

2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW 2092

DEVELOPMENT APPLICATION - NEW RESIDENTIAL DWELLING

DRAWING REGISTER

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1600 WASTE MANAGEMENT

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Certificate No. #HR-5SUF9I-01


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Assessor name: Nermein Loka

Accreditation No.: ABSA 101399

Property Address: 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092

<http://www.hero-software.com.au/pdf/HR-5SUF9I-01>





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Nominated Architect:
Barry Babikian NSW Reg No. 8806

ISSUE AMENDMENT

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

COVER SHEET

SCALE: N.T.S. DATE: 13/11/2024

ISSUE: B - DEVELOPMENT APPLICATION

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2024-008

A1000

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3200 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 185.71 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 33.6 kilolitres.	✓	✓	✓

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must have a pool cover.		✓	✓
The swimming pool must be outdoors.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.		✓	✓

Construction	Area - m ²	Insulation
floor - concrete slab on ground, conventional slab.	89.1	polystyrene
floor - suspended floor above open subfloor, concrete - suspended, frame: no frame.	23	fibreglass batts or roll
floor - above habitable rooms or mezzanine, concrete - suspended, frame: no frame.	89.9	not specified
garage floor - concrete slab on ground.	26.6	polystyrene
external wall: brick veneer, frame: timber - untreated softwood.	168.3	fibreglass batts or roll
external wall: concrete block/plasterboard, frame: no frame.	30.5	none
external garage wall: brick veneer, frame: timber - untreated softwood.	19.2	fibreglass batts or roll
external garage wall: concrete block/plasterboard, frame: no frame.	16.7	none
internal wall: plasterboard, frame: timber - untreated softwood.	163	fibreglass batts or roll
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles, timber - untreated softwood.	185.71	ceiling: fibreglass batts or roll; roof: foil/sarking

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.		✓	✓

Construction	Area - m ²	Insulation
floor - concrete slab on ground, conventional slab.	89.1	polystyrene
floor - suspended floor above open subfloor, concrete - suspended, frame: no frame.	23	fibreglass batts or roll
floor - above habitable rooms or mezzanine, concrete - suspended, frame: no frame.	89.9	not specified
garage floor - concrete slab on ground.	26.6	polystyrene
external wall: brick veneer, frame: timber - untreated softwood.	168.3	fibreglass batts or roll
external wall: concrete block/plasterboard, frame: no frame.	30.5	none
external garage wall: brick veneer, frame: timber - untreated softwood.	19.2	fibreglass batts or roll
external garage wall: concrete block/plasterboard, frame: no frame.	16.7	none
internal wall: plasterboard, frame: timber - untreated softwood.	163	fibreglass batts or roll
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles, timber - untreated softwood.	185.71	ceiling: fibreglass batts or roll; roof: foil/sarking

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓

Frames	Maximum area - m ²
aluminium	117.2
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m ²
single	0
double	117.2
triple	0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓

Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted, Energy rating: 6 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted, Energy rating: 6 star (average zone)		✓	✓

Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted, Energy rating: 6 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted, Energy rating: 6 star (average zone)		✓	✓

Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: please select		✓	✓
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry, Operation control: n/a		✓	✓

Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓

Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓

Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		✓	✓
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: dual speed with a performance of 5 stars.		✓	✓
The applicant must install a timer for the swimming pool pump in the development.		✓	✓

Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of:			
• photovoltaic collectors with the capacity to generate at least 1 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north east	✓	✓	✓


Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

NatHERS Building Thermal Modelling Performance Specifications
These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.

Thermal Modelling Software: HERO (Home Energy Rating & Optimisation) v:4.1

2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW							
Unit No.	Additional Treatments Required	Heating Load (MJ/m ² .yr)	Cooling Load (MJ/m ² .yr)	Stars	Pass/Fail	Conditioned Area	Unconditioned Area
Single Dwelling	External Wall - Brick Veneer - R 2.5 - Concrete Block 190mm fully core-filled- Exposed (Refer to Arch.) Structural Form of External Wall: Timber Frame (70x35mm-450mm spacing) Internal wall: Plasterboard Stud - R 2.5 Structural Form of Internal Wall: Timber Frame (70x35mm-450mm spacing) Ground Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 First Floor Type: - Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 - Suspended Concrete Slab 200mm Second Floor Type: Suspended Concrete Slab 300mm External Floors: R 2.5 Floor Covering: - Tiles for wet areas - Carpet for bedrooms - Timber for lounge, dining and corridors - None for garage Ground Floor Ceiling: Concrete Slab (150mm) with Exposed Concrete Ceiling. R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Ceiling: Flat Framed/Skillion Tile Roof & Flat PB Ceiling. R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour) Structural form of second floor ceiling and roof: Timber Frame (140x45mm-600mm spacing) Glazed Windows & Doors type - Aluminium Thermally Broken A DG Argon Fill High Solar Gain Low-E Clear (U=2.91 : SHGC=0.44) (Monument Colour) Aluminium Thermally Broken B DG Argon Fill High Solar Gain Low-E Clear (U=2.90 : SHGC=0.51) (Monument Colour) Ceiling Fans - 6x1200mm diameter (1 for the Living, 1 for the Kitchen/Dining and 1 for each bedroom)	13.5	16.5	7	Pass	189.2	8.3



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BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT
- BJB DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTATION FROM ALL CONSULTANTS
- CONTRACTORS ARE TO NOTIFY BJB OF ANY DISCREPANCIES OR INCONSISTENCIES AND/OR SEEK CLARIFICATION PRIOR TO FABRICATION
- BJB IS TO REVIEW ALL SHOP DRAWINGS PRIOR TO FABRICATION OR MANUFACTURE

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
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PROJECT

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DEVELOPMENT APPLICATION - NEW RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

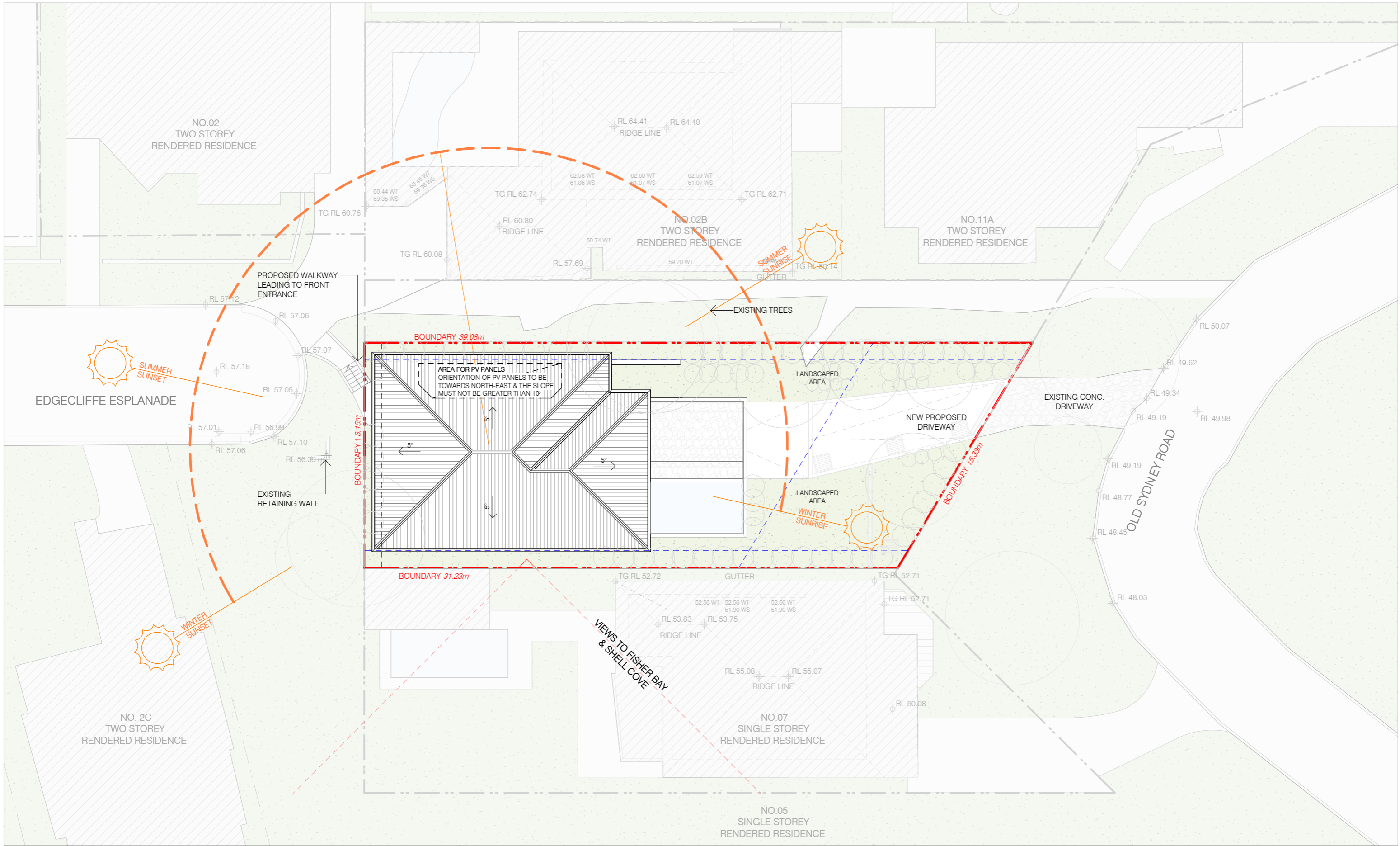
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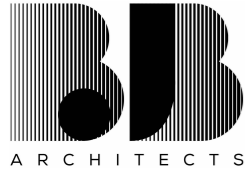
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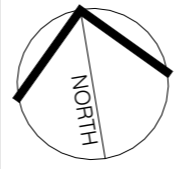
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NORTH



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**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SITE ANALYSIS PLAN

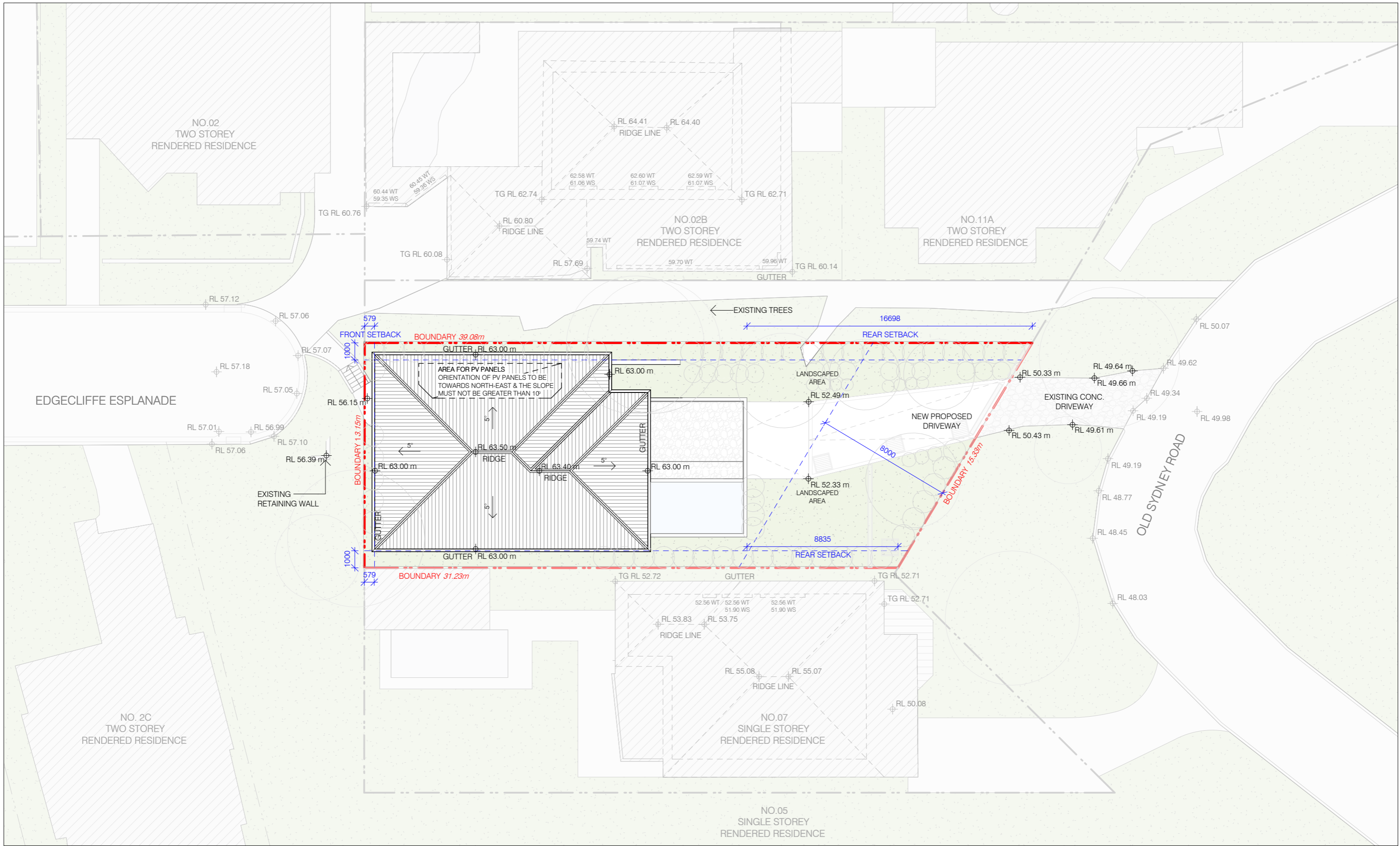
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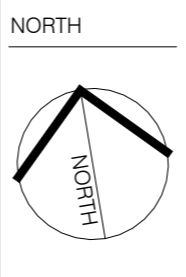
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 SEAFORTH, NSW 2092**

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SITE PLAN

SCALE: 1 : 200@ A3 DATE: 13/11/2024

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2A, EDGECLIFFE ESPLANADE, SEAFORTH

ABSA Quality Standard
 Accreditation Period: 31/03/2024-31/03/2025
 Assessor Name: Nermein Loka
 Assessor Number: 101399
 Assessor Signature: _____



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NORTH

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KATERINA AND EMANUEL POULOS

CONTEXT PLAN & STREET CHARACTER

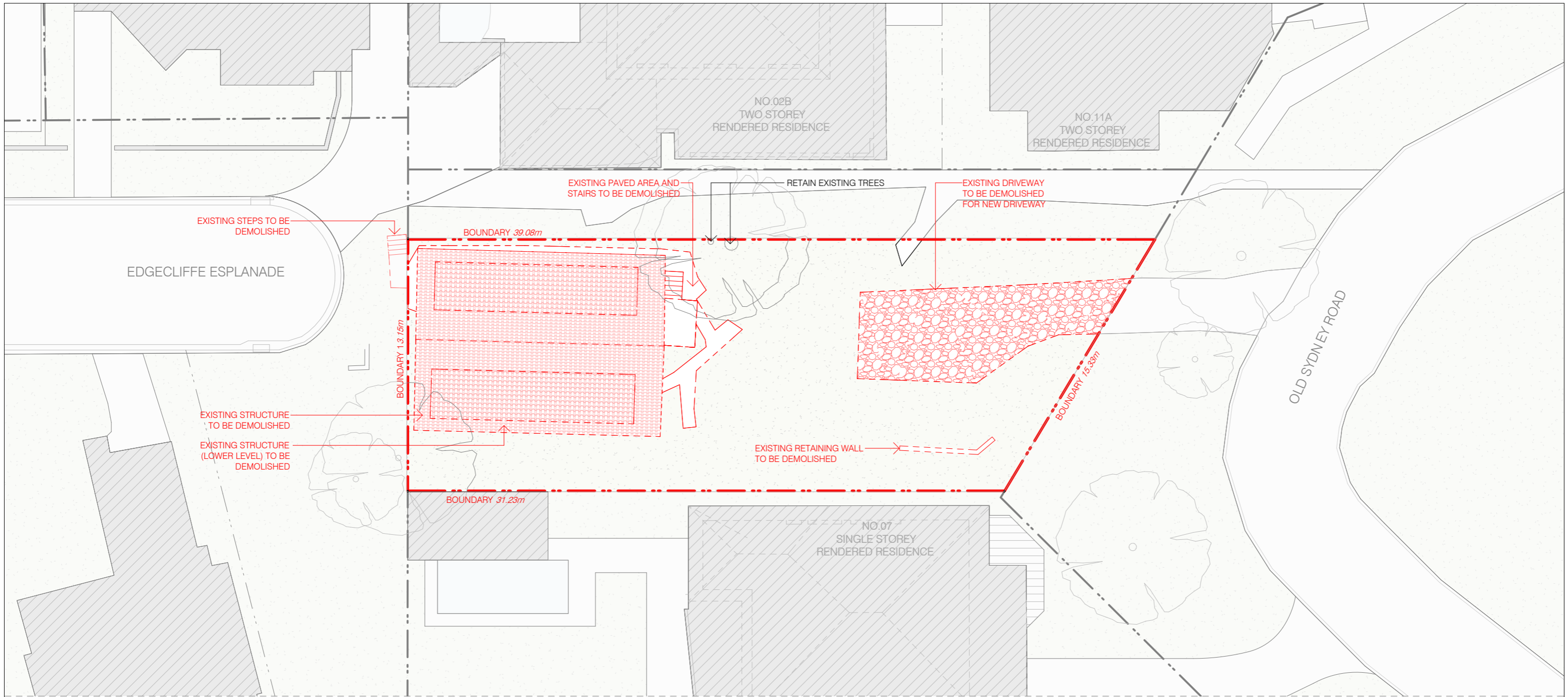
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DEMOLITION REQUIREMENTS:

ALL DEMOLITION WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:

A. COMPLIANCE WITH THE REQUIREMENT OF AUSTRALIAN STANDARD AS 2601 'THE DEMOLITION OF STRUCTURES WITH SPECIFIC REFERENCE TO HEALTH AND SAFETY OF THE PUBLIC, HEALTH AND SAFETY OF THE SITE PERSONNEL, PROTECTION OF ADJOINING BUILDINGS AND PROTECTION OF THE IMMEDIATE ENVIRONMENT.

B. ALL WORKS INVOLVING THE DEMOLITION, REMOVAL, TRANSPORT AND DISPOSAL OF ASBESTOS CEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH THE 'WORKSAFE CODE OF PRACTICE FOR REMOVAL OF ASBESTOS' AND THE REQUIREMENTS OF THE WORKCOVER AUTHORITY OF NSW AND THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER.

C. ALL BUILDING MATERIALS ARISING FROM THE DEMOLITION MUST BE DISPOSED OF IN AN APPROVED MANNER IN ACCORDANCE WITH THE RELEVANT COUNCIL DEVELOPMENT CONTROL PLAN RECYCLING AND WASTE MANAGEMENT AND ANY APPLICABLE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER.

D. SANITARY DRAINAGE, STORMWATER DRAINAGE, WATER, ELECTRICITY AND TELECOMMUNICATIONS MUST BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPONSIBLE AUTHORITIES.

E. THE GENERATION OF DUST AND NOISE ON SITE MUST BE CONTROLLED.

DEMOLITION REQUIREMENTS:

F. THE SITE MUST BE SECURED TO PROHIBIT UNAUTHORISED ENTRY.

G. SUITABLE PROVISION MUST BE MADE TO CLEAN THE WHEELS AND BODIES OF ALL VEHICLES LEAVING THE SITE TO PREVENT THE TRACKING OF DEBRIS AND SOIL ONTO THE PUBLIC WAY.

H. ALL TRUCKS AND VEHICLES ASSOCIATED WITH THE DEMOLITION, INCLUDING THOSE DELIVERING TO OR REMOVING MATERIAL FROM THE SITE, MUST ONLY HAVE ACCESS TO THE SITE DURING WORK HOURS NOMINATED BY COUNCIL AND ALL LOADS MUST BE COVERED.

I. ALL VEHICLES TAKING MATERIALS FROM THE SITE MUST BE LOADED WHOLLY WITHIN THE PROPERTY UNLESS OTHERWISE PERMITTED BY COUNCIL.

J. NO WASTE COLLECTION SKIPS, SPOIL, EXCAVATION OR DEMOLITION MATERIAL FROM THE SITE MUST BE DEPOSITED ON THE PUBLIC ROAD, FOOT PATH, PUBLIC PLACE OR COUNCIL OWNED PROPERTY WITHOUT THE APPROVAL OF COUNCIL.

K. THE PERSON ACTING ON THIS CONSENT MUST ENSURE THAT ALL CONTRACTORS AND SUB-CONTRACTORS ASSOCIATED WITH THE DEMOLITION ARE FULLY AWARE OF THESE REQUIREMENTS.

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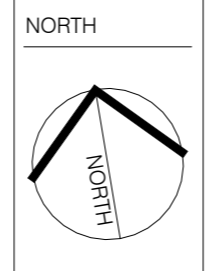
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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

DEMOLITION PLAN

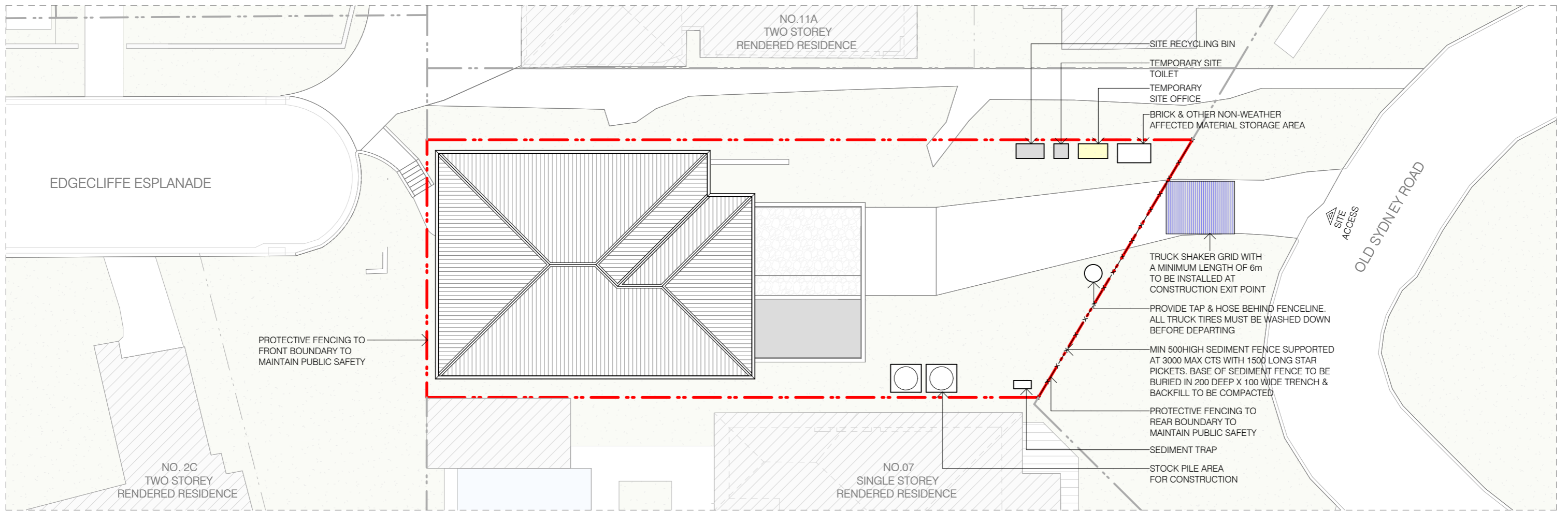
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ISSUE: B - DEVELOPMENT APPLICATION

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Assessor name Nermein Loka
Accreditation No. ABSA 101399
Property Address 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092
<http://www.hero-software.com.au/pdf/HR-5SUF91-01>



DRAINAGE NOTES:

ALL WORK CARRIED OUT SHALL COMPLY TO AND BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3500, THE NEW SOUTH WALES PLUMBING & DRAINAGE 'CODE OF PRACTICE', AND ALL OTHER RELEVANT AUSTRALIAN STANDARDS AND CODES OF PRACTICE INCLUDING THE B.C.A.

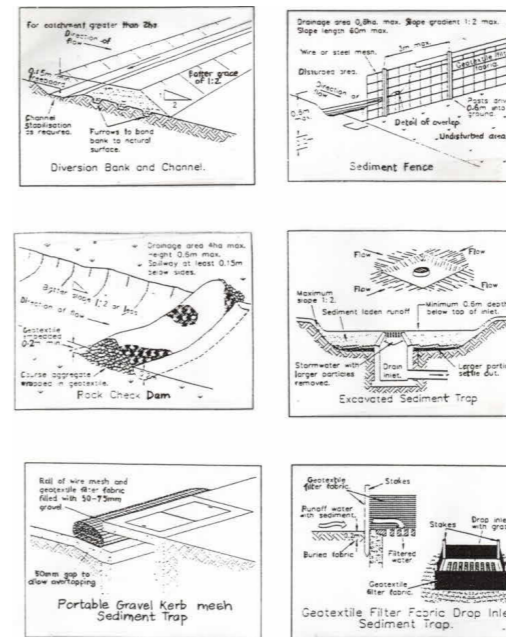
WASTE MANAGEMENT NOTES:

ANY CONSTRUCTION WASTE IS TO BE RECYCLED WHERE APPLICABLE AND DISPOSED OF IN ACCORDANCE WITH RELEVANT COUNCIL'S GUIDELINES.

