



# RESIDENTIAL ENGINEERING

Structural Engineers • Surveying & Geotechnical

## BASIX COMPLIANCE REPORT

**Prepared for:** MOJO Homes

**Job Address:** LOT 12, 220 POWDERWORKS ROAD, INGLESIDE NSW 2101

**Report By:** Hayley Smith

**RE Job number:** ME0111

**Client Job number:** 651945

**Date:** 9 November 2021

# Nationwide House Energy Rating Scheme

## NatHERS Certificate No. 0006770572

Generated on 09 Nov 2021 using BERS Pro v4.4.0.6 (3.21)

### Property

**Address** 220 Powderworks Road , Ingleside ,  
NSW , 2101

**Lot/DP** 12/25143

**NCC Class\*** 1A

**Type** New Dwelling

### Plans

**Main Plan** 651945

**Prepared by** Mojo Homes

### Construction and environment

<b>Assessed floor area (m<sup>2</sup>*)</b>		<b>Exposure Type</b>
Conditioned*	171.0	Open
Unconditioned*	49.0	<b>NatHERS climate zone</b>
Total	219.0	56
Garage	36.0	



### Accredited assessor

**Name** Hayley Smith

**Business name** Residential Engineering

**Email** energy@reseng.com.au

**Phone** 02 9896 5494

**Accreditation No.** DMN/18/1861

**Assessor Accrediting Organisation**

Design Matters National

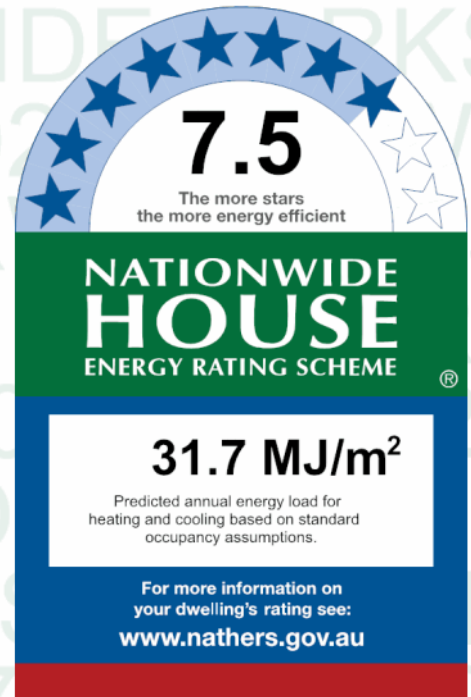
**Declaration of interest** Declaration completed: no conflicts

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.



### Thermal performance

<b>Heating</b>	<b>Cooling</b>
<b>15.1</b>	<b>16.6</b>
<b>MJ/m<sup>2</sup></b>	<b>MJ/m<sup>2</sup></b>

### About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=yIEFaPraF](http://hstar.com.au/QR/Generate?p=yIEFaPraF).

When using either link, ensure you are visiting [hstar.com.au](http://hstar.com.au)



## Certificate check

Ensure the dwelling is designed and then built as per the NatHERS Certificate. While you need to check the accuracy of the whole Certificate, the following spot check covers some important items impacting the dwelling's rating.

### Genuine certificate

Does this Certificate match the one available at the web address or QR code in the verification box on the front page? Does the set of NatHERS-stamped plans for the dwelling have a Certificate number on the stamp that matches this Certificate?

### Ceiling penetrations\*

Does the 'number' and 'type' of ceiling penetrations (e.g. downlights, exhaust fans, etc) shown on the stamped plans or installed, match what is shown in this Certificate?

### Windows

Does the installed window meet the substitution tolerances (SHGC and U-value) and window type, of the window shown on this Certificate?

### Apartment entrance doors

Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

### Exposure\*

Has the appropriate exposure level (terrain) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".

### Provisional\* values

Have provisional values been used in the assessment and, if so, noted in "additional notes" below?

## Additional notes

## Window and glazed door *type and performance*

### Default\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
TIM-001-01 W	TIM-001-01 W Timber A SG Clear	5.4	0.56	0.53	0.59

### Custom\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
BRD-034-01 A	BRD-034-01 A SIG Sliding Door (100mm) SG 4Clr	6.1	0.74	0.70	0.78
BRD-001-01 A	BRD-001-01 A ESS Sliding Window (52mm) SG 3Clr	6.4	0.76	0.72	0.80
BRD-041-01 A	BRD-041-01 A SIG Fixed Lite Externally Glazed (125mm) SG 4Clr	6.2	0.74	0.70	0.78
BRD-112-01 A	BRD-112-01 A ESS Awning 52 SG 4mmClr	6.5	0.67	0.64	0.70

## Window and glazed door *schedule*

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
Kitchen/Living	BRD-034-01 A	n/a	2100	3228	n/a	60	S	No
Kitchen/Living	BRD-001-01 A	n/a	2080	3010	n/a	30	E	No
Kitchen/Living	BRD-041-01 A	n/a	780	3010	n/a	00	E	No
Bedroom 4	BRD-001-01 A	n/a	1370	1810	n/a	45	S	No
Bedroom 3	BRD-001-01 A	n/a	1370	1810	n/a	45	S	No
WC	BRD-112-01 A	n/a	1030	610	n/a	90	W	No
Bath	BRD-001-01 A	n/a	1200	1570	n/a	45	W	No
Bedroom 5	BRD-001-01 A	n/a	1370	1810	n/a	45	W	No
Bedroom 2	BRD-112-01 A	n/a	1460	610	n/a	90	W	No
Bedroom 2	BRD-112-01 A	n/a	1460	610	n/a	90	W	No
WC2	BRD-112-01 A	n/a	2080	610	n/a	70	W	No
ENS	BRD-112-01 A	n/a	2080	850	n/a	70	W	No
Bedroom 1	BRD-112-01 A	n/a	1800	2650	n/a	60	N	No
Kitchen/Living	TIM-001-01 W	n/a	2100	1210	n/a	70	N	No
Ldry	BRD-034-01 A	n/a	2100	1470	n/a	45	E	No

## Roof window *type and performance*

### Default\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

### Custom\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

## Roof window *schedule*

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
No Data Available								

## Skylight *type and performance*

Skylight ID	Skylight description
No Data Available	

## Skylight *schedule*

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m <sup>2</sup> )	Orientation	Outdoor shade	Diffuser	Skylight shaft reflectance
No Data Available								

## External door *schedule*

Location	Height (mm)	Width (mm)	Opening %	Orientation
Garage 1	2100	4800	90	N

## External wall *type*

Wall ID	Wall type	Solar absorptance	Wall shade (colour)	Bulk insulation (R-value)	Reflective wall wrap*
EW-1	AAC Cavity Panel Direct Fix	0.50	Medium	Anti-glare foil with bulk no gap R2.5	No
EW-2	AAC Cavity Panel Direct Fix	0.50	Medium	No insulation	No

## External wall *schedule*

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
Kitchen/Living	EW-1	2580	5095	S	3600	YES
Kitchen/Living	EW-1	2580	9445	E	450	NO
Bedroom 4	EW-1	2580	3100	E	5550	YES
Bedroom 4	EW-1	2580	3345	S	475	NO
Bedroom 3	EW-1	2580	3745	W	450	NO
Bedroom 3	EW-1	2580	3345	S	450	NO
WC	EW-1	2580	1090	W	450	NO
Bath	EW-1	2580	1940	W	450	NO
Bedroom 5	EW-1	2580	3840	W	450	NO
Bedroom 2	EW-1	2580	3040	W	450	NO
WC2	EW-1	2580	1590	W	450	NO
ENS	EW-1	2580	2040	W	450	NO
Bedroom 1	EW-1	2580	3795	W	450	NO
Bedroom 1	EW-1	2580	4150	N	450	NO
Bedroom 1	EW-1	2580	1600	E	8550	YES
Kitchen/Living	EW-1	2580	1890	N	2700	YES
Ldry	EW-1	2580	1790	E	450	YES
Garage 1	EW-2	2580	600	W	6500	YES
Garage 1	EW-2	2580	6200	N	450	NO
Garage 1	EW-2	2580	5800	E	450	NO
Garage 1	EW-2	2580	450	S	14850	YES

## Internal wall type

Wall ID	Wall type	Area (m <sup>2</sup> )	Bulk insulation
IW-1 - Cavity wall, direct fix plasterboard, single gap		203.00	No insulation
IW-2 - Cavity wall, direct fix plasterboard, single gap		31.00	Bulk Insulation, No Air Gap R2.5

## Floor type

Location	Construction	Area (m <sup>2</sup> )	Sub-floor ventilation	Added insulation (R-value)	Covering
Kitchen/Living	Waffle pod slab 225 mm 85mm	60.60	None	Waffle Pod 225mm	Vinyl 3mm
Bedroom 4	Waffle pod slab 225 mm 85mm	11.60	None	Waffle Pod 225mm	Carpet+Rubber Underlay 18mm
Bedroom 3	Waffle pod slab 225 mm 85mm	12.20	None	Waffle Pod 225mm	Carpet+Rubber Underlay 18mm
WC	Waffle pod slab 225 mm 85mm	2.00	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Bath	Waffle pod slab 225 mm 85mm	6.10	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Bedroom 5	Waffle pod slab 225 mm 85mm	12.20	None	Waffle Pod 225mm	Carpet+Rubber Underlay 18mm
Bedroom 2	Waffle pod slab 225 mm 85mm	13.40	None	Waffle Pod 225mm	Carpet+Rubber Underlay 18mm
WIL	Waffle pod slab 225 mm 85mm	2.20	None	Waffle Pod 225mm	Vinyl 3mm
Corridor	Waffle pod slab 225 mm 85mm	12.30	None	Waffle Pod 225mm	Vinyl 3mm
WC2	Waffle pod slab 225 mm 85mm	1.50	None	Waffle Pod 225mm	Ceramic Tiles 8mm
ENS	Waffle pod slab 225 mm 85mm	7.10	None	Waffle Pod 225mm	Ceramic Tiles 8mm
WIR	Waffle pod slab 225 mm 85mm	5.30	None	Waffle Pod 225mm	Carpet+Rubber Underlay 18mm
Bedroom 1	Waffle pod slab 225 mm 85mm	17.40	None	Waffle Pod 225mm	Carpet+Rubber Underlay 18mm
Kitchen/Living	Waffle pod slab 225 mm 85mm	11.20	None	Waffle Pod 225mm	Vinyl 3mm
WIP	Waffle pod slab 225 mm 85mm	3.50	None	Waffle Pod 225mm	Vinyl 3mm
Ldry	Waffle pod slab 225 mm 85mm	4.50	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Garage 1	Waffle pod slab 175 mm 90mm	36.40	None	Waffle Pod 175mm	Bare

## Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
Kitchen/Living	Plasterboard	Bulk Insulation R4.1	No
Bedroom 4	Plasterboard	Bulk Insulation R4.1	No
Bedroom 3	Plasterboard	Bulk Insulation R4.1	No
WC	Plasterboard	Bulk Insulation R4.1	No
Bath	Plasterboard	Bulk Insulation R4.1	No
Bedroom 5	Plasterboard	Bulk Insulation R4.1	No
Bedroom 2	Plasterboard	Bulk Insulation R4.1	No
WIL	Plasterboard	Bulk Insulation R4.1	No
Corridor	Plasterboard	Bulk Insulation R4.1	No
WC2	Plasterboard	Bulk Insulation R4.1	No

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
ENS	Plasterboard	Bulk Insulation R4.1	No
WIR	Plasterboard	Bulk Insulation R4.1	No
Bedroom 1	Plasterboard	Bulk Insulation R4.1	No
Kitchen/Living	Plasterboard	Bulk Insulation R4.1	No
WIP	Plasterboard	Bulk Insulation R4.1	No
Ldry	Plasterboard	Bulk Insulation R4.1	No
Garage 1	Plasterboard	No insulation	No

## Ceiling penetrations\*

Location	Quantity	Type	Diameter (mm <sup>2</sup> )	Sealed/unsealed
Kitchen/Living	1	Exhaust Fans	300	Sealed
Bath	1	Exhaust Fans	300	Sealed
ENS	1	Exhaust Fans	300	Sealed

## Ceiling fans

Location	Quantity	Diameter (mm)
No Data Available		

## Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof shade
Corrugated Iron	Bulk, Reflective Side Down, No Air Gap Above R1.3	0.70	Dark



## Explanatory notes

### About this report

A NatHERS rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermostat settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

### Accredited assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

Australian Capital Territory (ACT) licensed assessors may only produce assessments for regulatory purposes using software for which they have a licence endorsement. Licence endorsements can be confirmed on the ACT licensing register

AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any ongoing training requirements.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content of each individual certificate is entered and created by the assessor to create a NatHERS Certificate. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

The predicted annual energy load in this NatHERS Certificate is an estimate based on an assessment of the building by the assessor. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

## Glossary

<b>Annual energy load</b>	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
<b>Assessed floor area</b>	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
<b>Ceiling penetrations</b>	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rangehoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
<b>Conditioned</b>	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
<b>Custom windows</b>	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
<b>Default windows</b>	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
<b>Entrance door</b>	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
<b>Exposure category – exposed</b>	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
<b>Exposure category – open</b>	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
<b>Exposure category – suburban</b>	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
<b>Exposure category – protected</b>	terrain with numerous, closely spaced obstructions over 10m e.g. city and industrial areas.
<b>Horizontal shading feature</b>	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
<b>National Construction Code (NCC) Class</b>	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at <a href="http://www.abcb.gov.au">www.abcb.gov.au</a> .
<b>Opening percentage</b>	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
<b>Provisional value</b>	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>
<b>Reflective wrap</b> (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
<b>Roof window</b>	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
<b>Shading device</b>	a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
<b>Shading features</b>	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
<b>Solar heat gain coefficient (SHGC)</b>	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
<b>Skylight</b> (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
<b>U-value</b>	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
<b>Unconditioned</b>	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
<b>Vertical shading features</b>	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).



