

Peter J Boyce & Associates		
Ph 0412 928 500	P O Box 375 Strathfield 2135	Ph 9868 2855
	Level 2, 41 Rawson Street, Epping 2121	
	Building Surveyor Acc No BPB0043	Fax 9868 2655

Ref D/A NO347/06
CC # BP6357

8 Decmeber 2008

The General Manager

Dear Sir,

Submission of Occupation Certificate
11 Kara Crescent Bayview

Please find enclosed

- 1 Occupation Certificate
- 2 Final Inspection Certificate
- 3 Critical Stage Inspection Certificate
- 4 Home Warranty Insurance Certificate
- 5 Plumbers Certificate
- 6 Geotechnical From No 3
- 7 Smoke Alarm Certificate
- 8 Geotechnical Certification of Works
- 9 Waterproofing Certificate

Should any of the above documents not be received please advise me immediately

Many thanks

Peter Boyce

Rec-251704

9/12/08

\$30

Peter J Boyce & Associates

Ph 0412 928 500

P O Box 375 Strathfield 2135 Ph 9868 2855
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc No **BPB0043** Fax 9868 2655

Your Ref D/ANO347/06

8 December 2008

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Final Inspection & Final Occupation Certificates
11 Kara Crescent Bayview

Please find enclosed copy of Final Inspection Certificate and Final Occupation Certificate for the above property issued under D/A NO347/06

Enclosed please find a cheque for \$30 00 for registration of the Final Occupation Certificate

Yours faithfully,



Peter Boyce

Occupation Certificate

issued under the Environmental Planning and Assessment Act 1979 Section 109C (1) and 109H

Type of Certificate	F I N A L
Applicant	
Name	Mr Janusz Kuzma
Address	11 Kara Crescent Bayview
Contact Number	-

Owner of building (if not applicant)	As above
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Development consent or Complying Development Certificate Number	D/A NO347/06
Date of Determination (see note 1)	8 September 2006

Construction Certificate	
Certificate No	Bp6357
Date of issue	2 November 2006

Subject Land	
Address	11 Kara Crescent Bayview

Building Details	
Classification	1a
(in the development consent or complying development certificate)	

Date of Receipt	22 October 2008
(to be completed by certifying authority)	

Determination	
Type of Certificate	Final Certificate
Approved / Refused	Approved
Date of Determination	- 3 JUL 2007

CERTIFICATE

Certificate FINAL

I Peter Boyce certify that

- I have been appointed as principal certifying authority under s 109E
- a development consent is in force with respect to the building
- a construction certificate has been issued with respect to plans and specifications for the building
- the building is suitable for occupation or use in accordance with its classification under the Building Code of Australia
- where required, a final fire safety certificate has been issued for the building (see note 2)
- where required, a report from the Commissioner of Fire Brigades has been considered

Certificate no PB07/6357

Principal certifying authority

Peter Boyce
Planning NSW Building Surveyor No **BPB0043**
P O Box 375 Strathfield 2135
Mob Ph 0412 928 500
Ph 9868 2855

Note 1 Before an occupation certificate may be issued, the certifying authority must be satisfied that

- a development consent or a complying development certificate is in force with respect to the building, and
- a construction certificate has been issued with respect to the plan and specifications for the building

Note 2 A final fire safety certificate or interim fire safety certificate is not required for a class 1a, class 10 buildings or buildings exempt under clause 80I EP&A Regulation 1994

Note 3 For the purposes of notifying a council under clause 79L (2) (1) of the Regulation of the determination of an application an accredited Certifier must forward all sections of the form, including all attachments to the relevant council where they have not been previously forwarded to the Council

Accredited Certifier



Peter Boyce
Planning NSW Accreditation No BPB0043

Date

- 8 DEC 2003

Peter J Boyce & Associates

Planning NSW accreditation No BPB0043

Ph 0412 928 500

P O Box 375 Strathfield 2135

Ph 9868 2855

Fax 9868 2655

Ref BP6357

22 October 2008

Inspection Certificate

Development Consent No	D/A NO347/06
Construction Certificate No	BP6357
Council Area	Pittwater Council
Property Address	11 Kara Crescent Bayview
Owners Name:	Mr. Janusz Kuzma
Address:	11 Kara Crescent Bayview
Phone:	

Final Inspection A final inspection of the building work at the above property has revealed that the work has been completed generally in accordance with the approved plans, conditions of the Development Approval, and the requirements of the Building Code of Australia