EROSION CONTROL NOTES:

1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
2. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCIL STANDARDS.

EROSION CONTROL MEASURE



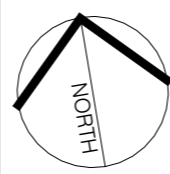
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 Rosebery NSW 2018

BJB Architects Pty Ltd
 Nominated Architect:
 Barry Babikian NSW Reg No. 8806

NORTH



ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT
**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

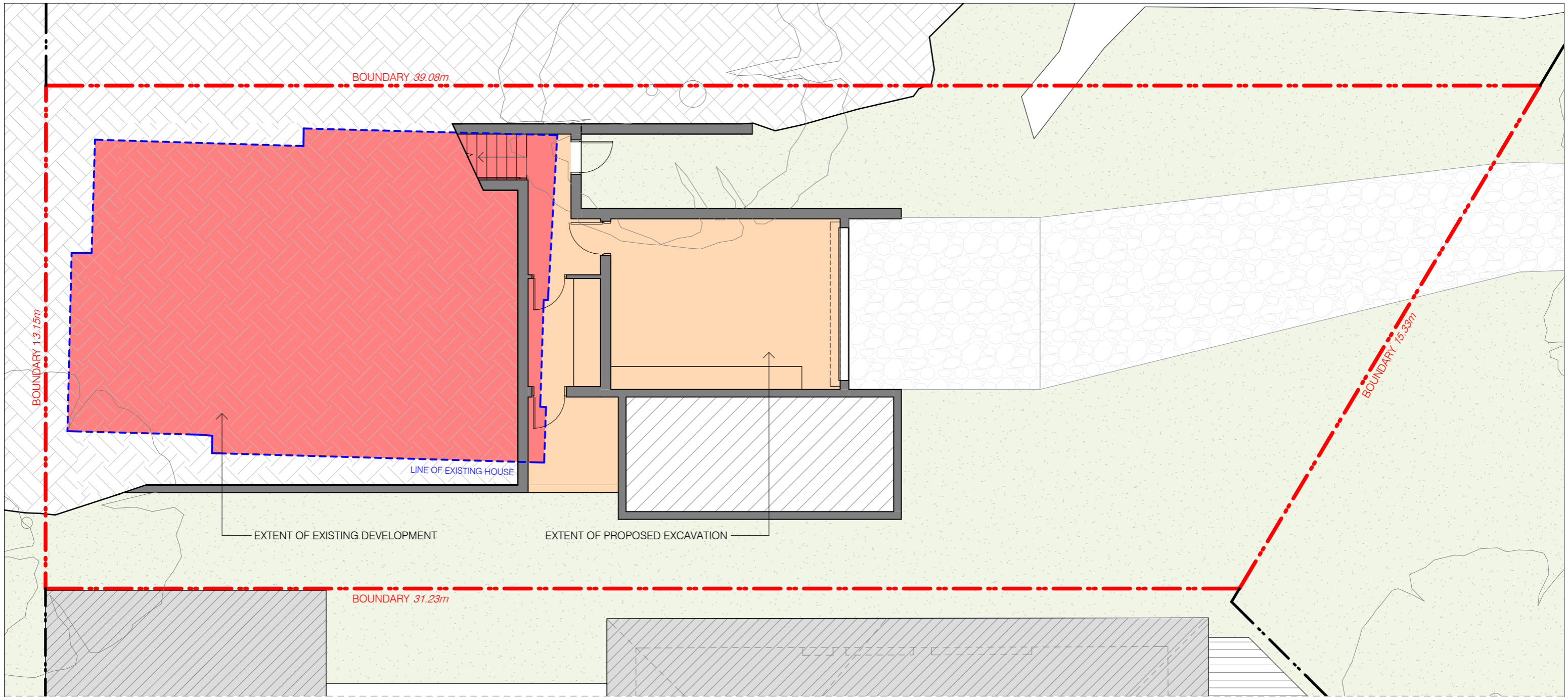
DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

EROSION & SEDIMENT CONTROL PLAN
 SCALE: 1 : 200@ A3 DATE: 13/11/2024
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A1032



EXCAVATION REQUIREMENTS:

ALL DEMOLITION WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:

- A. THE EXCAVATION PLAN HAS BEEN PREPARED FOR ESTIMATION PURPOSES ONLY. THE BUILDER IS TO CONFIRM ALL EXCAVATION EXTENTS WITH A SURVEYOR AND STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION.
- B. ALL BUILDING MATERIALS ARISING FROM THE DEMOLITION MUST BE DISPOSED OF IN AN APPROVED MANNER IN ACCORDANCE WITH THE RELEVANT COUNCIL DEVELOPMENT CONTROL WASTE MANAGEMENT AND ANY APPLICABLE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER.
- C. THE GENERATION OF DUST AND NOISE ON SITE MUST BE CONTROLLED.
- D. THE SITE MUST BE SECURED TO PROHIBIT UNAUTHORISED ENTRY.
- E. SUITABLE PROVISION MUST BE MADE TO CLEAN THE WHEELS AND BODIES OF ALL VEHICLES LEAVING THE SITE TO PREVENT THE TRACKING OF DEBRIS AND SOIL ONTO THE PUBLIC ROADWAY.
- F. ALL TRUCKS AND VEHICLES ASSOCIATED WITH THE EXCAVATION, INCLUDING THOSE DELIVERING TO OR REMOVING MATERIAL FROM THE SITE, MUST ONLY HAVE ACCESS TO THE SITE DURING WORK HOURS NOMINATED BY COUNCIL AND ALL LOADS MUST BE COVERED.
- G. ALL VEHICLES TAKING MATERIALS FROM THE SITE MUST BE LOADED WHOLLY WITHIN THE PROPERTY UNLESS OTHERWISE PERMITTED BY COUNCIL.
- H. NO WASTE COLLECTION SKIPS, SPOIL, EXCAVATION OR DEMOLITION MATERIAL FROM THE SITE MUST BE DEPOSITED ON THE PUBLIC ROAD, FOOT PATH, PUBLIC PLACE OR COUNCIL OWNED PROPERTY WITHOUT THE APPROVAL OF COUNCIL.
- I. THE PERSON ACTING ON THIS CONSENT MUST ENSURE THAT ALL CONTRACTORS AND SUB-CONTRACTORS ASSOCIATED WITH THE DEMOLITION ARE FULLY AWARE OF THESE REQUIREMENTS.

Certificate No. #HR-5SUF9I-01

Scan QR code or follow website link for rating details.

Assessor name Nermein Loka

Accreditation No. ABSA 101399

Property Address 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092

<http://www.hero-software.com.au/pdf/HR-5SUF9I-01>



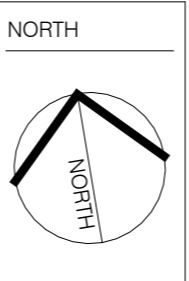
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Nominated Architect:
Barry Babikian NSW Reg No. 8806

LEGEND:

- EXTENT OF EXISTING DEVELOPMENT
- EXTENT OF PROPOSED FILL
- EXTENT OF PROPOSED EXCAVATION



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PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

EXCAVATION PLAN

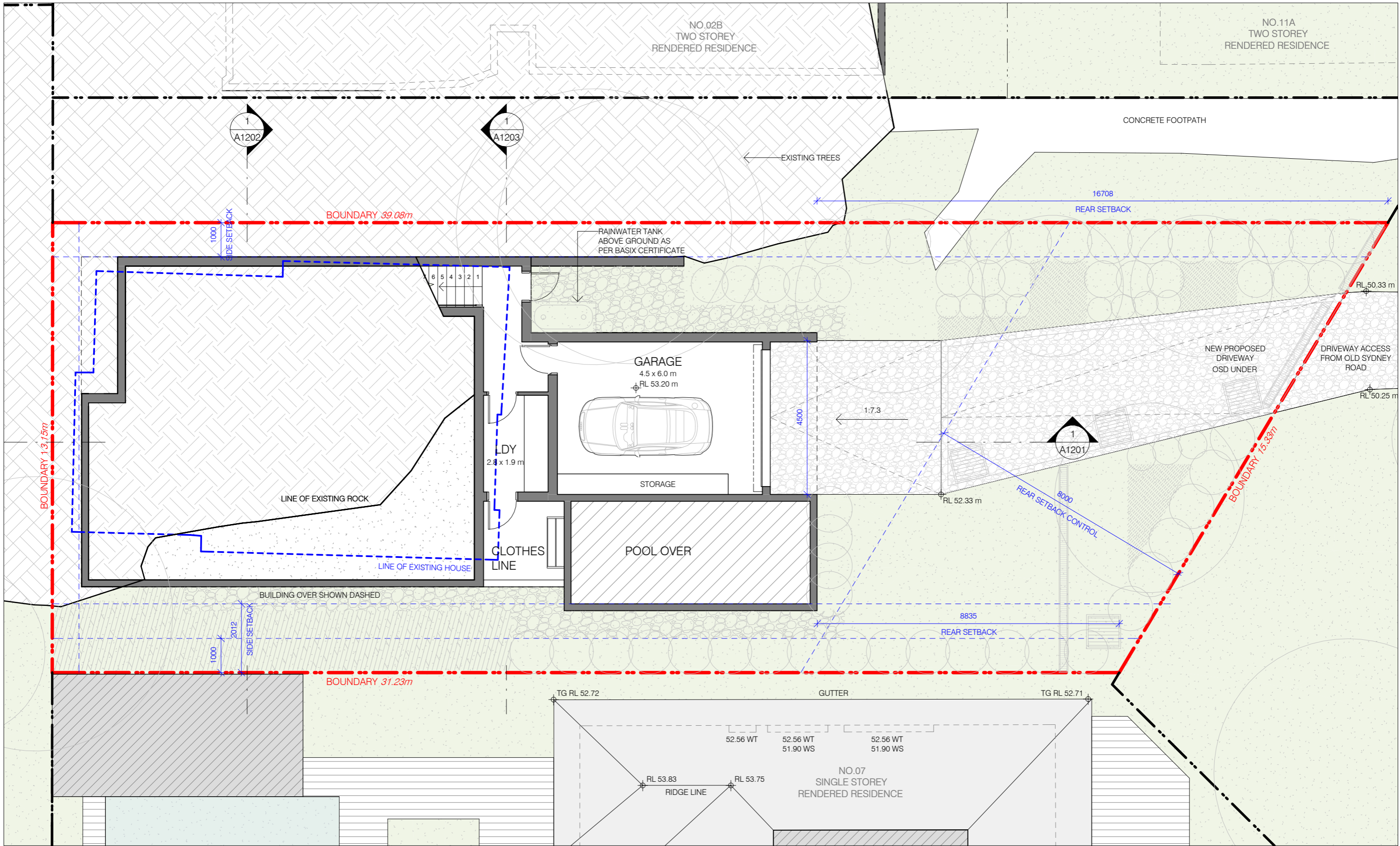
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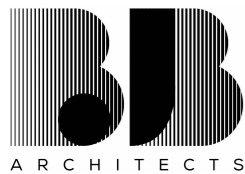
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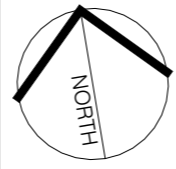
BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

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Assessor name: Nermein Loka
Accreditation No.: ABSA 101399
Property Address: 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092
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NORTH



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PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

GROUND FLOOR PLAN

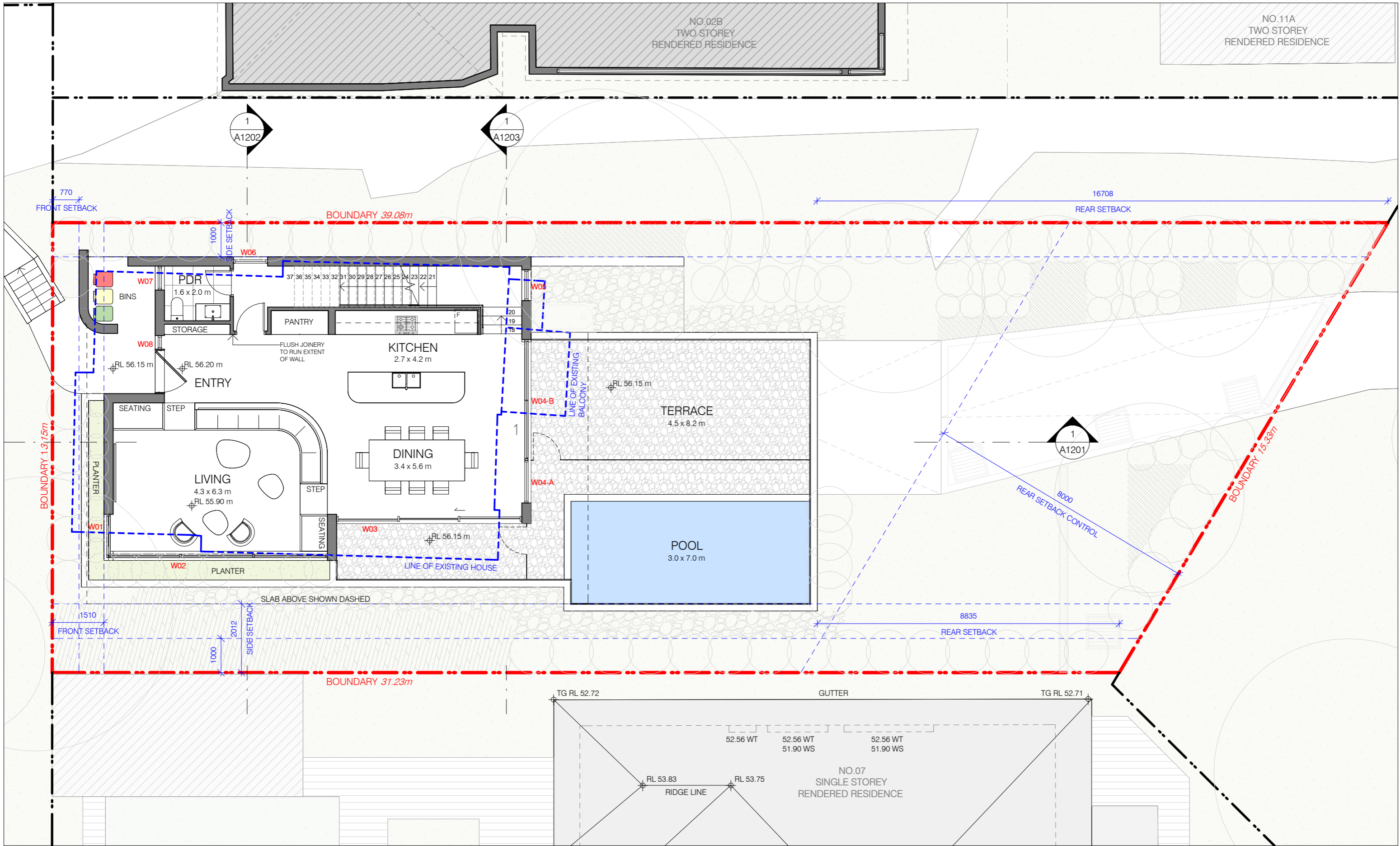
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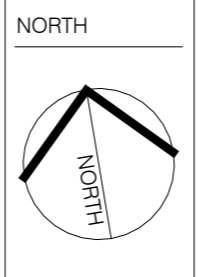


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NOTE:



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ISSUE AMENDMENT	DATE
A DA DRAFT	16/08/2024
B DEVELOPMENT APPLICATION	13/11/2024

Certificate No. #HR-SSUF91-01

Assessor name: Nemhen Loka
 Accreditation No.: ABSA 101399
 Property Address: 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

FIRST FLOOR PLAN

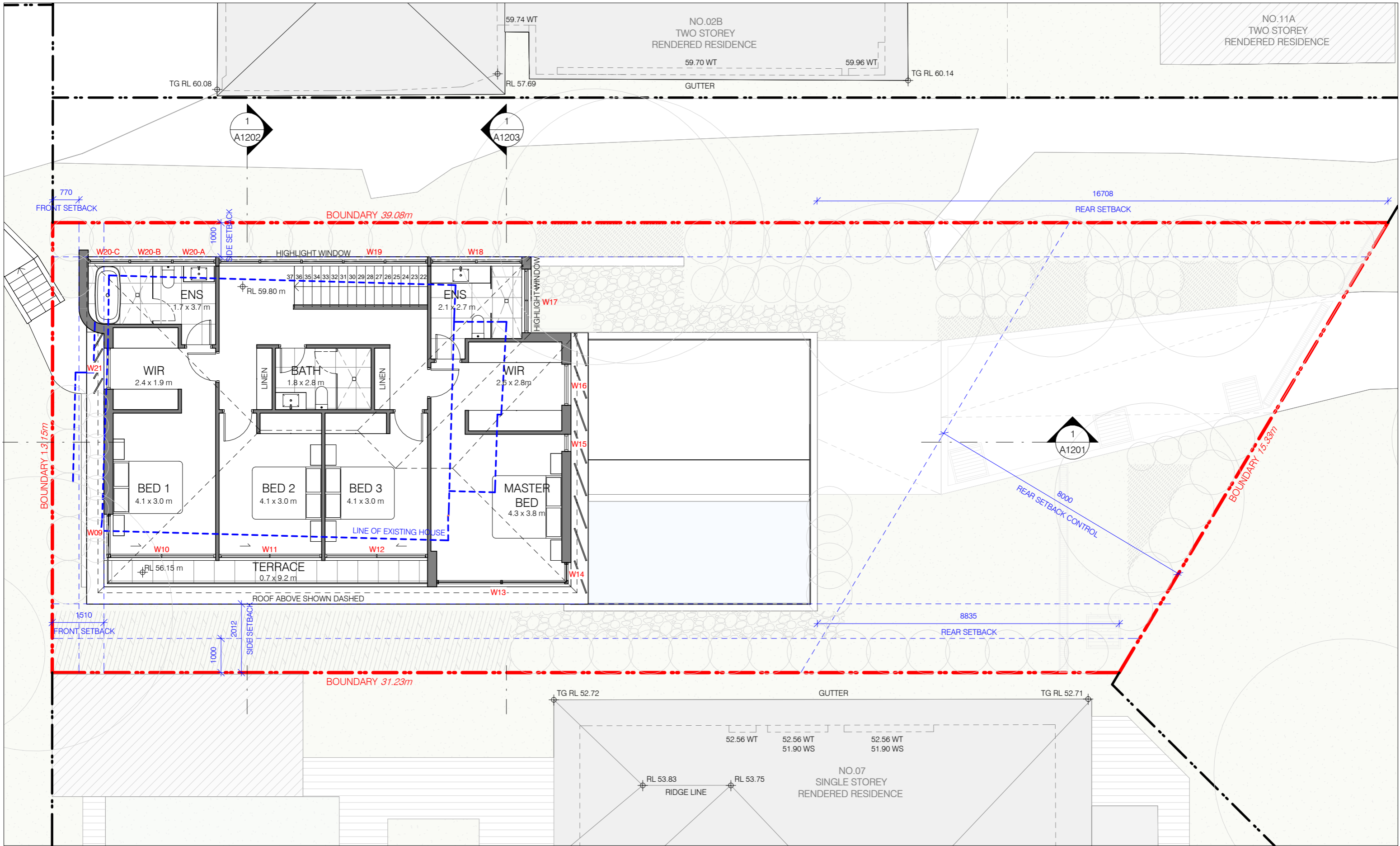
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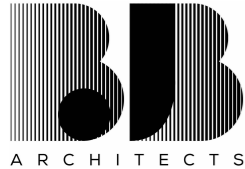
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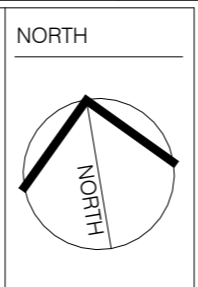


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Accreditation No.: ABSA 101399
Property Address: 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SECOND FLOOR PLAN

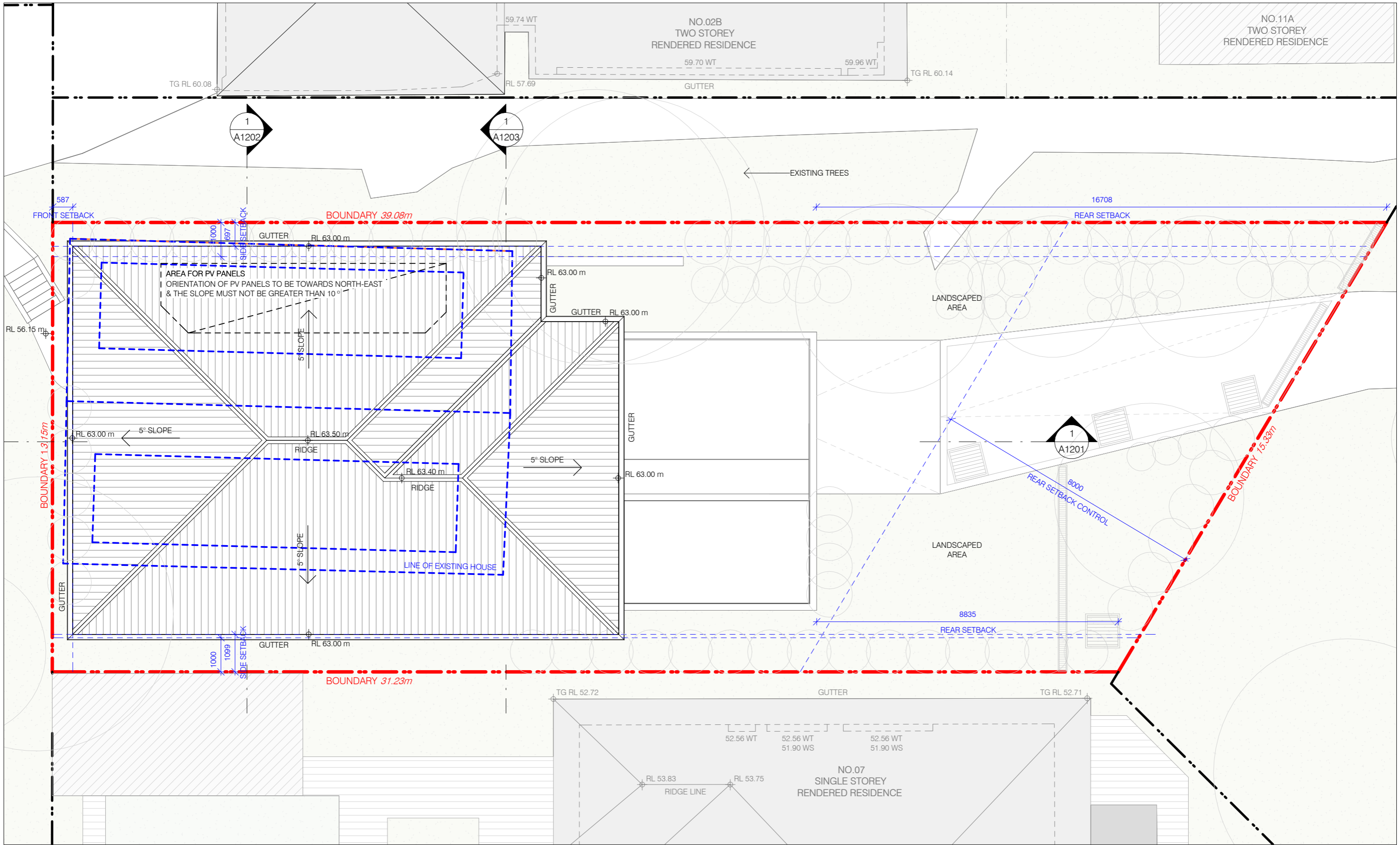
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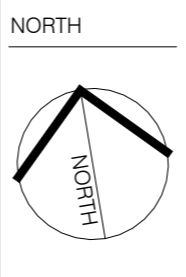


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**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

ROOF PLAN

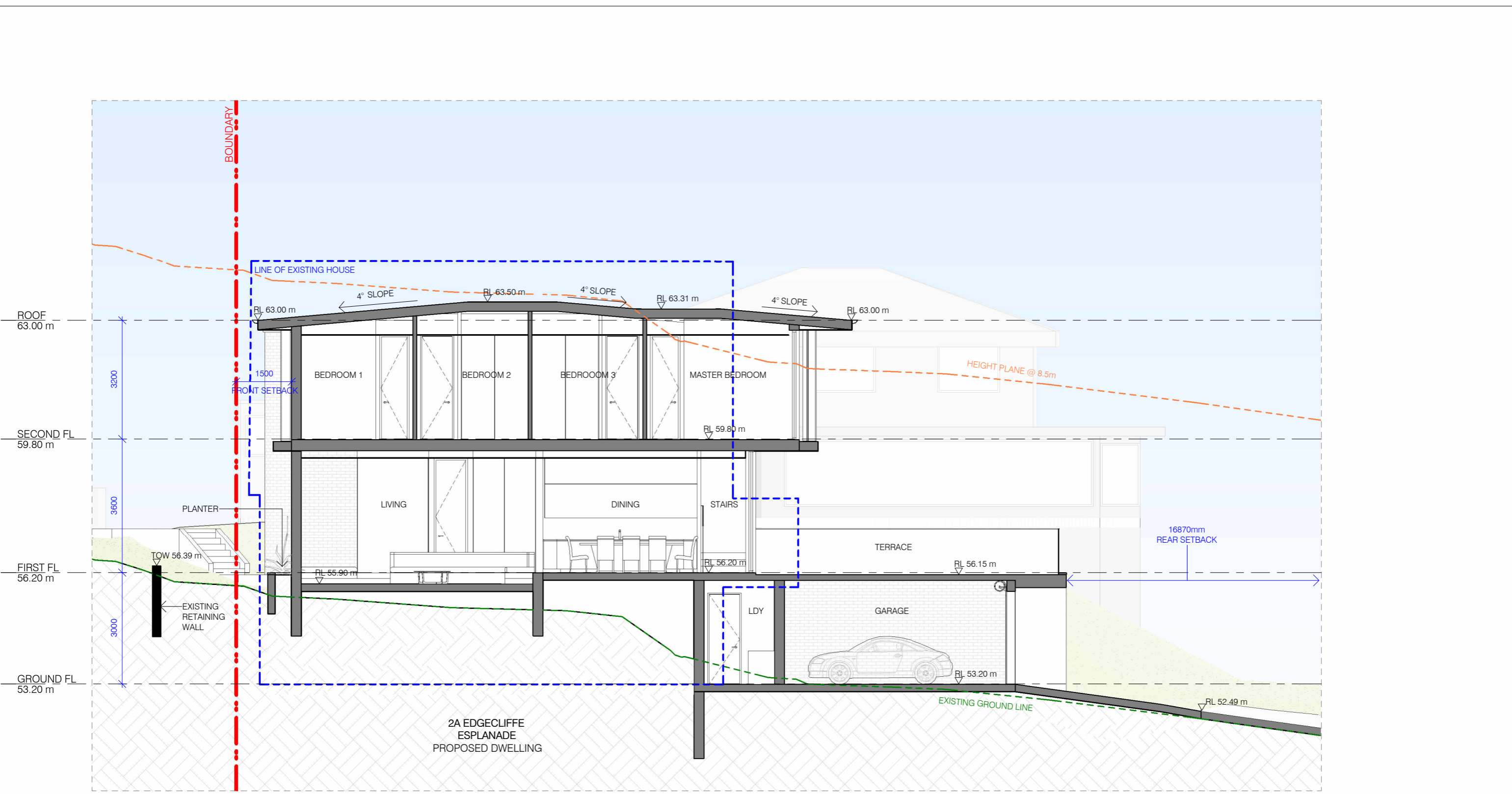
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1 SECTION 01
A1101 1 : 100

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**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SECTIONS

SCALE: 1 : 100@ A3 DATE: 13/11/2024




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 Accreditation No.: ABSA 101399
 Property Address: 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092
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NathERS Building Thermal Modelling Performance Specifications
 These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.

