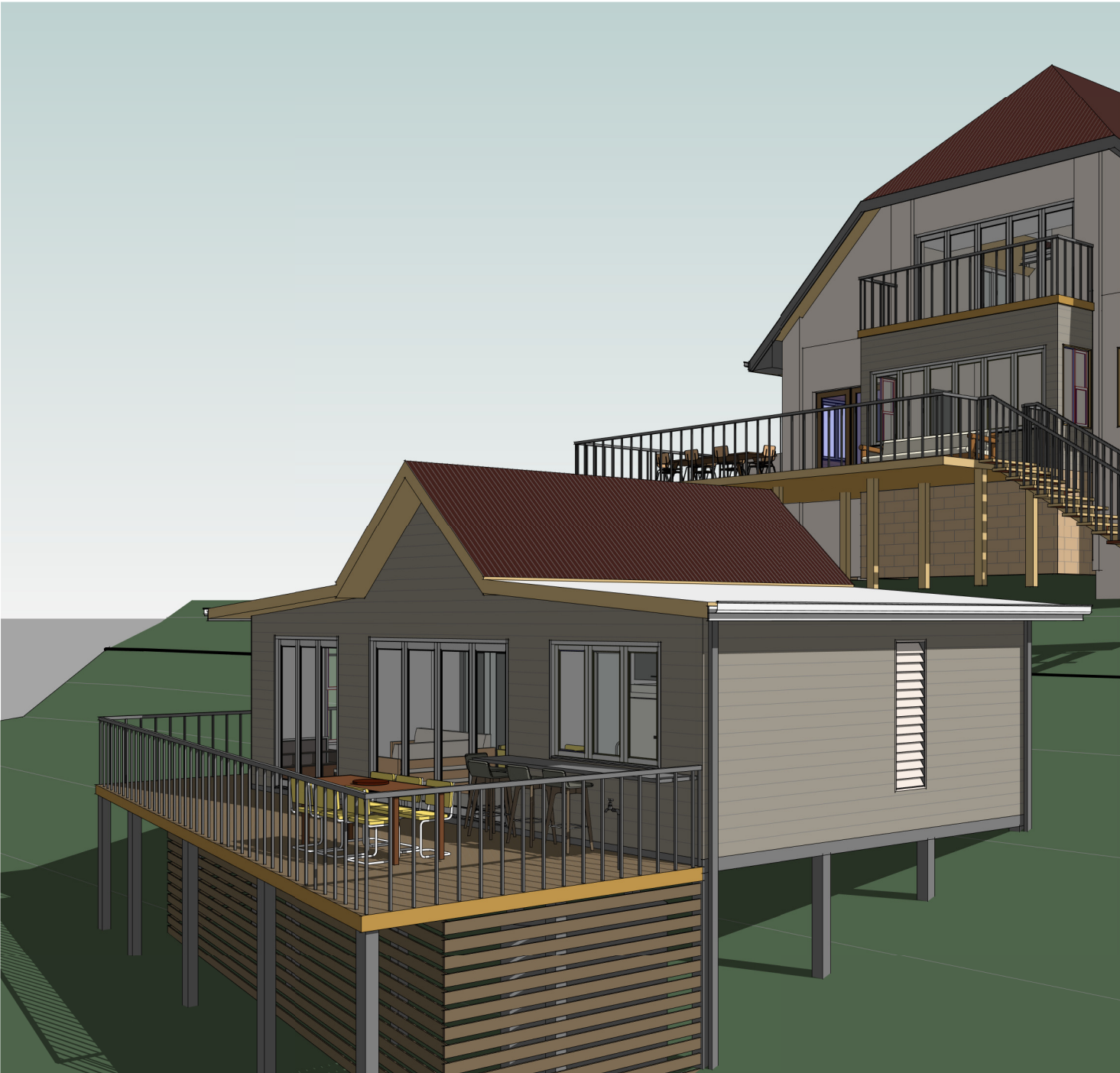
Elevations

Scale	As Shown (A3)
Date	MAY 2019
Drawn by	DO

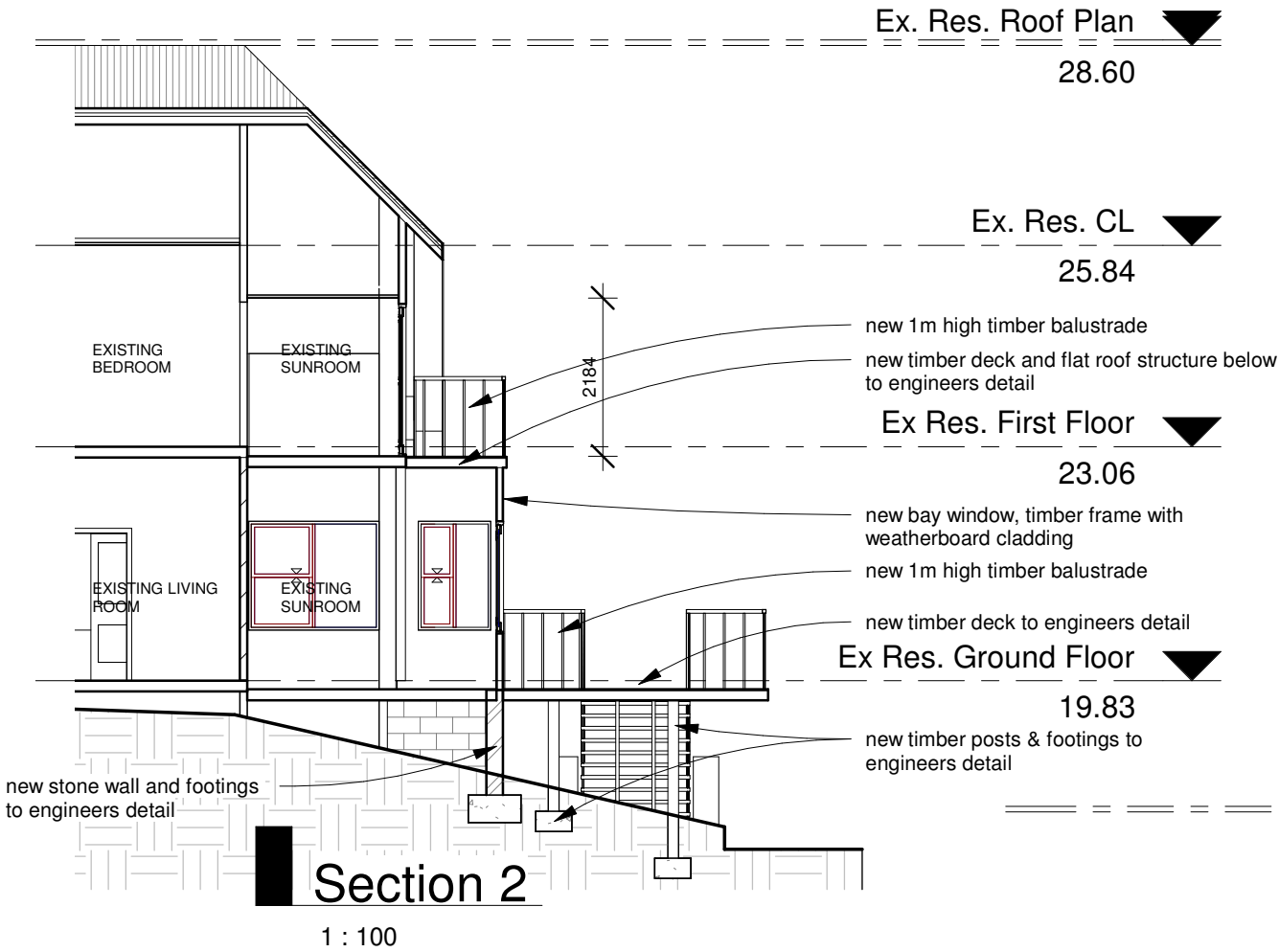
S3



**Section 1**  
1 : 100



**North West Elevation**

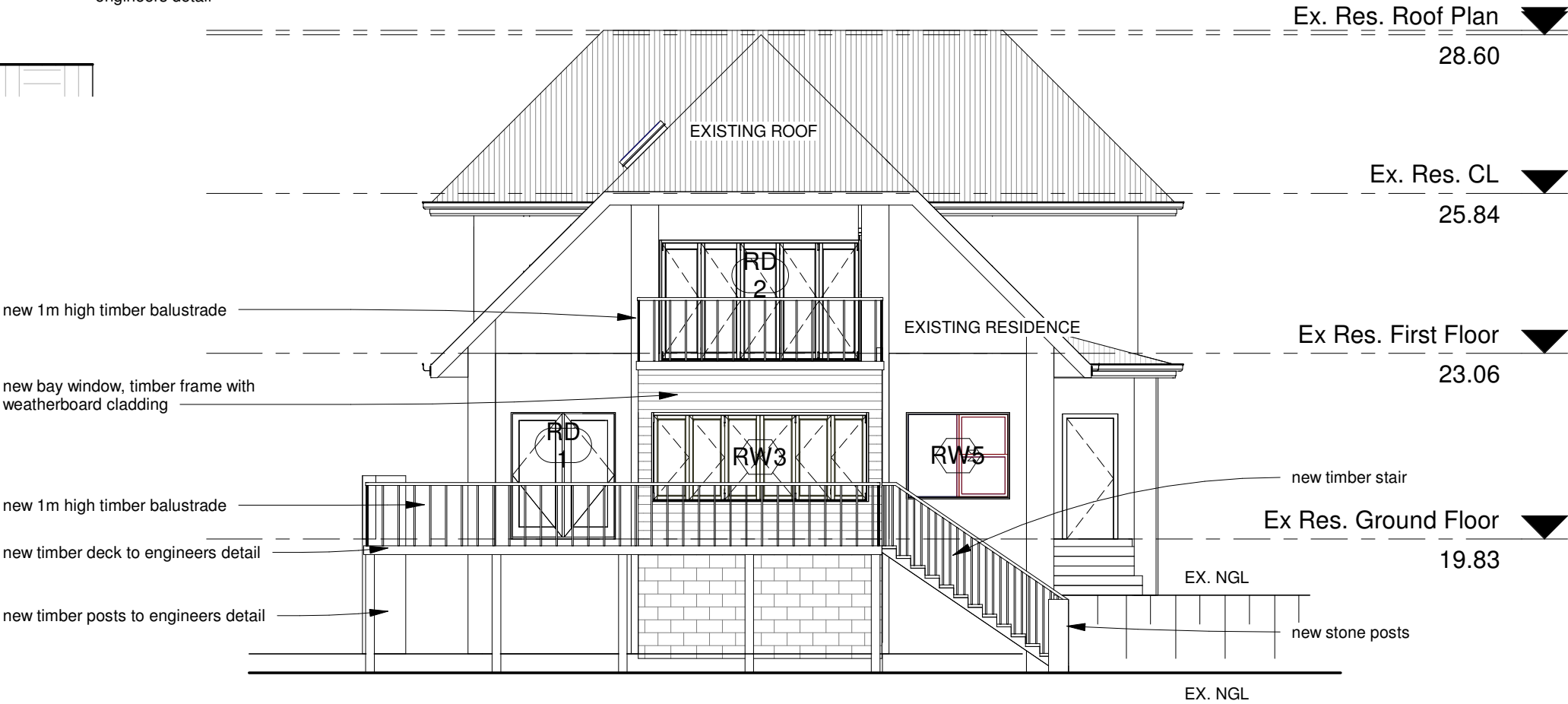


Glazed Door Schedule - Ex. Residence					
Mark	Door Style	Height	Width	Material	Area
RD 1	French Door	2156	1800	Painted timber	3.88 m <sup>2</sup>
RD 2	Bifold Door	2100	3500	Painted timber	7.35 m <sup>2</sup>
Total Area					11.23 m <sup>2</sup>

Window Schedule - Ex. Residence					
Mark	Window Style	Height	Width	Material	Area
RW1	Bifold	1430	1800	Painted timber	2.57 m <sup>2</sup>
RW2	Sliding	1500	1000	Painted timber	1.50 m <sup>2</sup>
RW3	Bifold	1550	3779	Painted timber	5.86 m <sup>2</sup>
RW4	Sliding	1500	1000	Painted timber	1.50 m <sup>2</sup>
RW5	Sliding	1500	1800	Painted timber	2.70 m <sup>2</sup>
Total Area					14.13 m <sup>2</sup>

Skylight Schedule - Ex. Residence					
Mark	Window Style	Height	Width	Material	Area
SL1	Skylight	990	967	Painted timber	0.96 m <sup>2</sup>
SL2	Skylight	990	967	Painted timber	0.96 m <sup>2</sup>
Total Area					1.91 m <sup>2</sup>

TOTAL GLAZED AREA: 27.27m<sup>2</sup>



**Ex. Residence North Elevation**

1 : 100



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**Date:** \_\_\_\_ / \_\_\_\_ / \_\_\_\_

