



37 SMITH STREET | MANLY NSW 2095
ROSAMOND SAYER & TIM FLAHVIN

DEVELOPMENT APPLICATION

DRAWING LIST	
SHEET NUMBER	SHEET NAME
01	SITE ANALYSIS CONTROLS
02	SITE ANALYSIS
03	SITE CALCULATIONS
SK100	SITE & ROOF PLAN PROPOSED
SK110	GROUND FLOOR PLAN PROPOSED
SK120	FIRST FLOOR PLAN PROPOSED
SK130	LANDSCAPING PLAN PROPOSED
SK200	ELEVATION NORTH/SOUTH PROPOSED
SK210	ELEVATION EAST/WEST PROPOSED
SK300	SECTIONS PROPOSED
SK400	MATERIALS PROPOSED
SK500	SHADOWS JUNE
SK510	3D VIEWS
SK600	DEMOLITION EXCAVATION AND WASTE P
SK610	DEMOLITION PLAN FF
MD01	SITE & ROOF PLAN EXISTING
MD02	GROUND FLOOR EXISTING
MD03	FIRST FLOOR EXISTING
MD04	ELEVATION NORTH & SOUTH EXISTING
MD05	ELEVATION EAST & WEST EXISTING
MD06	SECTIONS EXISTING
MD07	3D VIEW EXISTING

Drawings by others:

Survey	Waterview Surveying Services
Structurals	TBC

ABBREVIATION LEGEND

A/C	air conditioning unit	LC #	light weight cladding #
AD	aluminium door	LV	louvre window
AW	aluminium window	M	mirror
BAL#	balustade type #	MDR	metal deck roof
BW	brick work	MR	metal rood
CA	casement window	MS #	manufactured stone type
CB	concrete blockwork	MW#	microwave type #
CH	ceiling height	MX	mixer tap
CK	cooktop	NOM	nominal
CONC	concrete	OV	oven
COS	confirm on site	P	pantry cupboard
CPD	cupboards	PB	plaster board
CPO	powerpoint	PBW	plaster board water resistant
CPT	carpet	PLY	plywood
DP	downpipe	PU #	polyurethane finish type
DW	dishwasher	PP	pitching point
DRW	drawers	PS#	privacy screen
EDB	electrical distribution board	PV	paving
EG	eaves gutter	RB	rendered blockwork
EV	eves vent	RBW	rendered brick wall
EXG	existing	REF	refridgerator
F	fridge	RH	rangehood
FB	face brick	RL	reduced level
FC	fibre cement	RR	Roof Ridge
FCL	finished ceiling level	RV	roof ventilator
FFL	finished floor level	SL	sliding window
FG	fixed glass	SA	smoke alarm
FT #	floor tile type #	SC	steel column
FW#	floor waste type #	SG	stained glass
GD	garage door	SH	shower
GL	ground level	SNK#	sink type #
GS	gas strut window	SP	solar panels
HR#	handrail type #	SS	stainless steel
HTR	hand towel rail	TD	Timber door
HWS	hot water system	TDK	timber decking boards
KP	kickplate	TFB	timber floor boards
LAM#	laminate #	TOG	Top of Gutter
LB	letter box	TOW	Top of Wall
		W	window
		WC#	toilet type #
		WLT#	wall type #
		WT #	wall tile type #

CONTROL SUMMARY

37 SMITH STREET | MANLY 2093

LOT 1 DP 102848
NORTHERN BEACHES COUNCIL (MANLY)
LOT SIZE 306.8 sqm

DEVELOPMENT CONTROL PLAN	CONTROLS	COMPLIES
Roof Pitch Height	Must be no higher than 2.5m above the actual wall height. Generally no steeper than 35 degrees.	
Front Setback	Must relate to the front building line of the neighbouring properties and the prevailing building lines in the immediate vicinity	
Side Setbacks	Must not be less than one third of the height of the adjacent external wall of the proposed building	
Corner Allotment Side Setback	For secondary street frontages of corner alltments, the side boundary setback control will apply unless a prevailing building line exists. Architecturally the building must address both streets.	
Rear Setback	The distance between any part of a building and the rear boundary must not be less than 8m. Must relate to the prevailing pattern of setbacks in the immediate vicinity to minimuse overshadowing, visual privacy and view loss.	
New Side Windows	All new windows from habitable dwellings that face the side boundary are to be setback at least 3m from side boundaries. Windows that are facing the side boundary, must be at some 90 degrees to the boundary.	
Total Open Space	Area OS3 - at least 55% of the site area. A horizontal dimension of at least 3m in any driection and a minimum unbroken area of 12sqm.	
Landscaping Area	At least 35% of open space. Soil depth of at least 1m and a minimum horizontal dimension of 0.5m measured from the innder side of the planter bed/box, wall or any other structure which defines the landscaped area.	
Above Ground Open Space	No more than 25% of total open space	
Private Open Space	POS is in addition to the communal open space. Minimum area of Principal POS is 18sqm. Principal POS is both part of the POS as defined in the LEP and the total open space required in the DCP.	
Parking/Vehicular Access	Garage and carport structures forward of the building line must be designed and sited so as not to dominate the street frontage. Garages and carports adjacent to the front property boundary may not be permitted if there is a reasonably alternative onsite location. Carports must be open on both sides and at the front. The max. width of any garage, carport or hardstand is not to exceed a width equal to 50% of the frontage, up to a max. width of 6.2m	
Fencing	Fences within the front building setback must be no higher than 1m.	

MANLY LOCAL ENVIRONMENT PLAN 2013	CONTROLS	COMPLIES
Land Zoning	R1 General Residential	
Height Of Building	8.5m	
Floor Space Ratio (FSR)	0.6:1	
Lot Size	250sqm	
Heritage	Pittwater Road Conservation Area	
Acid Sulfate Soils	Class 4	
Local Aboriginal Land Council	Metropolitan	



AERIAL PHOTO courtesy of Six Maps



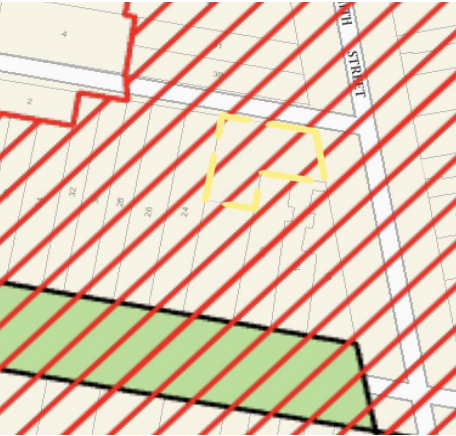
STREET VIEW courtesy of Google



ZONING MAP
R1 General Residential



ZONING MAP
FSR 0.6:1



ZONING MAP
Pittwater Conservation Area



NOTES
All levels, contours,survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work
All dimensions in millimetresUse figured dimensions only. Do not scale
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications

© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS

37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

DATE

February 2022

CLIENT/S

Rosamond Sayer &
Tim Flahvin

STATUS

Development Application

REVISION

A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

SITE ANALYSIS CONTROLS

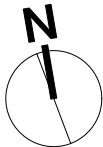
FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

01

SCALE
NTS



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres unless figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH



PROJECT ADDRESS
37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S
Rosamond Sayer &
Tim Flahvin

STATUS
Development Application

REVISION

A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

SITE ANALYSIS

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

02

SCALE
1:100

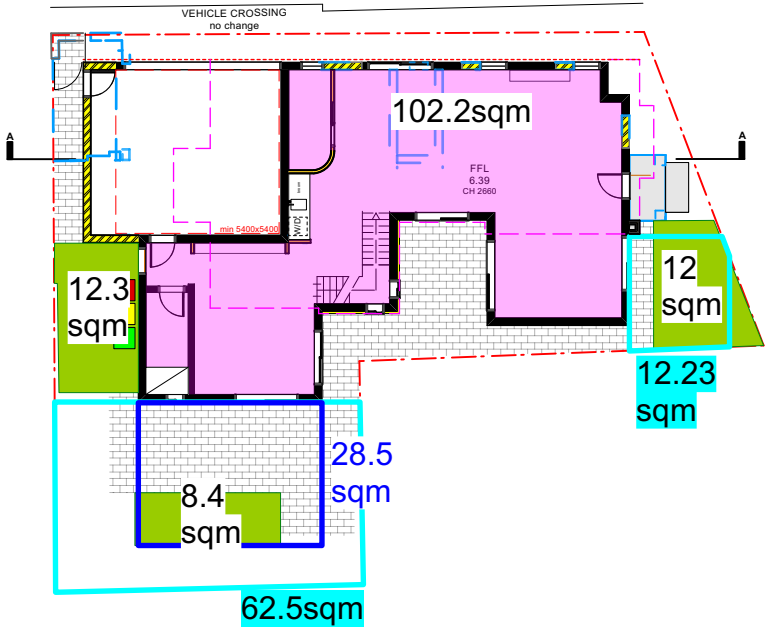
GROSS SITE AREA
306.8 sqm

GROSS FLOOR AREA
Existing: 0.58:1 (179.5sqm)
Control: 0.6:1 (184.08 sqm)
Proposed: no change to existing