Thermal Modelling Software: HERO v4.1

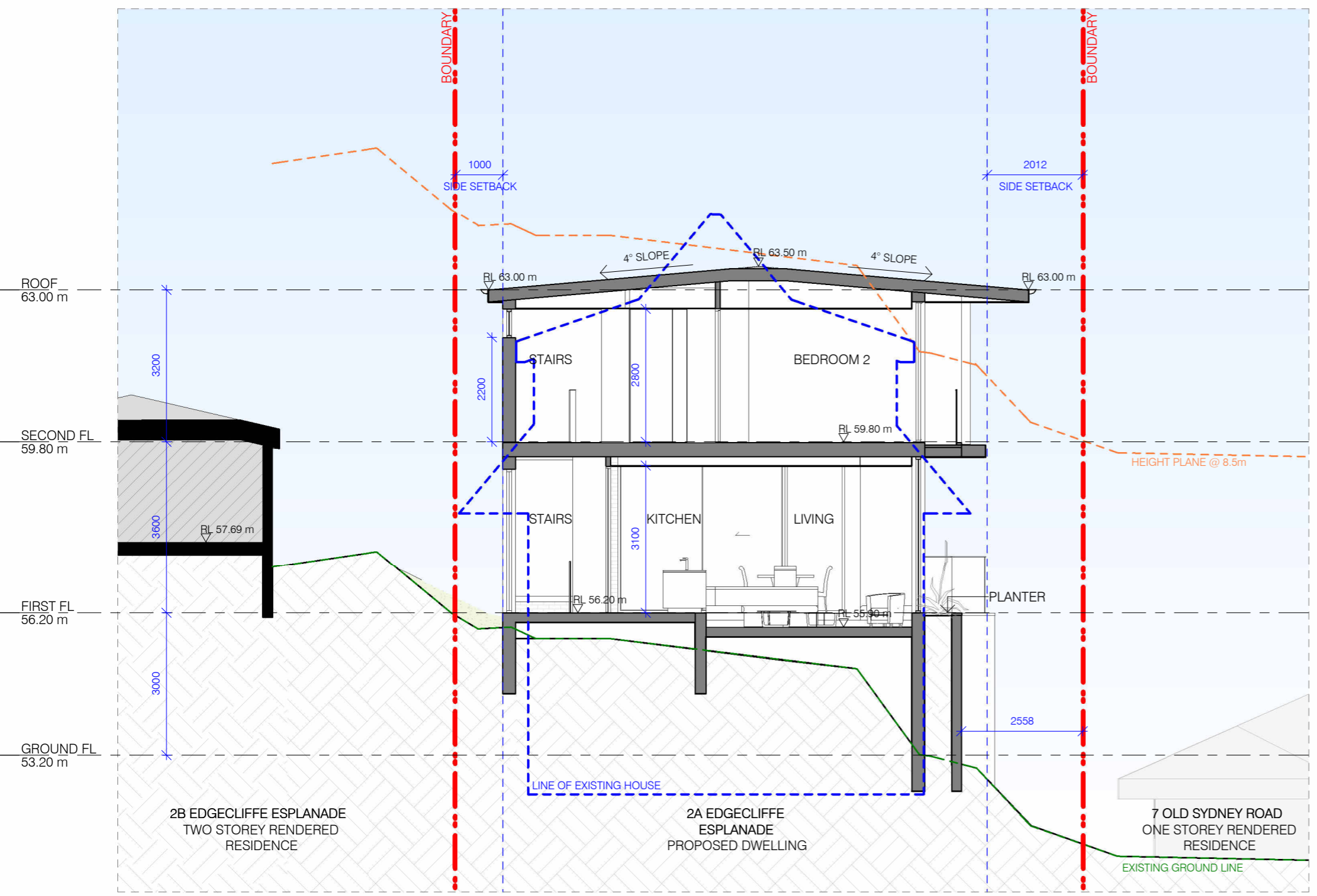
External and Internal Walls Insulation	
External Walls	Brick Veneer - R 2.5 Concrete Block 190mm fully core-filled- Exposed (Refer to Arch.)
Internal Walls	Plasterboard Stud - R 2.5
Structural Form of External & Internal Walls	Timber Frame (70x35mm-450mm spacing)
Floor, Ceilings & Roofs Insulation	
Floor	Ground Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 First Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 Suspended Concrete Slab 200mm Second Floor Type: Suspended Concrete Slab 300mm
External Floor	R 2.5
Ceiling	Ground Floor Ceiling: Concrete Slab (150mm) with Exposed Concrete Ceiling. R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Ceiling: Flat Framed/Skillion Tile Roof & Flat PB Ceiling. R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour)
Roofs	Ground Floor Roof: R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Roof: R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour)
Structural form of second floor ceiling and roof:	Timber Frame (140x45mm-600mm spacing)
Windows (*Refer to BASIX Commitment Report and NatHERS Certificates for details)	
Glazed windows & doors type	Aluminium Thermally Broken A DG Argon Fill High Solar Gain Low-E Clear (U=2.91 : SHGC=0.44) (Monument Colour) Aluminium Thermally Broken B DG Argon Fill High Solar Gain Low-E Clear (U=2.90 : SHGC=0.51) (Monument Colour)
For specification refer to window specification table	
Floor Coverings	
None	Garage
Carpet	Bedrooms
Timber	lounge, dining and corridors
Tiles	Wet areas
Ceiling fans	
6x1200mm	1 for the Living, 1 for the Kitchen/Dining and 1 for each bedroom

2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW

Window System Specification


Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double-hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified below.

Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	Thermally Broken DG Argon Fill High Solar Gain	Double	2.91	0.44
	B	Low-E Clear	Double	2.9	0.51



1 SECTION 02
 A1101 1 : 100

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ISSUE	AMENDMENT	DATE
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**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SECTIONS

SCALE: 1 : 100@ A3 DATE: 13/11/2024

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A1202

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Property Address 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092
<http://www.hero-software.com.au/pdf/HR-5SUF91-01>

NATHERS Building Thermal Modelling Performance Specifications
 These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.

Thermal Modelling Software: HERO v4.1

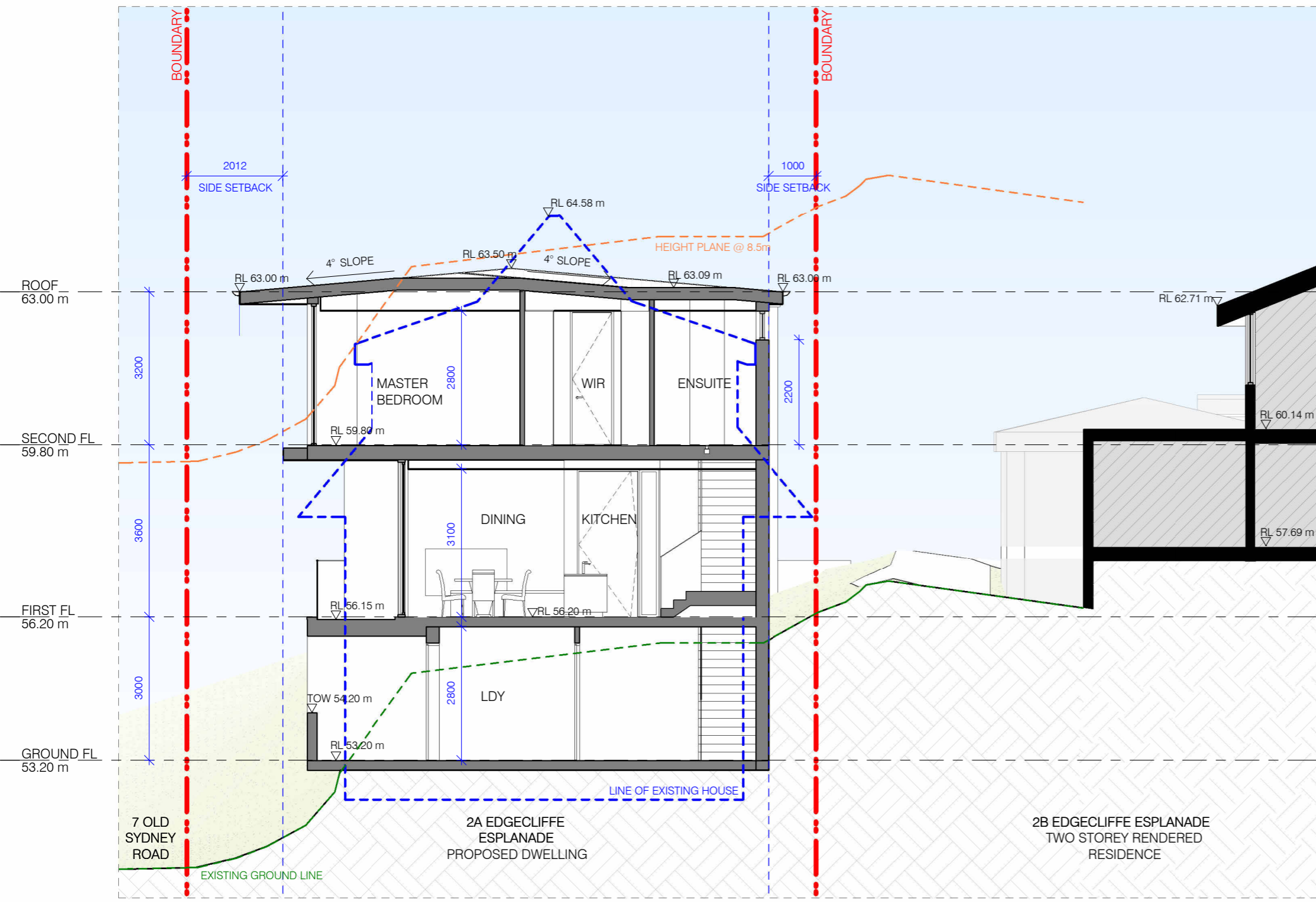
External and Internal Walls Insulation	
External Walls	Brick Veneer - R 2.5 Concrete Block 190mm fully core-filled- Exposed (Refer to Arch.)
Internal Walls	Plasterboard Stud - R 2.5
Structural Form of External & Internal Walls	Timber Frame (70x35mm-450mm spacing)
Floor, Ceilings & Roofs Insulation	
Floor	Ground Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 First Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 Suspended Concrete Slab 200mm Second Floor Type: Suspended Concrete Slab 300mm
External Floor	R 2.5
Ceiling	Ground Floor Ceiling: Concrete Slab (150mm) with Exposed Concrete Ceiling. R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Ceiling: Flat Framed/Skillion Tile Roof & Flat PB Ceiling. R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour)
Roofs	Ground Floor Roof: R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Roof: R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour)
Structural form of second floor ceiling and roof:	Timber Frame (140x45mm-600mm spacing)
Windows (*Refer to BASIX Commitment Report and NATHERS Certificates for details)	
Glazed windows & doors type	Aluminium Thermally Broken A DG Argon Fill High Solar Gain Low-E Clear (U=2.91 : SHGC=0.44) (Moument Colour) Aluminium Thermally Broken B DG Argon Fill High Solar Gain Low-E Clear (U=2.90 : SHGC=0.51) (Monument Colour)
For specification refer to window specification table	
Floor Coverings	
None	Garage
Carpet	Bedrooms
Timber	lounge, dining and corridors
Tiles	Wet areas
Ceiling fans	
6x1200mm	1 for the Living, 1 for the Kitchen/Dining and 1 for each bedroom

2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW

Window System Specification


Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double-hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified below.

Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	Thermally Broken DG Argon Fill High Solar Gain	Double	2.91	0.44
	B	Low-E Clear	Double	2.9	0.51



1 SECTION 03
 A1101 1 : 100

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B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

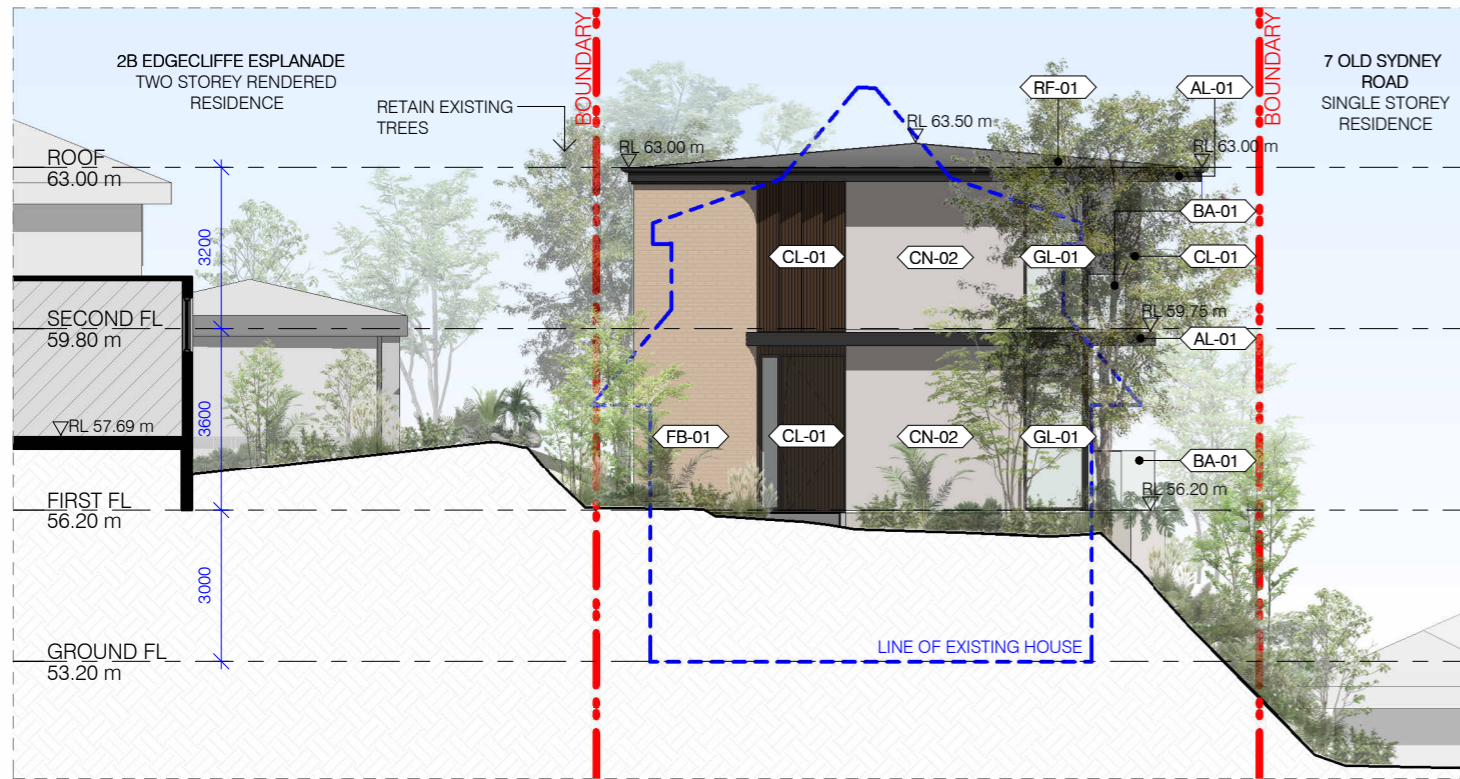
SECTIONS

SCALE: 1 : 100@ A3
 DATE: 13/11/2024

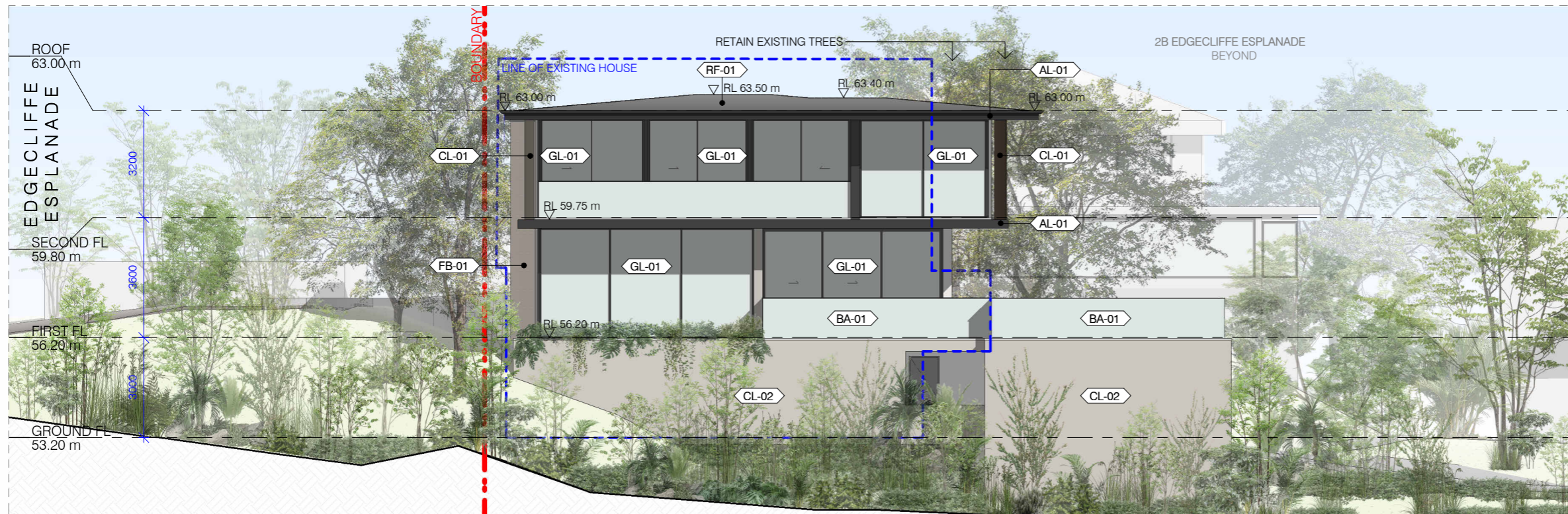
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2024-008
A1203



2 WEST (FRONT) ELEVATION
1 : 150






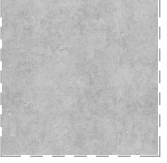
1 SOUTH ELEVATION
1 : 150

Certificate No. #HR-5SUF9I-01
Scan QR code or follow website link for rating details.