08.05.19 For Approval

08.02.19 Bay window cladded

20.12.18 Bay window amended

17.11.18 Client Sign Off

DATE ISSUED

Proposed Granny Flat

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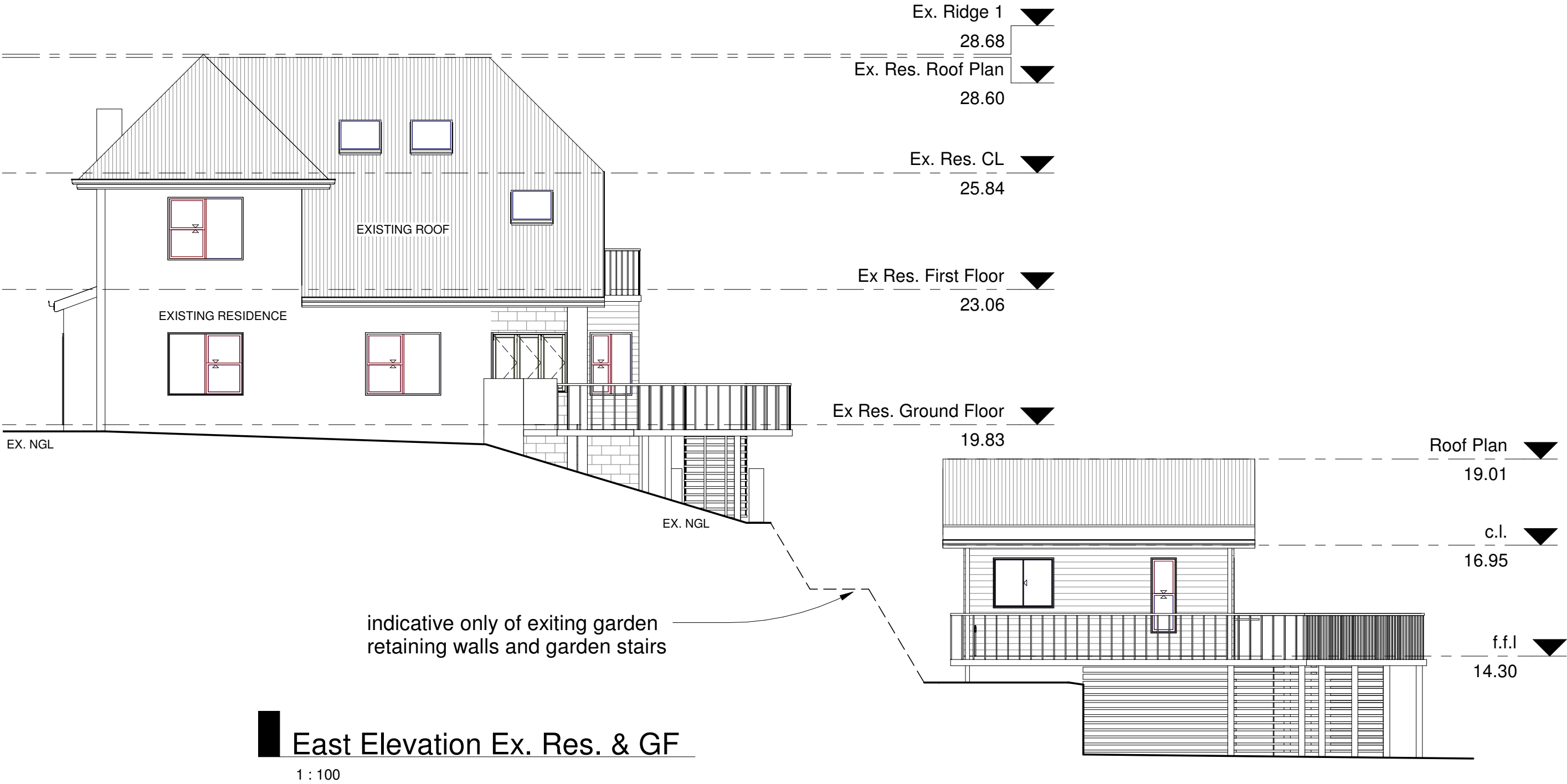
Section & Schedules