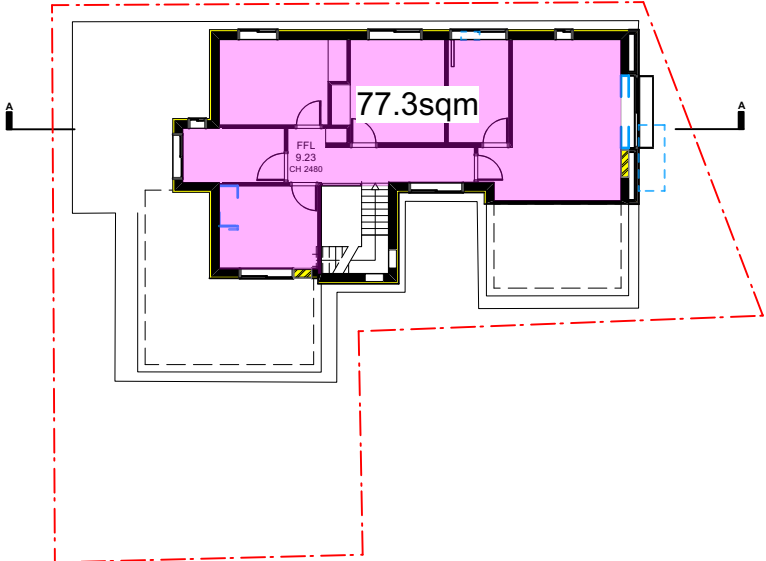
OPEN SPACE OS3
Existing: 24.4% (74.73sqm)
Control: 55% of site area, min 3m in any direction and a min. unbroken area of 12sqm (168.74 sqm)
Proposed: no change to existing

LANDSCAPED AREA
Existing: 19.4% (32.7sqm)
Control: 35% of open space, min 0.5m wide (59sqm)
Proposed: no change to existing

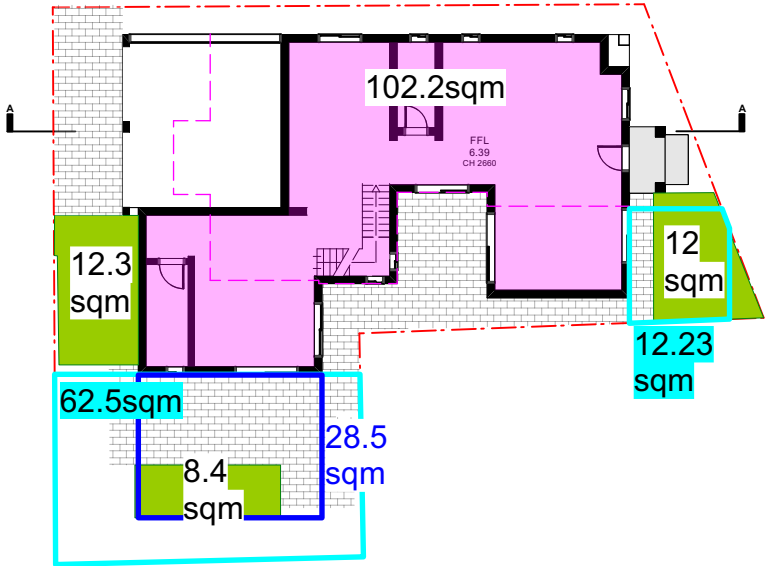
PRIVATE OPEN SPACE
Existing: 28.5sqm
Control: Min. area of POS is 18sqm
Proposed: no change to existing



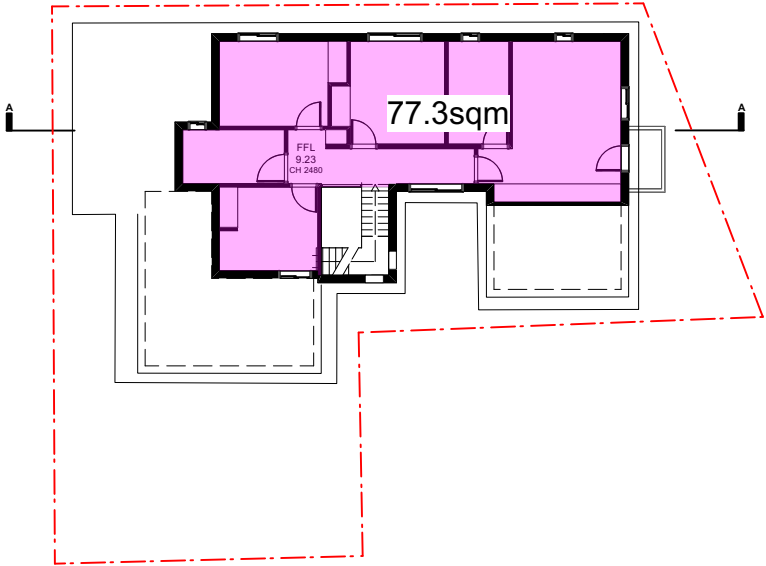
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



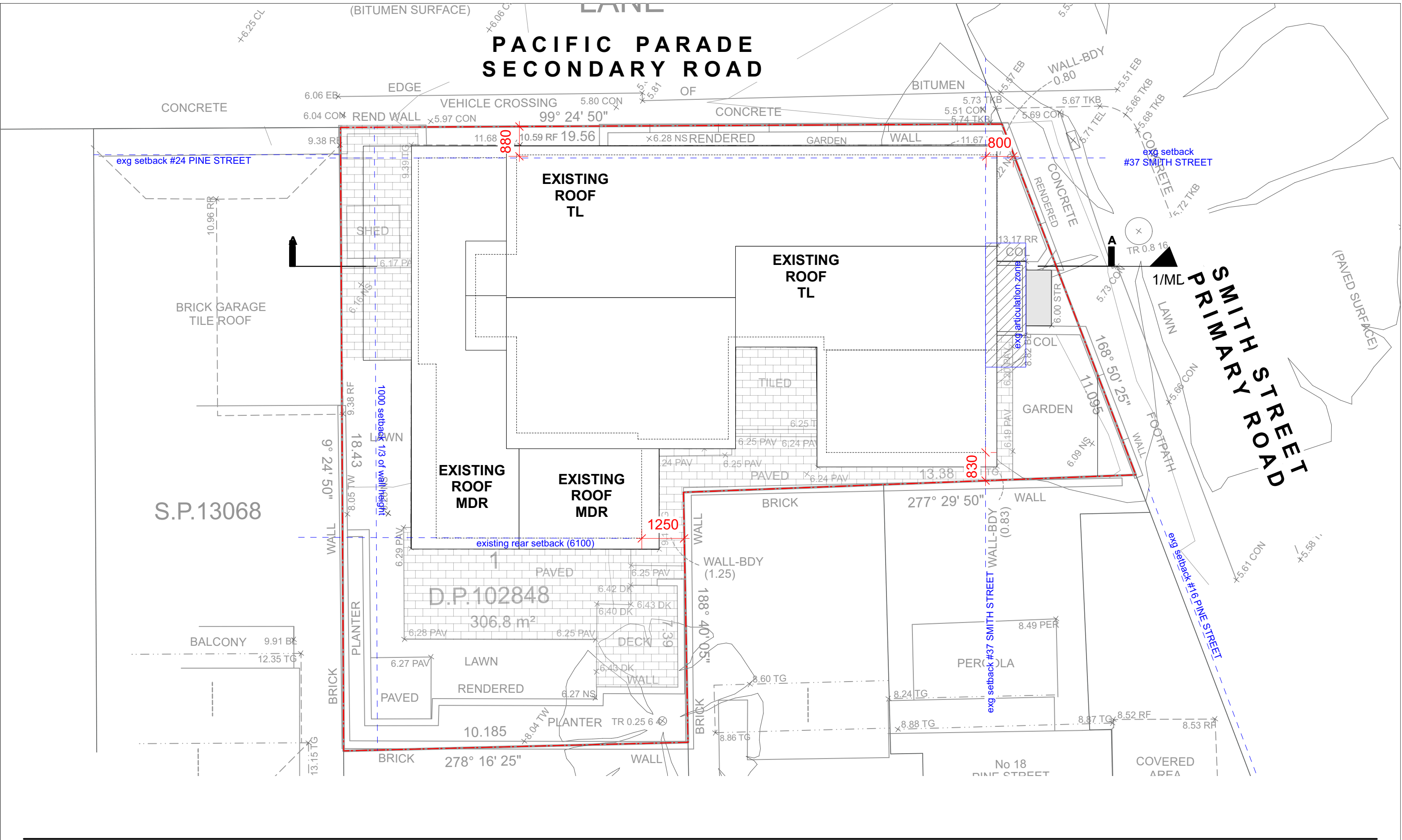
NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH.