Certifier



date 22 October 2008

Peter J Boyce & Associates

Planning NSW accreditation No BPB0043

Ph 0412 928 500

P O Box 375 Strathfield 2135

Ph 9868 2855

Fax 9868 2655

Ref BP6357

22 October 2008

Critical Stage Inspection Certificate

Development Consent No	D/A NO347/06
Construction Certificate No	BP6357
Council Area:	Pittwater Council
Property Address:	11 Kara Crescent Bayview
Owners Name:	Mr. Janusz Kuzma
Address:	11 Kara Crescent Bayview
Phone:	-

Critical Stage Inspections

Commencement Inspection – Sediment Control & Signs	Satisfactory
Footing Inspection	Satisfactory
Frame Inspection	Satisfactory
Stormwater Inspection	Satisfactory
Waterproofing Inspection	Satisfactory
Final Inspection	Satisfactory

Certifier



date 22 October 2008



Level 2 562 High Street, Kew VIC 3101
Telephone: 1300 562 515 Northmole: 1300 1308 115
A division of Australian Underwriting Services Pty Ltd
ABN: 25 079 021 436 AFSL No: 218325

100

Policy Schedule / Certificate of Insurance

Underwritten by Australian International Insurance Ltd (ABN 29 006 544 690) (insurer)

HOME WARRANTY - JOB SPECIFIC POLICY (NSW)

This certificate, when read in conjunction with the Policy of Insurance is a contract of insurance complying with Section 98 in respect of CONTRACT WORK, or Section 96 in respect of SUPPLY OF A FITTING, HOIST, or Scaffold as in respect of OWNER BUILDER Work, or Section 96 in respect of WORK BY DEVELOPER AND OTHERS of the Home Building Act 1989. This may include the Home Building Regulation 1997 (The Regulations). Issued by the Australian Financial Complaints Authority (AFCA) in accordance with the Residential Building Work Contract described below. Subject to the terms and conditions of the Contract of Insurance set out in the schedule attached to this Certificate, the cover will be provided to the person named as Beneficiary below and Successors in Title, if it is a beneficiary.

POLICY NO	A/L	CERTIFICATE NO	POLICY ISSUED
	001	112824	01/11/2006

The Building Owner (Beneficiary) J Kuzma
Postal Address 11 Kara Crescent, Bayview NSW 2104

RESIDENTIAL BUILDING WORK

Residential Building Work Covered by this Policy	<i>Extension and internal renovations to an existing dwelling, as per application dated 31/11/2006</i>
At (Site Address)	<i>11 Kara Crescent Bayview NSW 2104</i>
Municipality	<i>Pittwater Council</i>
Project Manager	<i>Ross Peter Ponder</i>
Est. Start Date	<i>03/11/2006</i>
	Contract Date
	Contract Price
	Est Completion Date

CONTRACTOR

Carried out by (Trading Name)	Amity Constructions Pty Ltd
Business Address	60 Oak Road Kirrawee NSW 2232
ABN / ACN No	48 000 676 746
Licence/Contractor No	11417
Phone No	02 9521 6244

MAXIMUM AMOUNT OF COVER AND CLAIMS

The limit of liability is \$25,000.00 or aggregate in relation to each Doleing of such amount as is determined by the Regulations pursuant to the Act. The period in respect of which Claims may be made commences on the date of the relevant Building Work Contract or that of issue of the Contractor Certificate for the relevant work (whichever is the earlier), and expires on the date defined by Section 4 of the Contract of Insurance provided that the Insured shall have 90 days from expiry of the Period of Insurance in which to notify the Insurer of any matter of which the Insured became aware during the Period of Insurance as the existence of grounds for a Claim.

CLAIMS EXCESS

The Insured shall bear at his/her/its own risk five hundred dollars (\$500) in respect of each Claim made under this Policy.

PREMIUM

Net Premium	\$1 406 94	(includes agent fees of \$286 00 and GST of 16%)
GST	\$121 09	
SD	\$119 88	
Total Premium and Charges	\$1 787 91	

SIGNED BY A PERSON AUTHORISED BY THE INSURED

Australian Interfaith Insurance Ltd Level 1 369 High Street Kew VIC 3101 (ABN 29 006 544 690).