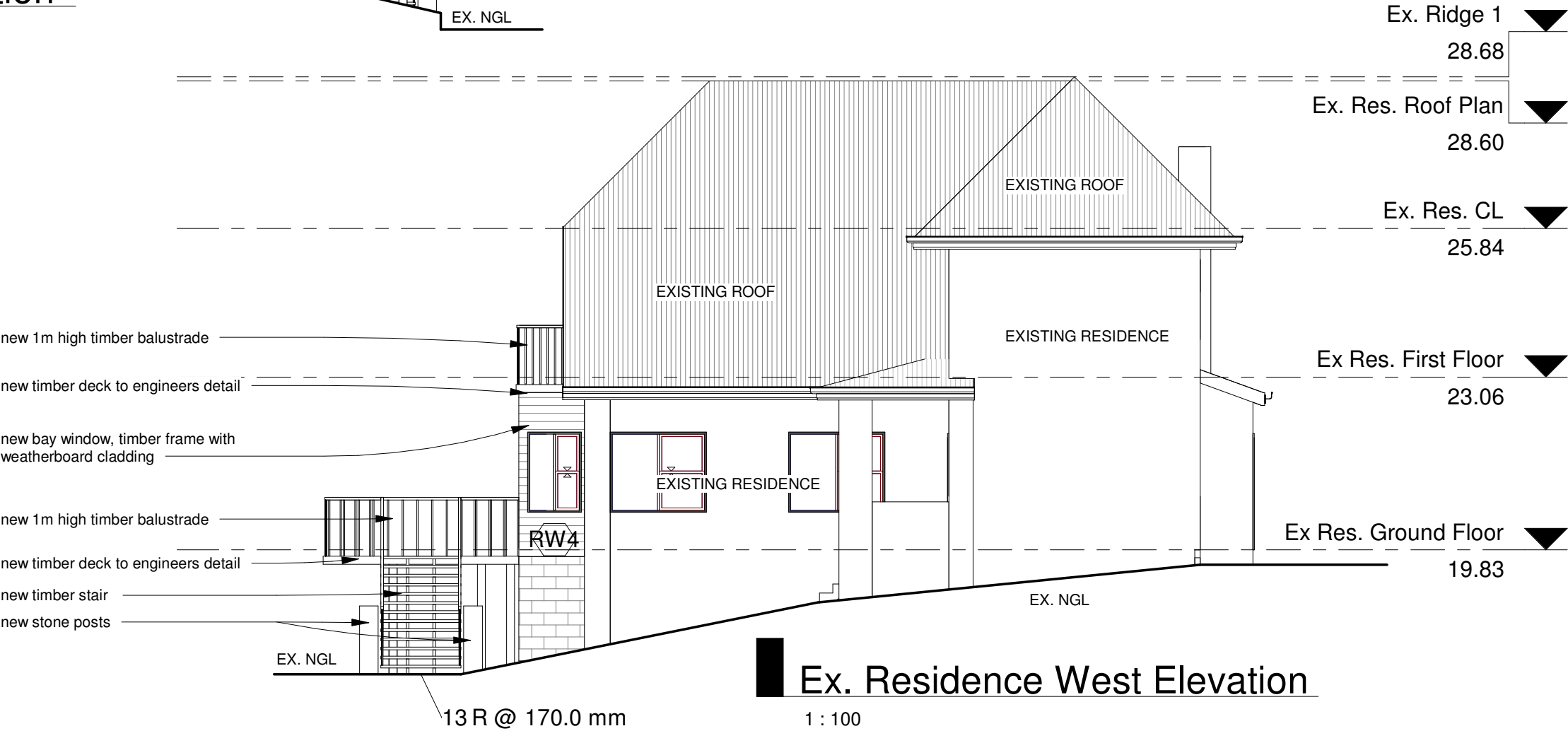
Scale As Shown (A3)

Date MAY 2019

Drawn by DO

S7