PROJECT ADDRESS 37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm
DATE February 2022
CLIENT/S Rosamond Sayer & Tim Flahvin
STATUS Development Application

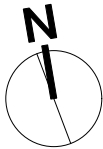
REVISION
A 4/4/22 DA Draft - For Client Review
B 12/5/22 DA Issue
C 5/7/2022 DA Update - GF Layout + Roof note

SITE CALCULATIONS
FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

03
SCALE 1:250



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH



PROJECT ADDRESS
37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S
Rosamond Sayer &
Tim Flahvin

STATUS
Development Application

REVISION

A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

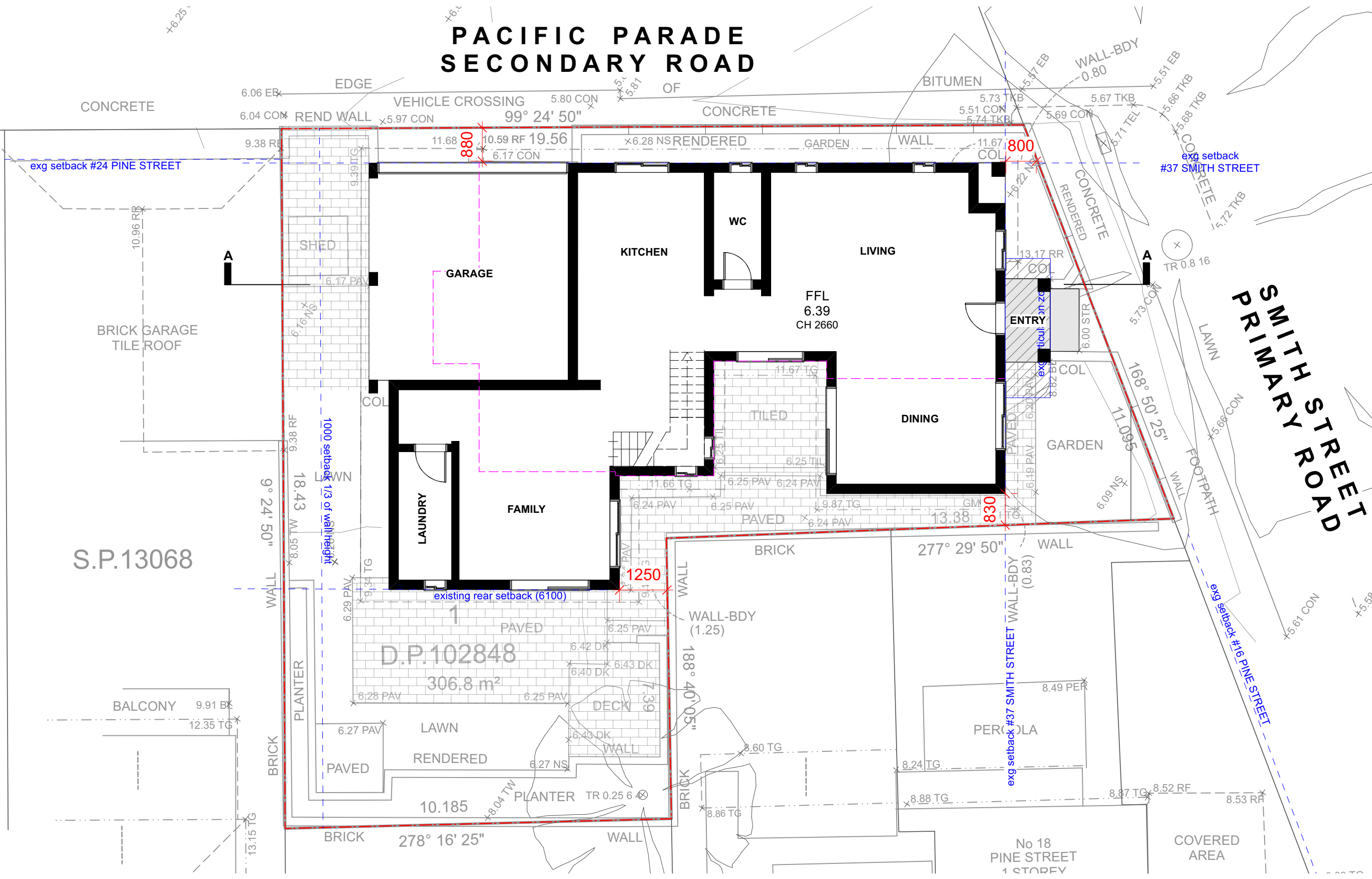
**SITE & ROOF PLAN
EXISTING**

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

MD01

SCALE
1:100

PACIFIC PARADE
SECONDARY ROAD



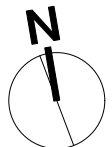
S.P.13068

D.P.102848

306.8 m²



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH



PROJECT ADDRESS
37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S
Rosamond Sayer &
Tim Flahvin

STATUS
Development Application

REVISION

A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

**GROUND FLOOR
EXISTING**

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

MD02

SCALE
1:100



1 North Elevation (Pacific Parade)
Scale: 1:100



2 Elevation South (Rear)
Scale: 1:100



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH.

PROJECT ADDRESS	CLIENT/S
37 Smith Street Manly NSW 2095 Lot 1 DP 102848 306.8sqm	Rosamond Sayer & Tim Flahvin
DATE	STATUS
February 2022	Development Application