SHEET INDEX

COVER SHEET	1
SITE ANALYSIS	2
LOCALITY PLAN	3
SITE PLAN	4
WATER MANAGEMENT PLAN	5
GROUND FLOOR PLAN	6
WINDOW & DOOR SCHEDULES	7
ELEVATIONS / SECTION ELEVATIONS	8
HOUSE EXTERIOR 3D VIEWS	9
KITCHEN DETAILS	10
BATHROOM / WC DETAILS	11
ENSUITE / WC2 DETAILS	12
LAUNDRY DETAILS	13
FLOOR COVERINGS	14
SLAB PLAN	15
DRAINAGE PLAN	16
	17

BASIX AREAS

Main Dwelling	
CONDITIONED	165.96
UNCONDITIONED	13.62

TOTAL FLOOR AREAS

Main Dwelling	
GARAGE	37.84
LIVING	198.65
OUTDOOR LIVING	15.51
PORCH	4.53
	256.53 m²

COMPLIANCE AREAS

LANDSCAPED AREA	19,955.47
SITE COVERAGE AREA	362.30

SUSTAINABILITY COMMITMENTS

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
- 4 STAR TOILET SUITES
- 4 STAR KITCHEN TAPS
- 5 STAR BATHROOM TAPS

291.21 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY  
183.89 m² MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
  - ALL TOILETS
  - WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

500 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 3.5 - 4.0

COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:  
DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT
- KITCHEN RANGEHOOD:  
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- N/A

NATURAL LIGHTING TO

- KITCHEN
- 4 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER
- NO FIXED INDOOR CLOTHESLINE

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S): 2580mm  
FRAMES AND TRUSSES: STEEL  
ROOF PITCH (U.N.O.): 22.5°  
ELECTRICITY SUPPLY: 3-PHASE  
GAS SUPPLY: MAINS / RETICULATED

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: DARK  
WIND DRIVEN ROOF VENTILATORS: 1  
WALL MATERIAL: HEBEL VENEER  
WALL COLOUR: N/A

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

MIN. 60mm FOIL FACED BLANKET UNDER ROOFING  
CEILING: R4.1 BATTS (EXCL. OUTDOOR LIVING & PATIO)

EXTERIOR WALLS: R2.5 BATTS (EXCL. GARAGE)  
WALL WRAP TO ENTIRE HOUSE  
INTERIOR WALLS: R2.5 BATTS (AS PER PLAN)

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N2  
SITE CLASSIFICATION: M  
SLAB CLASSIFICATION: M

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE HEBEL CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018

GENERAL INFORMATION

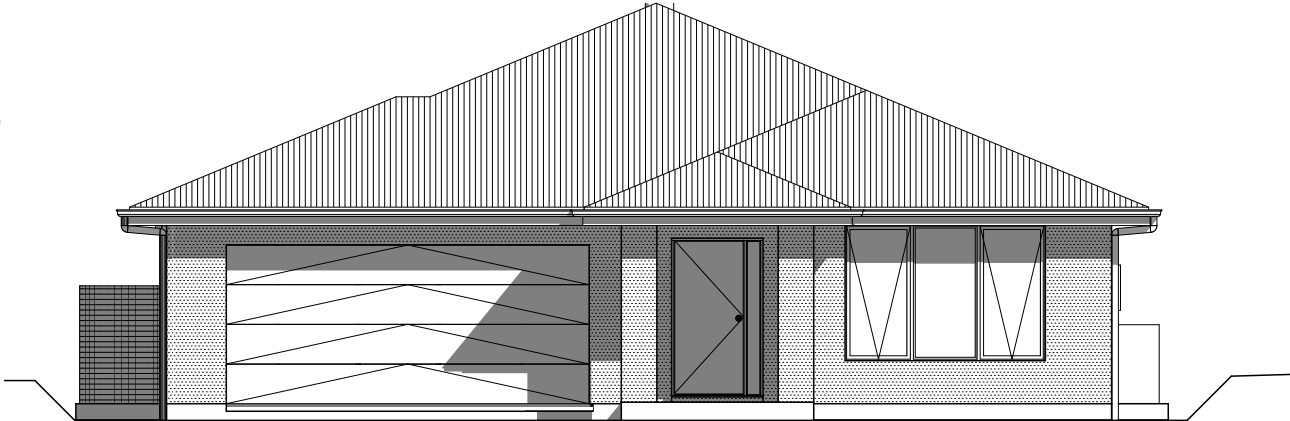
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC AND APPLICABLE AUSTRALIAN STANDARD AT TIME OF APOVAL.

THESE PLANS FEATURE WORKS REQUIRED BY THE OWNER THAT MAY BE EXCLUDED FROM THE SCOPE OF THE CONTRACT WITH THE BUILDER, BUT HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT. SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS AND SITE DRAINAGE. PLEASE REFER TO YOUR CONTRACT TENDER AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS.



LOCATION MAP

LOT 12  
#220 POWDERWORKS ROAD



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2021 MOJO HOMES PTY LTD (ABN 31 166 754 696). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MOJO HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MOJO HOMES PTY LTD.

SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MOJO MORE	1	DRAFT SALES PLAN		TNG	2021.05.07	MR. NIGEL BUBALO		RHAPSODY 28				
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© 2021	3	WORKING DRAWINGS		QLE	2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101		MODERN		F-JMMRPY00MODNA		
	4	WORKING DRAWING CHECK		GBO	2021.10.26	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
						12 / - / 25143		COUNCIL:				
						NORTHERN BEACHES COUNCIL		COVER SHEET		1 / 17		651945

**SITE ANALYSIS**  
**ORIENTATION** - LIVING AREAS TO THE DWELLING ARE CENTERED WITH A SOUTHEAST ORIENTATION. GOOD SHADING AND THE ARRANGEMENT OF GLAZING WILL MAXIMISE THE POTENTIAL FOR COOLING SOUTHERLY BREEZES TO VENTILATE THE LIVING AREAS IN THE SUMMER MONTHS, ADDING TO THE INTERNAL COMFORT. THE EXTERNAL SHADING TO GLAZED AREAS ENABLES THE DWELLING TO COMFORTABLY ACHIEVE ABSA/BASIX THERMAL COMFORT TARGETS.

**TOPOGRAPHY** - GENTLY SLOPED BLOCK AS INDICATED BY CONTOURS ON SITE PLAN. SINGLE STOREY DESIGN USED TO TAKE ADVANTAGE OF TOPOGRAPHY WITH MAX CUT OF 526mm AND MAX FILL 518mm.

**STREETSCAPE** - SETBACKS COMPLY WITH COUNCIL'S REQUIREMENTS, WITH MAIN DWELLING SET BACK 20.015m AND GARAGE SET BACK 21.015m.

**CONTEXT** - NO SPECIAL REQUIREMENTS.

**VEGETATION** - SITE IS CLEAR OF TREES AND VEGETATION.

**PRIVACY** - THE LIVING AREAS OF THE DWELLING ARE SET BACK FROM 32.573m TO OVER 61.615m FROM THE BOUNDARY TO PROVIDE BOTH VISUAL AND ACOUSTIC PRIVACY. IT IS PROPOSED THAT THERE WILL BE AMPLE PRIVACY AND SOLAR AMENITY TO PROPOSED RESIDENCES.

**NOISE AND LIGHT** - THE PROPOSED POSITION OF THE DWELLING COMPLIES WITH COUNCIL SETBACKS TO THE STREET FRONTAGE. THE SITE IS SITUATED IN A RESIDENTIAL LOCATION WITH THE POSITIONING OF TWO OF THE THREE BEDROOMS AWAY FROM THE MAIN NOISE SOURCE, THUS REDUCING POTENTIAL IMPACT OF STREET NOISE.

**PREVAILING WINDS** - THE LIVING AREAS OF THE DWELLING WILL BENEFIT FROM SOUTHERLY BREEZES DURING SUMMER.

**DRAINAGE** - THE SITE DRAINS NATURALLY TO THE FRONT AND REAR OF THE BLOCK. ROOF WATER COLLECTION WILL BE PARTIALLY DIVERTED TO RECYCLING TANKS FOR USE WITHIN THE DWELLING WITH THE TANK OVERFLOW AND THE REMAINING ROOF AREA DISCHARGING TO THE REAR INTERALLOTMENT DRAINAGE.

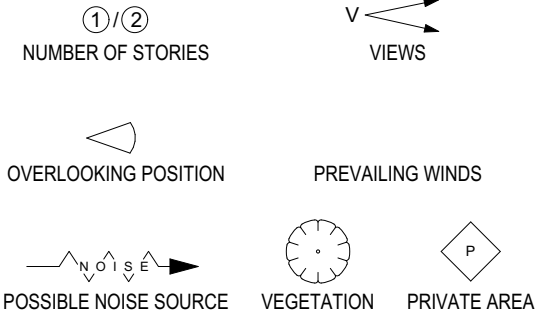
**SERVICES** - ELECTRICITY - UNDERGROUND TO HOUSE.  
**SEWER** - YES  
**STORMWATER** - TO STREET KERB AND TUNNEL CHENCHING

**VEHICLE ACCESS** - THE GARAGE HAS BEEN PLACED TO REQUIRE MINIMAL ALTERATION TO THE SITE, WITH THE FINISHED FLOOR LEVEL BEING APPROXIMATELY 234mm ABOVE THE KERB LEVEL. TWO UNDERCOVER SPACES WILL BE INCORPORATED WITH ADDITIONAL SPACE ON THE APRON FOR TEMPORARY PARKING - THE DRIVEWAY IS APPROXIMATELY 6m LONG WITHIN THE BOUNDARY.

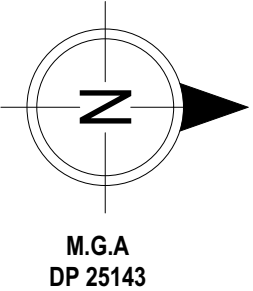
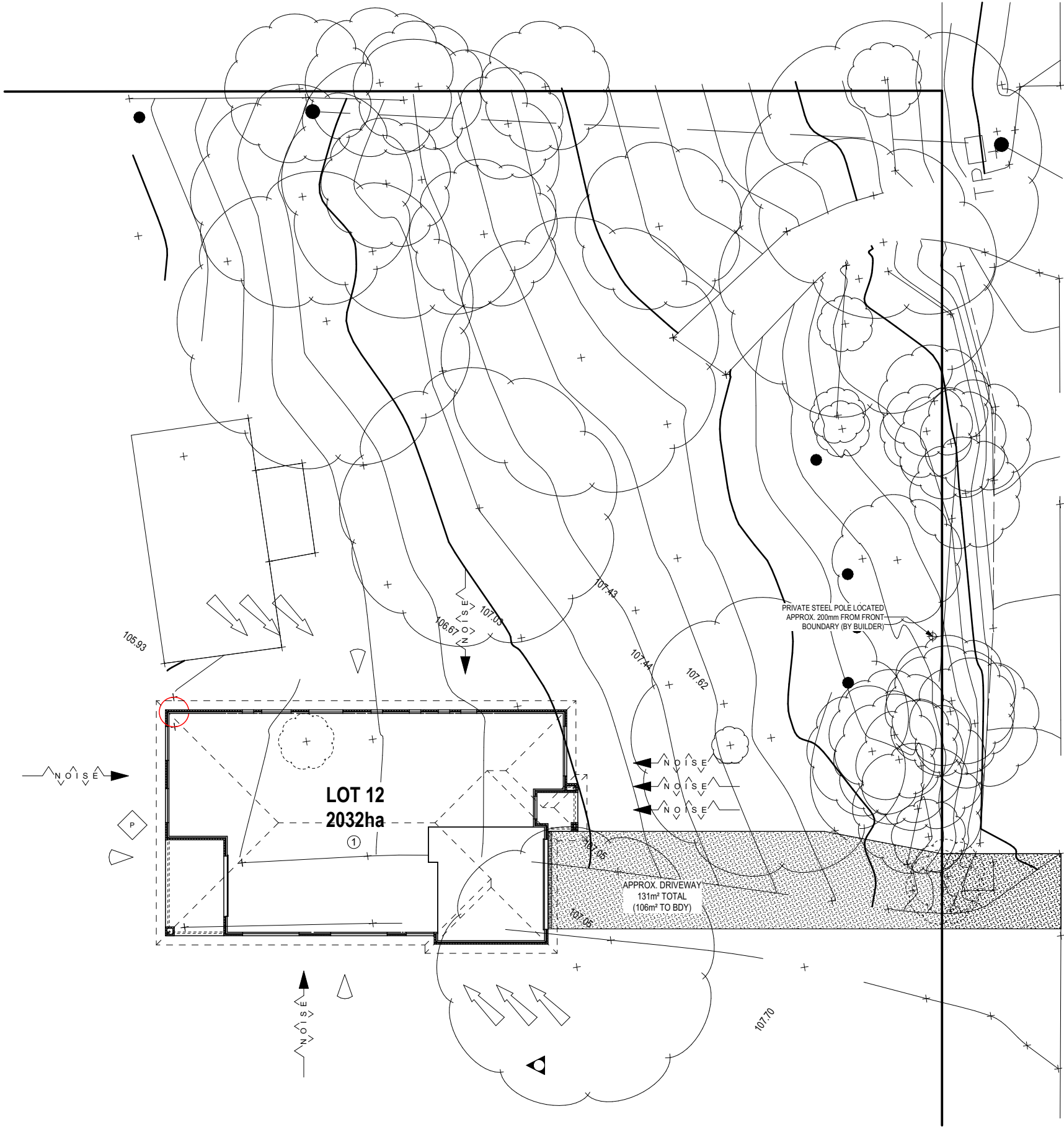
**SURVEY CONSTRAINTS** - REFER TO SITE PLAN FOR MORE INFORMATION.