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Ex. Res. Elevations

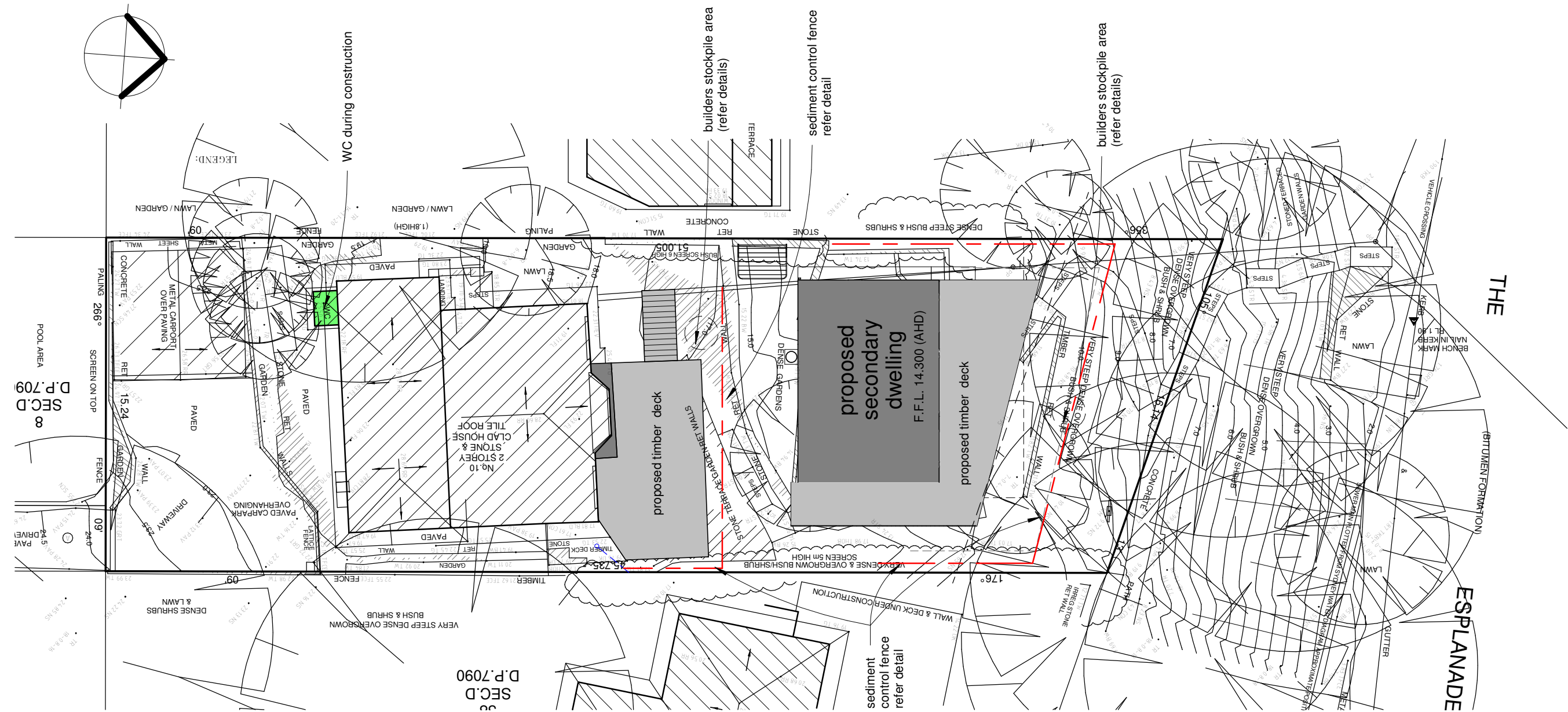
Scale As Shown (A3)