REVISION	
A	4/4/22
B	12/5/22
C	5/7/2022

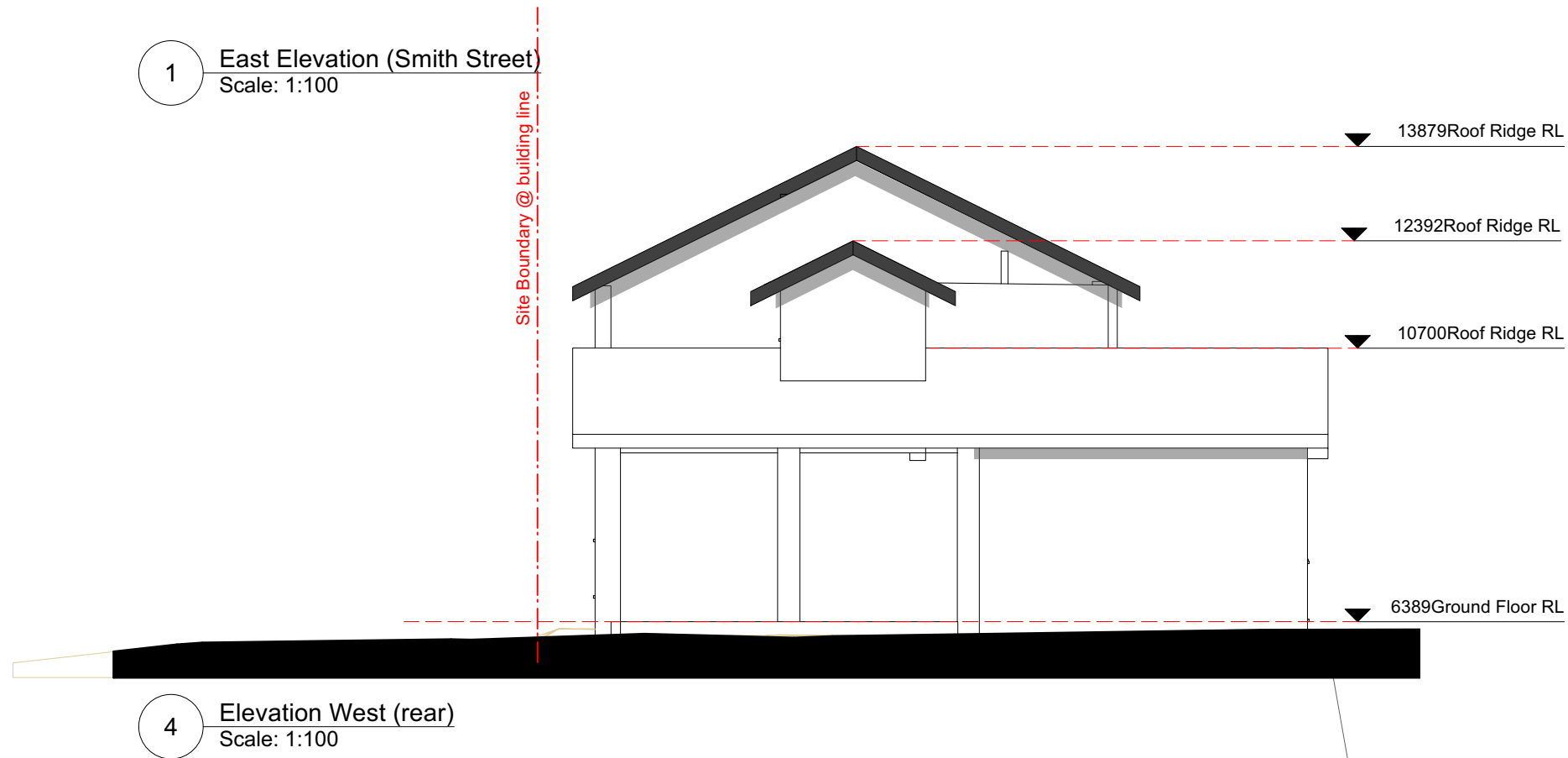
DA Draft - For Client Review
DA Issue
DA Update - GF Layout + Roof note

**ELEVATION NORTH &
SOUTH EXISTING**

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

MD04

SCALE
1:100



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS 37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S Rosamond Sayer &
Tim Flahvin

DATE February 2022

STATUS Development Application

REVISION

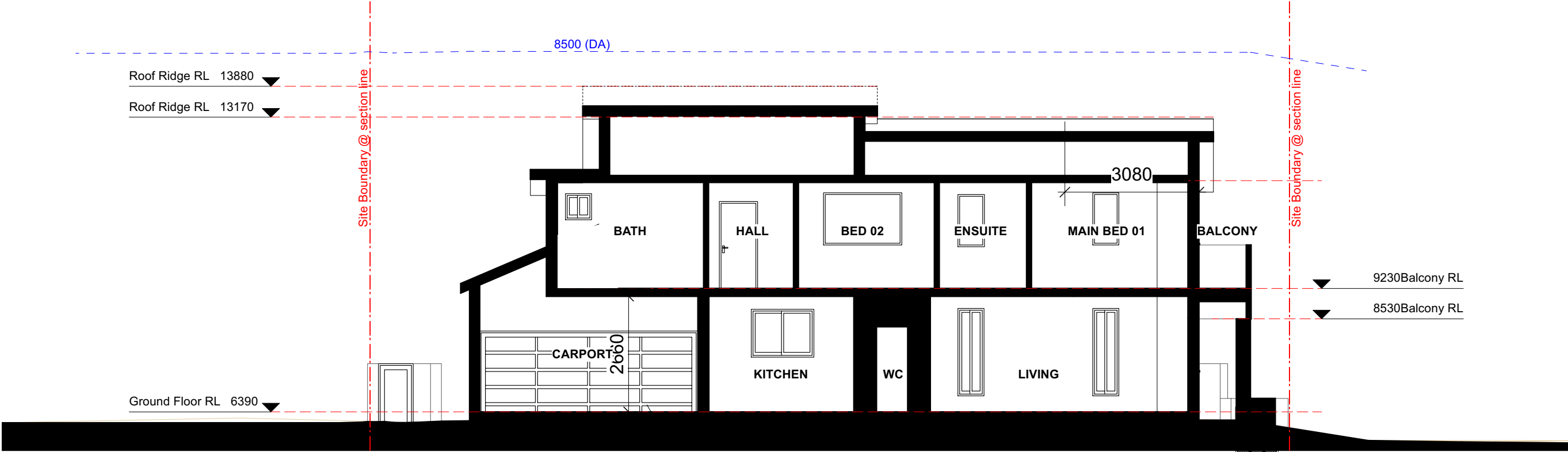
A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

ELEVATION EAST & WEST EXISTING

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

MD05

SCALE
1:100



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work
All dimensions in millimetres Use figured dimensions only. Do not scale
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS	CLIENT/S
37 Smith Street Manly NSW 2095 Lot 1 DP 102848 306.8sqm	Rosamond Sayer & Tim Flahvin
DATE	STATUS
February 2022	Development Application

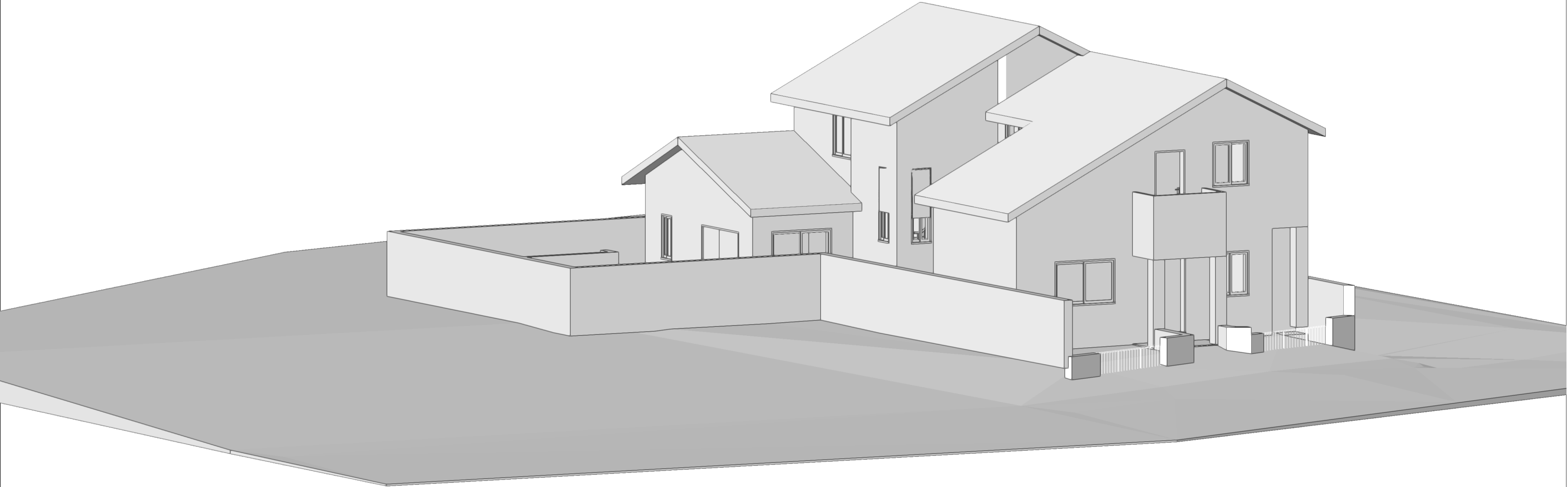
REVISION	
A	4/4/22 DA Draft - For Client Review
B	12/5/22 DA Issue
C	5/7/2022 DA Update - GF Layout + Roof note

SECTIONS EXISTING

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

MD06

SCALE
1:100



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work
All dimensions in millimetres Use figured dimensions only. Do not scale
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS	CLIENT/S
37 Smith Street Manly NSW 2095 Lot 1 DP 102848 306.8sqm	Rosamond Sayer & Tim Flahvin
DATE	STATUS
February 2022	Development Application