Assessor name Nermein Loka
Accreditation No. ABSA 101399
Property Address 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092
<http://www.hero-software.com.au/pdf/HR-5SUF9I-01>



EXTERNAL FINISHES SCHEDULE:

-  BR-01 BRICK WITH SOLAR ABSORBANCE (SA) = 0.65
-  AL-01 ALUMINIUM FASCIA IN MONUMENT OR SIMILAR
-  RF-01 METAL ROOF COLORBOND: SURFMIST SA = 0.33
-  ST-01 DRIVEWAY COBBLESTONE
-  CL-01 TIMBER CLADDING TERRAIN SA = 0.69
-  PT-01 PAINT WITH RENDER COLOUR: SURFMIST SURFMIST MATT SA = 0.35
-  CL-02 STONE CLADDING CLASSIC CREAM SA = 0.33
-  CN-01 CONCRETE FINISH NATURAL FINISH CLASS 2 CONCRETE SA = 0.62
-  GL-01 ALUMINIUM FRAMED GLAZING, DULUX MONUMENT OR SIMILAR MONUMENT SA = 0.73
-  CN-02 CONCRETE PANEL CONCRETE SA = 0.62
-  BA-01 POWDER-COATED METAL BALUSTRADE COLOUR: MONUMENT OR SIMILAR

ARCHITECT



t: 02 8970 5417
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a: 3.09/77 Dunning Ave,
Rosebery NSW 2018

BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

WEST & SOUTH ELEVATION

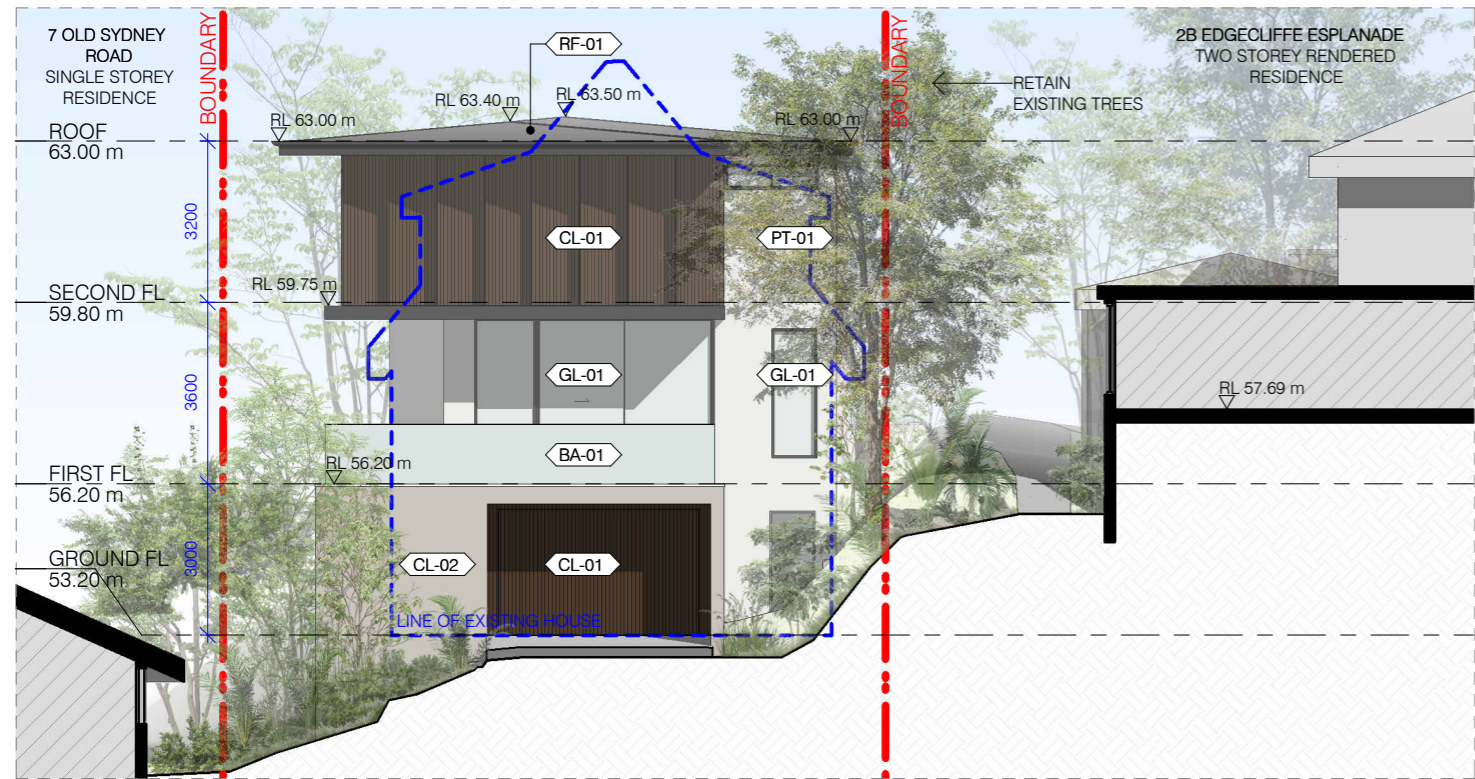
SCALE: As indicated@ A3 DATE: 13/11/2024

ISSUE: B - DEVELOPMENT APPLICATION

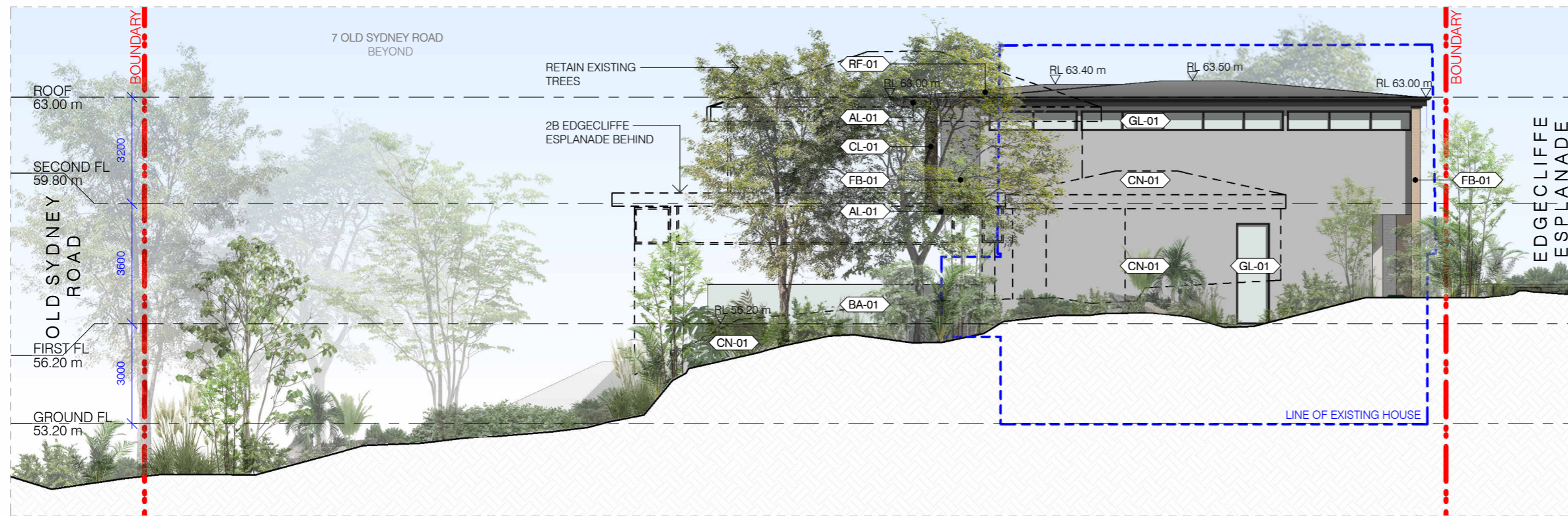
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2024-008

A1301



2 EAST ELEVATION
1 : 150



1 NORTH ELEVATION
1 : 150

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Assessor name Nermein Loka
Accreditation No. ABSA 101399
Property Address 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092
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EXTERNAL FINISHES SCHEDULE:

BR-01 BRICK WITH SOLAR ABSORBANCE (SA) = 0.65	AL-01 ALUMINIUM FASCIA IN MONUMENT OR SIMILAR
RF-01 METAL ROOF COLORBOND: SURFMIST SA = 0.33	ST-01 DRIVEWAY COBBLESTONE
CL-01 TIMBER CLADDING TERRAIN SA = 0.69	PT-01 PAINT WITH RENDER COLOUR: SURFMIST SURFMIST MATT SA = 0.35
CL-02 STONE CLADDING CLASSIC CREAM SA = 0.33	CN-01 CONCRETE FINISH NATURAL FINISH CLASS 2 CONCRETE SA = 0.62
GL-01 ALUMINIUM FRAMED GLAZING, DULUX MONUMENT OR SIMILAR MONUMENT SA = 0.73	CN-02 CONCRETE PANEL CONCRETE SA = 0.62
BA-01 POWDER-COATED METAL BALUSTRADE COLOUR: MONUMENT OR SIMILAR	

ARCHITECT

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Rosebery NSW 2018

BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

EAST & NORTH ELEVATION

SCALE: As indicated@ A3 DATE: 13/11/2024

ISSUE: B - DEVELOPMENT APPLICATION

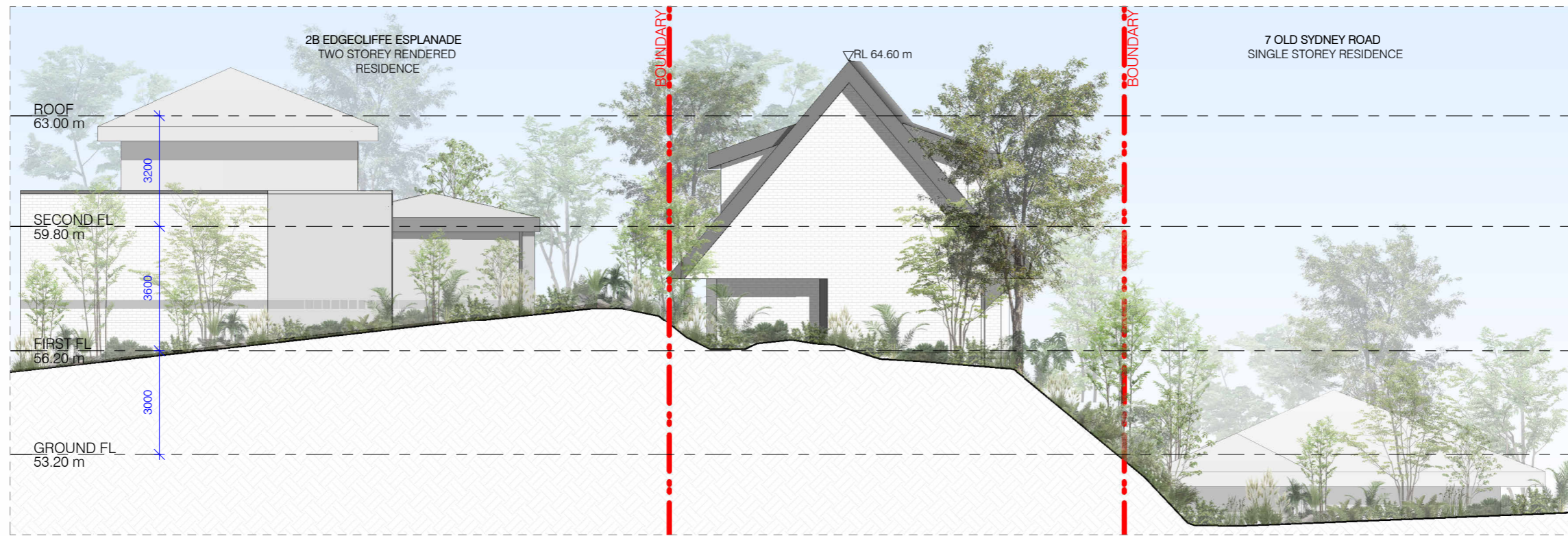
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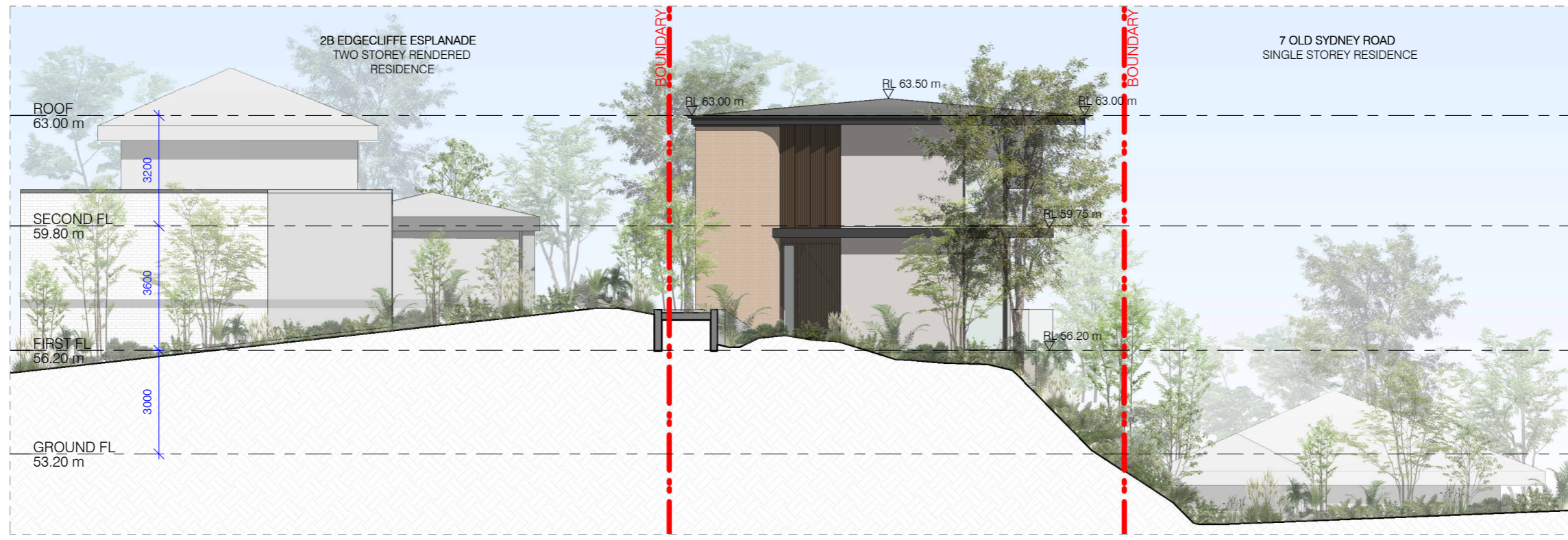
A1302

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Assessor name: Nermin Loka
 Accreditation No.: ABSA 101399
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2 STREETScape ELEVATION - EXISTING
 1 : 150



1 STREETScape ELEVATION - PROPOSED
 1 : 150

ARCHITECT



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 e: studio@bjbarchitects.com.au
 a: 3.09/77 Dunning Ave,
 Rosebery NSW 2018

BJB Architects Pty Ltd
 Nominated Architect:
 Barry Babikian NSW Reg No. 8806

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

STREETScape ELEVATIONS

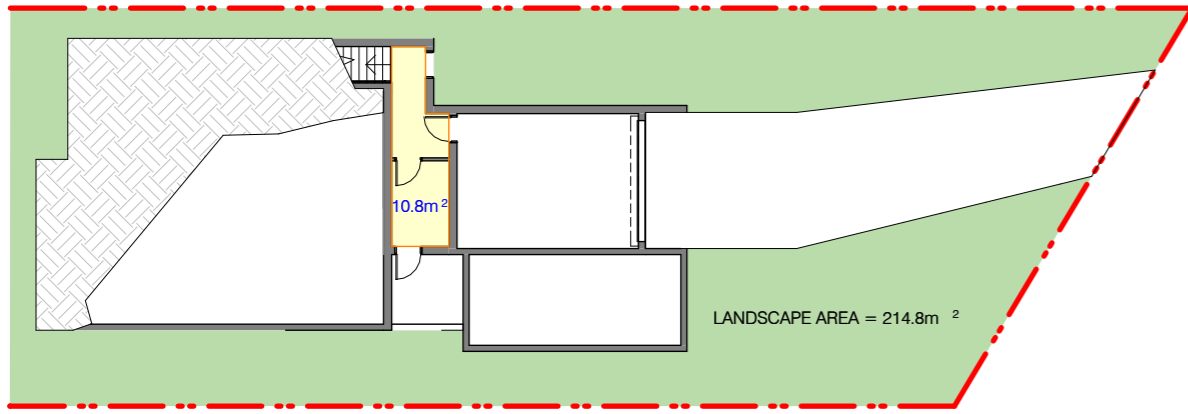
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2024-008

A1305



FLOOR AREA CALCULATIONS	
SITE AREA	462.6m ²
FSR CONTROL	0.4:1 (185m ²)
PROPOSED	
GROUND FLOOR	10.8m ²
FIRST FLOOR	86.6m ²
SECOND FLOOR	106.2m ²
PROPOSED GFA	203.6m ²
PROPOSED FSR	0.44:1 (VARIATION TO STANDARD 10%)

Certificate No. #HR-5SUF9I-01

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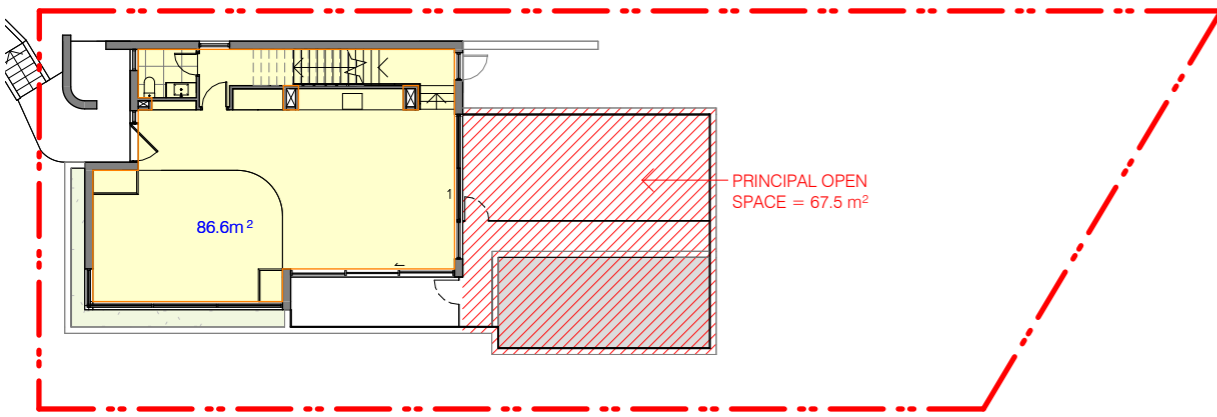
Assessor name Nermein Loka

Accreditation No. ABSA 101399

Property Address 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092

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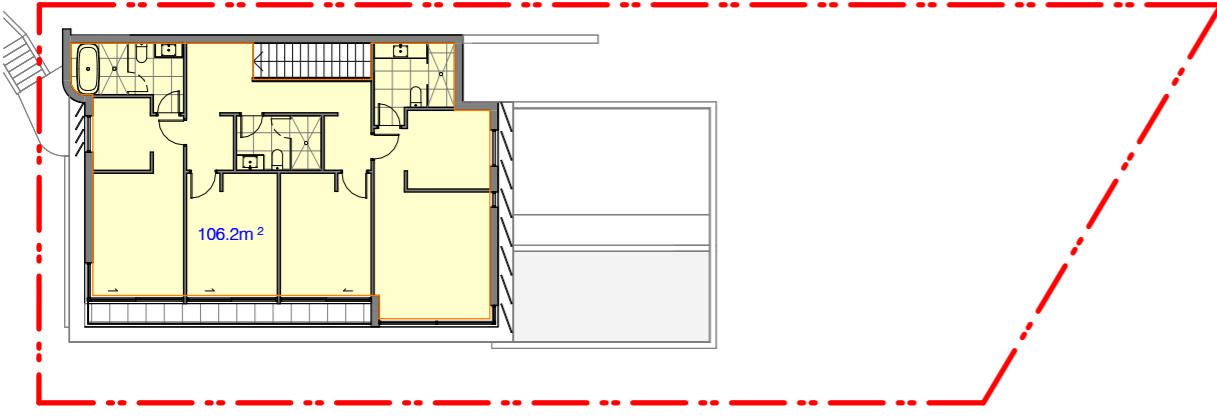
2 GROUND FL - FSR & LANDSCAPE
A1201 1 : 250



LANDSCAPE CALCULATIONS	
PRIVATE OPEN SPACE AREA	281.4m ²
MIN LANDSCAPE AREA	116.0m ² (40% TOTAL OPEN SPACE)
LANDSCAPE AREA	226.3m ²
TOTAL PROPOSED LANDSCAPE	214.8m ² (76%)
COMPLIANCE	YES



1 FIRST FL - FSR & LANDSCAPE
A1201 1 : 250



TOTAL OPEN SPACE	
SITE AREA	462.6m ²
MIN TOTAL OPEN SPACE	277.6m ² (60% SITE AREA)
MIN PRINCIPAL PRIVATE OPEN SPACE	18m ²
PROPOSED:	
TOTAL OPEN SPACE AREA	278.9m ² (60% SITE AREA)
TOTAL PRINCIPAL OPEN SPACE	67.5m ²
COMPLIANCE	YES

3 SECOND FL - FSR & LANDSCAPE
A1201 1 : 250

ARCHITECT

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Rosebery NSW 2018

BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

NORTH

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

FLOOR SPACE CALCULATIONS

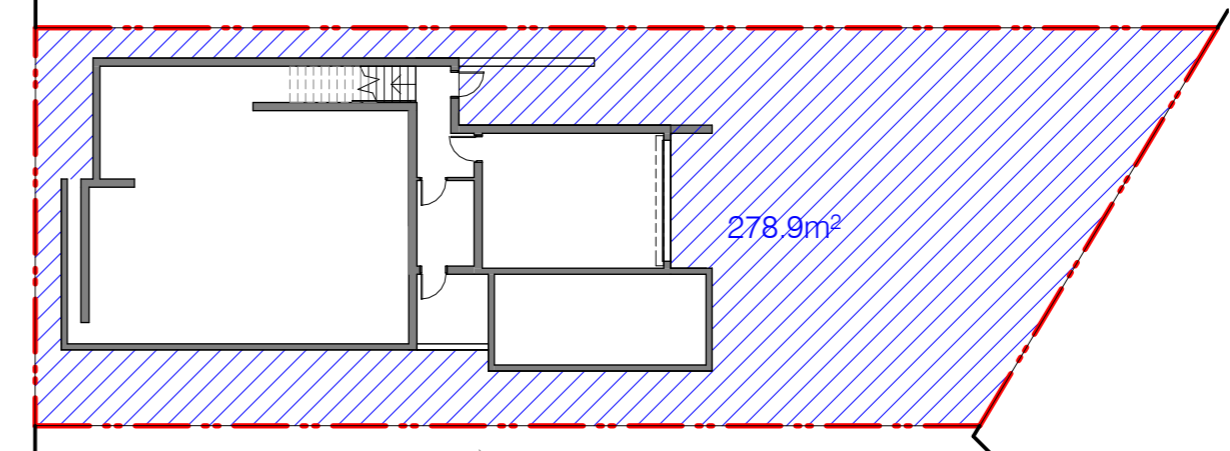
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ISSUE: B - DEVELOPMENT APPLICATION

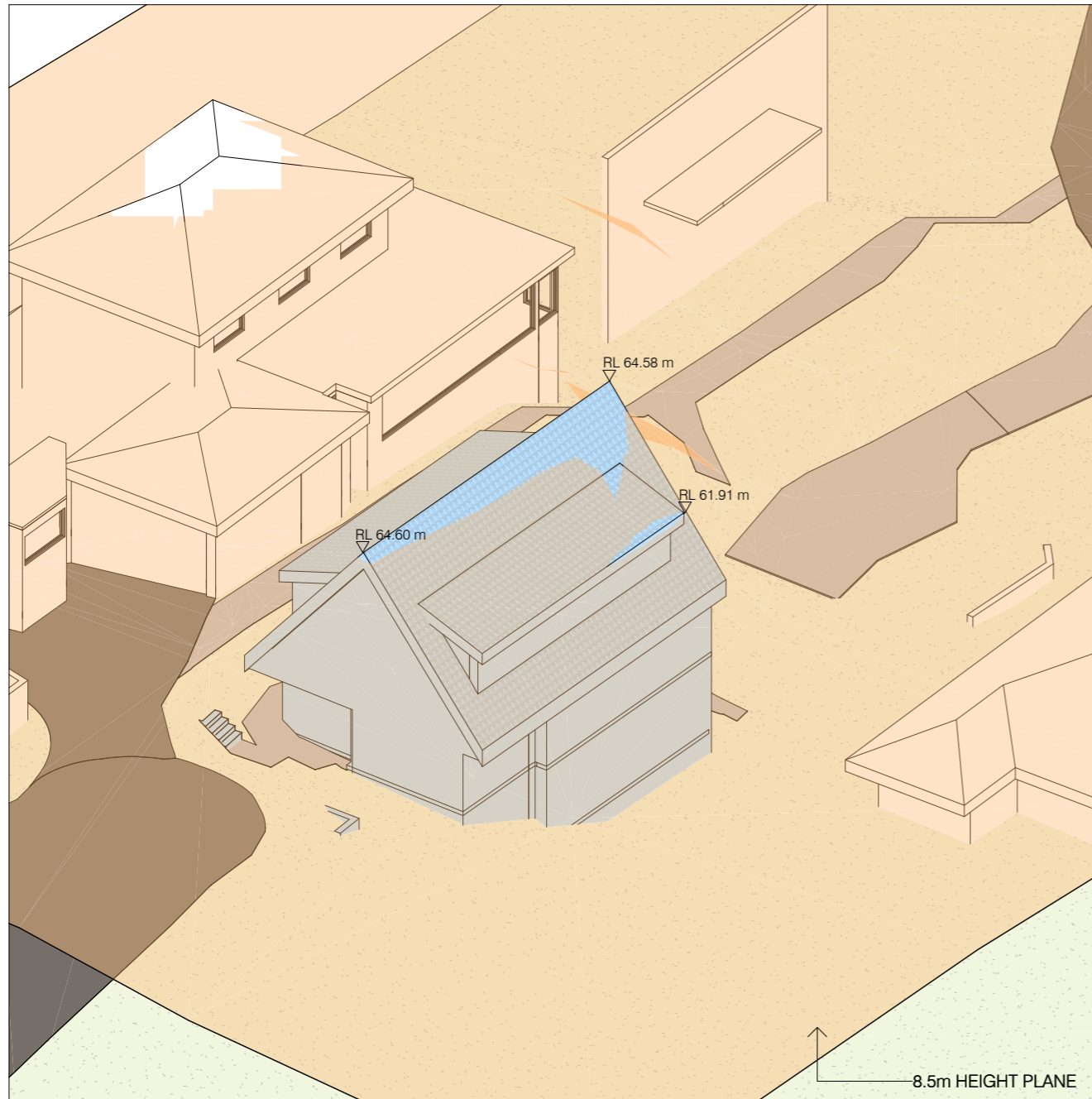
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A1401