Marion T. Nugent

© 2008 Australian Home Wares Pty Ltd
A division of Australian Bookwelling Services Pty Ltd

•PITWATER & WARRINGAH PLUMBING•

Licence 138066C

22 August 2008

To Whom it may concern

James Beezley from Pitwater & Warrnagh Plumbing states that all fixtures installed at 11 Kara Crescent Bayview Heights where A.A.A rated

Kind Regards

James Bentley
Owner

mobile 0410 132 160 fax 02 9971 0475

Fax 02 9971 0475

Po Box 631, Narrabeen, NSW 2101
email pwp1umb1ng@hotmail.com

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 3 – Post Construction Geotechnical Certificate

Development Application for _____ Name of Applicant
Address of site <u>11 Kara Crescent, Bayview</u>

Declaration made by geotechnical engineer on completion of the Development

I Peter Crozier on behalf of CROZIER - Geotechnical Consultants
(Insert Name) (Trading or Company Name)

on this the 25th March 2008
certify that I am a geotechnical engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I prepared and/or verified the Geotechnical Report as per Form 1 dated _____ referred to below

Geotechnical Report Details

Report Title	<u>Geotechnical Inspection of 11 Kara Crescent, Bayview Heights</u>
Report Date	<u>27th June 2006</u> Project No <u>2676</u>
Author	<u>Peter Crozier</u>

I reviewed the original structural design and where applicable the subsequently amended structural details (below listed) which have been incorporated into the completed project.

I have inspected and/or am satisfied that the foundation materials upon which the structural elements (as detailed in the original and amended structural documents) of the development have been erected comply with the requirements specified in the Geotechnical Report

I have inspected the site during construction and to the best of my knowledge I am satisfied that the development referred to in the development consent D.A. _____ dated _____
(D.A. No) (Date consent given)

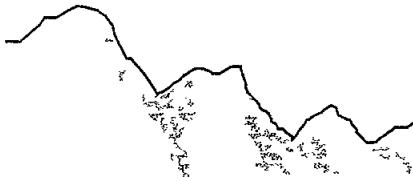
has been constructed in accordance with the intent of the Geotechnical Report and the requirements of the conditions of Development Consent relating to the geotechnical issues (including any treatment and/or maintenance plan that may be required to remove risk where reasonable and practical)

I am aware that Pittwater Council require this certificate prior to issuing an occupancy certificate for the development identified above and will rely on this certificate in regard to the development having achieved the Acceptable Risk Management criterion defined in the Policy and that reasonable and practical measures have been taken to remove foreseeable risk

List of all work as executed drawings and Ongoing Maintenance plans relevant to geotechnical risk management

Maintenance Schedule as on attached letter & table 1.

Signature Peter Crozier
Name Peter Crozier
Chartered Professional Status MIE Aust CPEng NPER
Membership No 691550



COLORADO
ELECTRICAL

This document states that 11 Kara St, Bayview NSW has smoke detectors in accordance to current Australian and local standards. Please contact us if there is any questions in regards to this.

Sincerely

A handwritten signature in black ink, appearing to read "Michael Kuzma". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Michael Kuzma

Engineering Geologists & Geotechnical Engineers
(A Division of PJC Geo Engineering Pty Ltd)

Date 25th March 2008
No Pages 1 of 3
Project No 2676

RF Alterations and Additions to House at 11 Kara Crescent, Bayview

Council's Form 3 of the Risk Management Policy has been completed and enclosed with this letter. We would suggest that the maintenance schedule as detailed on the attached pages and Table 1 (copies enclosed) be set as minimal requirements for this site.

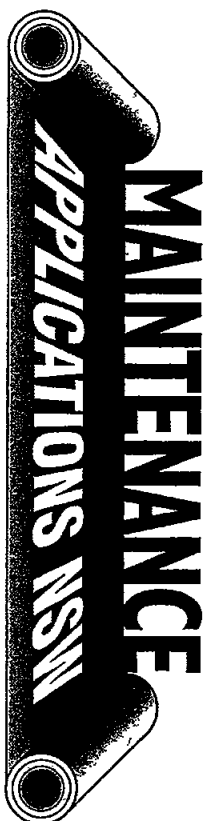
Yours faithfully

*CROZIFR – Geotechnical Consultants
Project No 2676 March 2008*

Sincerely

Michael Kizmaz

[illegible]