REVISION	
A	4/4/22
B	12/5/22
C	5/7/2022

DA Draft - For Client Review
DA Issue
DA Update - GF Layout + Roof note

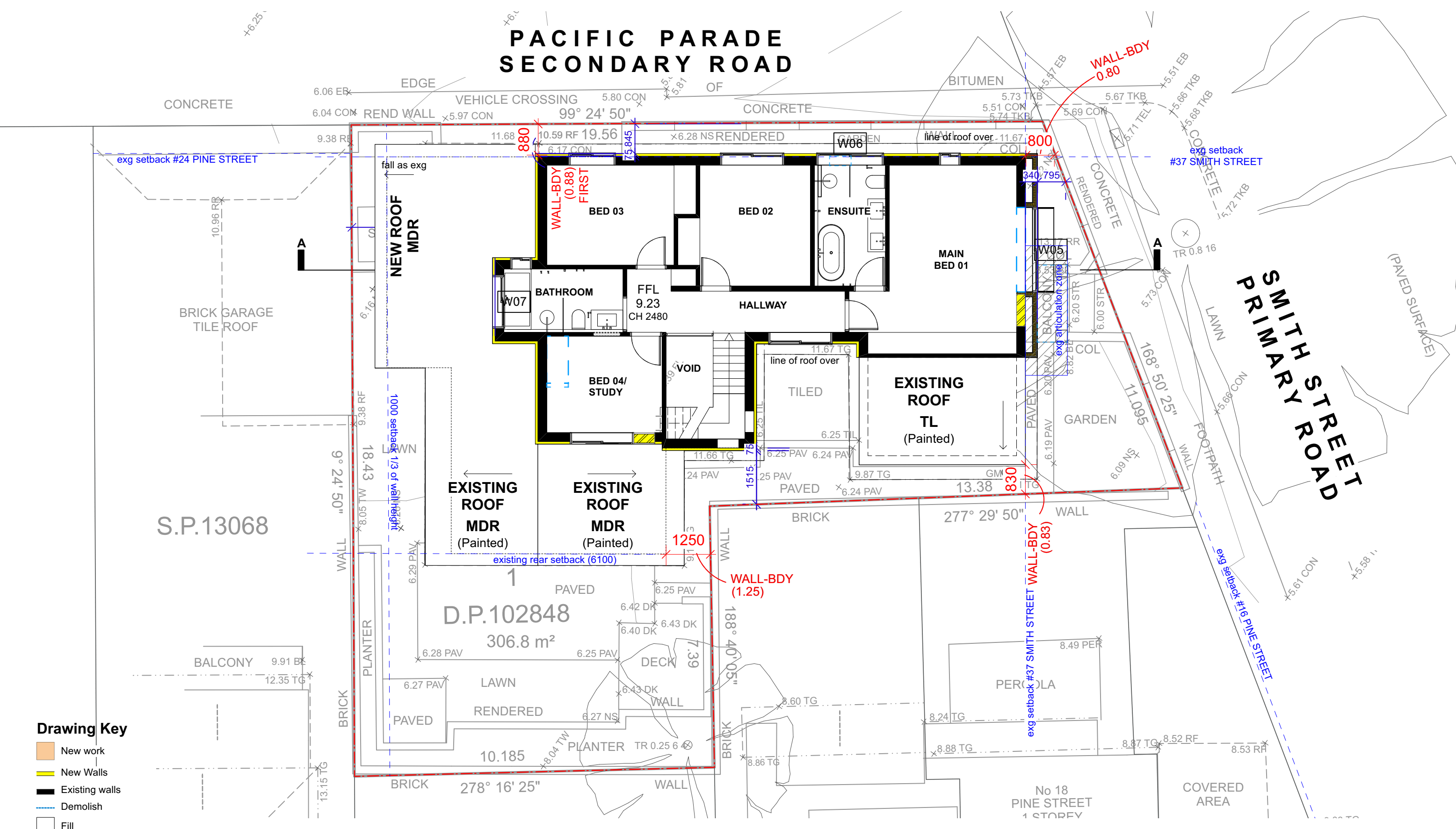
3D VIEW EXISTING

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

MD07

SCALE
NTS

PACIFIC PARADE
SECONDARY ROAD



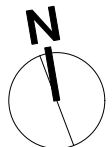
Drawing Key

- New work
- New Walls
- Existing walls
- Demolish
- Fill

NOTE: ALL WORK TO MEET NCC REQUIREMENTS



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH



PROJECT ADDRESS
37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S
Rosamond Sayer &
Tim Flahvin

DATE
February 2022

STATUS
Development Application

REVISION

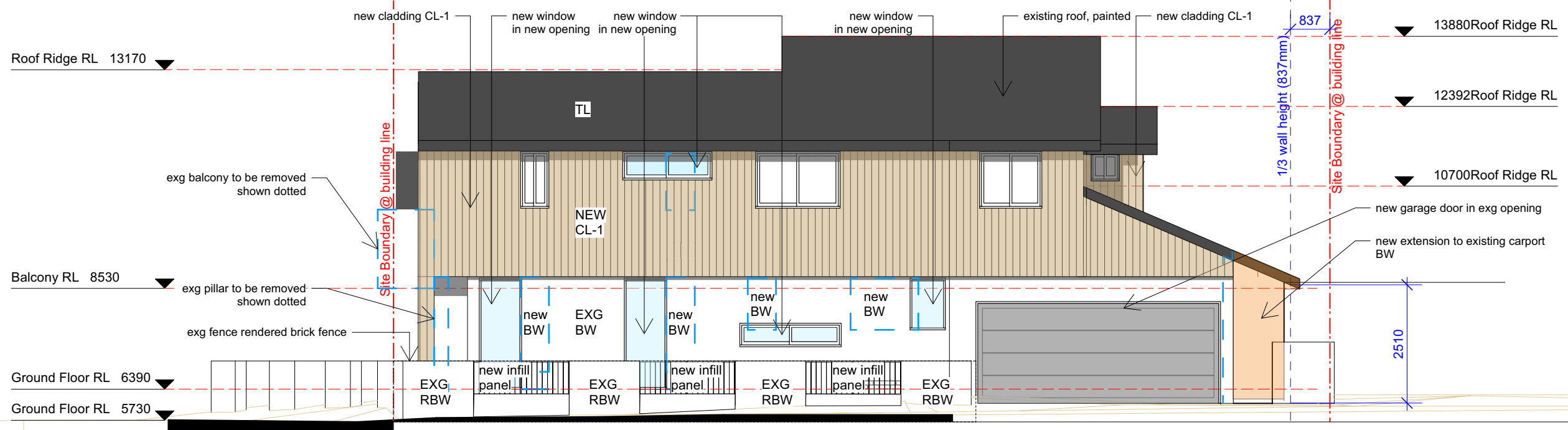
A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

**FIRST FLOOR PLAN
PROPOSED**

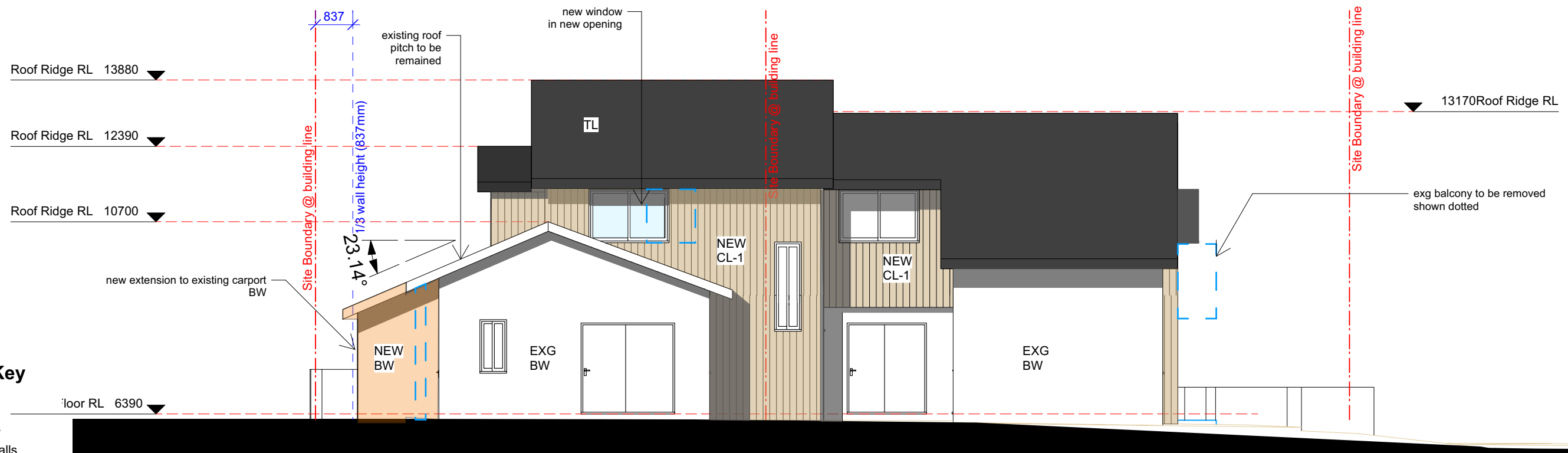
FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

SK120

SCALE
1:100



1 Elevation North (street)
Scale: 1:100



Drawing Key

- New work
- New Walls
- Existing walls
- Demolish
- Fill

2 Elevation South (rear)
Scale: 1:100

NOTE: ALL WORK TO MEET NCC REQUIREMENTS



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH.