**SECURITY** - THE SURROUNDING BLOCKS ARE CURRENTLY UNOCCUPIED HOWEVER THERE WILL BE RESIDENCES CONSTRUCTED IN THE VICINITY OF THE PROPOSED SITE IN THE NEAR FUTURE AND THEREFORE CASUAL SURVEILLANCE WILL BE REQUIRED.

### SITE ANALYSIS LEGEND



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**MOJO**  
homes

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REVISION
1 DRAFT SALES PLAN
2 CT SKETCH
3 WORKING DRAWINGS
4 WORKING DRAWING CHECK

DRAWN
TNG 2021.05.07
RPA 2021.06.18
QLE 2021.08.30
GBO 2021.10.26

CLIENT:  
**MR. NIGEL BUBALO**  
ADDRESS:  
**220 POWDERWORKS ROAD , INGLESIDE NSW 2101**  
LOT / SECTION / DP:  
**12 / - / 25143**  
COUNCIL:  
**NORTHERN BEACHES COUNCIL**

HOUSE DESIGN:  
**RHAPSODY 28**  
FACADE DESIGN:  
**MODERN**  
SHEET TITLE:  
**SITE ANALYSIS**

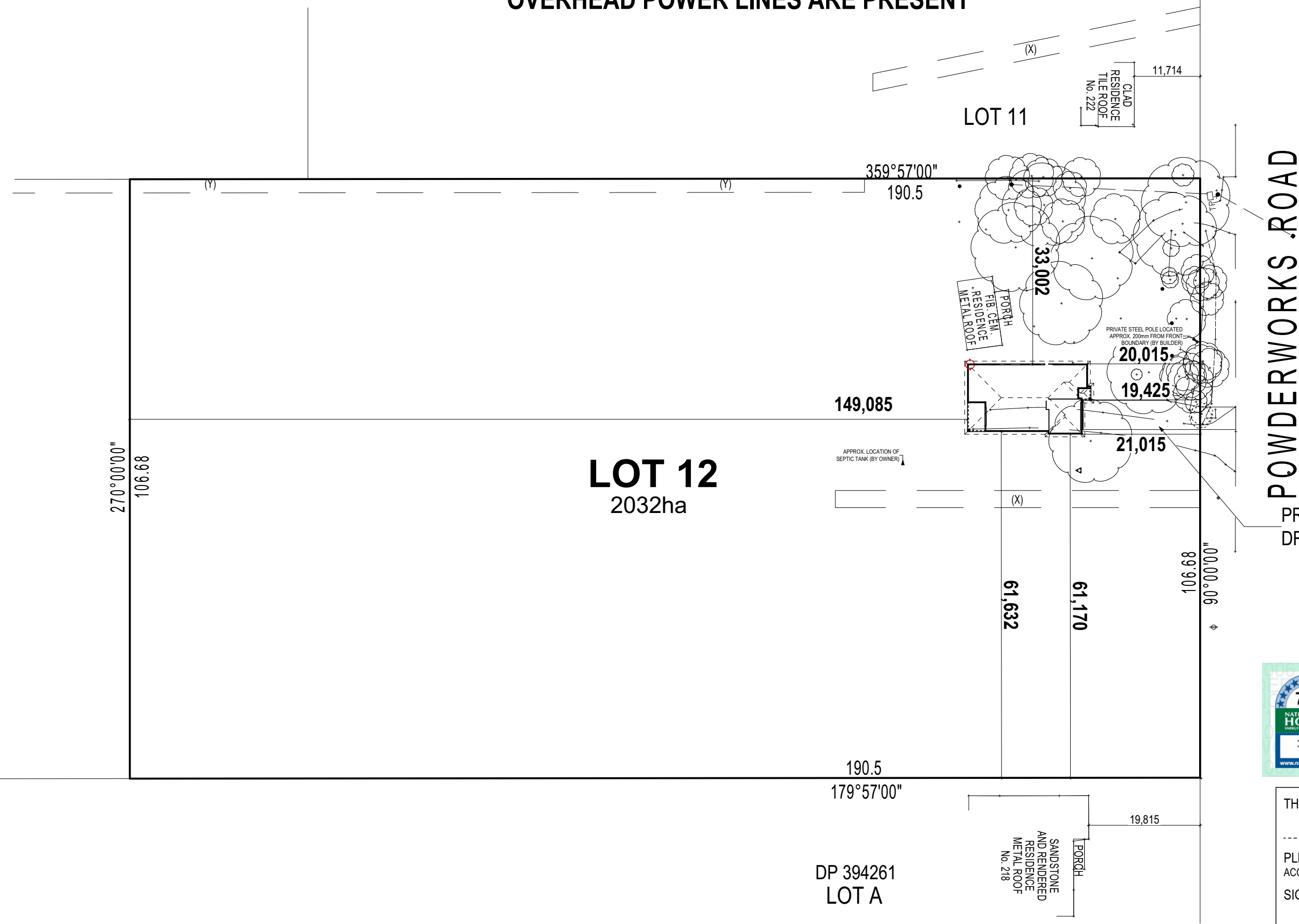
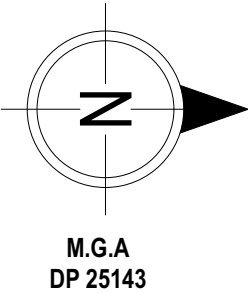
HOUSE CODE:  
**F-JMMRPY00MODNA**  
SHEET No.:  
**2 / 17**

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SCALES:  
**1:250, 1:200**

**651945**

OVERHEAD POWER LINES ARE PRESENT



POWDERWORKS ROAD

PROPOSED DRIVEWAY

0006770572 09 Nov 2021

Assessor Hayley Smith  
Accreditation No. DMV18/1861  
Address  
220 Powderworks Road ,  
Ingleside , NSW , 2101

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<div><div>SPECIFICATION:</div><div>MOJO MORE</div></div>		REVISION		DRAWN		CLIENT:			HOUSE DESIGN:			HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	1	DRAFT SALES PLAN		TNG	2021.05.07	MR. NIGEL BUBALO			RHAPSODY 28					
	2	CT SKETCH		RPA	2021.06.18	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
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<div><div>COPYRIGHT:</div><div>© 2021</div></div>	4	WORKING DRAWING CHECK		GBO	2021.10.26	LOT / SECTION / DP:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	651945
						12 / - / 25143		NORTHERN BEACHES COUNCIL		LOCALITY PLAN		3 / 17	1:700	



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

REFER TO WATER MANAGEMENT PLAN FOR ALL ROOF COLLECTION, SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DRIVEWAY AND RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER AND/OR COLOUR SELECTIONS DOCUMENTATION.

PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	33° 00' 00" S
LONGITUDE	151° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	40.03m³
FILL VOLUME	37.67m³
DIFFERENCE	2.36m³

EVEN CUT & FILL

ALL MASONRY CONSTRUCTION SUCH AS MORTAR STRENGTH, WALL TIES AND LINTEL PROTECTION FOR THE BRICKWORK SHALL BE CONSTRUCTED FOR SEVERE MARINE REQUIREMENTS.

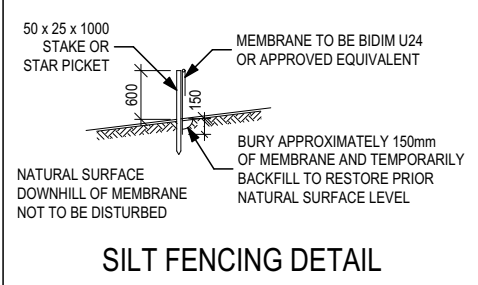
ALL EXPOSED STRUCTURAL STEEL TO BE CONSTRUCTED FOR SEVERE MARINE REQUIREMENTS.

**AGGRESSIVE SOIL REQUIREMENTS**  
PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:

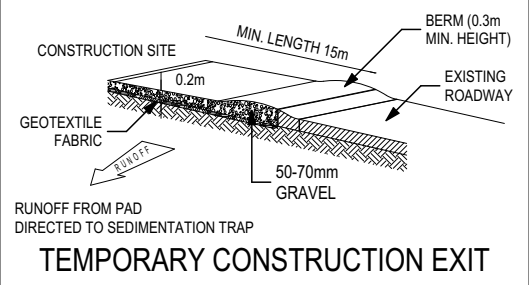
- PROVIDE 32MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.

CLIENT TO CONNECT ELECTRICITY SUPPLY TO THE SEPTIC TANK.

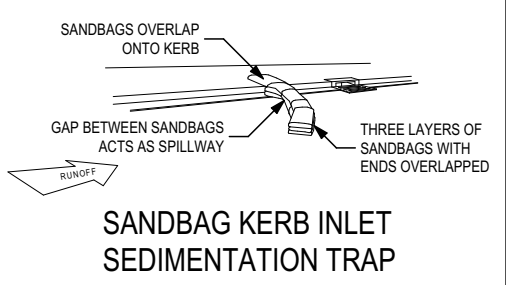
THE CLIENT IS TO ARRANGE FOR THE INSTALLATION OF AN APPROVED SEPTIC SYSTEM AND IF REQUIRED THE PUMP LINE FROM THE TANK TO THE SEWER MAIN. THE SEPTIC SYSTEM IS TO BE DESIGNED BY AN APPROVED INSTALLER AND DESIGN PLANS/SEPTIC APPLICATION FORMS ARE TO BE PROVIDED TO THE BUILDER PRIOR TO THE BUILDING APPLICATION BEING LODGED AT COUNCIL. **THE SEPTIC TANK MUST BE SUPPLIED AND INSTALLED NO LATER THAN INTERNAL LININGS BEING COMPLETED. THIS WORK IS TO BE CO-ORDINATED WITH SITE SUPERVISOR.** ADDITIONAL DRAINER COSTS COULD OCCUR IF THE INSTALLATION OF THE TANK IS DELAYED.



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP

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4 WORKING DRAWING CHECK	GBO 2021.10.26

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ADDRESS:	220 POWDERWORKS ROAD , INGLESIDE NSW 2101
LOT / SECTION / DP:	12 / - / 25143
COUNCIL:	NORTHERN BEACHES COUNCIL

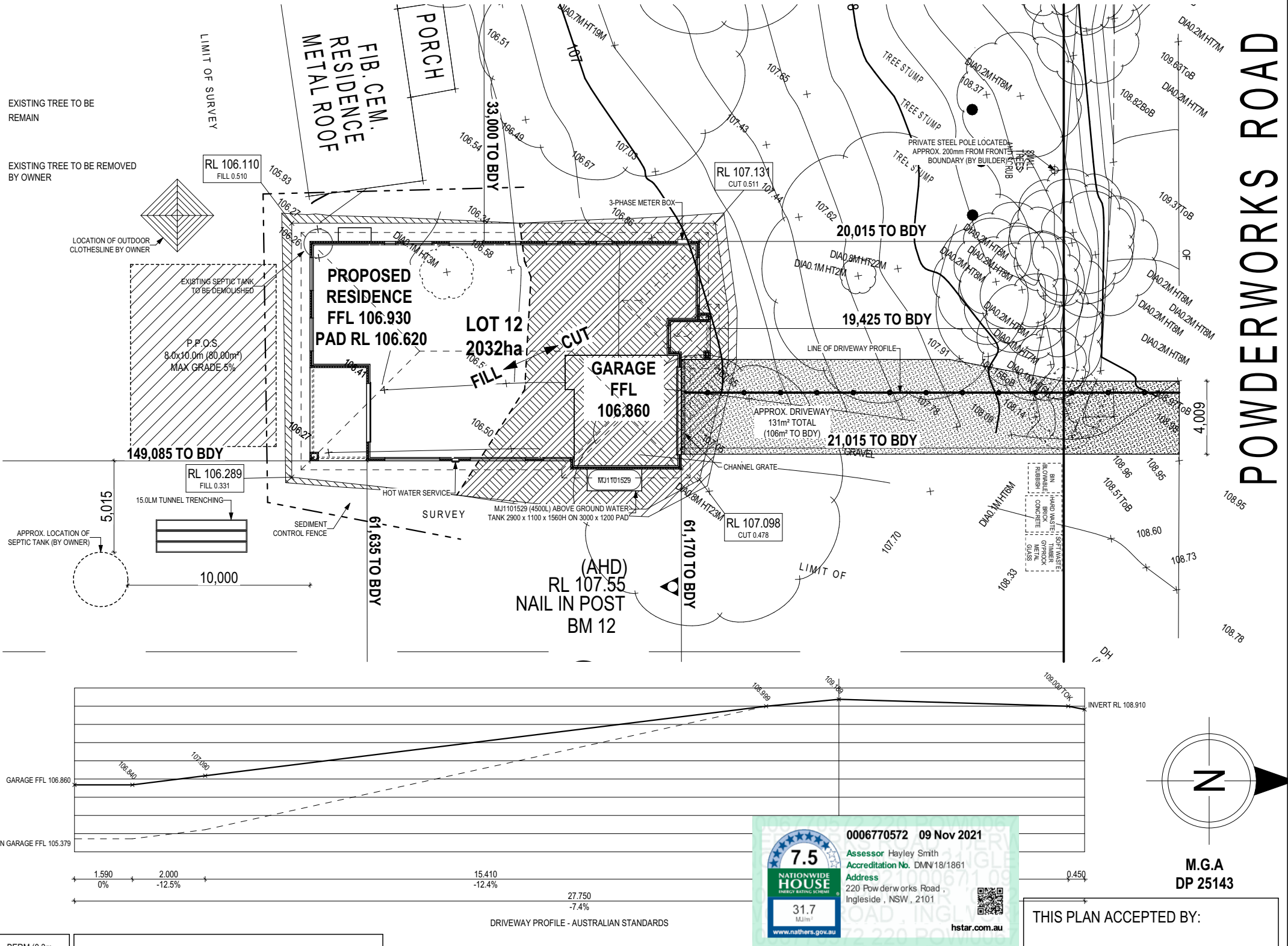
HOUSE DESIGN:	RHAPSODY 28
FACADE DESIGN:	MODERN
SHEET TITLE:	SITE PLAN

HOUSE CODE:	
FACADE CODE:	F-JMMRPY00MODNA
SCALES:	1:250, 1:125

SHEET No.:	4 / 17
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651945

## OVERHEAD POWER LINES ARE PRESENT



31.7 MJ/m²

www.nathers.gov.au

0006770572 09 Nov 2021

Assessor Hayley Smith

Accreditation No. DMN/18/1861

Address

220 Powderworks Road , Ingleside , NSW , 2101

hstar.com.au

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK  
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS  
TO BE DIVERTED TO WATER TANK. BALANCE TO STREET KERB VIA TUNNEL TRENCHING.  
COLLECTION AREA = 183.89m<sup>2</sup>

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB VIA TUNNEL TRENCHING.