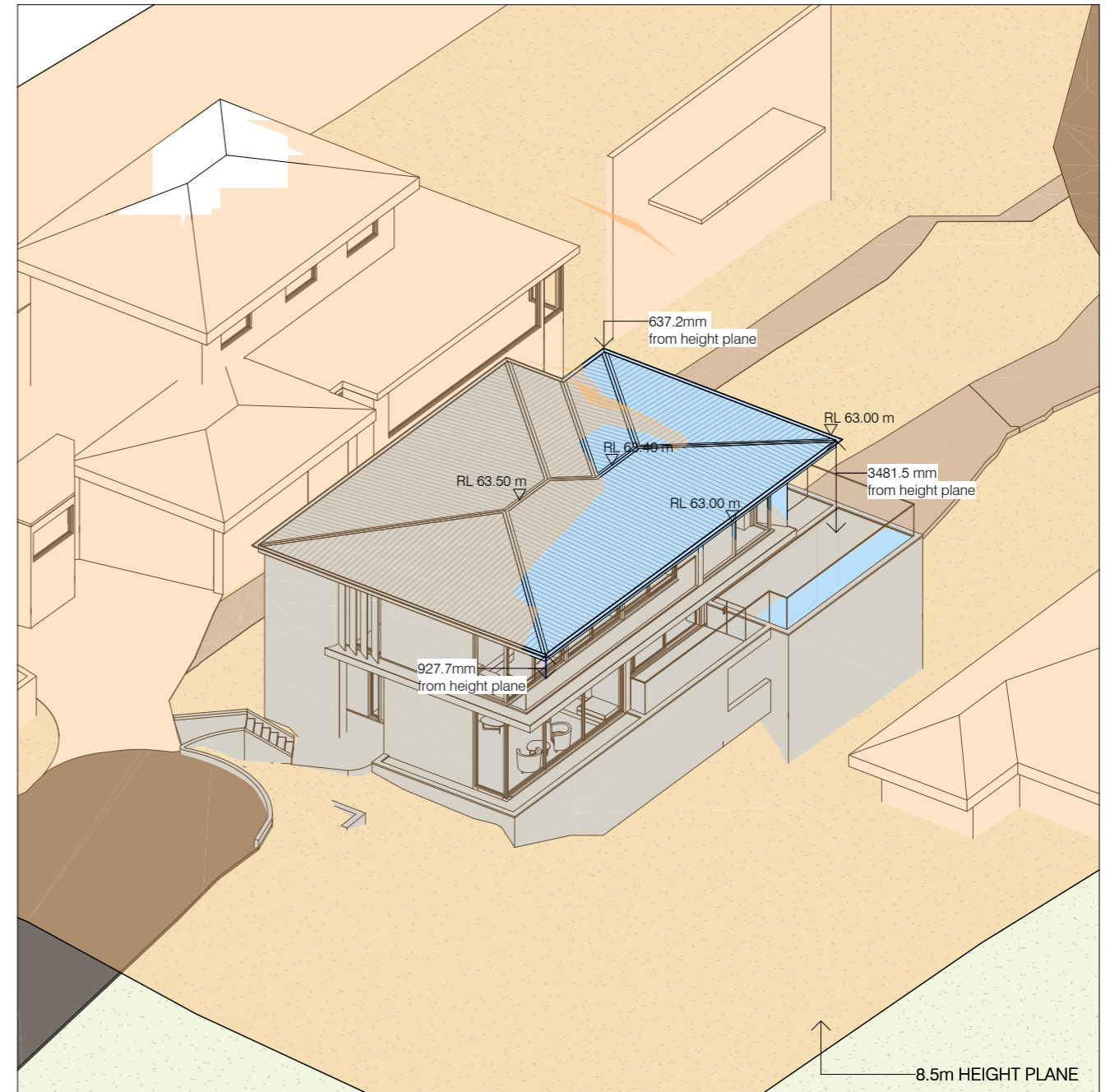
4 PRIVATE OPEN SPACE
A1201 1 : 250



A1401



2 HEIGHT PLANE - EXISTING



1 HEIGHT PLANE - PROPOSED



Certificate No. #HR-5SUF9I-01
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Accreditation No.: ABSA 101399
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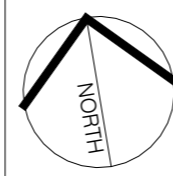
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NORTH



ISSUE	AMENDMENT	DATE
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT
**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

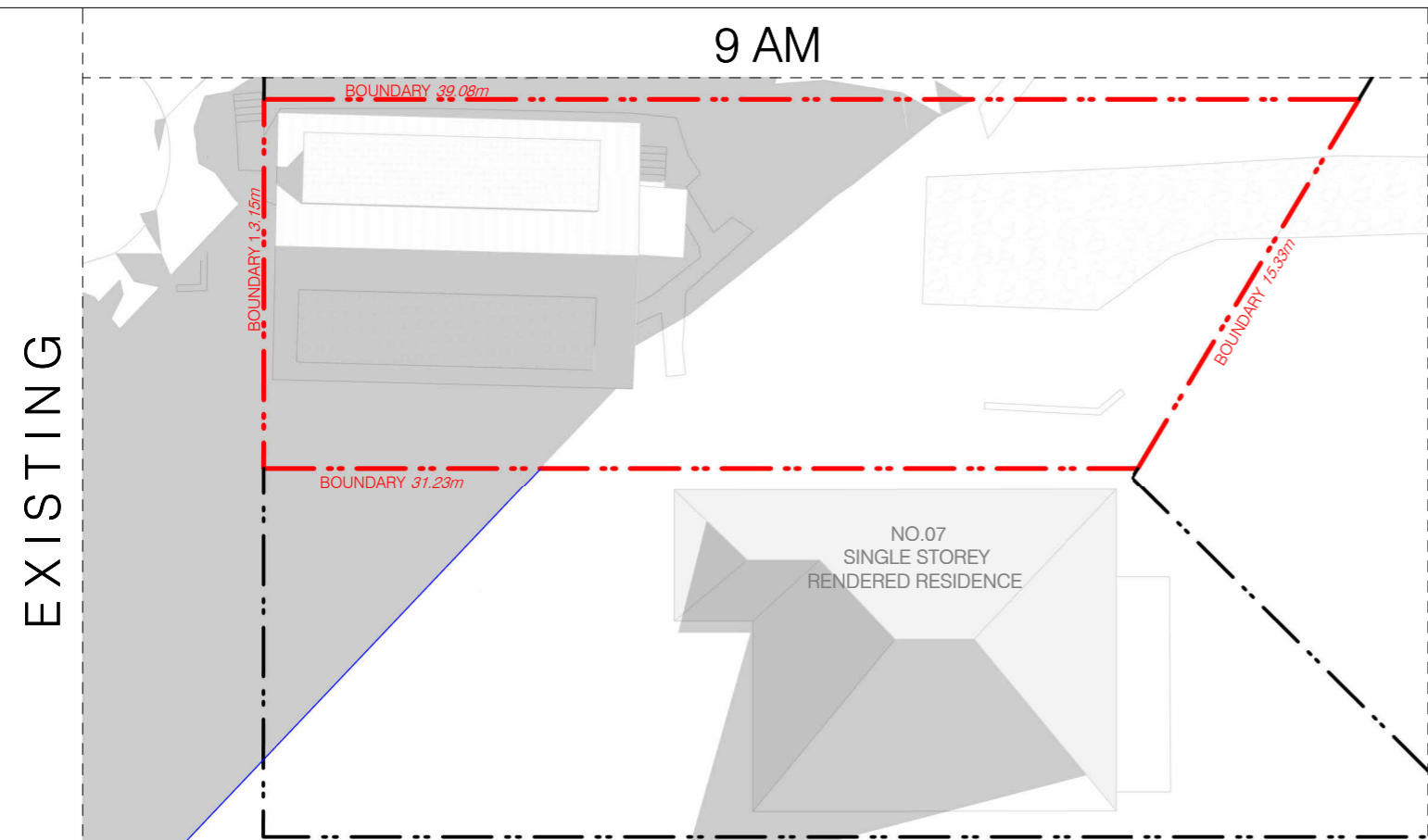
DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

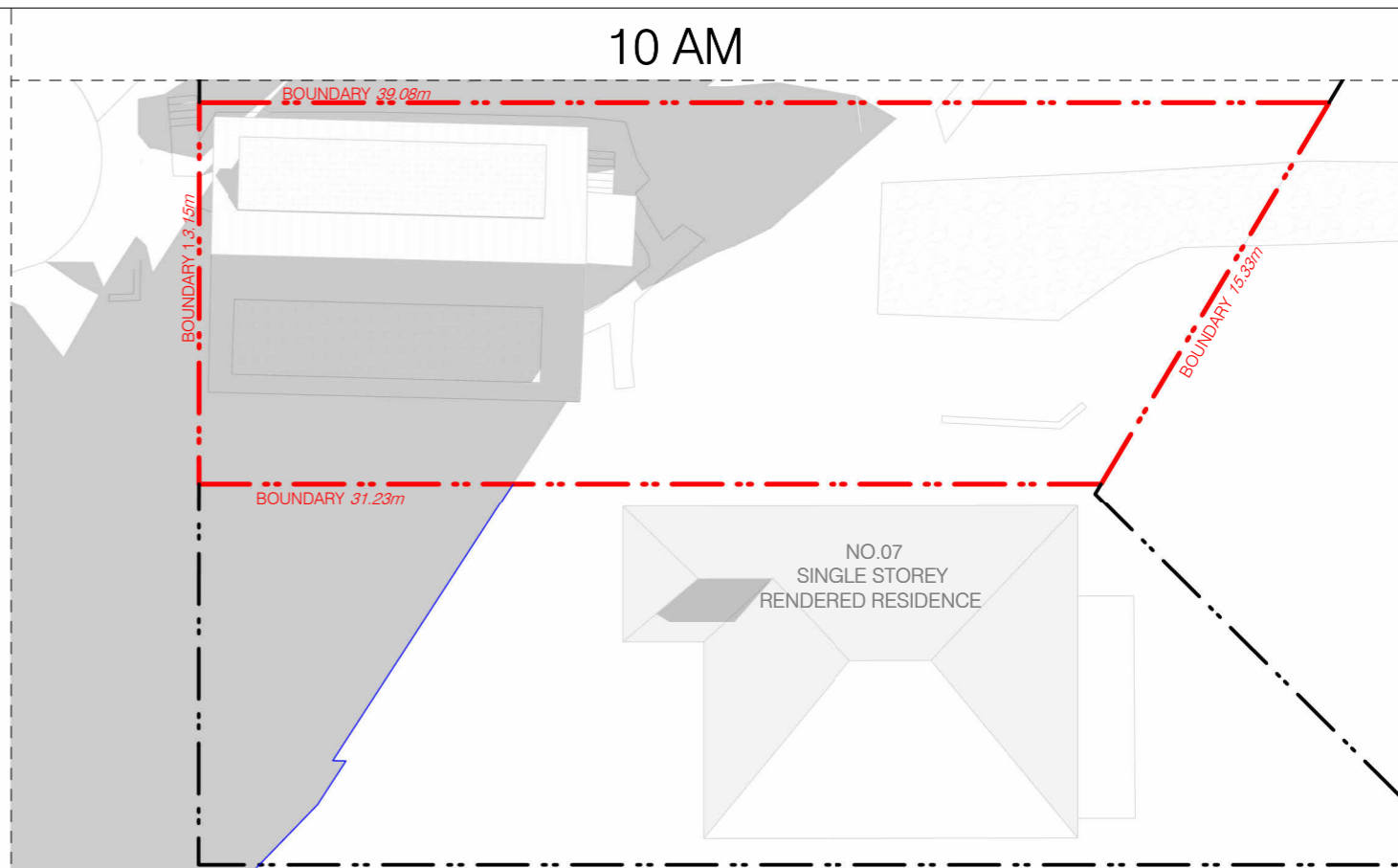
HEIGHT PLAN ANALYSIS	
SCALE: @ A3	DATE: 13/11/2024
ISSUE: B - DEVELOPMENT APPLICATION	

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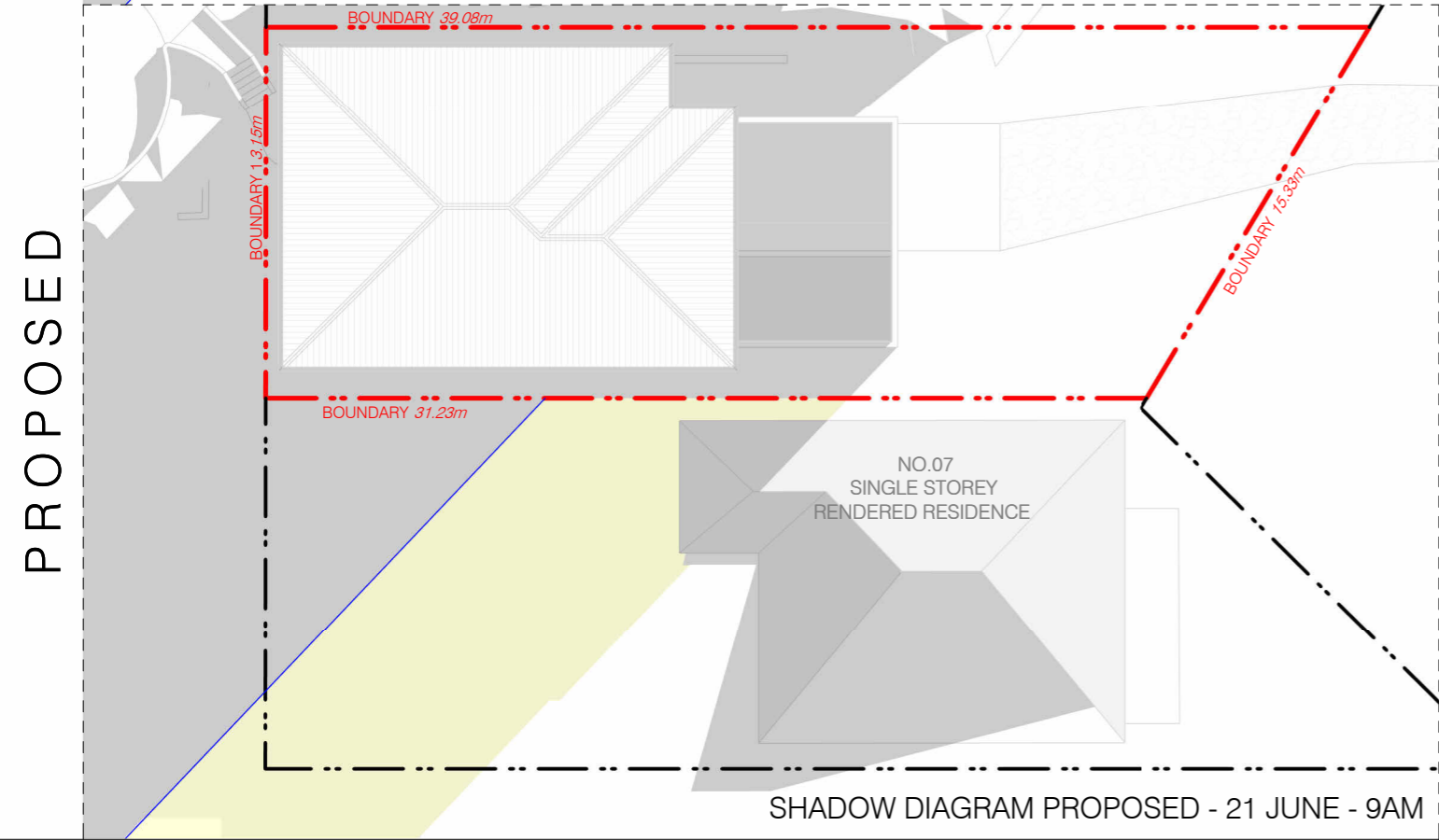
2024-008
A1402



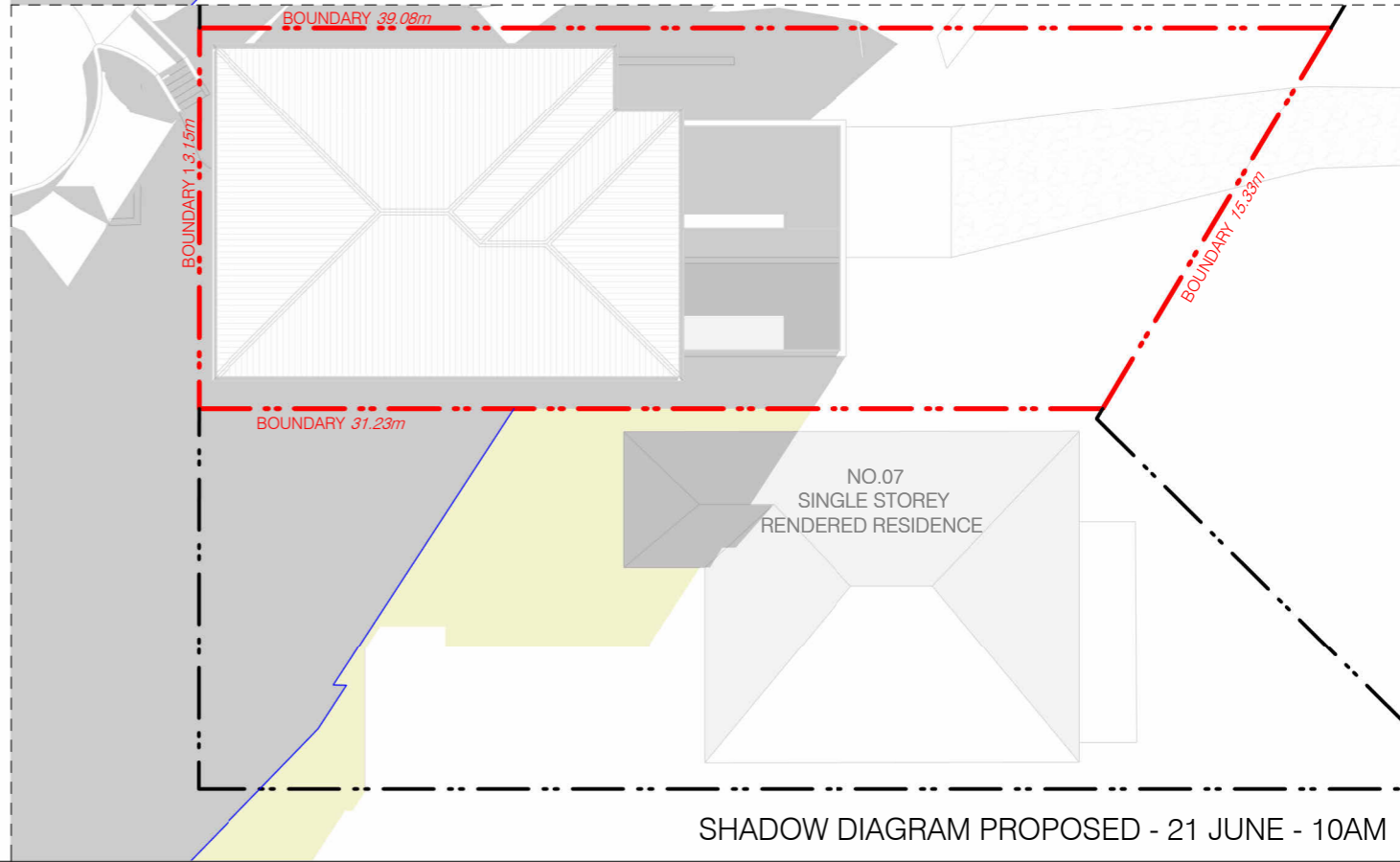
SHADOW DIAGRAM EXISTING - 21 JUNE - 9AM



SHADOW DIAGRAM EXISTING - 21 JUNE - 10AM

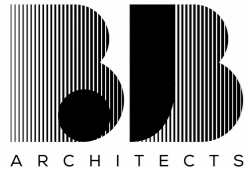


SHADOW DIAGRAM PROPOSED - 21 JUNE - 9AM



SHADOW DIAGRAM PROPOSED - 21 JUNE - 10AM





ARCHITECT



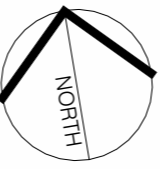
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BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

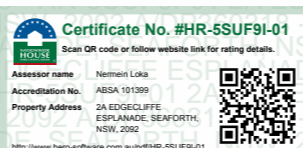

LEGEND:

-  PROPOSED SHADOWS
-  ADDITIONAL SHADOWS
-  LINE OF EXISTING SHADOW
-  SHADOWS FROM BREACHED HEIGHT PLANE

NORTH



ISSUE AMENDMENT	DATE
A DA DRAFT	16/08/2024
B DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SHADOW DIAGRAMS - 21 JUNE - 9AM & 10AM

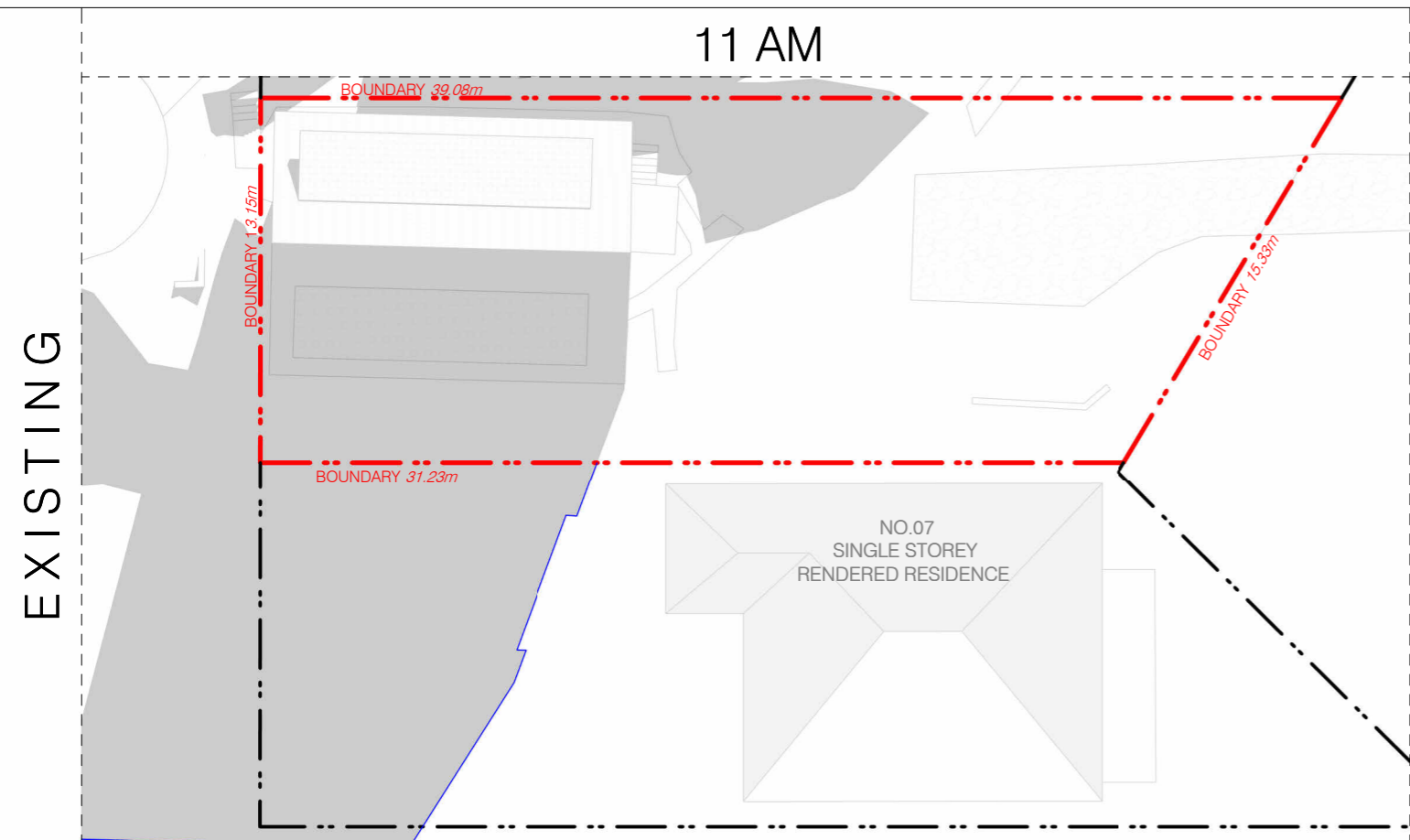
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ISSUE: B - DEVELOPMENT APPLICATION