PROJECT ADDRESS

37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

DATE

February 2022

CLIENT/S

Rosamond Sayer &
Tim Flahvin

STATUS

Development Application

REVISION

A	4/4/22
B	12/5/22
C	5/7/2022

DA Draft - For Client Review

DA Issue

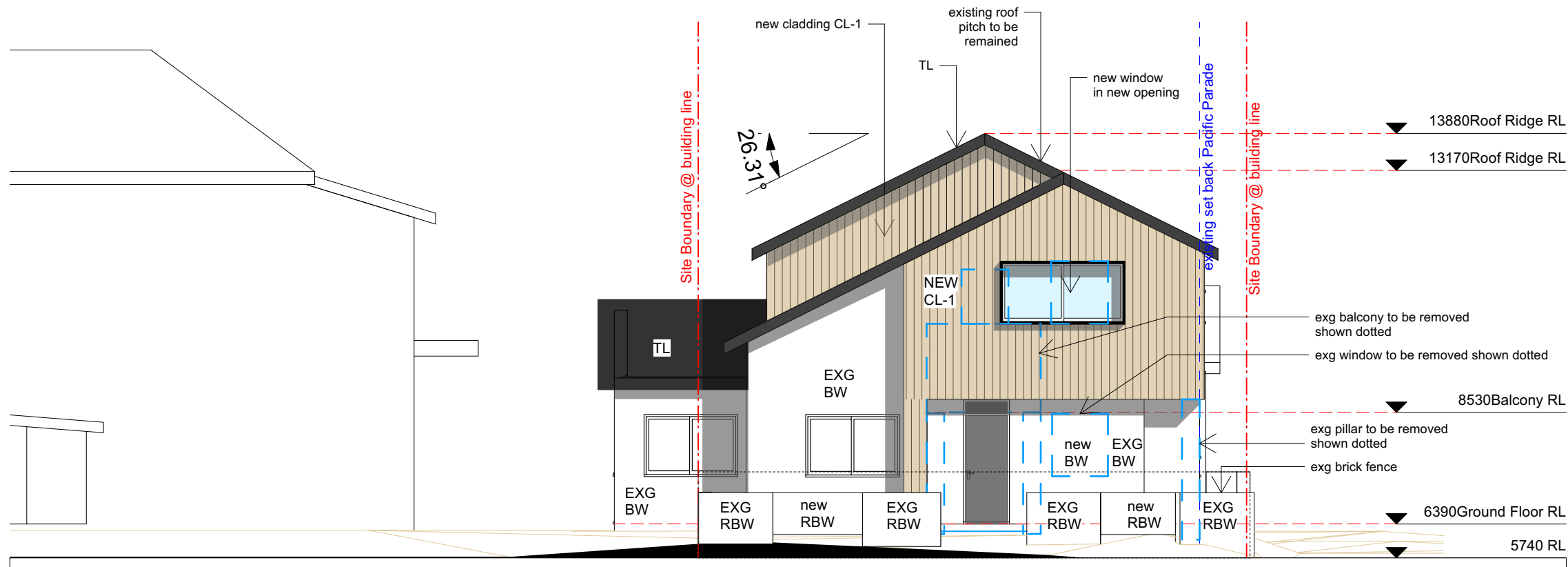
DA Update - GF Layout + Roof note

ELEVATION NORTH/SOUTH PROPOSED

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

SK200

SCALE
1:100



1 Elevation East (Smith Street)
Scale: 1:100



2 Elevation West (rear)
Scale: 1:100

NOTE: ALL WORK TO MEET NCC REQUIREMENTS

Drawing Key

- New work
- New Walls
- Existing walls
- Demolish
- Fill

NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.

© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS

37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

DATE

February 2022

CLIENT/S

Rosamond Sayer &
Tim Flahvin

STATUS

Development Application

REVISION

A	4/4/22
B	12/5/22
C	5/7/2022

DA Draft - For Client Review

DA Issue

DA Update - GF Layout + Roof note

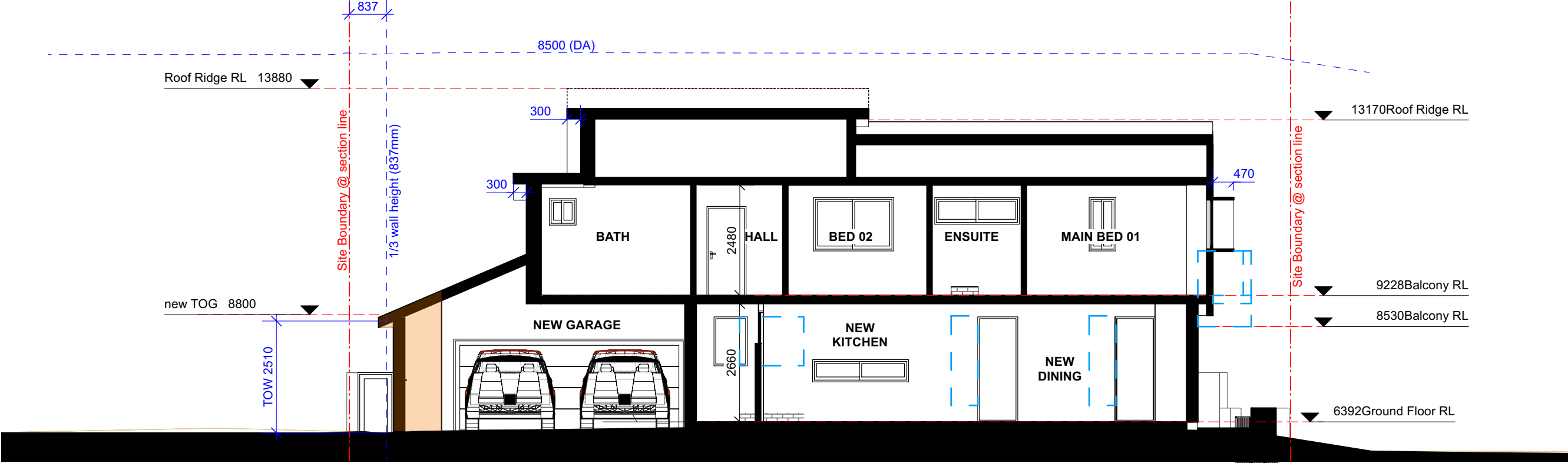
ELEVATION EAST/WEST PROPOSED

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

SK210

SCALE

1:100



Drawing Key

- New work
- New Walls
- Existing walls
- Demolish
- Fill

NOTE: ALL WORK TO MEET NCC REQUIREMENTS



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS	CLIENT/S
37 Smith Street Manly NSW 2095 Lot 1 DP 102848 306.8sqm	Rosamond Sayer & Tim Flahvin
DATE	STATUS
February 2022	Development Application

REVISION	
A	4/4/22 DA Draft - For Client Review
B	12/5/22 DA Issue
C	5/7/2022 DA Update - GF Layout + Roof note