ABN 96 003 299 483 A DIVISION OF TRESOBY PTY LTD ACN 003 299 483

Darryle Dransfield
UNIT 15, 43 STERLING RD, MINCHINBURY NSW 2770
TELEPHONE (02) 9675 5044 • FACSIMILE (02) 9675 5088

Jenny O'Neill

WORKMANSHIP AND APPLICATION WARRANTY

WARRANTY NO 1379

TO
AMITY CONSTRUCTIONS PTY LTD
60 OAK ROAD
KIRRAWEE N S W 2232

We Maintenance Applications (NSW) hereinafter named as the applicator
Of Unit 15 43 Sterling Road Minchinbury NSW 2770 Having completed our contract
At 11 KARA CLOSE BAYVIEW
For MR J KUZMA
Using Durotech DUROMASIC ASC-2 waterproofing membrane system applied to the
• 1 x LAUNDRY Approx 8 m² Completed
• 1 x BATHROOM Approx 12 m² Completed
• 1 x ENSUITE Approx 14 m² Completed

**** This membrane was applied according to the manufacturer's specifications, and in accordance with the Australian Standards AS3740 ****

Hereby undertake that we will rectify at our own cost, any deficiency in performance of the process resulting from defective workmanship which occurs within the period of TEN (10) years from the 9th MARCH 2007

The processes have been applied as fully representative of the manufacturer's current specifications for each process to permit performance as claimed for that process and this warranty is to be read in conjunction with the product warranty in particular Schedule A of that warranty

Our liability under this warranty is subject to the following terms and conditions -

- 1 This warranty shall be void and of no effect if the terms of payment and all other conditions contained or implied in the contract are not complied with
- 2 This warranty shall be void and of no effect and the Applicator shall have no liability in respect thereof if the Applicator is not given notice in writing of any alleged failure or fault or deterioration relating to the processes within seven days of the discovery of such alleged failure fault or deterioration (Time being of the essence)

Builders Licence No 88652C
• WATERPROOFING • WATERPROOFING • WATERPROOFING •

3 In the event of liability being established pursuant to this warranty the Applicator shall repair and reinstate the processes subject to Clause 4 below required to make good the areas requiring repair PROVIDED that the Applicator shall be entitled to demand and be reimbursed the client for all expenses incurred in investigating any alleged failure fault or deterioration if on investigation and in accordance with the foregoing terms and conditions this warranty for the Applicator to rectify such alleged failure fault or deterioration

4 Should liability be established and occur in less than the warranted period repairs will be effected and replacement material supplied at a discount which bears the same ratio to the then current price as that part of the warranty period not achieved bears to the full warranty period

5 The Applicator does not warrant that any repair work carried out pursuant to the terms of this warranty when completed shall exactly match the existing applied processes in respect of colour or texture

6 All other warranties guarantees or conditions of whatsoever nature relating to the application of the processes and whether expressed or implied or give or to be expressed implied or given by any agent or employee of the Applicator or implied or prescribed or to be implied or to be prescribed by law are hereby excluded However in respect to Australia only this warranty does not exclude the following

- i) Any condition or warranty implied by the Trade Practices Act 1974 (as amended) of Australia
- ii) Any condition or warranty implied or prescribed by the various laws of the States and Territories of Australia which conditions or warranties are implied or prescribed not withstanding any term negating or excluding such conditions or warranties

7 There shall be no liability for the Applicator in respect of this warranty for any damage to the applied processes caused by act of God exceptional weather conditions fire war riots civil commotion vandalism nuclear explosion and for fallout damage caused by objects dropping or falling from aeroplanes or other airborne devices bursting or other forms of destruction or faults including but not restricted to fusion and short circuits negligence or willful damage by the main contractor owner and/or occupier of the building and/or visitors to the building on which the processes are placed any criminal act or illegal act or any consequential damage

8 There shall be no liability for the Applicator for any failure or deterioration of the applied processes resulting from physical damage by point loads defects in the structure or mechanical causes spillage of any substance onto the surface however caused during construction work or thereafter which were not allowed for in the original design and specification contract documents or arising from any natural disturbance of the structure

9 This warranty is null and void if any work carried out on the applied processes without prior written consent of the Applicator or if a change in use of the building from that for which it was designed at the time of completion of the Applicator's contract and affects the performance of the application

10 The benefit of this warranty is not assignable without prior written consent of the Applicator

Signature

Director

16-3-07

1002, 8th Floor