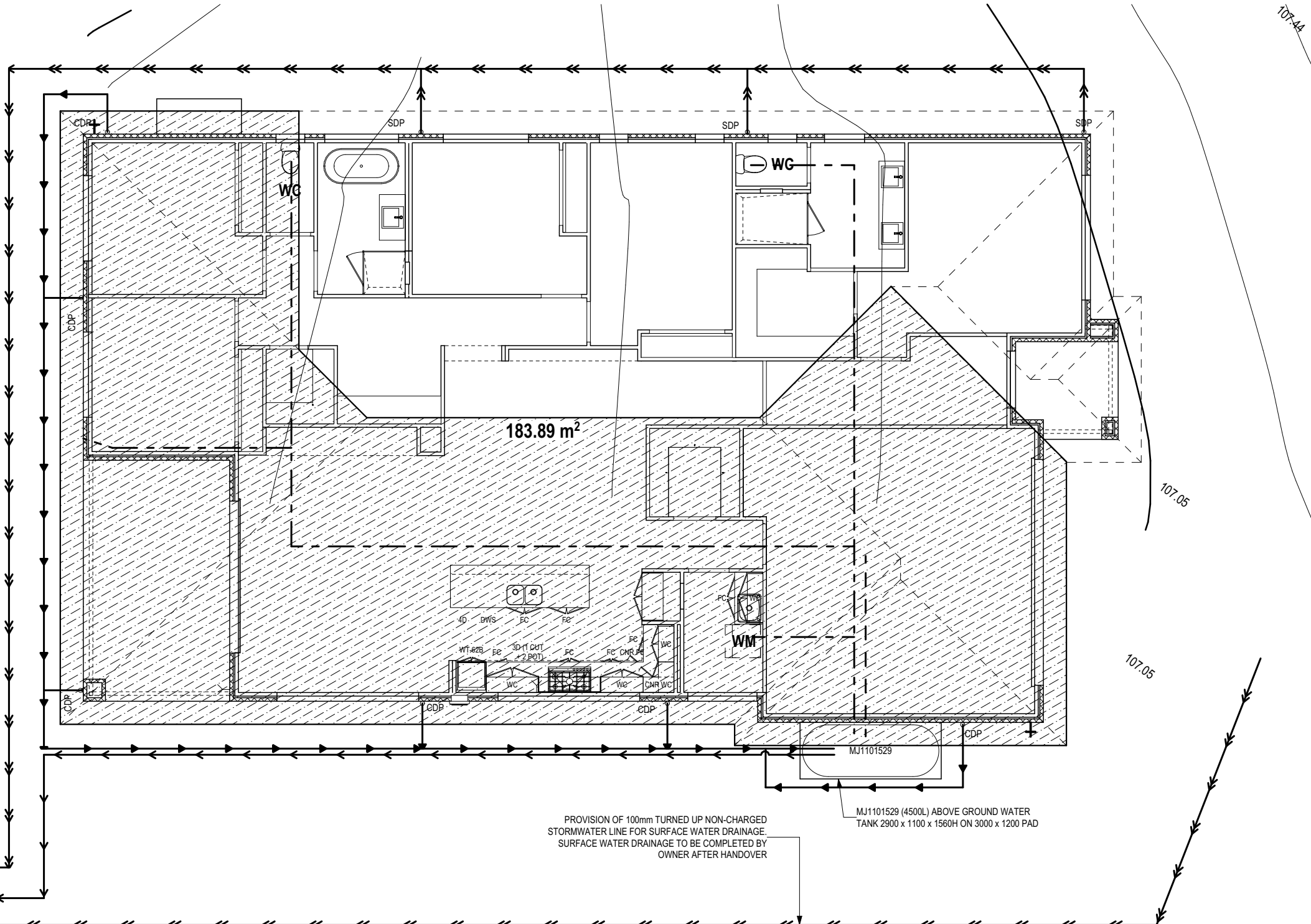
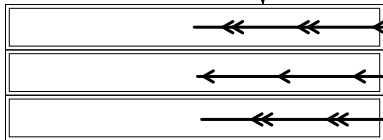
### PLUMBING LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS  
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY  
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)  
ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY

- RECYCLED COLD WATER LINE
- TANK COLD WATER LINE
- WATER LINE TO MAIN SUPPLY
- CHARGED LINE TO WATER TANK
- WATER TANK OVERFLOW
- STORMWATER OVERFLOW
- WM WASHING MACHINE
- WC WATER CLOSET
- † YARD TAP

SURFACE INLET PITS INCLUDED AND ARE TO BE INSTALLED BY BUILDER.  
LOCATIONS TO BE DETERMINED ON SITE.

15.0LM TUNNEL TRENCHING



### WATER MANAGEMENT

Scale: 1:100



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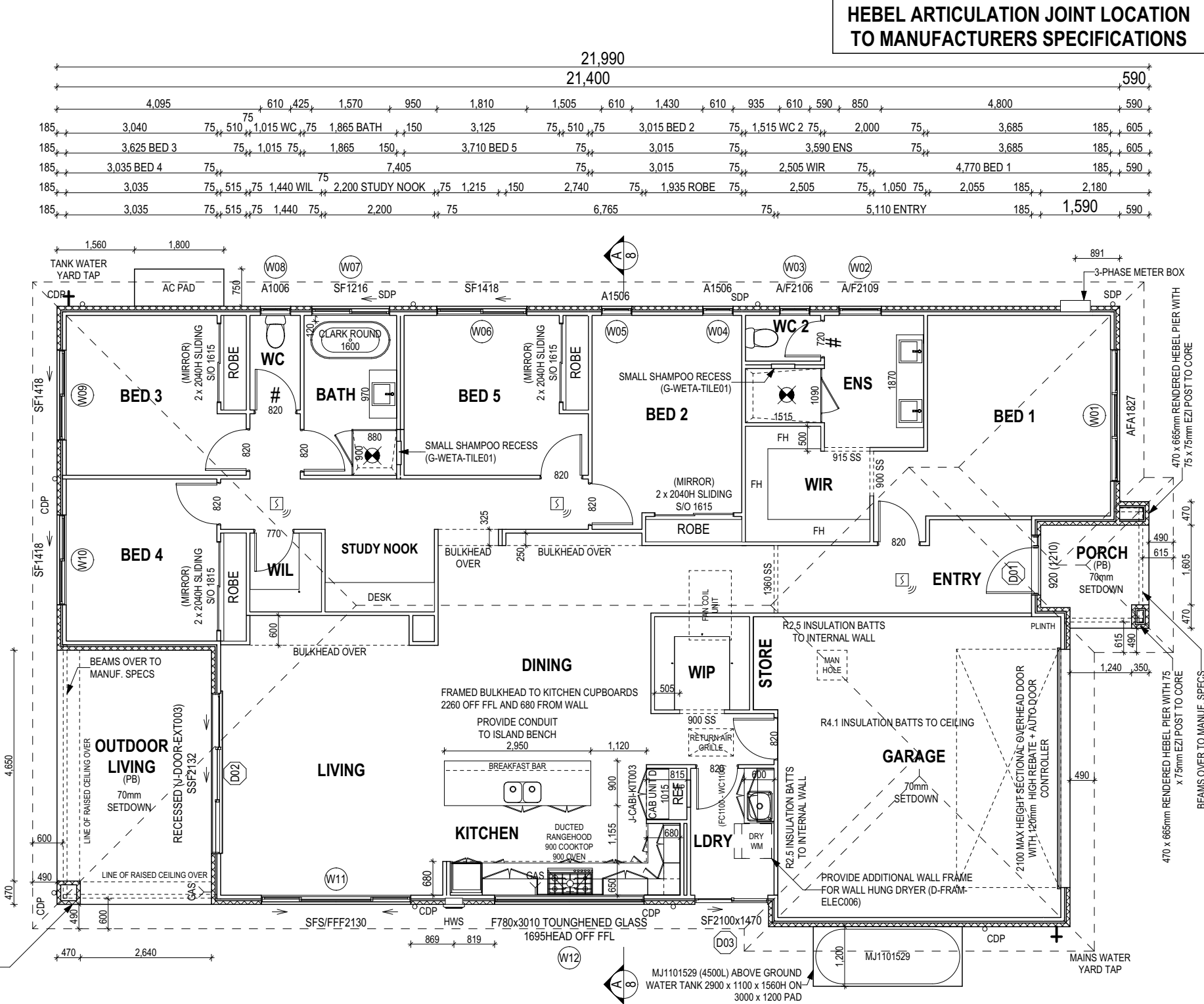


UNLESS NOTED OTHERWISE  
ALL ROOMS ARE REFERENCED  
AS FOLLOWS:



PROVIDE R3 RATING TO THE STEEL  
SUPPORT BEAMS DUE TO PROXIMITY TO  
SALTWATER

470 x 470mm RENDERED HEBEL PIER WITH  
75mm EZI POST TO CORE



185	3,035	75	515	75	1,440	75	2,200	75	6,765	75	5,110 ENTRY	185	590	1,590			
185	3,035	75	515	75	3,205	75	435	75	4,285	75	1,910	75	6,195	185	1,590		
*	3,110	185			8,665 LIVING / DINING				75	1,910 WIP	75	420	75	5,700	185	1,590	
*	3,110	185			11,145							STORE	75	5,700	185	1,590	
*	3,110	185			9,390 LIVING / KITCHEN					75	1,680 LDY	75	5,700	185	1,590		
*	3,110 OUTDOOR LIVING	185			4,474	150			4,631	75	60	75	1,680	75	5,700	185	1,590
*	3,110	1,005			3,010	1,687			3,010	1,023	1,485			6,070		1,000	590
*	3,110								17,290								1,590
*									21,990								

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ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

[illegible]

DATE:



WINDOW SCHEDULE

<sup>1, 2</sup> ASSUME LOOKING FROM INSIDE

STOREY	ID	CODE <sup>1</sup>	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION <sup>2</sup>
GROUND FLOOR	W01	AFA1827	BED 1	1,800	2,650	8,900	4.77	ALUMINIUM	N/A	NONE	N	3.93	CLEAR	MP 883-883
GROUND FLOOR	W02	A/F2109	ENS	2,080	850	5,860	1.77	ALUMINIUM	N/A	NONE	W	1.37	SATINLITE, TOUGHENED	BP 600
GROUND FLOOR	W03	A/F2106	WC 2	2,080	610	5,380	1.27	ALUMINIUM	N/A	NONE	W	0.93	SATINLITE, TOUGHENED	BP 600
GROUND FLOOR	W04	A1506	BED 2	1,460	610	4,140	0.89	ALUMINIUM	N/A	NONE	W	0.64	CLEAR	
GROUND FLOOR	W05	A1506	BED 2	1,460	610	4,140	0.89	ALUMINIUM	N/A	NONE	W	0.64	CLEAR	
GROUND FLOOR	W06	SF1418	BED 5	1,370	1,810	6,360	2.48	ALUMINIUM	N/A	NONE	W	2.20	CLEAR	
GROUND FLOOR	W07	SF1216	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.64	SATINLITE, TOUGHENED	
GROUND FLOOR	W08	A1006	WC	1,030	610	3,280	0.63	ALUMINIUM	N/A	NONE	W	0.44	SATINLITE, TOUGHENED	
GROUND FLOOR	W09	SF1418	BED 3	1,370	1,810	6,360	2.48	ALUMINIUM	N/A	NONE	S	2.20	CLEAR	
GROUND FLOOR	W10	SF1418	BED 4	1,370	1,810	6,360	2.48	ALUMINIUM	N/A	NONE	S	2.20	CLEAR	
GROUND FLOOR	W11	SFS/FFF2130	LIVING	2,080	3,010	10,180	6.26	ALUMINIUM	N/A	NONE	E	5.44	CLEAR	BP 600, MP 753-1505/0
GROUND FLOOR	W12	F780x3010	KITCHEN	780	3,010	7,580	2.35	ALUMINIUM	N/A	NONE	E	2.08	CLEAR, TOUGHENED	
							28.15						23.71	

EXTERIOR DOOR SCHEDULE

<sup>1, 2</sup> ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE <sup>1</sup>	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION <sup>2</sup>
GROUND FLOOR	D01	920 (2100x1210)	ENTRY	2,100	1,210	2.54	TIMBER	N/A	SNAP HEADER	N	DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): CLEAR, TOUGHENED	SWINGING	
GROUND FLOOR	D02	SSF2132	LIVING	2,100	3,228	6.78	ALUMINIUM	N/A	SNAP HEADER	S	CLEAR, TOUGHENED	STACKER	
GROUND FLOOR	D03	SF2100x1470	LDRY	2,100	1,470	3.09	ALUMINIUM	N/A	NONE	E	CLEAR, TOUGHENED	SLIDING	
						12.41 m²							