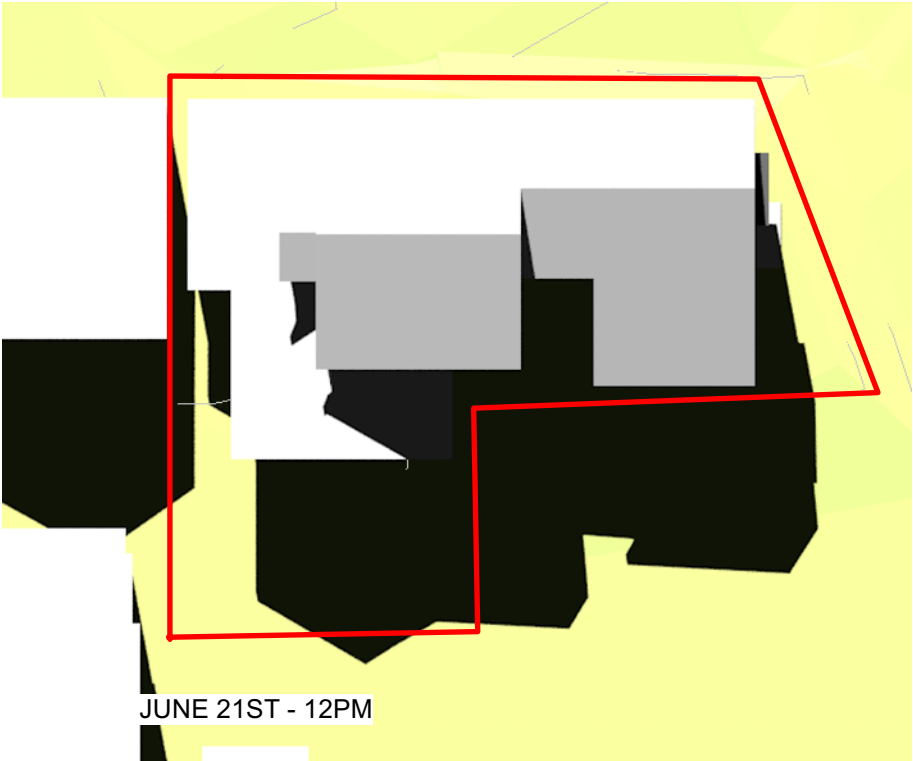
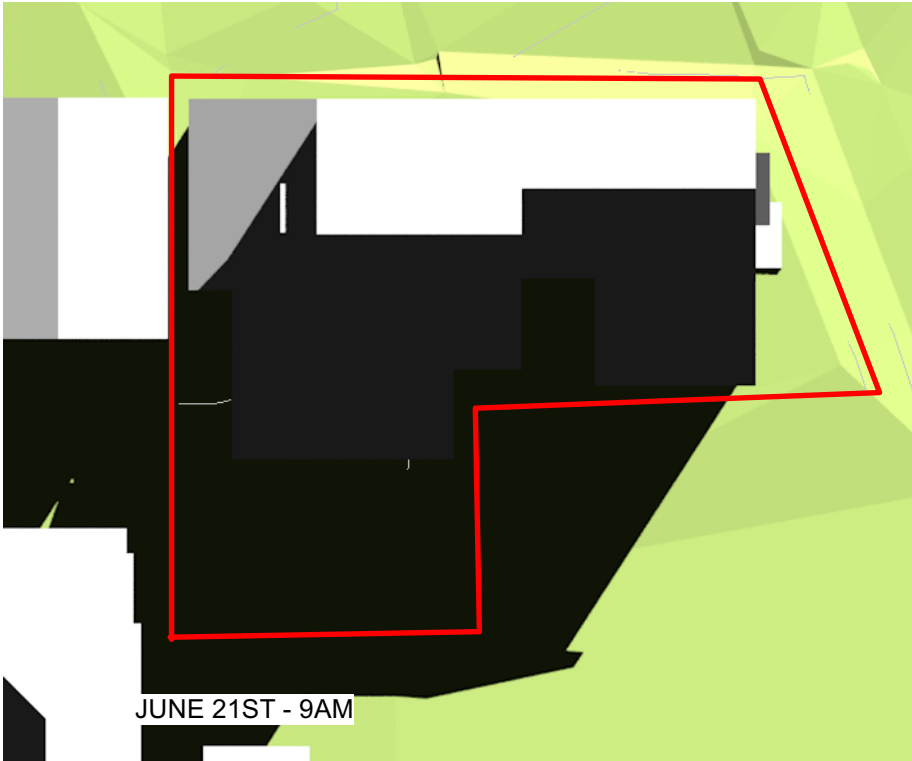
SECTIONS PROPOSED

SK300

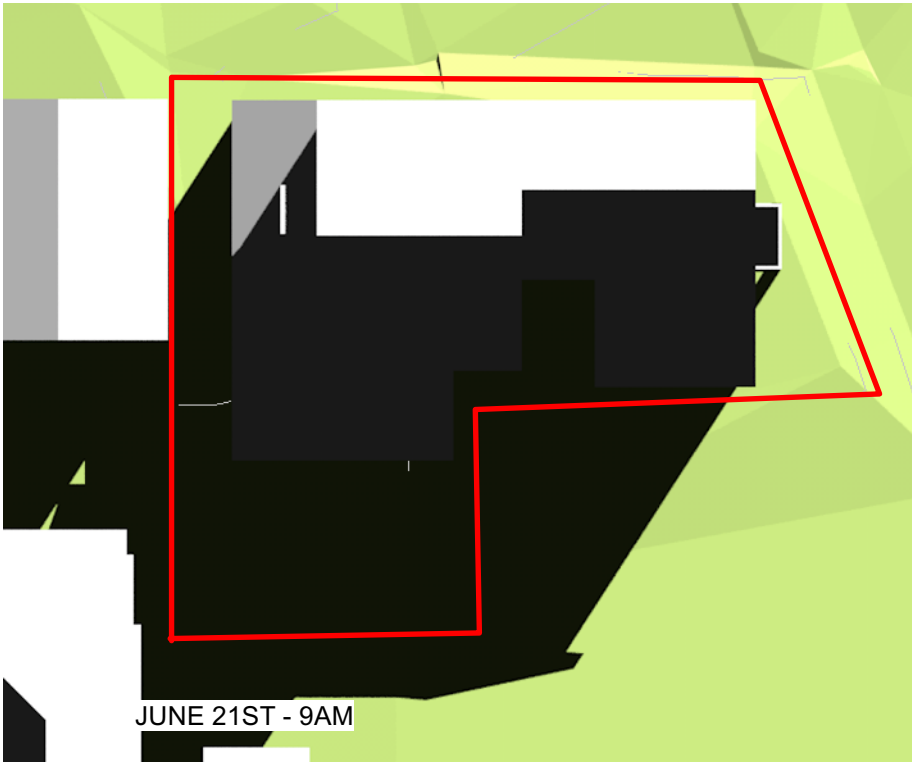
FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

SCALE
1:100

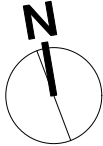
PROPOSED



EXISTING



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH



PROJECT ADDRESS 37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm
CLIENT/S Rosamond Sayer &
Tim Flahvin
DATE February 2022
STATUS Development Application

REVISION
A 4/4/22 DA Draft - For Client Review
B 12/5/22 DA Issue
C 5/7/2022 DA Update - GF Layout + Roof note

SHADOWS JUNE
FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

SK500
SCALE
1:250



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH.

PROJECT ADDRESS	CLIENT/S
37 Smith Street Manly NSW 2095 Lot 1 DP 102848 306.8sqm	Rosamond Sayer & Tim Flahvin
DATE	STATUS
February 2022	Development Application

REVISION	
A	4/4/22 DA Draft - For Client Review
B	12/5/22 DA Issue
C	5/7/2022 DA Update - GF Layout + Roof note