Date MAY 2019

Drawn by DO

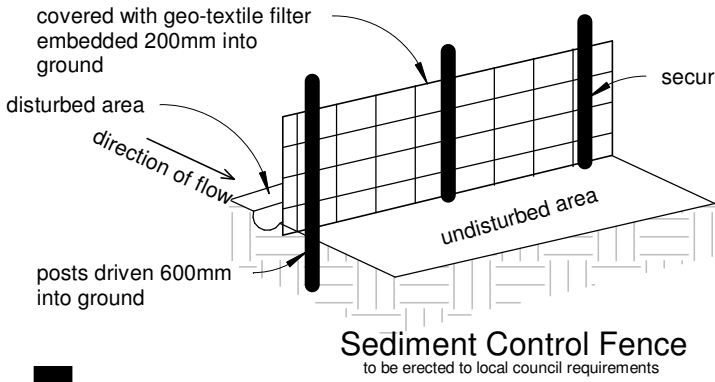
S9





Sediment & Erosion Control Plan

1:200

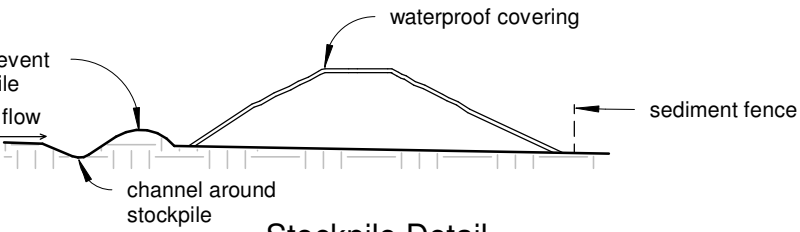


Sediment Control Fence

1 : 2

Sedimentation notes

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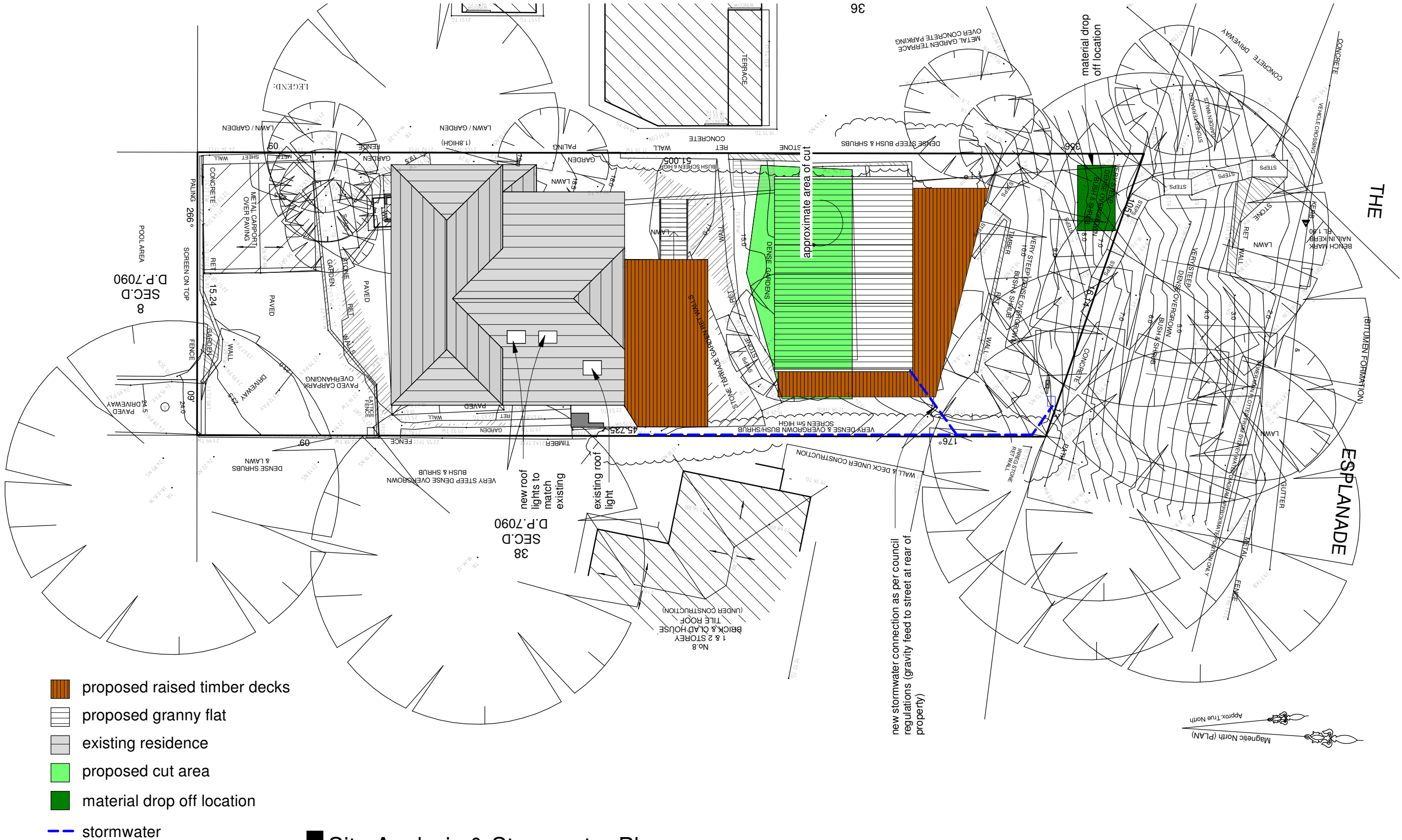
Stockpile Detail

designated area for waste and material stockpile, excess waste to be removed from site.  
Stockpile to be protected to prevent scour and erosion and placed at least 2 metres clear of all areas of possible concentrated water flow, including driveways