INTERIOR DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
GROUND FLOOR	1	1360 SS	SQUARE SET OPENING	2,160	1,360	N/A	
GROUND FLOOR	3	2 x 2040H SLIDING	SLIDING	2,040	1,600	N/A	SELECT, MIRROR
GROUND FLOOR	1	2 x 2040H SLIDING	SLIDING	2,040	1,800	N/A	SELECT, MIRROR
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	770	SWINGING	2,040	770	N/A	
GROUND FLOOR	8	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	2	900 SS	SQUARE SET OPENING	2,160	900	N/A	
GROUND FLOOR	1	915 SS	SQUARE SET OPENING	2,160	915	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY

TYPE

HEIGHT

WIDTH

AREA (m²)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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SIGNATURE:

DATE:

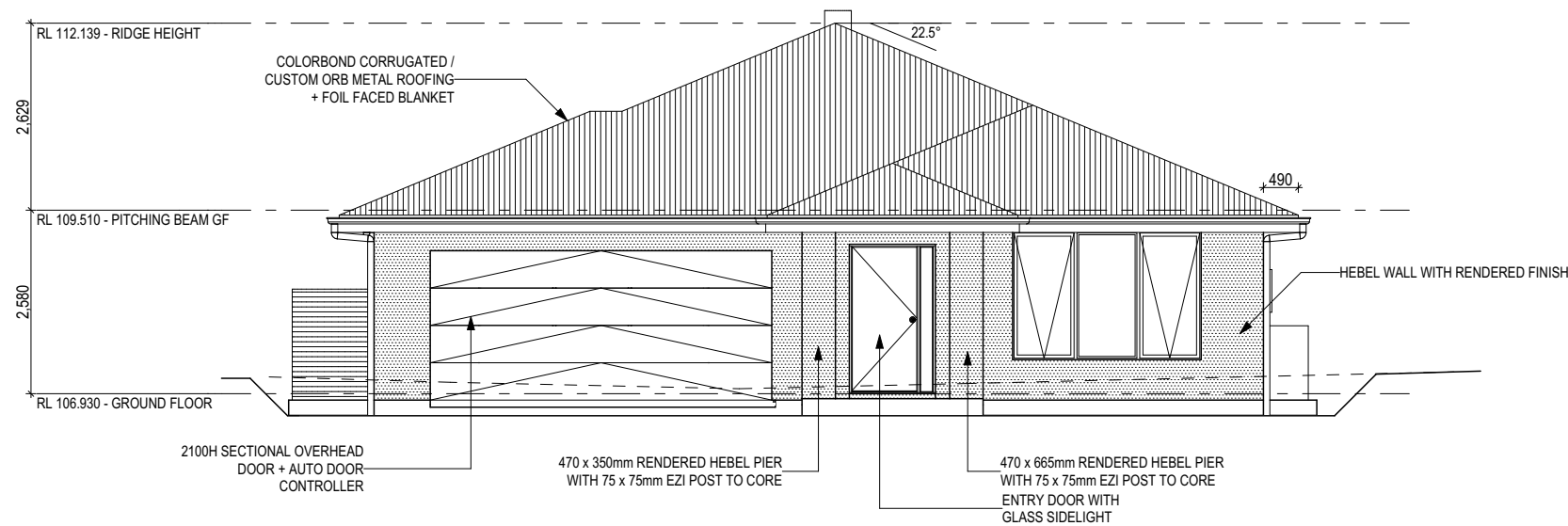


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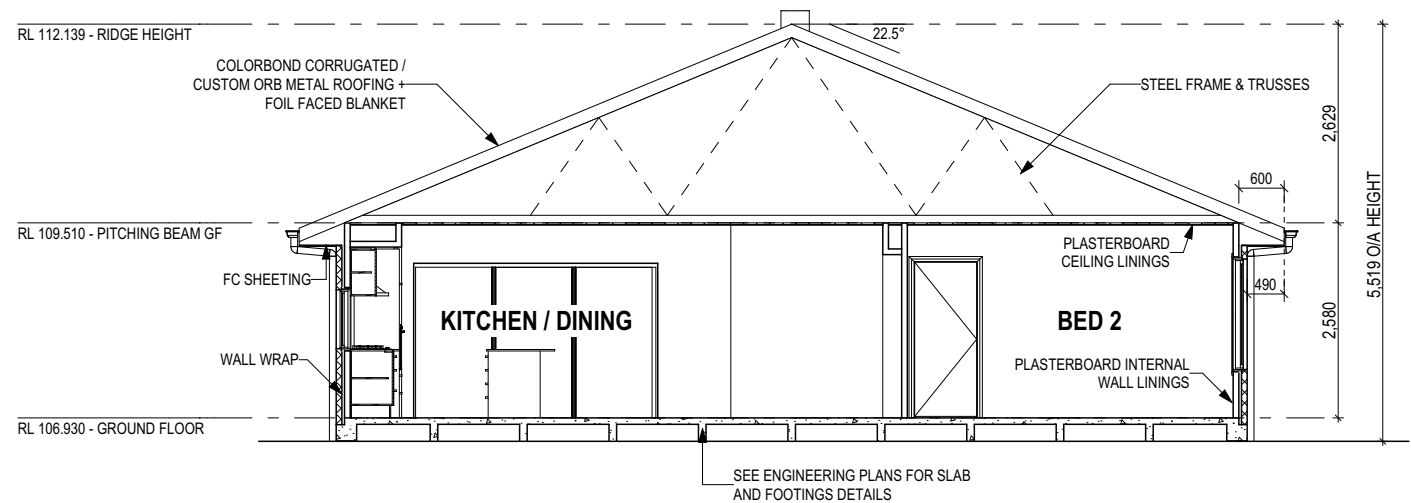
SH = SNAP HEADER SILL



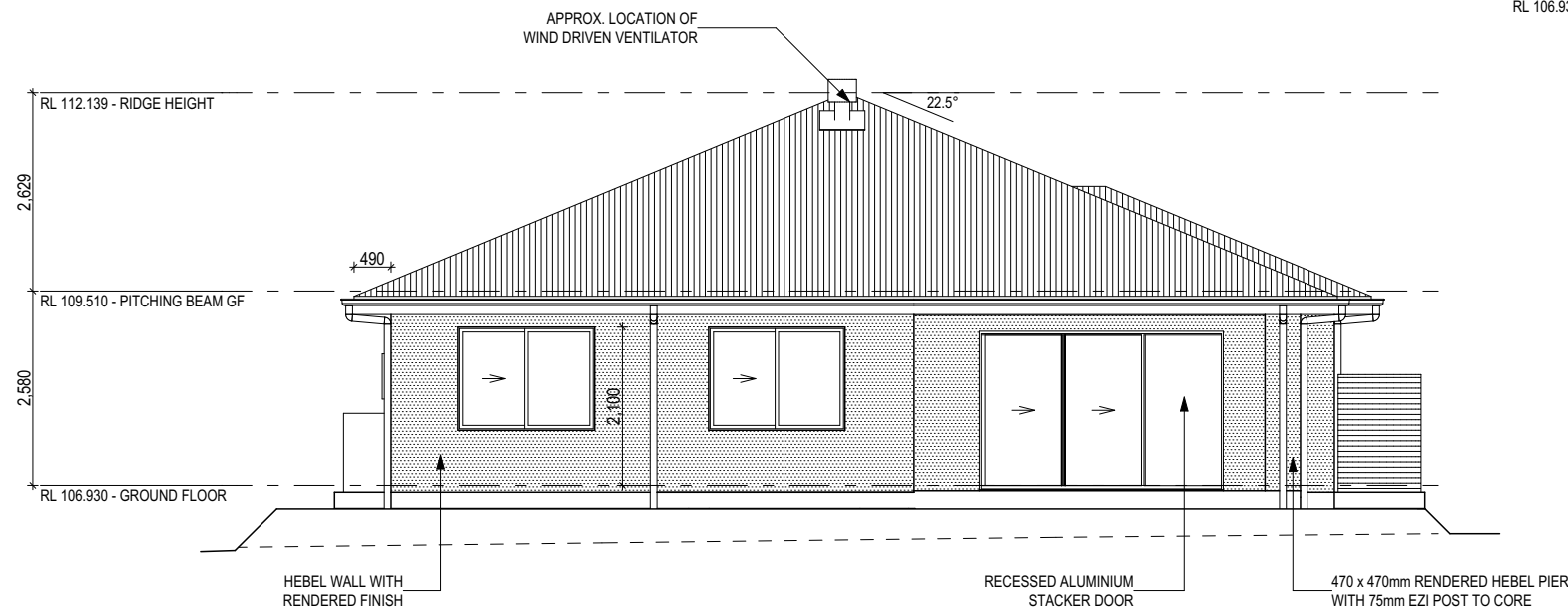
FRONT ELEVATION (NORTH)  
Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:

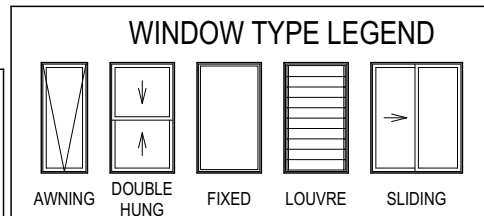
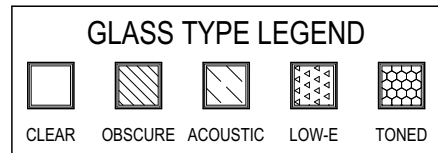
- R2.5 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)
- R2.5 BATTS TO GARAGE INTERNAL WALLS
- WALL WRAP TO ENTIRE HOUSE
- R4.1 CEILING BATTS (EXCLUDING OUTDOOR LIVING , PORCH & GARAGE )
- FOIL FACED BLANKET UNDER ROOFING



SECTION A-A  
Scale: 1:100



REAR ELEVATION (SOUTH)  
Scale: 1:100



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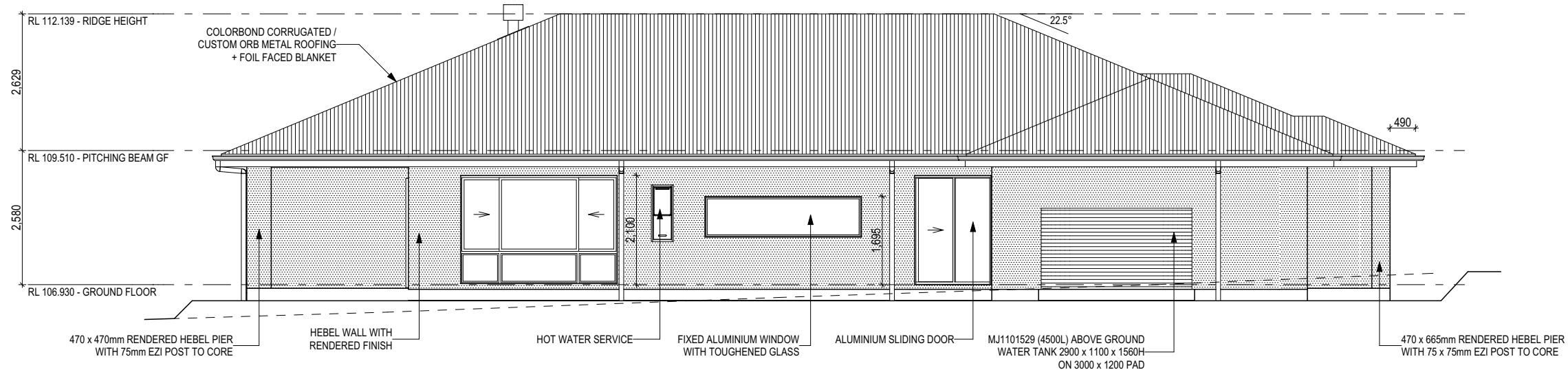
MOJO  
homes

SPECIFICATION: MOJO MORE	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2021	1 DRAFT SALES PLAN	TNG 2021.05.07	MR. NIGEL BUBALO	RHAPSODY 28		
	2 CT SKETCH	RPA 2021.06.18	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 WORKING DRAWINGS	QLE 2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101	MODERN	F-JMMRPY00MODNA	
	4 WORKING DRAWING CHECK	GBO 2021.10.26	LOT / SECTION / DP:	SHEET TITLE:	SCALES:	
			12 / - / 25143	ELEVATIONS / SECTION	8 / 17	
			COUNCIL:		1:100	
			NORTHERN BEACHES COUNCIL			651945

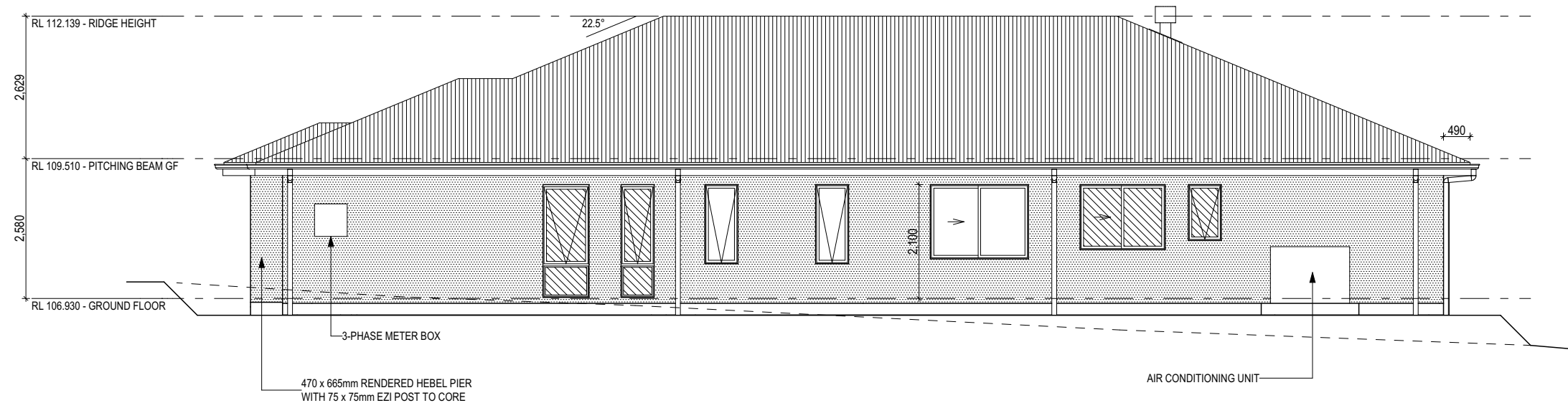
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL