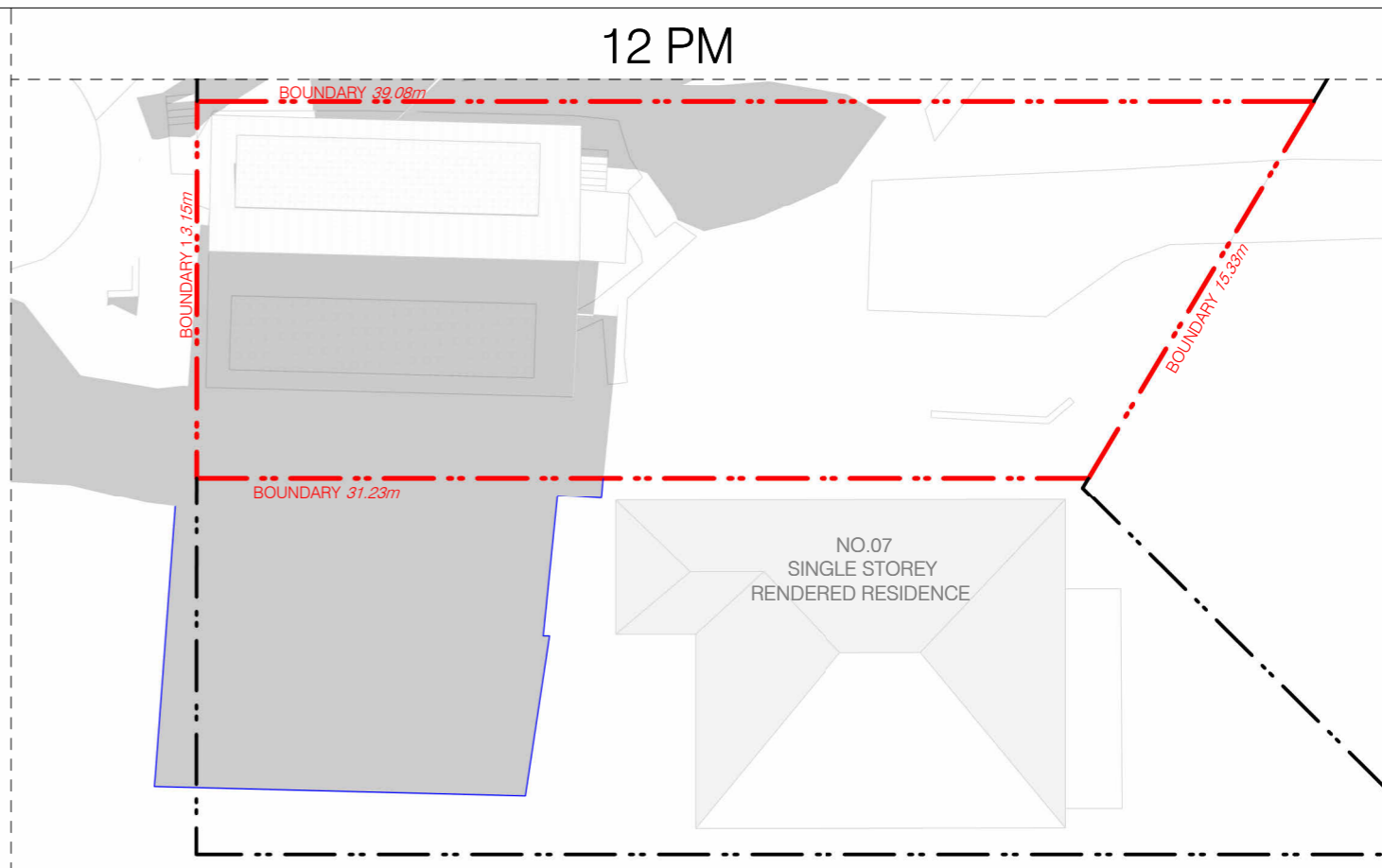
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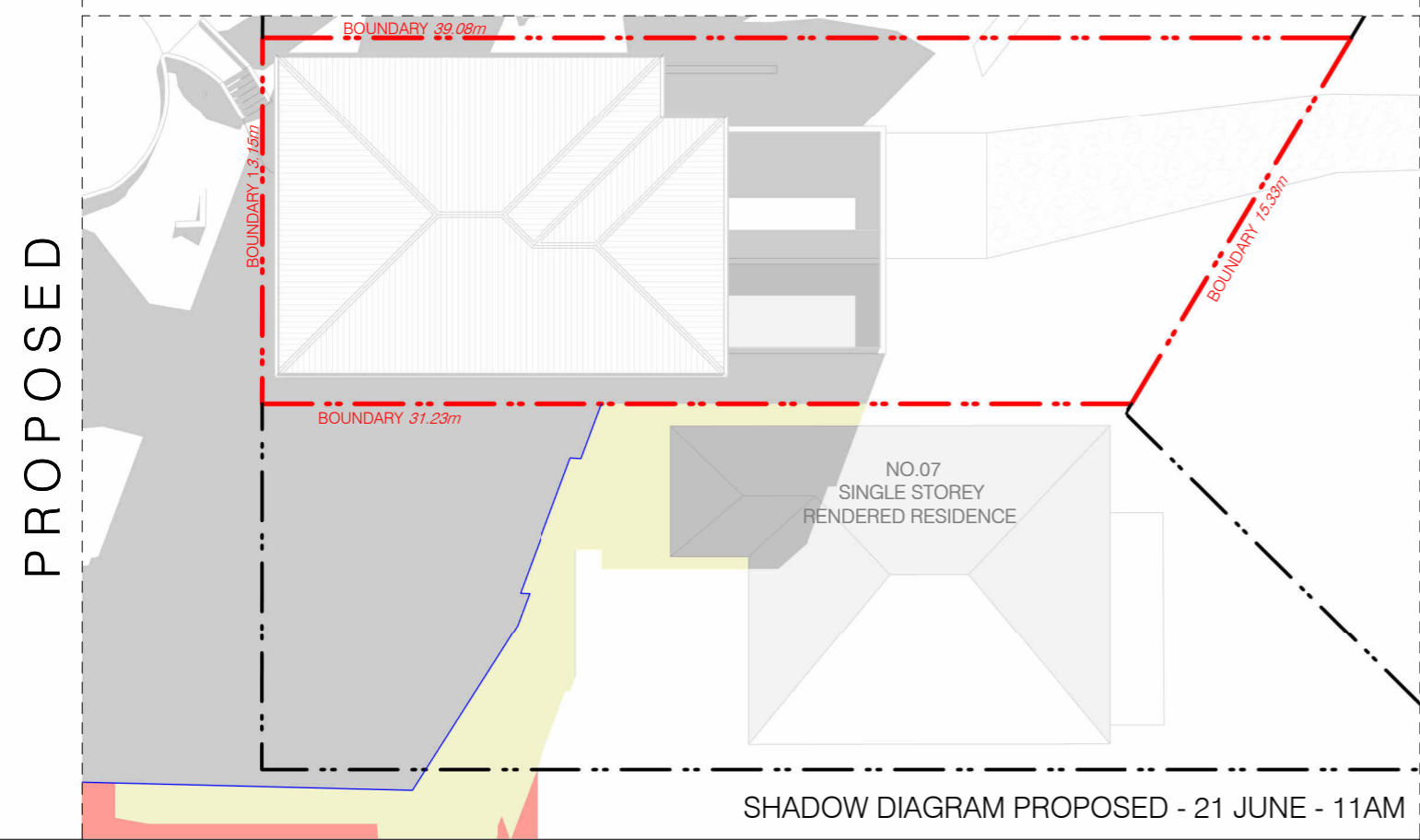
A1501



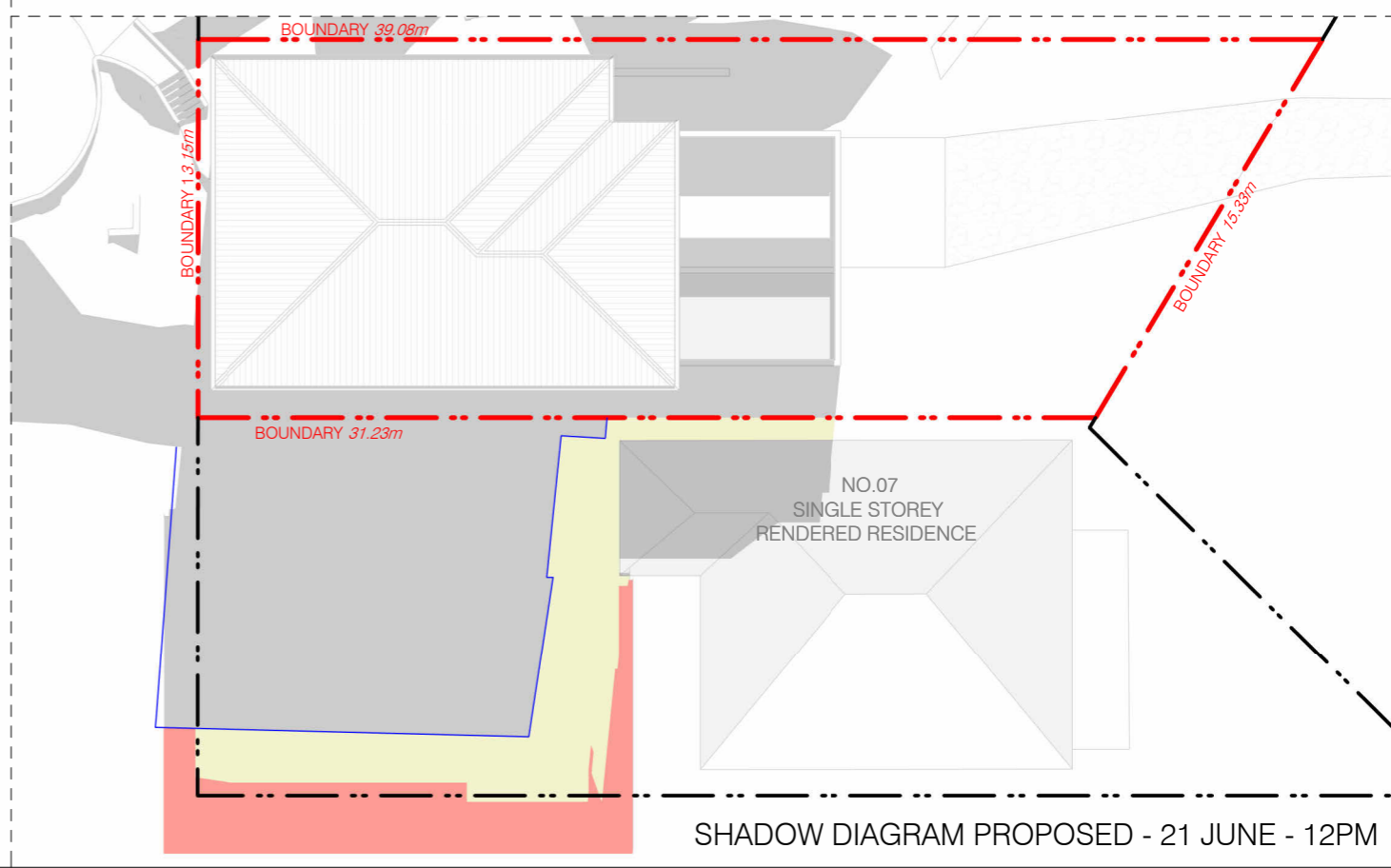
SHADOW DIAGRAM EXISTING - 21 JUNE - 11AM



SHADOW DIAGRAM EXISTING - 21 JUNE - 12PM

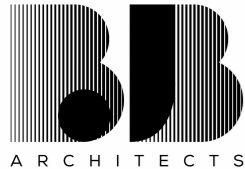


SHADOW DIAGRAM PROPOSED - 21 JUNE - 11AM



SHADOW DIAGRAM PROPOSED - 21 JUNE - 12PM

ARCHITECT

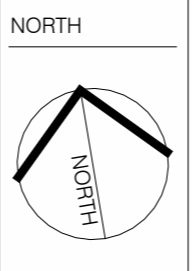


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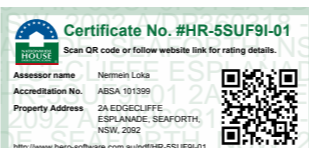

BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

LEGEND:

- PROPOSED SHADOWS
- ADDITIONAL SHADOWS
- LINE OF EXISTING SHADOW
- SHADOWS FROM BREACHED HEIGHT PLANE



ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SHADOW DIAGRAMS - 21 JUNE - 11AM & 12PM

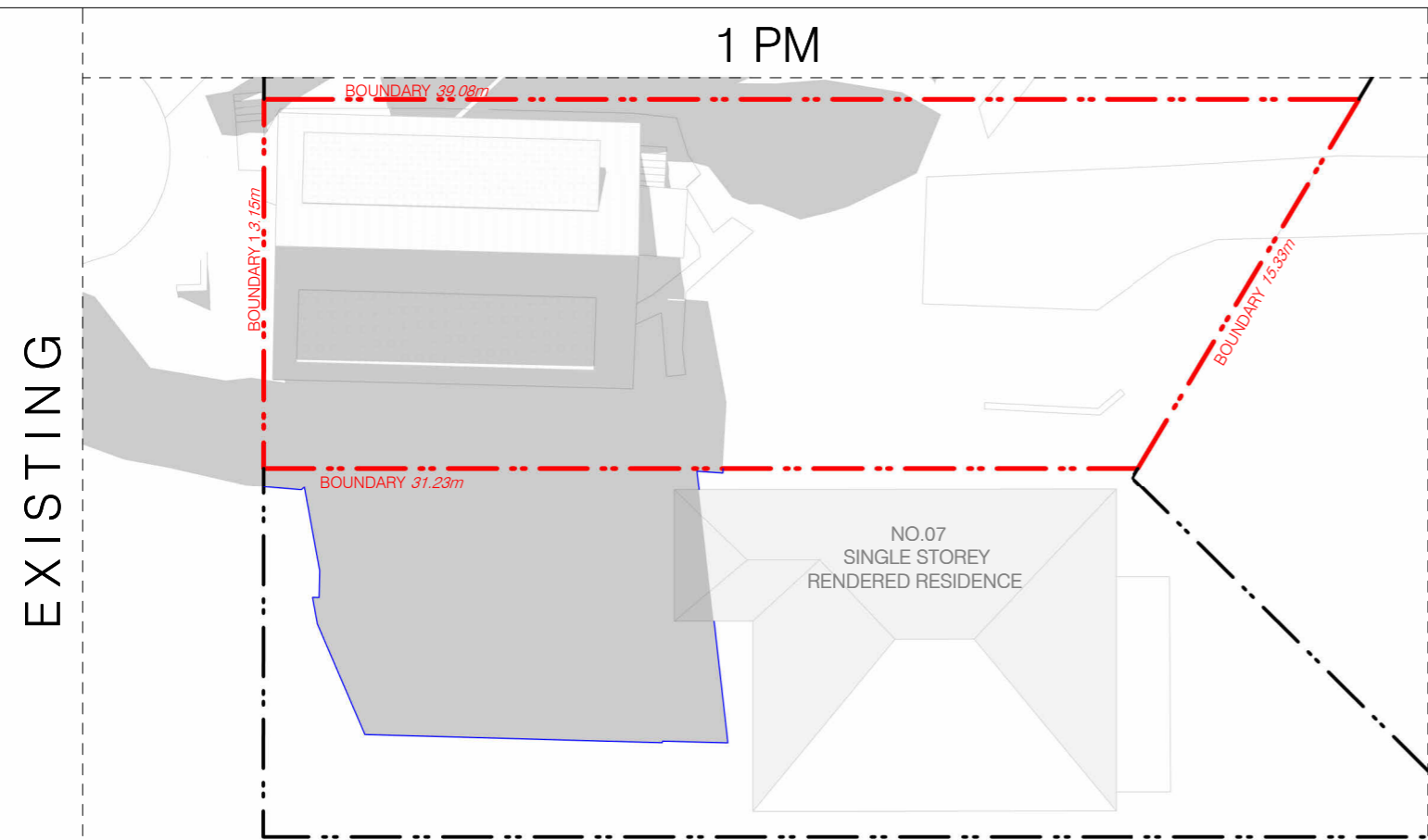
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ISSUE: B - DEVELOPMENT APPLICATION

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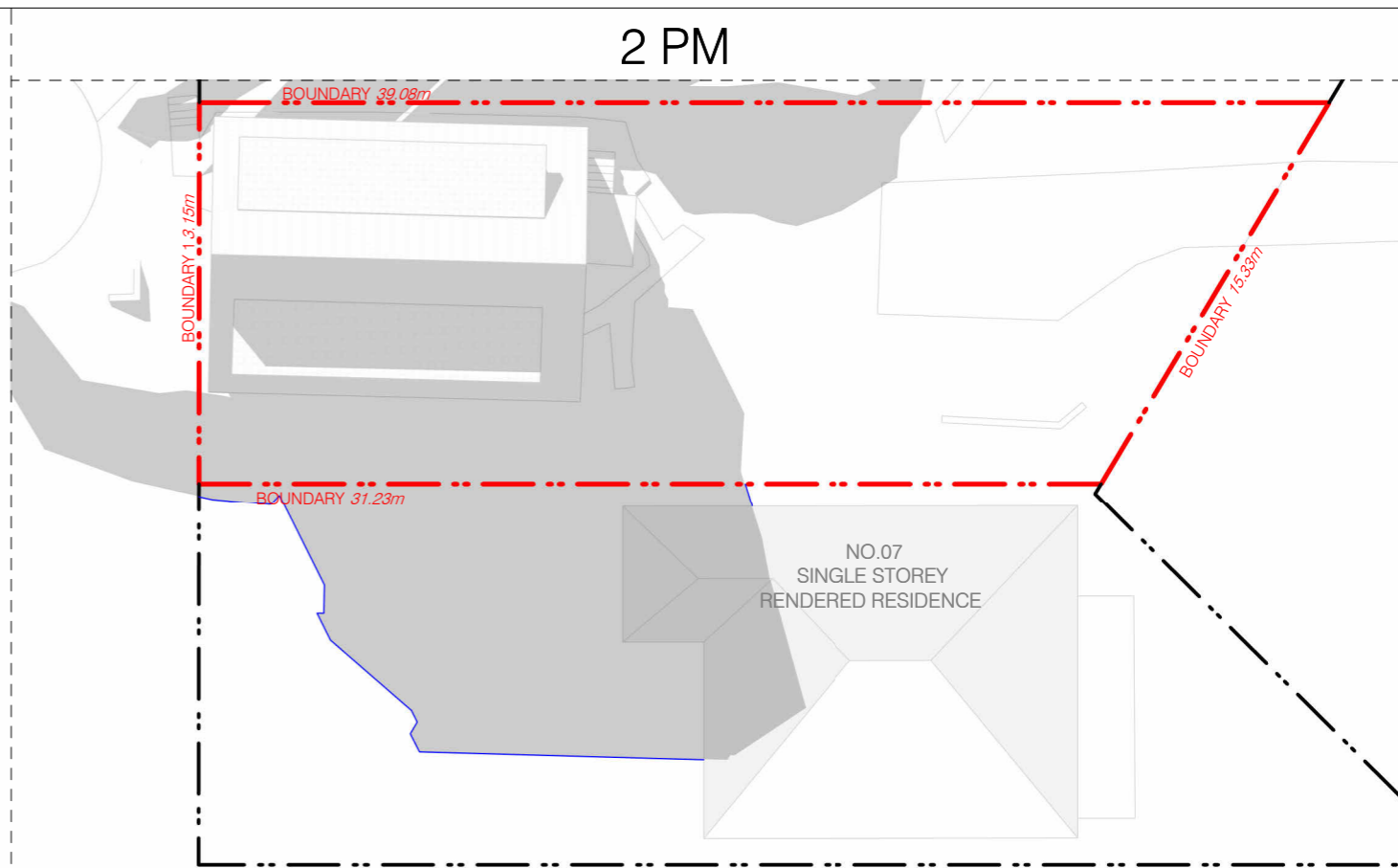
A1502



1 PM

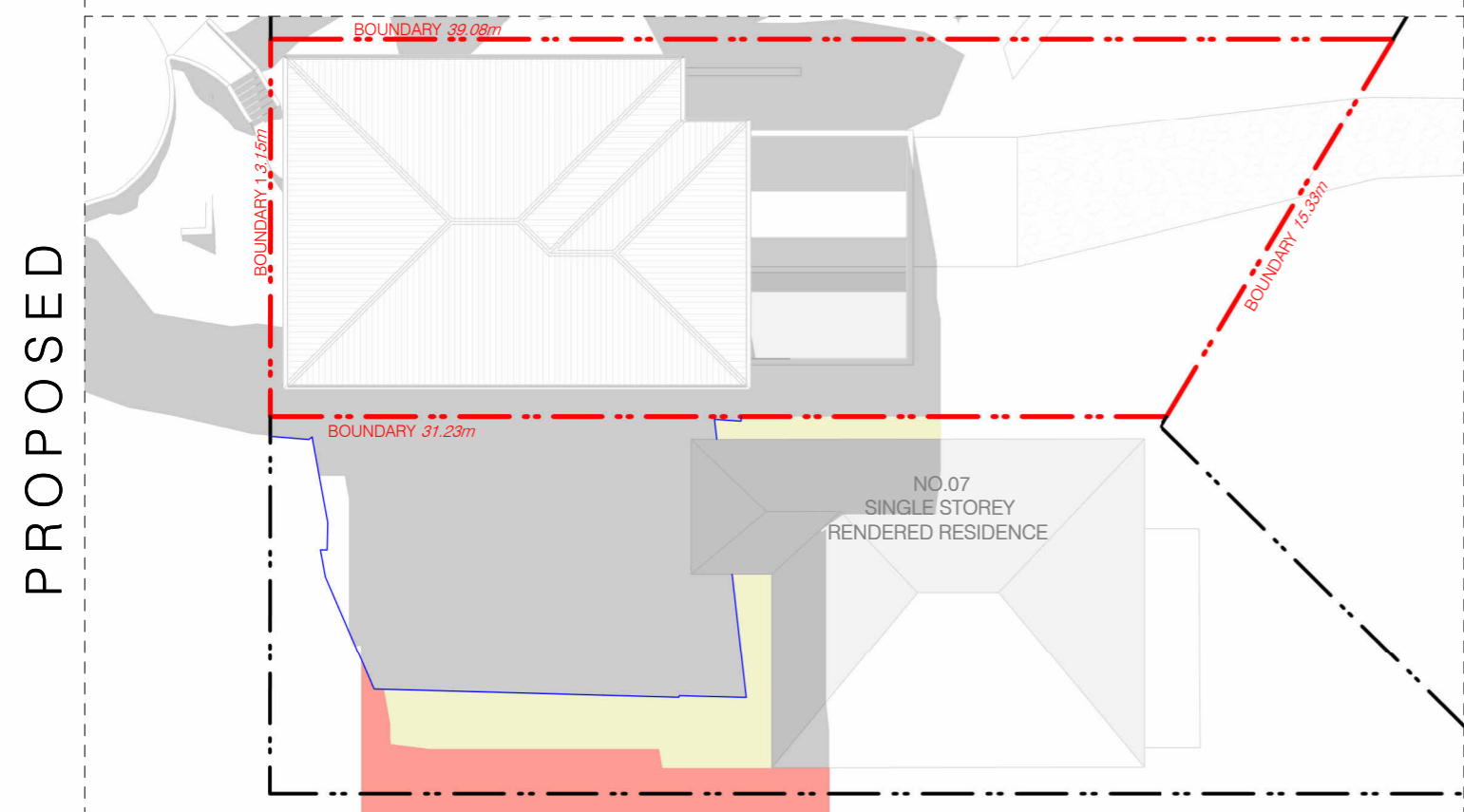
EXISTING

SHADOW DIAGRAM EXISTING - 21 JUNE - 1PM



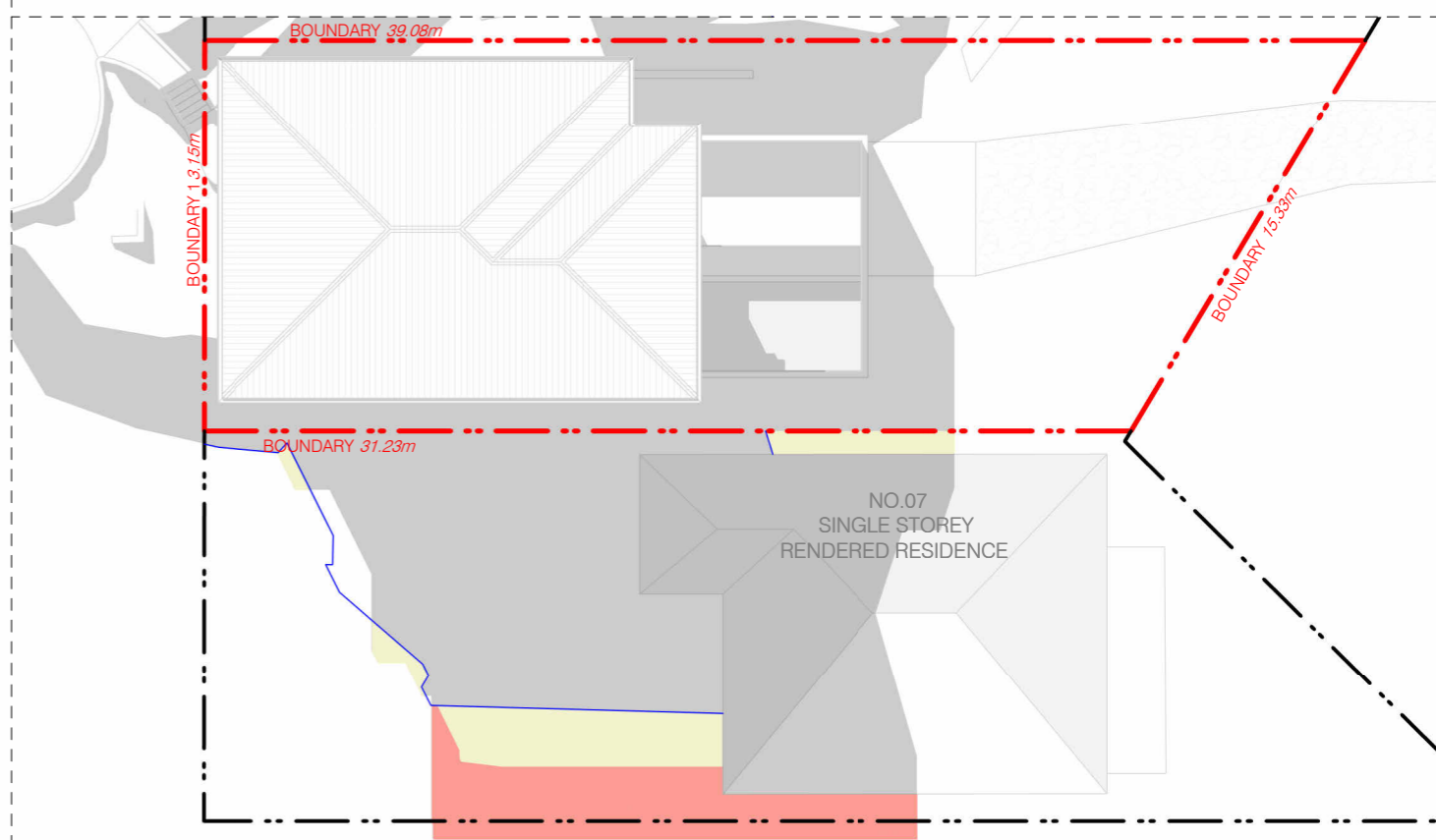
2 PM

SHADOW DIAGRAM EXISTING - 21 JUNE - 2PM



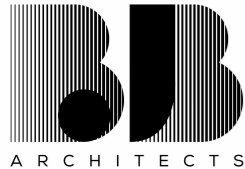
SHADOW DIAGRAM PROPOSED - 21 JUNE - 1PM

PROPOSED



SHADOW DIAGRAM PROPOSED - 21 JUNE - 2PM

ARCHITECT

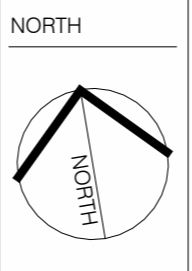


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BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