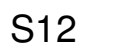
Stockpile Detail

1 : 2





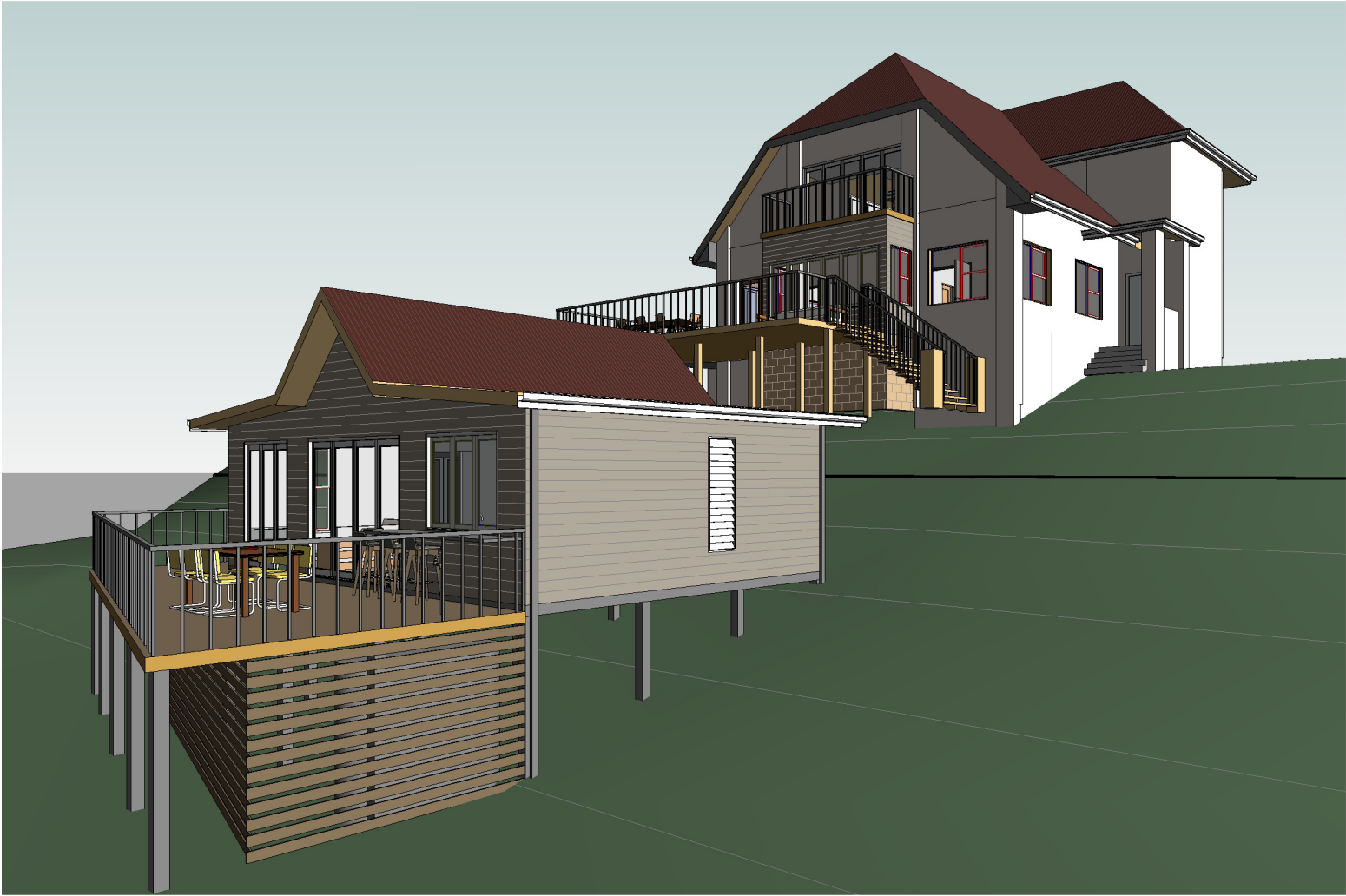
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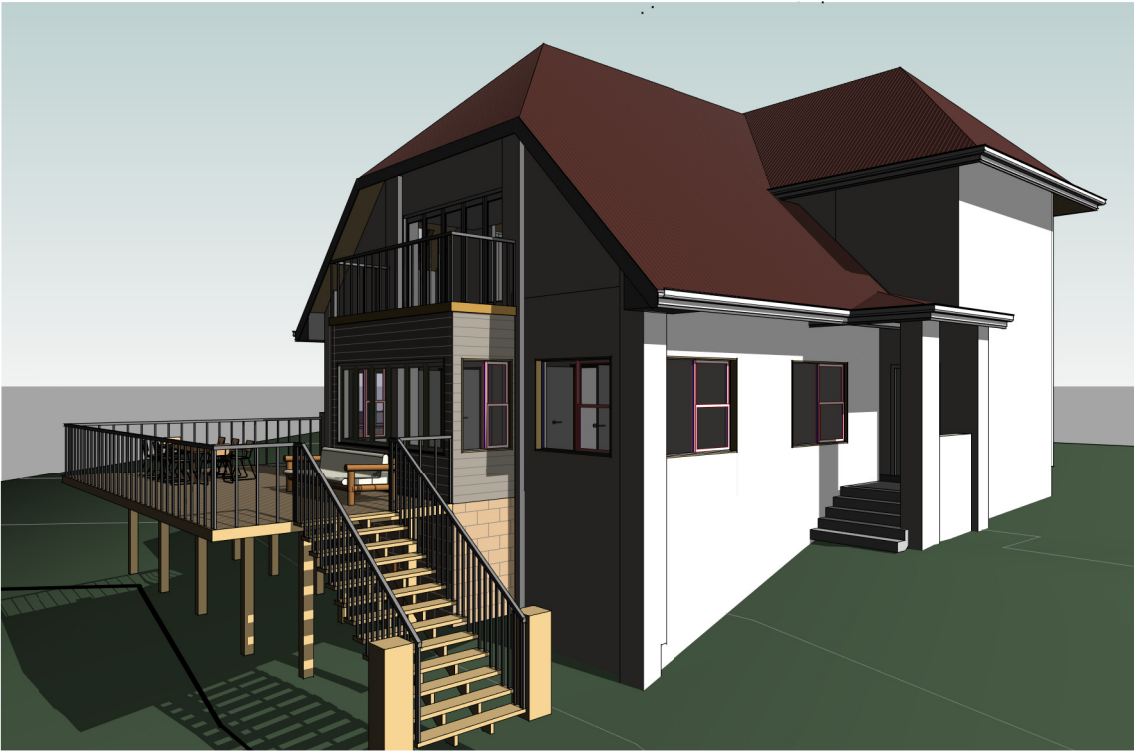








North West Perspective



Ex. Res. N.W. Elevation



Ex. Res. N.E. Elevation