LEFT ELEVATION (WEST)  
Scale: 1:100



RIGHT ELEVATION (EAST)  
Scale: 1:100

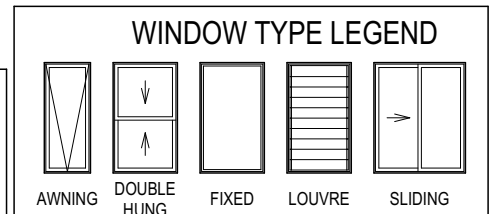
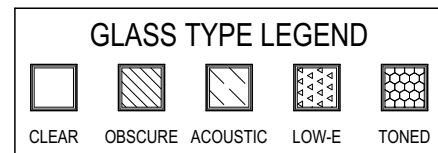


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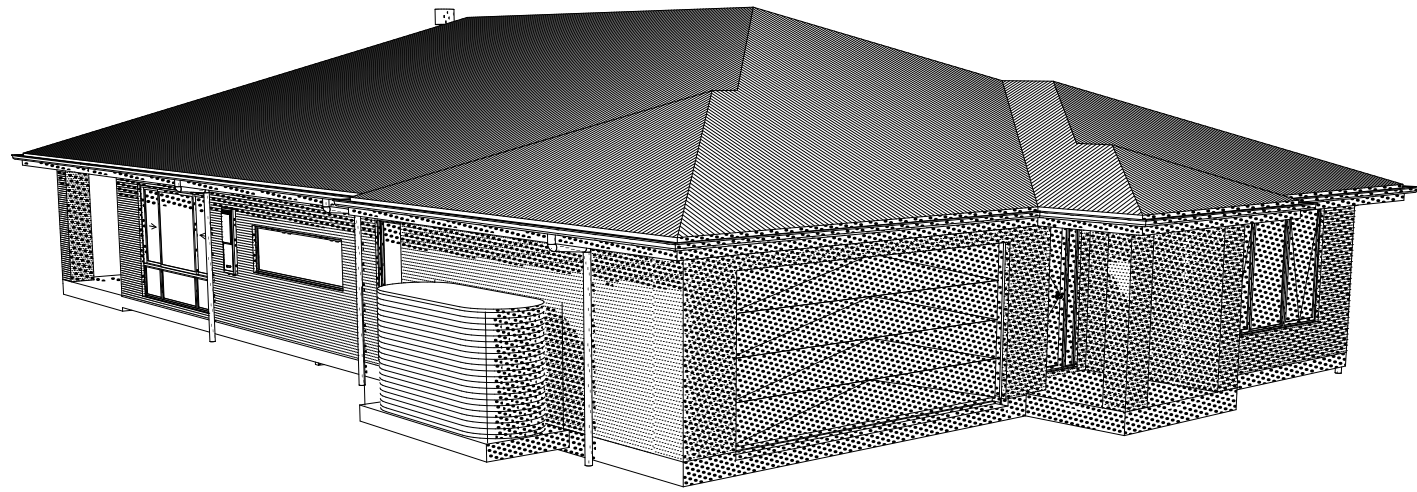


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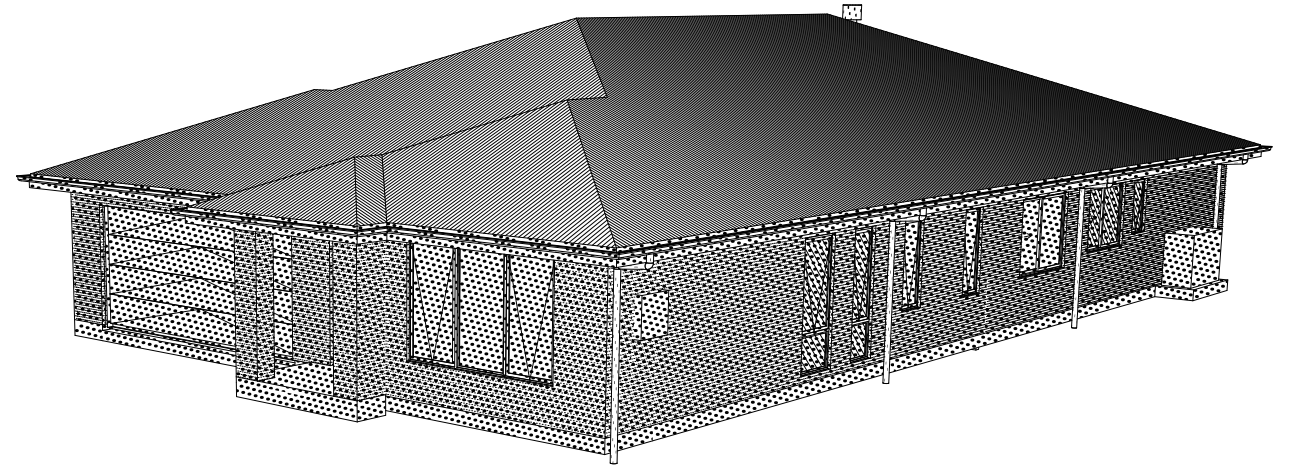
<div>MOJO homes</div>	SPECIFICATION:		REVISION		DRAWN		CLIENT:			HOUSE DESIGN:			HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. <div>651945</div>
	MOJO MORE		1	DRAFT SALES PLAN	TNG	2021.05.07	MR. NIGEL BUBALO			RHAPSODY 28					
	COPYRIGHT:		2	CT SKETCH	RPA	2021.06.18	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
	© 2021		3	WORKING DRAWINGS	QLE	2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101			MODERN			F-JMMRPY00MODNA		
			4	WORKING DRAWING CHECK	GBO	2021.10.26	LOT / SECTION / DP:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	
							12 / - / 25143		NORTHERN BEACHES COUNCIL		ELEVATIONS		9 / 17	1:100	

template Version: 24.001

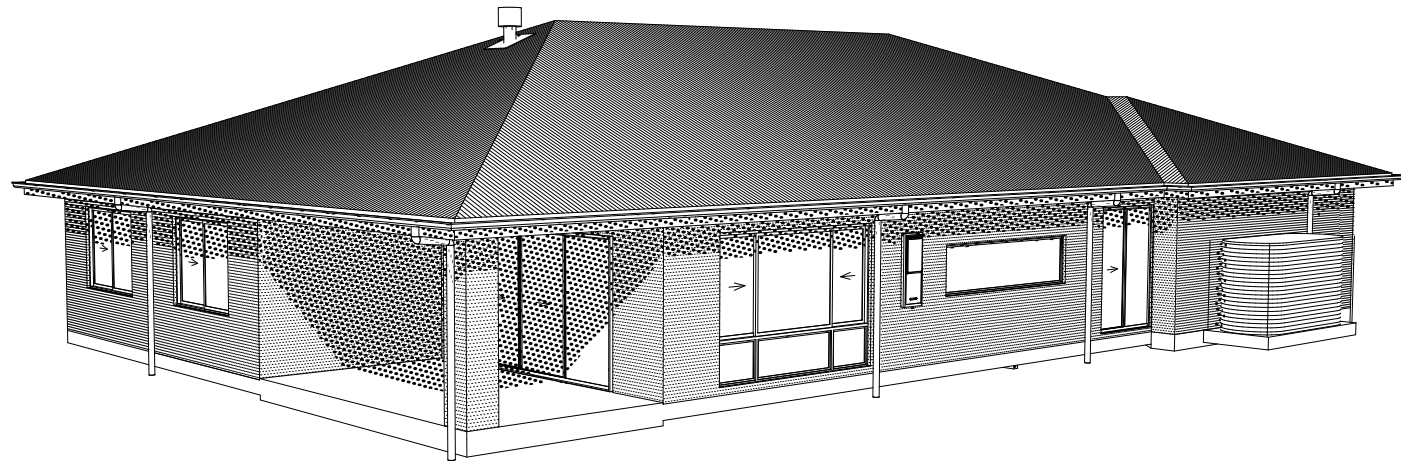




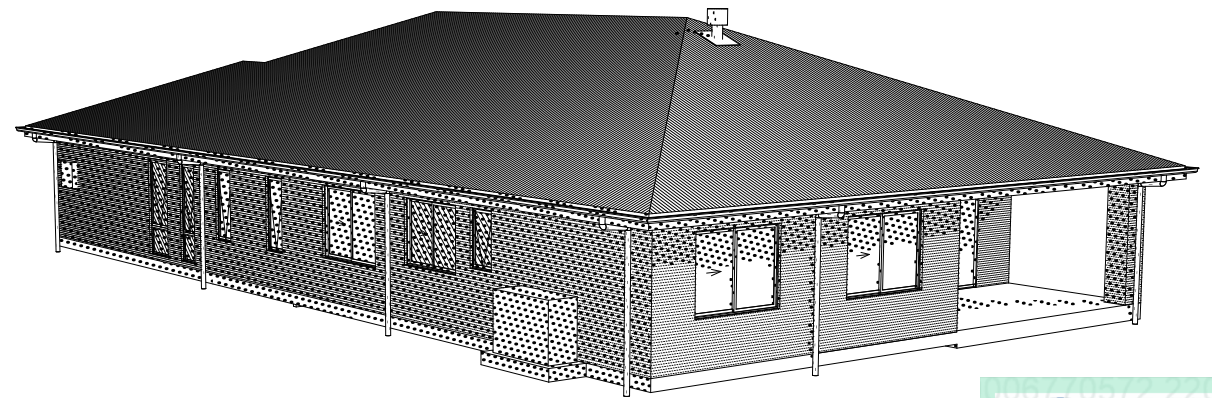
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

31.7  
M<sup>2</sup>  
www.nathans.gov.au

**0006770572 09 Nov 2021**

Assessor Hayley Smith  
Accreditation No. DMV18/1861  
Address  
220 Powderworks Road ,  
Ingleside , NSW , 2101

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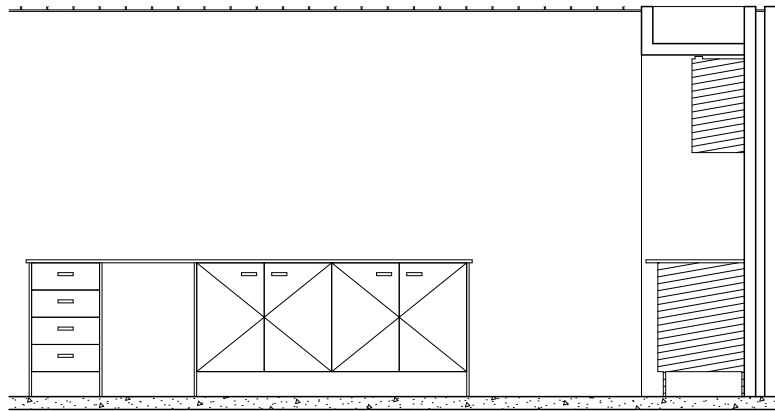
MOJO

homes

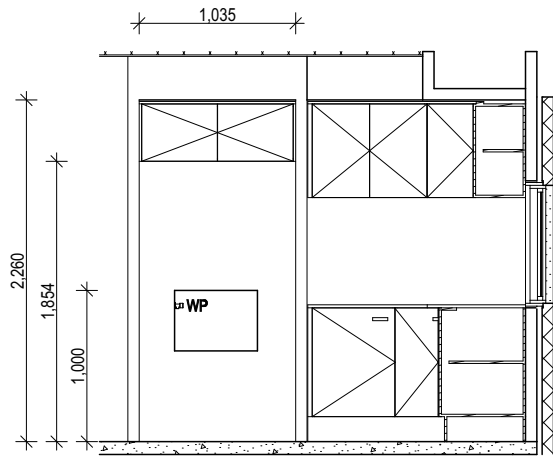
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MOJO MORE	1	DRAFT SALES PLAN	TNG 2021.05.07	MR. NIGEL BUBALO		RHAPSODY 28			
COPYRIGHT:	2	CT SKETCH	RPA 2021.06.18	ADDRESS:		FACADE DESIGN:		FACADE CODE:	
© 2021	3	WORKING DRAWINGS	QLE 2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101		MODERN		F-JMMRPY00MODNA	
	4	WORKING DRAWING CHECK	GBO 2021.10.26	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
				12 / - / 25143	NORTHERN BEACHES COUNCIL	HOUSE EXTERIOR 3D VIEWS	10 / 17		651945