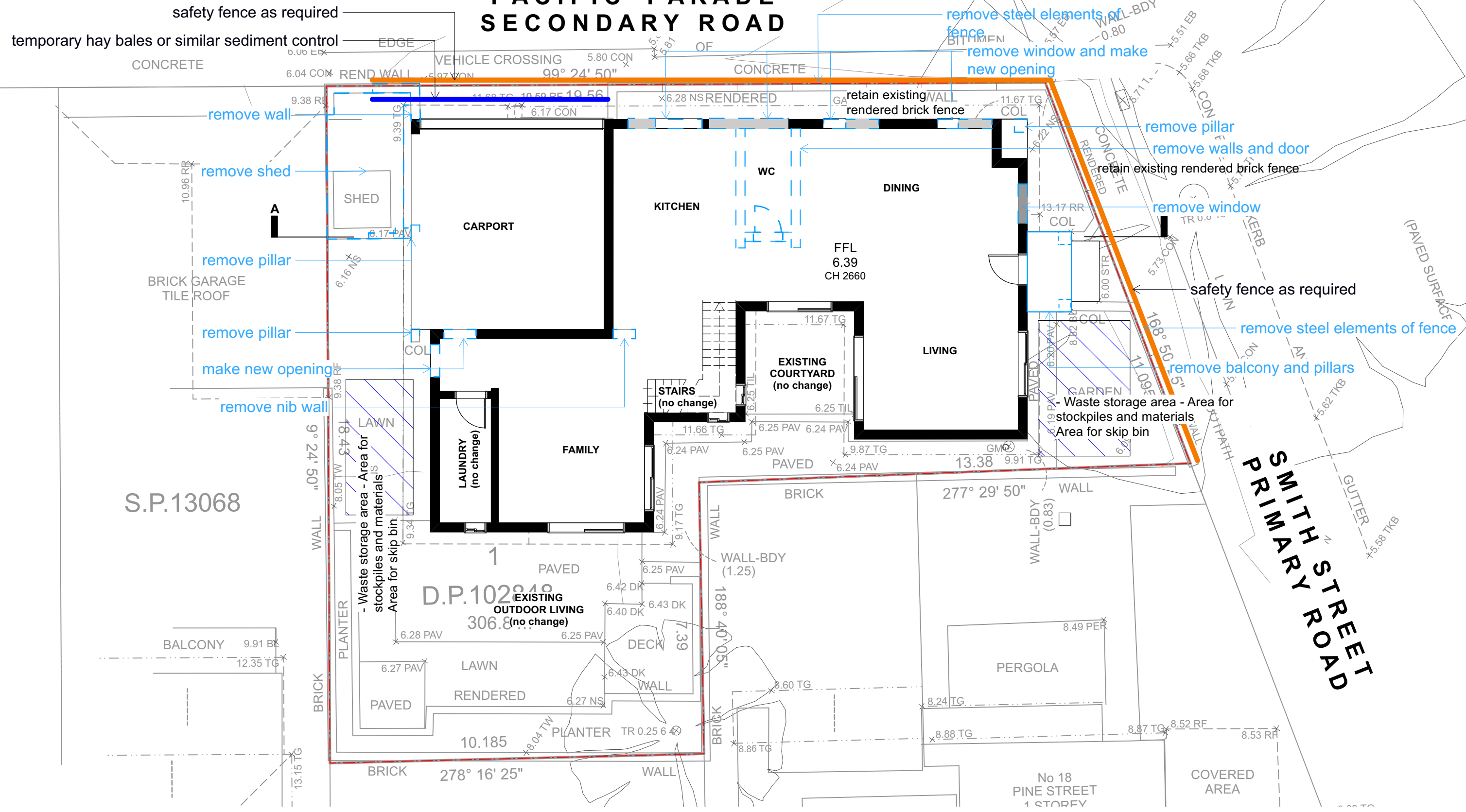
3D VIEWS

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

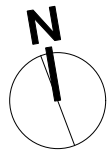
SK510

SCALE
NTS

PACIFIC PARADE
SECONDARY ROAD



NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH



PROJECT ADDRESS
37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S
Rosamond Sayer &
Tim Flahvin

STATUS
Development Application

REVISION

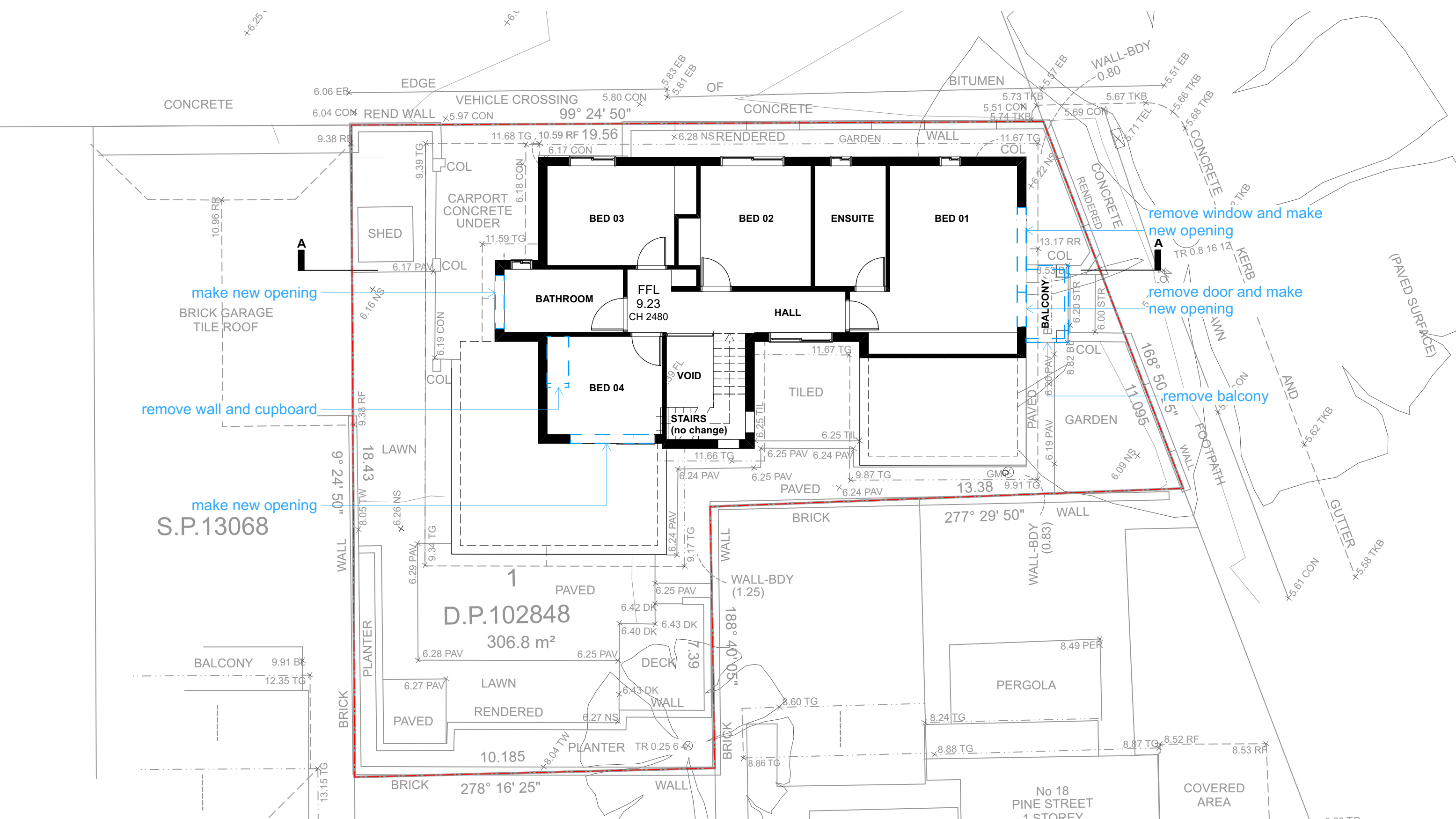
A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

**DEMOLITION
EXCAVATION AND WASTE
PLAN GF**

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

SK600

SCALE
1:100



your beautiful Home.

NOTES
All levels, contours, survey and cadastral information provided by Land Surveyors
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.
The dimensions and profiles shown on the drawings are believed to be correct. It is the responsibility of those working on site to verify the dimensions and profiles and locate all services on site prior to commencing work.
All dimensions in millimetres. Use figured dimensions only. Do not scale.
If discrepancy exists notify designer immediately. All work shall comply with the Building Code of Australia, the rules and requirements of the Water Board, Council and the relevant Standards Association of Australia codes and specifications.
© Copyright in all documents prepared by YBH and in any work executed from those documents and drawings shall remain the property of YBH or on creation vest in YBH

PROJECT ADDRESS
37 Smith Street
Manly NSW 2095
Lot 1 DP 102848 306.8sqm

CLIENT/S
Rosamond Sayer &
Tim Flahvin

STATUS
Development Application

REVISION

A	4/4/22	DA Draft - For Client Review
B	12/5/22	DA Issue
C	5/7/2022	DA Update - GF Layout + Roof note

DEMOLITION PLAN FF

SK610

SCALE
1:100

FOR CLIENT REVIEW
NOT FOR CONSTRUCTION