LEGEND:



- PROPOSED SHADOWS
- ADDITIONAL SHADOWS
- LINE OF EXISTING SHADOW
- SHADOWS FROM BREACHED HEIGHT PLANE



ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

Certificate No. #HR-5SUF91-01

Assessor name: Neilmen Loka
Accreditation No.: ABSA 101399
Property Address: 2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW, 2092

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SHADOW DIAGRAMS - 21 JUNE - 1PM & 2PM

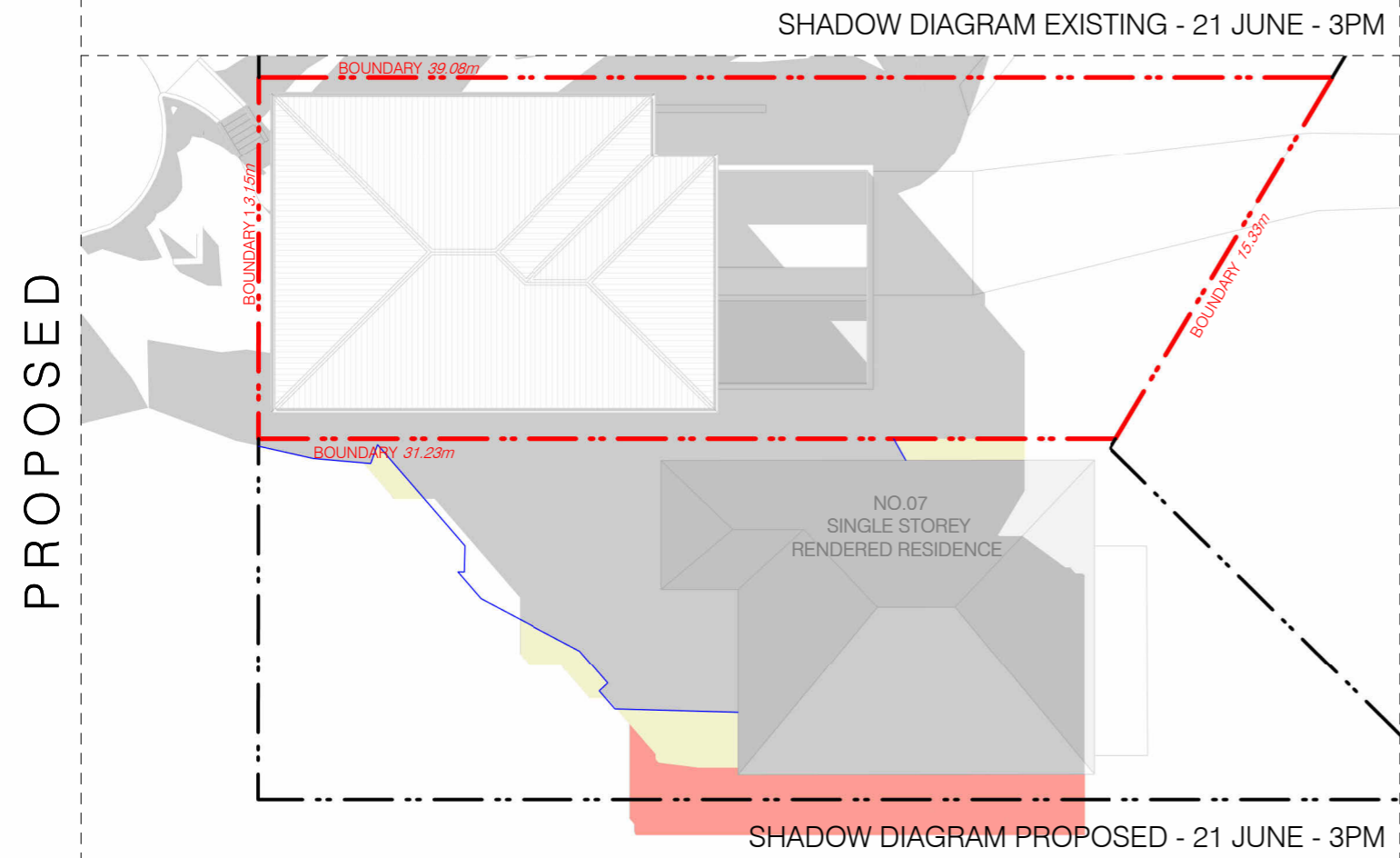
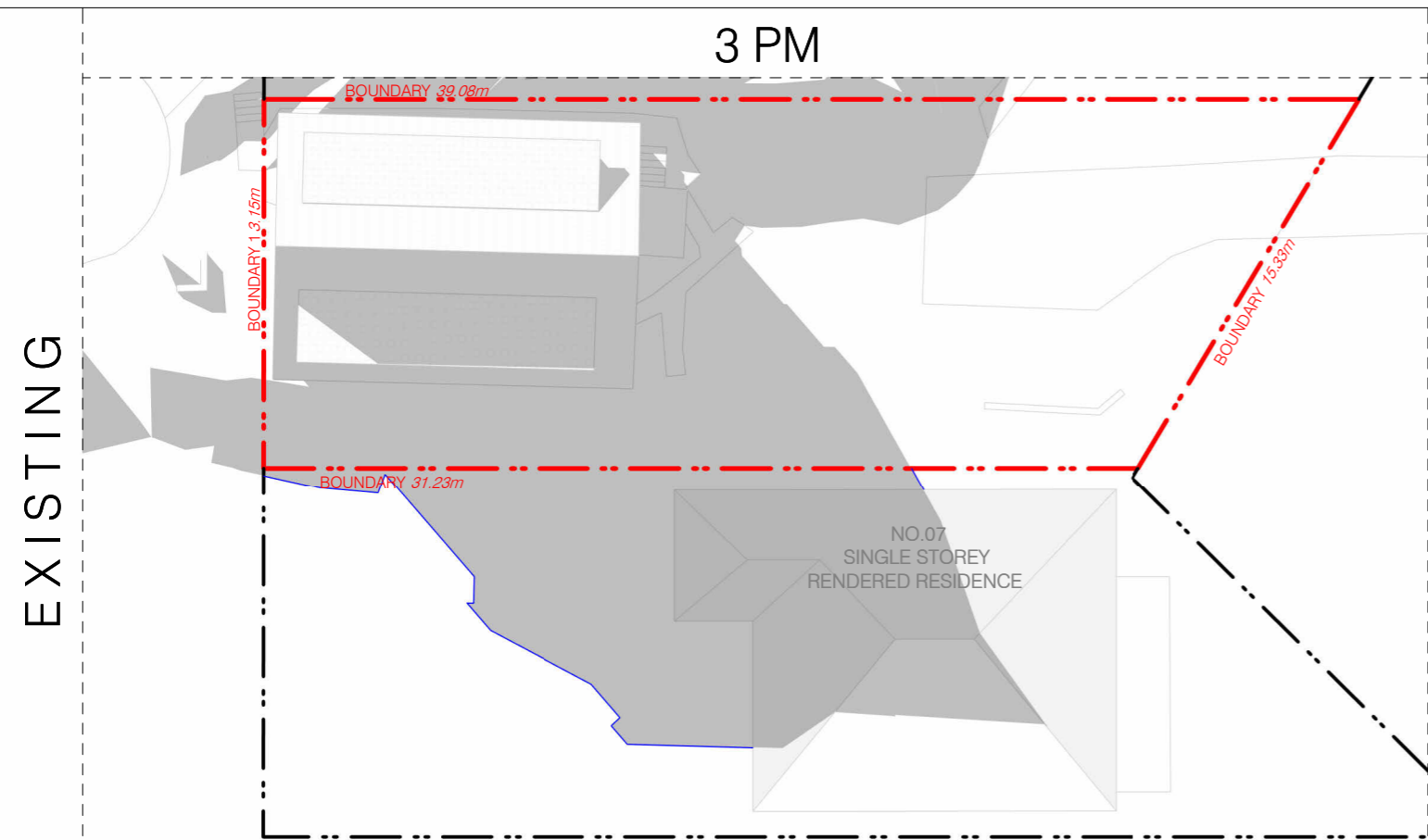
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A1503



EXISTING

PROPOSED

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<http://www.hero-software.com.au/pdf/HR-5SUF91-01>



NatHERS Building Thermal Modelling Performance Specifications
 These are the specifications upon which the current assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.

Thermal Modelling Software: HERO v4.1

External and Internal Walls Insulation	
External Walls	Brick Veneer - R 2.5 Concrete Block 190mm fully core-filled- Exposed (Refer to Arch.)
Internal Walls	Plasterboard Stud - R 2.5
Structural Form of External & Internal Walls	Timber Frame (70x35mm-450mm spacing)
Floor, Ceilings & Roofs Insulation	
Floor	Ground Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 First Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 Suspended Concrete Slab 200mm Second Floor Type: Suspended Concrete Slab 300mm
External Floor	R 2.5
Ceiling	Ground Floor Ceiling: Concrete Slab (150mm) with Exposed Concrete Ceiling. R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Ceiling: Flat Framed/Skillion Tile Roof & Flat PB Ceiling. R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour)
Roofs	Ground Floor Roof: R 7.0 + Reflective Roofspace R 1.3 (Medium Colour) Second Floor Roof: R 7.0 + Reflective Roofspace R 2.75 (Surfmist Colour)
Structural form of second floor ceiling and roof:	Timber Frame (140x45mm-600mm spacing)
Windows (*Refer to BASIX Commitment Report and NatHERS Certificates for details)	
Glazed windows & doors type	Aluminium Thermally Broken A DG Argon Fill High Solar Gain Low-E Clear (U=2.91 : SHGC=0.44) (Monument Colour) Aluminium Thermally Broken B DG Argon Fill High Solar Gain Low-E Clear (U=2.90 : SHGC=0.51) (Monument Colour)
For specification refer to window specification table	
Floor Coverings	
None	Garage
Carpet	Bedrooms
Timber	lounge, dining and corridors
Tiles	Wet areas
Ceiling fans	
6x1200mm	1 for the Living, 1 for the Kitchen/Dining and 1 for each bedroom

2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW

Window System Specification					
Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double-hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified below.					
Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	Thermally Broken DG Argon Fill High Solar Gain	Double	2.91	0.44
	B	Low-E Clear	Double	2.9	0.51

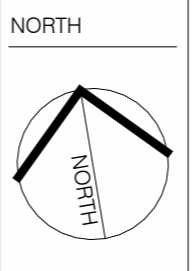
ARCHITECT

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 Rosebery NSW 2018

BJB Architects Pty Ltd
 Nominated Architect:
 Barry Babikian NSW Reg No. 8806

LEGEND:

- PROPOSED SHADOWS
- ADDITIONAL SHADOWS
- LINE OF EXISTING SHADOW
- SHADOWS FROM BREACHED HEIGHT PLANE



ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SHADOW DIAGRAMS - 21 JUNE - 3PM

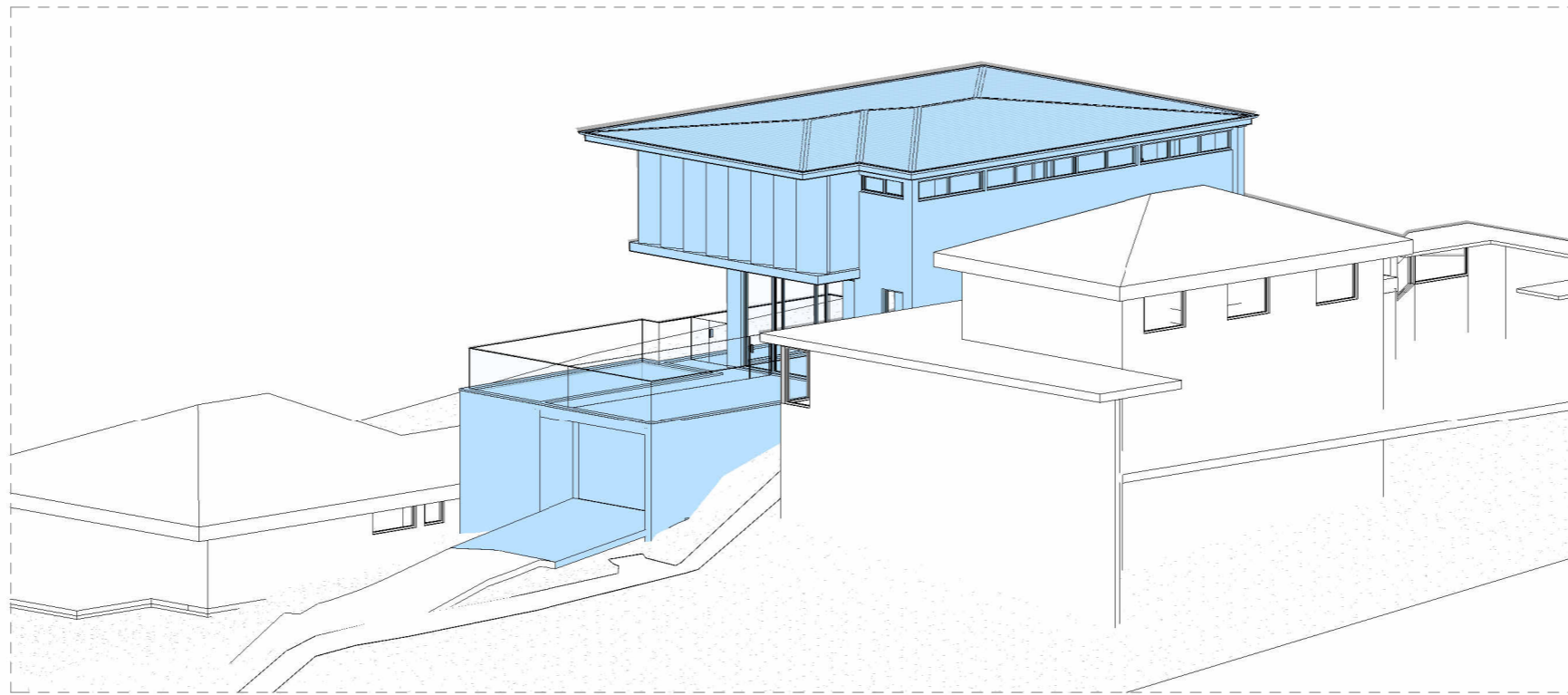
SCALE: As indicated@ A3 DATE: 13/11/2024

ISSUE: B - DEVELOPMENT APPLICATION

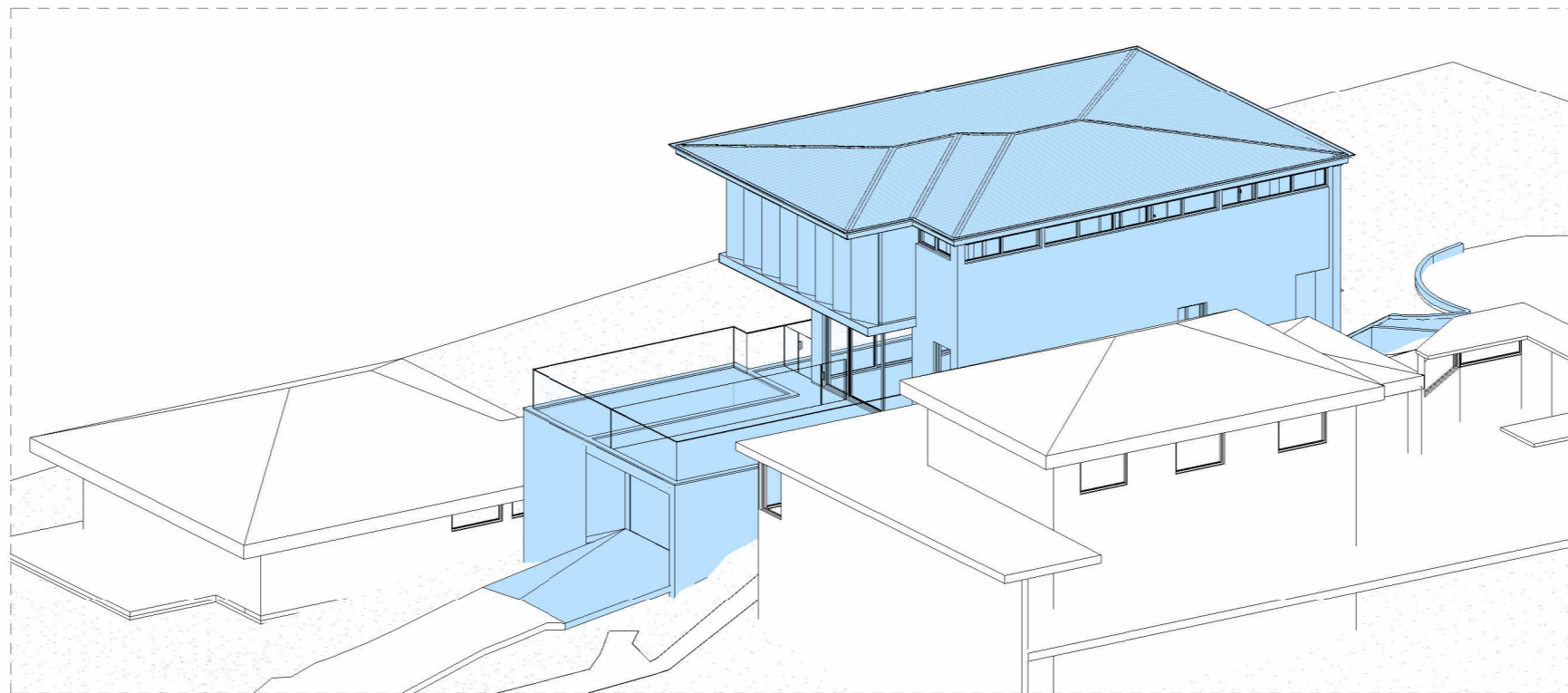
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2024-008

A1504




1 21st JUNE @ 9AM



2 21st JUNE @ 10AM

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Assessor name Nermein Loka
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Property Address 2A EDGECLIFFE
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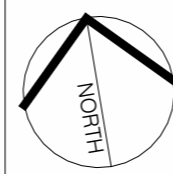

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 Nominated Architect:
 Barry Babikian NSW Reg No. 8806

NORTH



ISSUE AMENDMENT

DATE

A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SOLAR EYE VIEW - 21st JUNE - 9AM AND 10AM

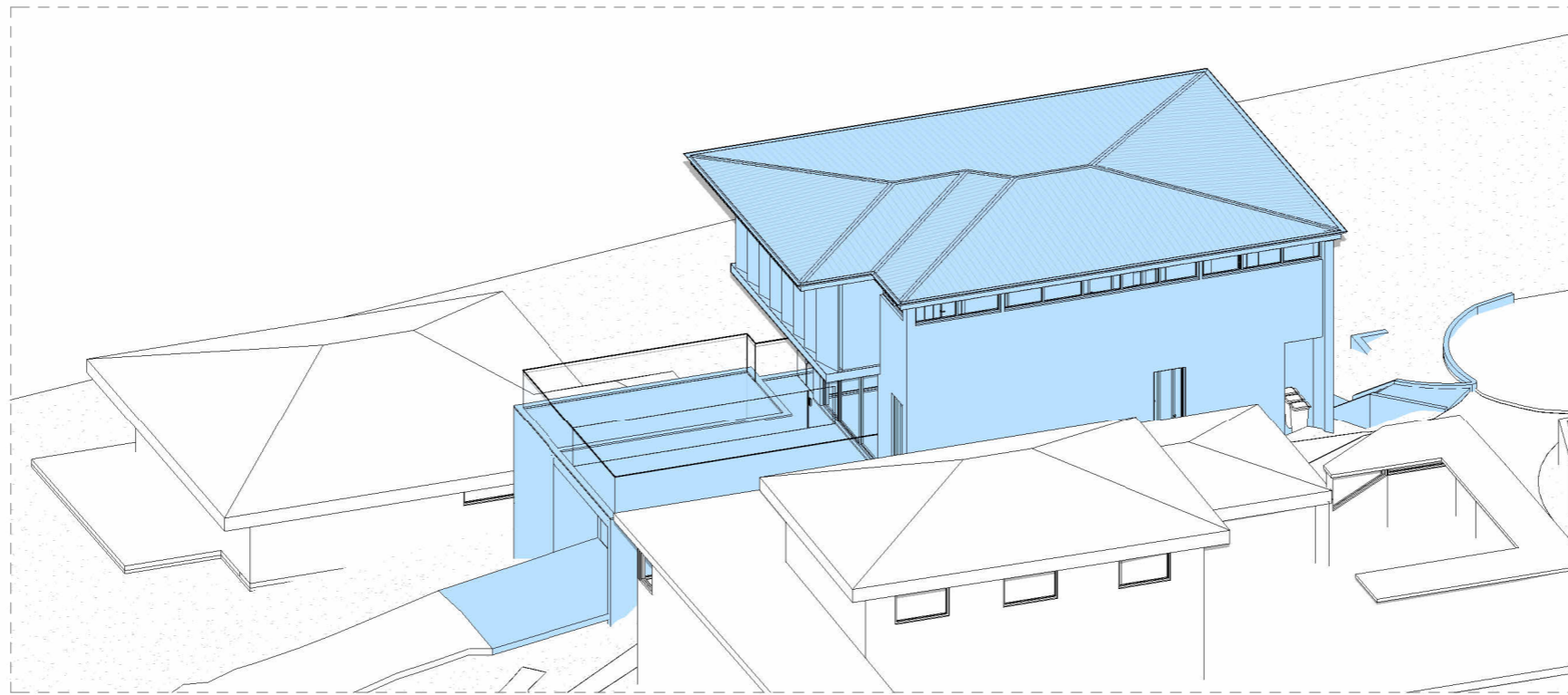
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ISSUE: B - DEVELOPMENT APPLICATION