Template Version: 24.001

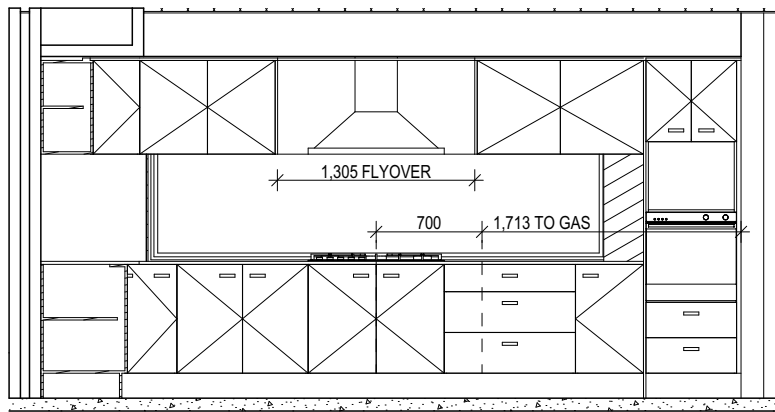




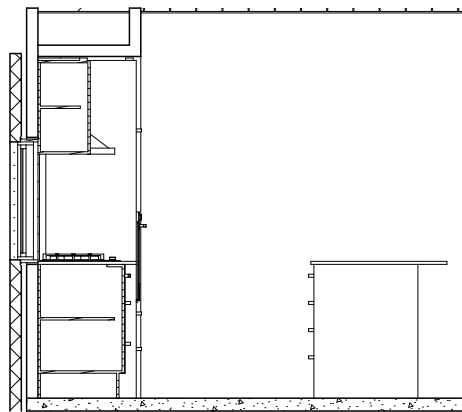
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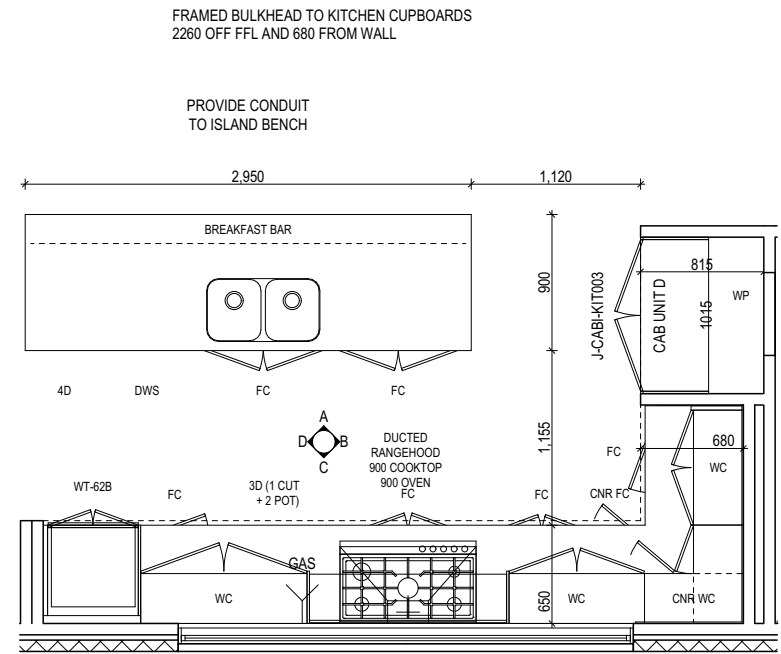
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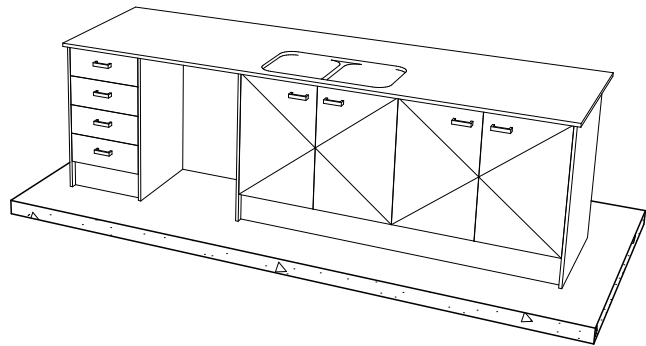
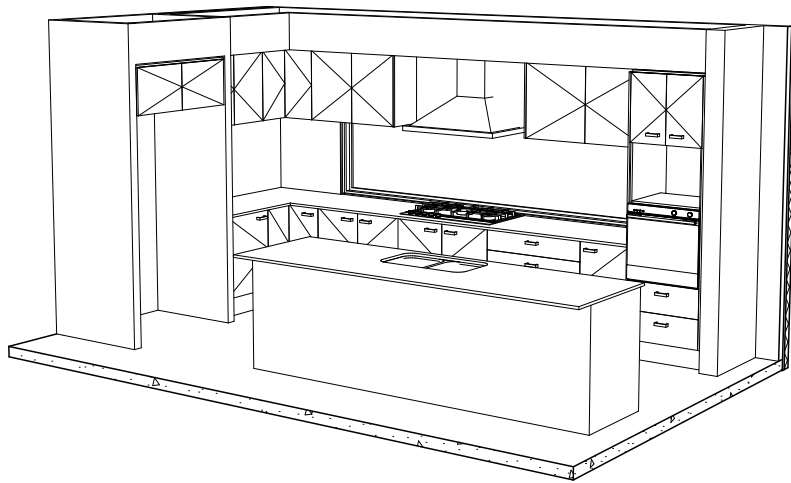
ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



KITCHEN PLAN  
Scale: 1:50



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MOJO

homes

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REVISION

1

DRAFT SALES PLAN

TNG

2021.05.07

2

CT SKETCH

RPA

2021.06.18

3

WORKING DRAWINGS

QLE

2021.08.30

4

WORKING DRAWING CHECK

GBO

2021.10.26

DRAWN

TNG

2021.05.07

RPA

2021.06.18

QLE

2021.08.30

GBO

2021.10.26

CLIENT:

MR. NIGEL BUBALO

ADDRESS:

220 POWDERWORKS ROAD , INGLESIDE NSW 2101

LOT / SECTION / DP:

12 / - / 25143

COUNCIL:

NORTHERN BEACHES COUNCIL

HOUSE DESIGN:

RHAPSODY 28

FACADE DESIGN:

MODERN

SHEET TITLE:

KITCHEN DETAILS

SHEET No.:

11 / 17

HOUSE CODE:

FACADE CODE:

F-JMMRPY00MODNA

SCALES:

1:50

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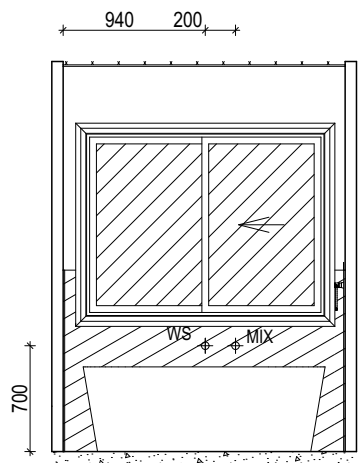
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template Version: 24.001

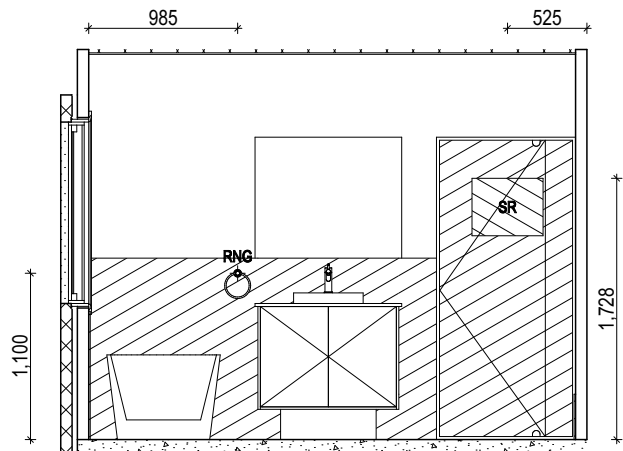
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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

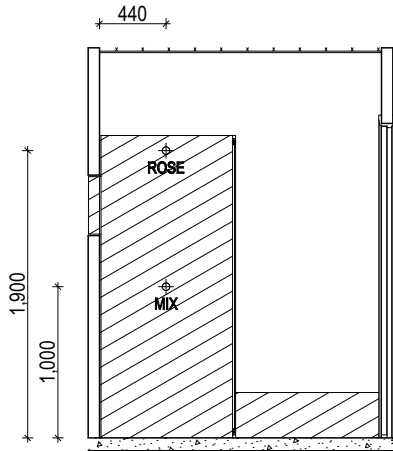
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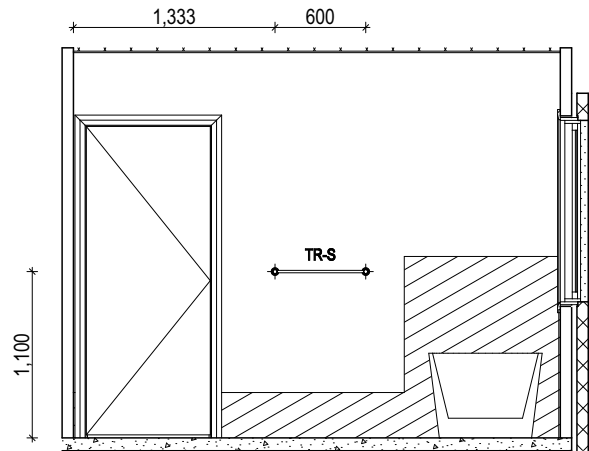
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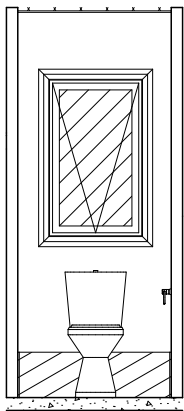
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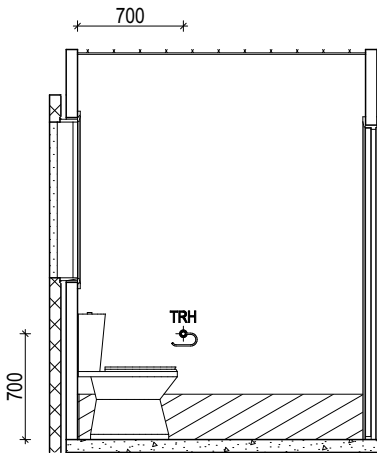
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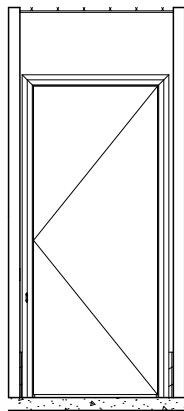
ELEVATION D  
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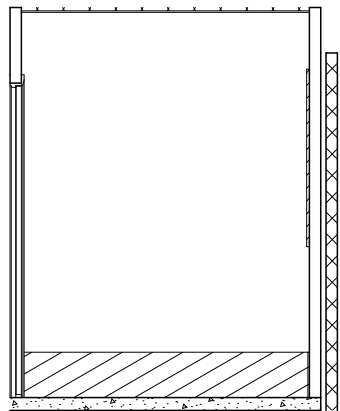
ELEVATION E  
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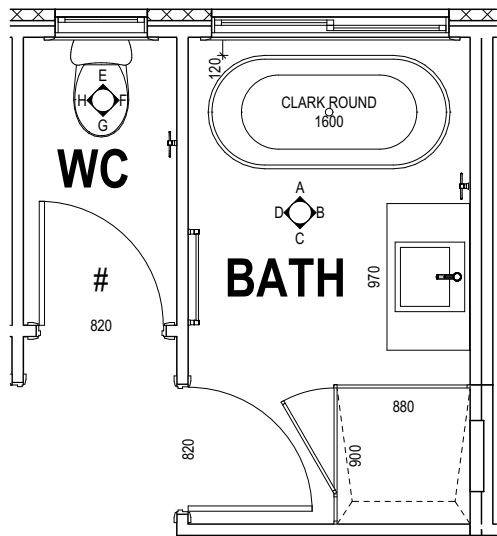
ELEVATION F  
Scale: 1:50



ELEVATION G  
Scale: 1:50



ELEVATION H  
Scale: 1:50



BATHROOM / WC PLANS  
Scale: 1:50

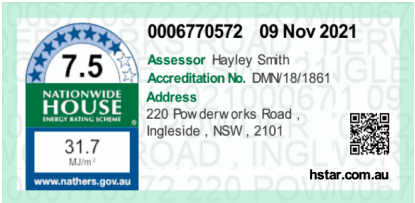
LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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SPECIFICATION: <b>MOJO MORE</b>  COPYRIGHT: © 2021	REVISION		DRAWN		CLIENT: <b>MR. NIGEL BUBALO</b>  ADDRESS: <b>220 POWDERWORKS ROAD , INGLESIDE NSW 2101</b>  LOT / SECTION / DP: <b>12 / - / 25143</b>  COUNCIL: <b>NORTHERN BEACHES COUNCIL</b>	HOUSE DESIGN: <b>RHAPSODY 28</b>  FACADE DESIGN: <b>MODERN</b>  SHEET TITLE: <b>BATHROOM / WC DETAILS</b>	HOUSE CODE:   FACADE CODE: <b>F-JMMRPY00MODNA</b>  SHEET No.: <b>12 / 17</b>  SCALES: <b>1:50</b>	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  <b>651945</b>
	1	DRAFT SALES PLAN	TNG	2021.05.07				
	2	CT SKETCH	RPA	2021.06.18				
	3	WORKING DRAWINGS	QLE	2021.08.30				
	4	WORKING DRAWING CHECK	GBO	2021.10.26				