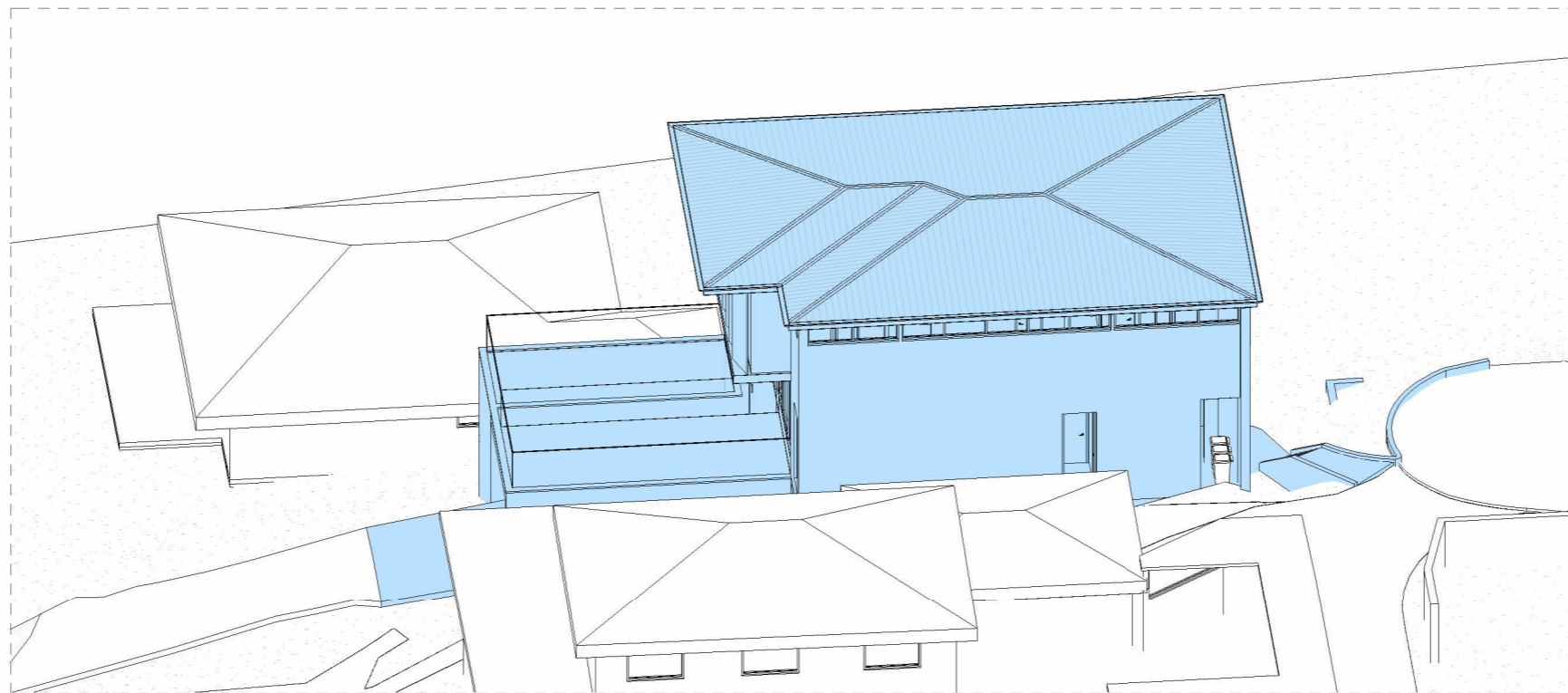
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A1505



1 21st JUNE @ 11AM



2 21st JUNE @ 12PM

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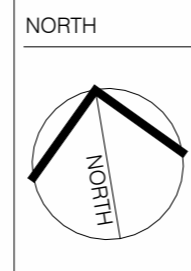



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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SOLAR EYE VIEW - 21st JUNE - 11AM AND 12PM

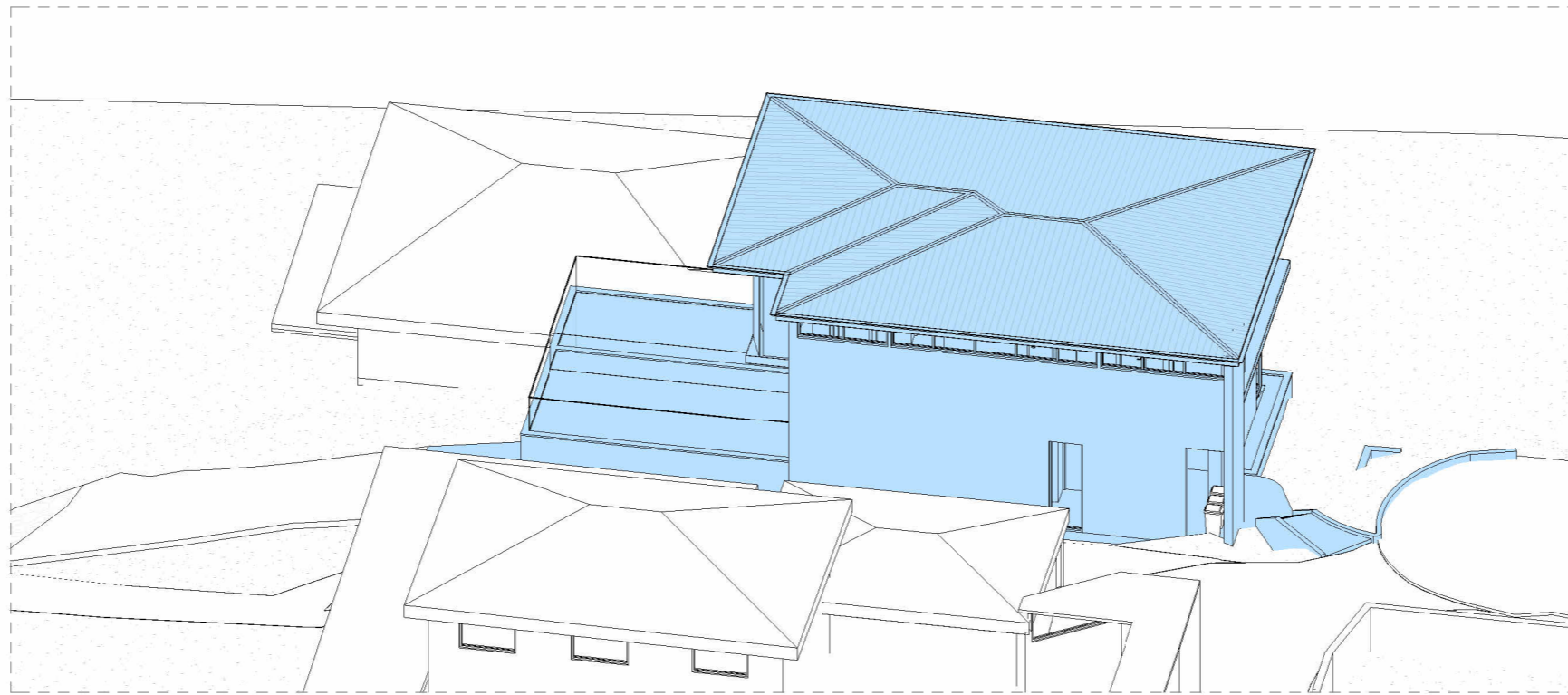
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ISSUE: B - DEVELOPMENT APPLICATION

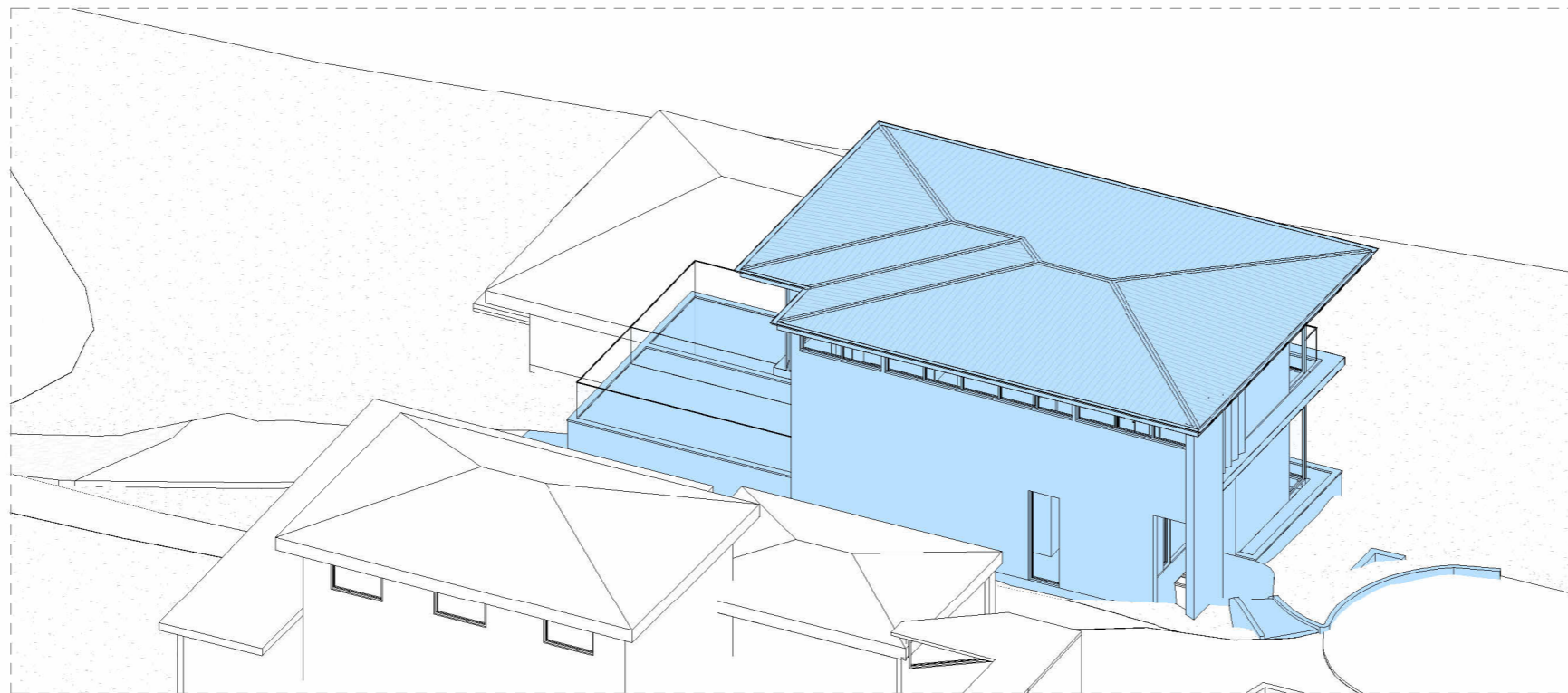
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A1506




1 21st JUNE @ 1PM



2 21st JUNE @ 2PM

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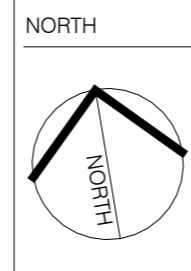



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BJB Architects Pty Ltd
 Nominated Architect:
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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SOLAR EYE VIEW - 21st JUNE - 1PM AND 2PM

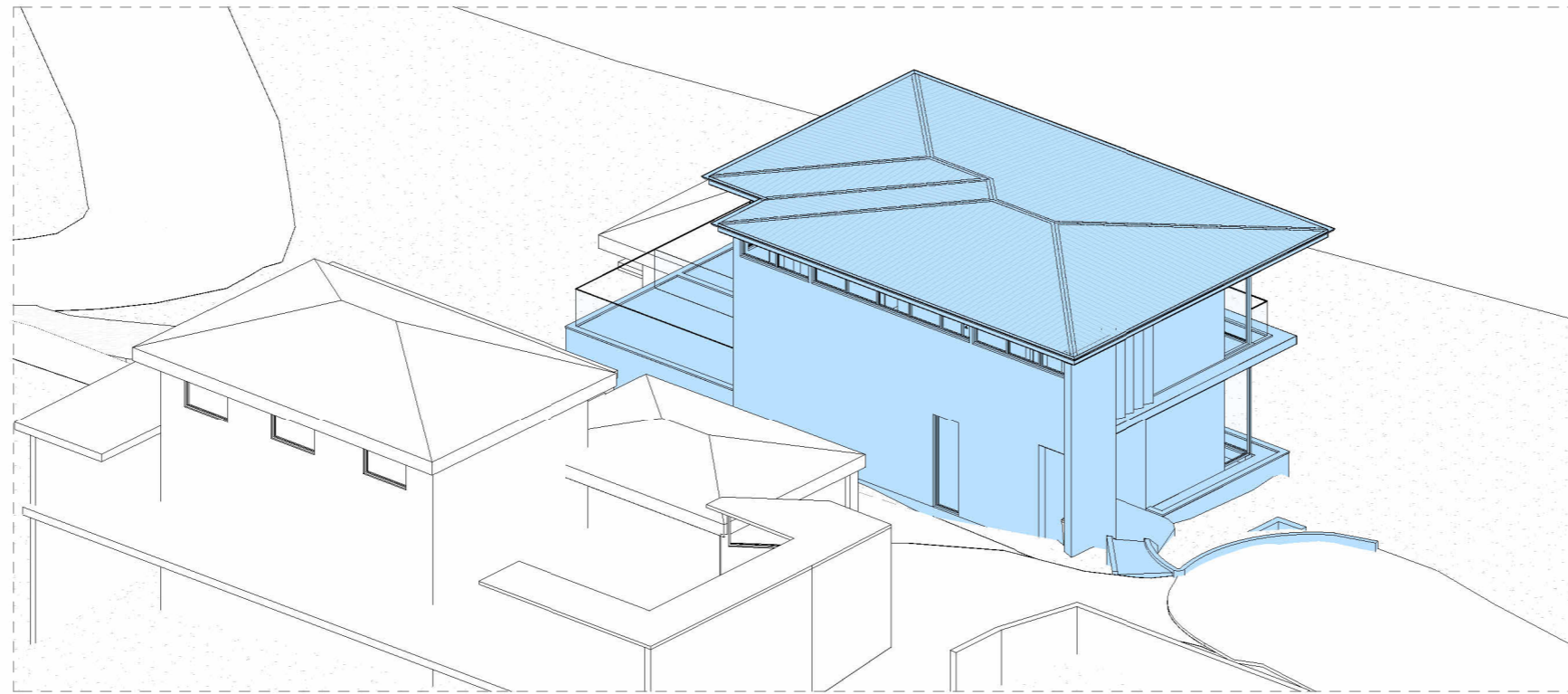
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A1507



1 21st JUNE @ 3PM



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Accreditation No. ABSA 101399

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Window System Specification					
Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double-hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified below.					
Frame	Type	Glass type	Glazing type	U-value	SHGC
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	B	Low-E Clear	Double	2.9	0.51

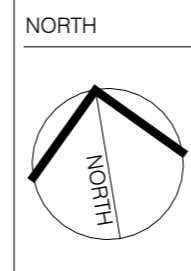
NATHERS Building Thermal Modelling Performance Specifications	
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Thermal Modelling Software: HERO v4.1	
External and Internal Walls Insulation	
External Walls	Brick Veneer - R 2.5 Concrete Block 190mm fully core-filled- Exposed (Refer to Arch.)
Internal Walls	Plasterboard Stud - R 2.5
Structural Form of External & Internal Walls	Timber Frame (70x35mm-450mm spacing)
Floor, Ceilings & Roofs Insulation	
Floor	Ground Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 First Floor Type: Concrete Slab on Ground 200mm R 2.5 & Slab Edge R 1.75 Suspended Concrete Slab 200mm Second Floor Type: Suspended Concrete Slab 300mm
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Windows (*Refer to BASIX Commitment Report and NATHERS Certificates for details)	
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For specification refer to window specification table	
Floor Coverings	
None	Garage
Carpet	Bedrooms
Timber	lounges, dining and corridors
Tiles	Wet areas
Ceiling fans	
6x1200mm	1 for the Living, 1 for the Kitchen/Dining and 1 for each bedroom
2A EDGECLIFFE ESPLANADE, SEAFORTH, NSW	

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BJB Architects Pty Ltd
Nominated Architect:
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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

SOLAR EYE VIEW - 21st JUNE - 3PM

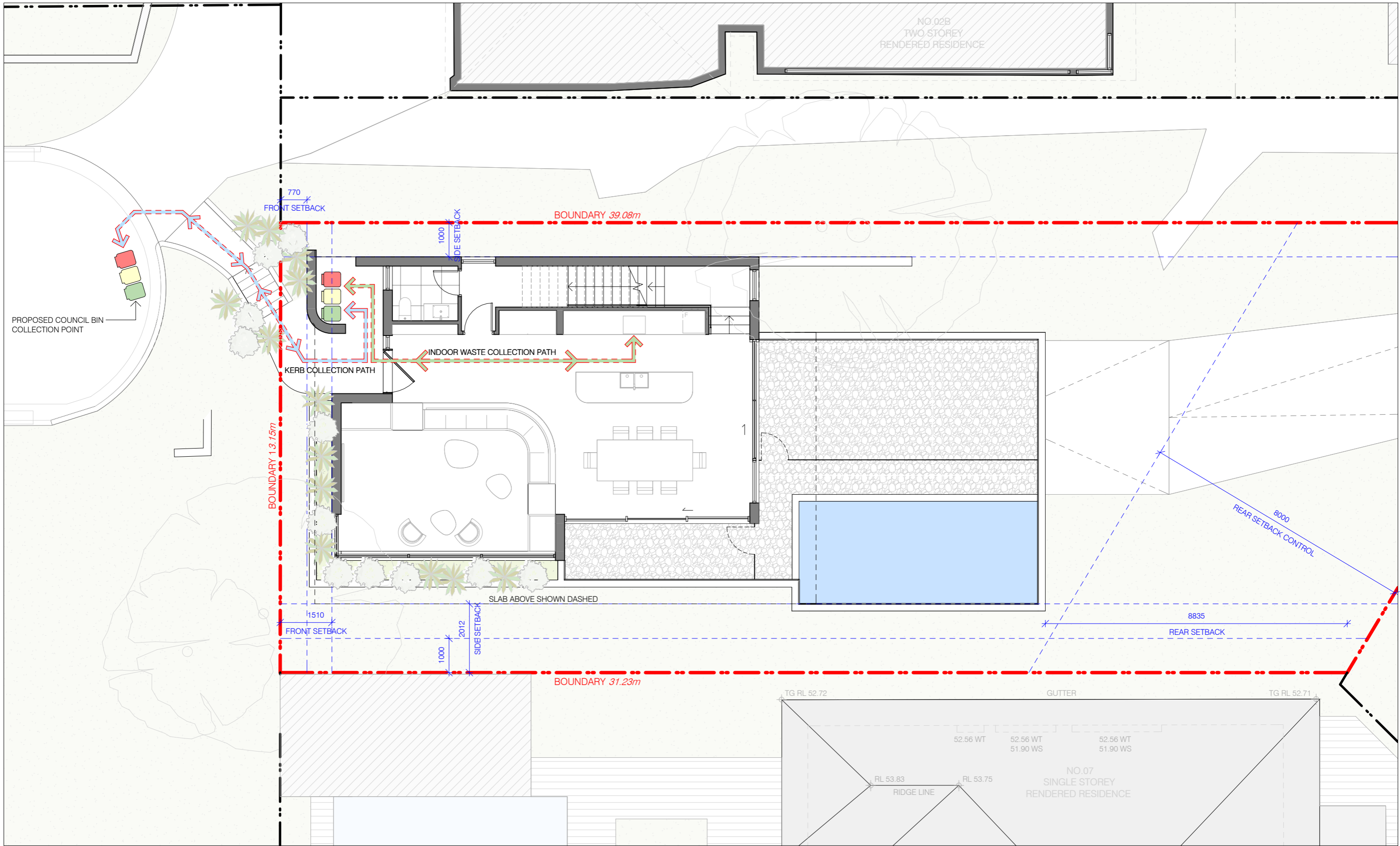
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2024-008

A1508



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BJB Architects Pty Ltd
Nominated Architect:
Barry Babikian NSW Reg No. 8806

Certificate No. #HR-5SUF91-01
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Assessor name: Nermein Loka
Accreditation No.: ABSA 101399
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NORTH

ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

WASTE MANAGEMENT PLAN

SCALE: 1 : 100@ A3 DATE: 13/11/2024

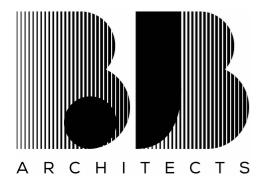
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A1601



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BJB Architects Pty Ltd
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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT
 2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092

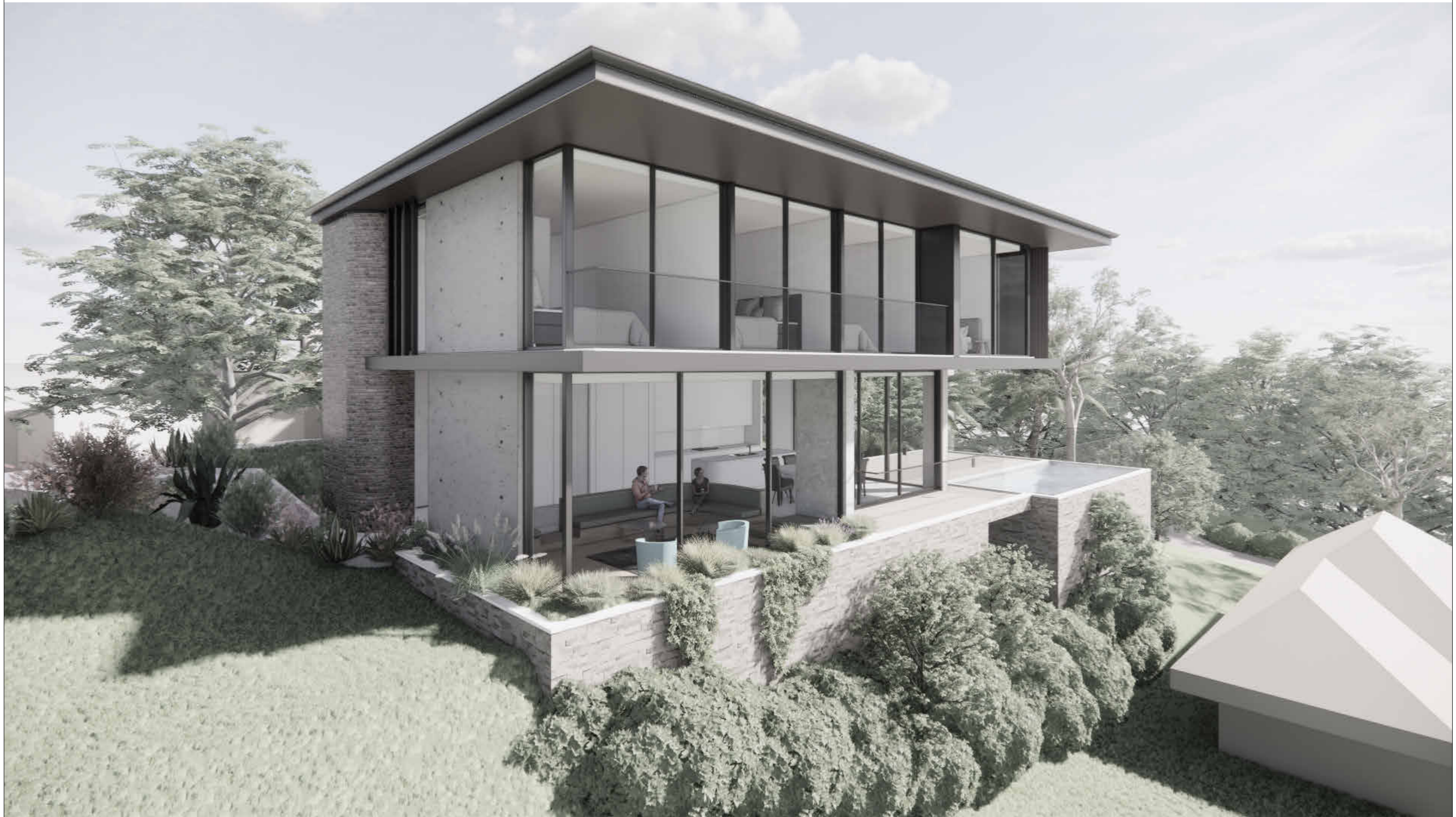
DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

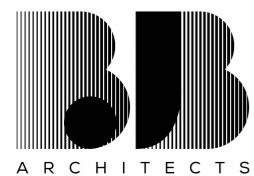
3D VIEW
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A2001



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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT
**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**
 DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING
 KATERINA AND EMANUEL POULOS

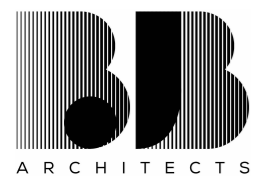
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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT

**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

3D VIEW

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BJB Architects Pty Ltd
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ISSUE	AMENDMENT	DATE
A	DA DRAFT	16/08/2024
B	DEVELOPMENT APPLICATION	13/11/2024

PROJECT
**2A EDGECLIFFE ESPLANADE,
 SEAFORTH, NSW 2092**

DEVELOPMENT APPLICATION - NEW
 RESIDENTIAL DWELLING

KATERINA AND EMANUEL POULOS

3D VIEW
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