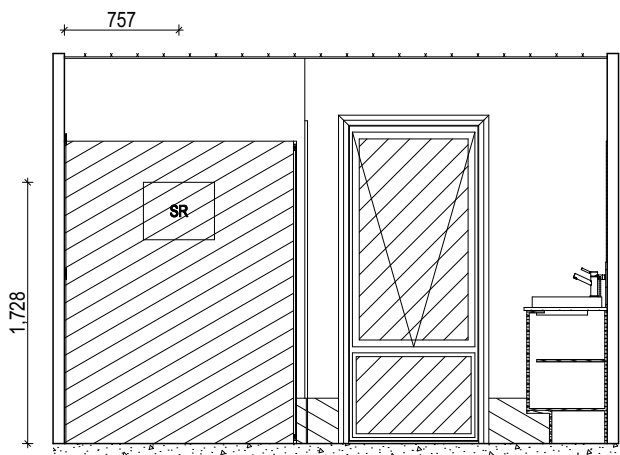
MOJO  
homes



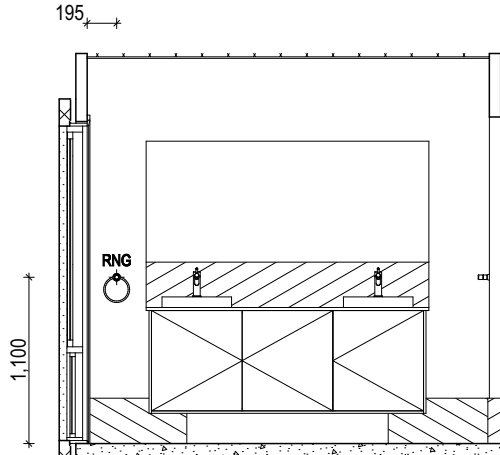
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

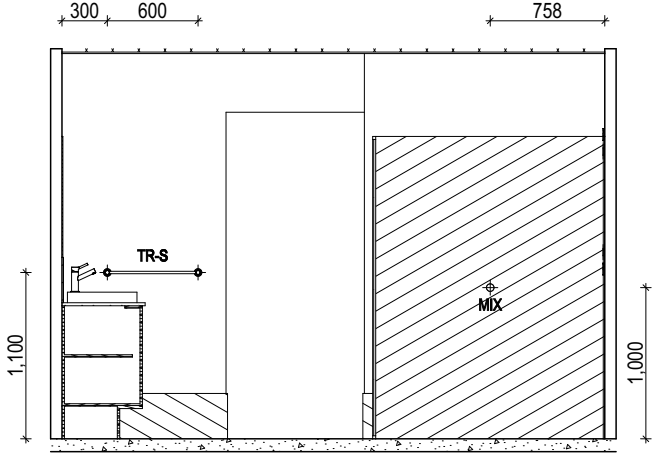
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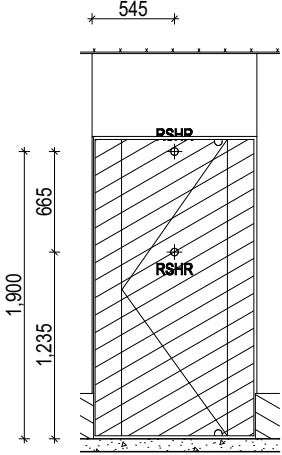
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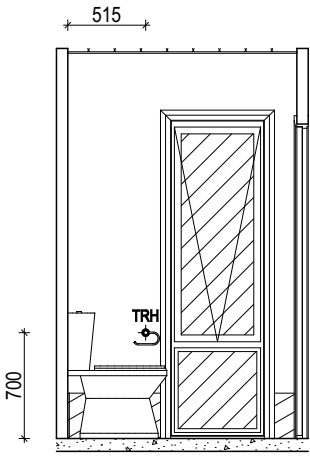
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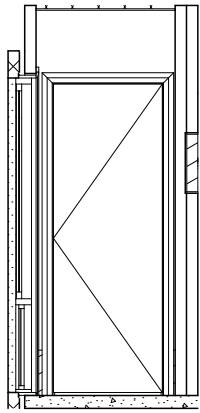
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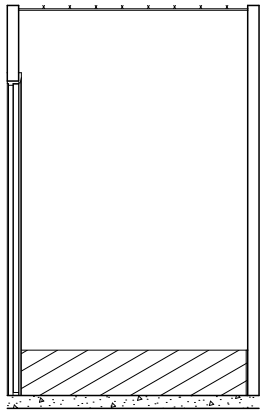
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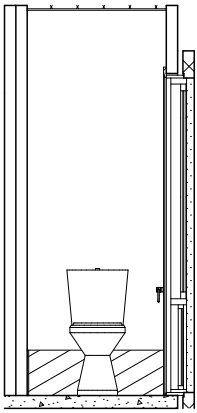
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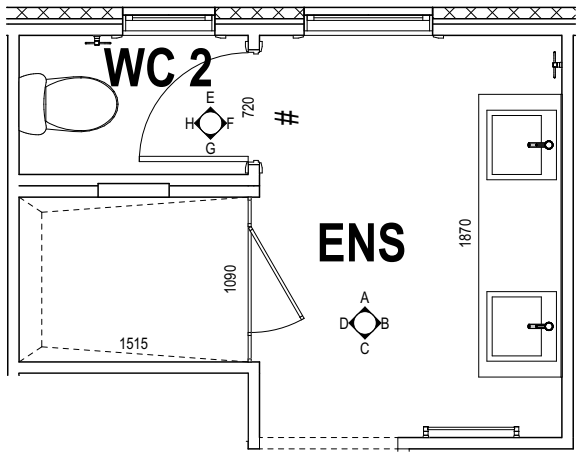
ELEVATION F  
Scale: 1:50



ELEVATION G  
Scale: 1:50



ELEVATION H  
Scale: 1:50



ENSUITE / WC2 PLANS  
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

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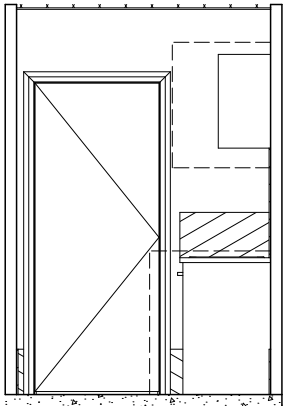
SPECIFICATION: MOJO MORE COPYRIGHT: © 2021	REVISION		DRAWN		CLIENT: MR. NIGEL BUBALO ADDRESS: 220 POWDERWORKS ROAD , INGLESIDE NSW 2101 LOT / SECTION / DP: 12 / - / 25143 COUNCIL: NORTHERN BEACHES COUNCIL	HOUSE DESIGN: RHAPSODY 28 FACADE DESIGN: MODERN SHEET TITLE: ENSUITE / WC2 DETAILS	HOUSE CODE: FACADE CODE: F-JMMRPY00MODNA SHEET No.: 13 / 17 SCALES: 1:50	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 651945
	1	DRAFT SALES PLAN	TNG	2021.05.07				
	2	CT SKETCH	RPA	2021.06.18				
	3	WORKING DRAWINGS	QLE	2021.08.30				
	4	WORKING DRAWING CHECK	GBO	2021.10.26				

MOJO  
homes

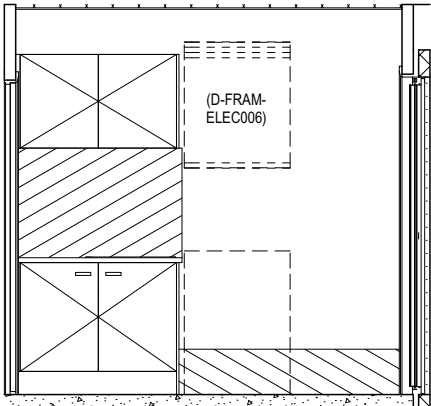
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

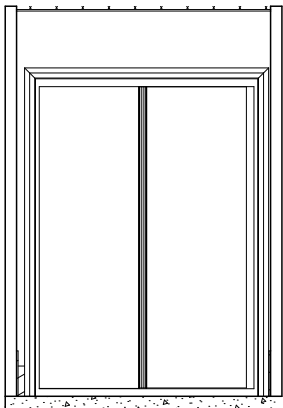
SH = SNAP HEADER SILL



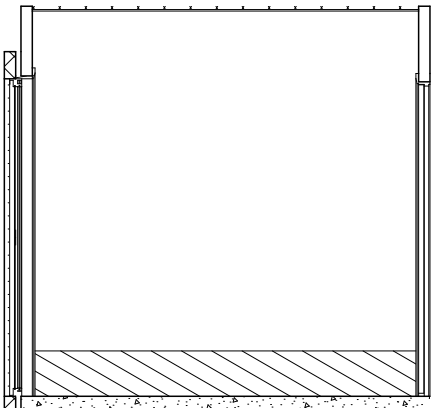
ELEVATION A  
Scale: 1:50



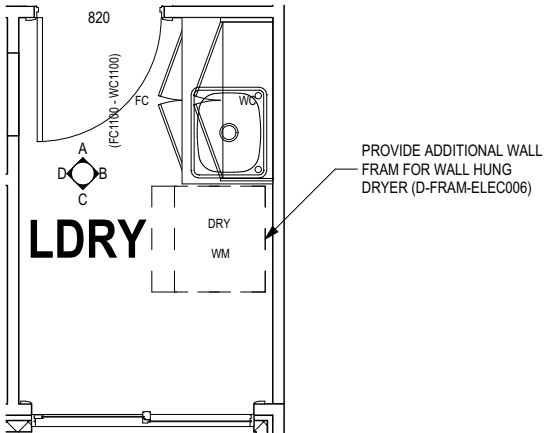
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



LAUNDRY PLAN  
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



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MOJO  
homes

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COPYRIGHT: © 2021	1	DRAFT SALES PLAN	TNG 2021.05.07	MR. NIGEL BUBALO	RHAPSODY 28		
	2	CT SKETCH	RPA 2021.06.18	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3	WORKING DRAWINGS	QLE 2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101	MODERN	F-JMMRPY00MODNA	
	4	WORKING DRAWING CHECK	GBO 2021.10.26	LOT / SECTION / DP:	SHEET TITLE:	SCALES:	
				12 / - / 25143	LAUNDRY DETAILS	14 / 17	651945
				COUNCIL:		1:50	
				NORTHERN BEACHES COUNCIL			

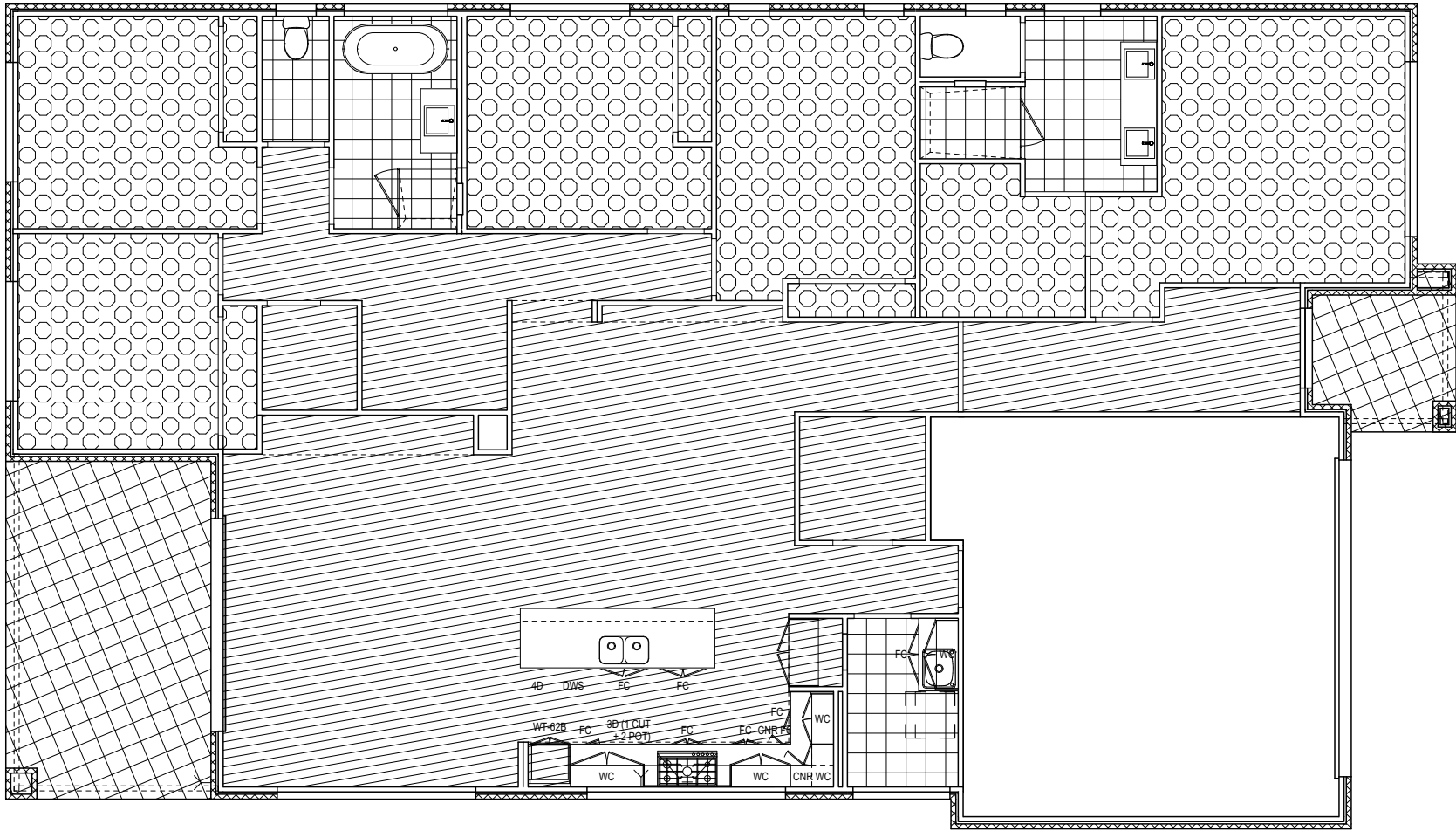
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- TIMBER/LAMINATE (BY BUILDER)
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- VINYL



FLOOR COVERINGS  
Scale: 1:100



THIS PLAN ACCEPTED BY:

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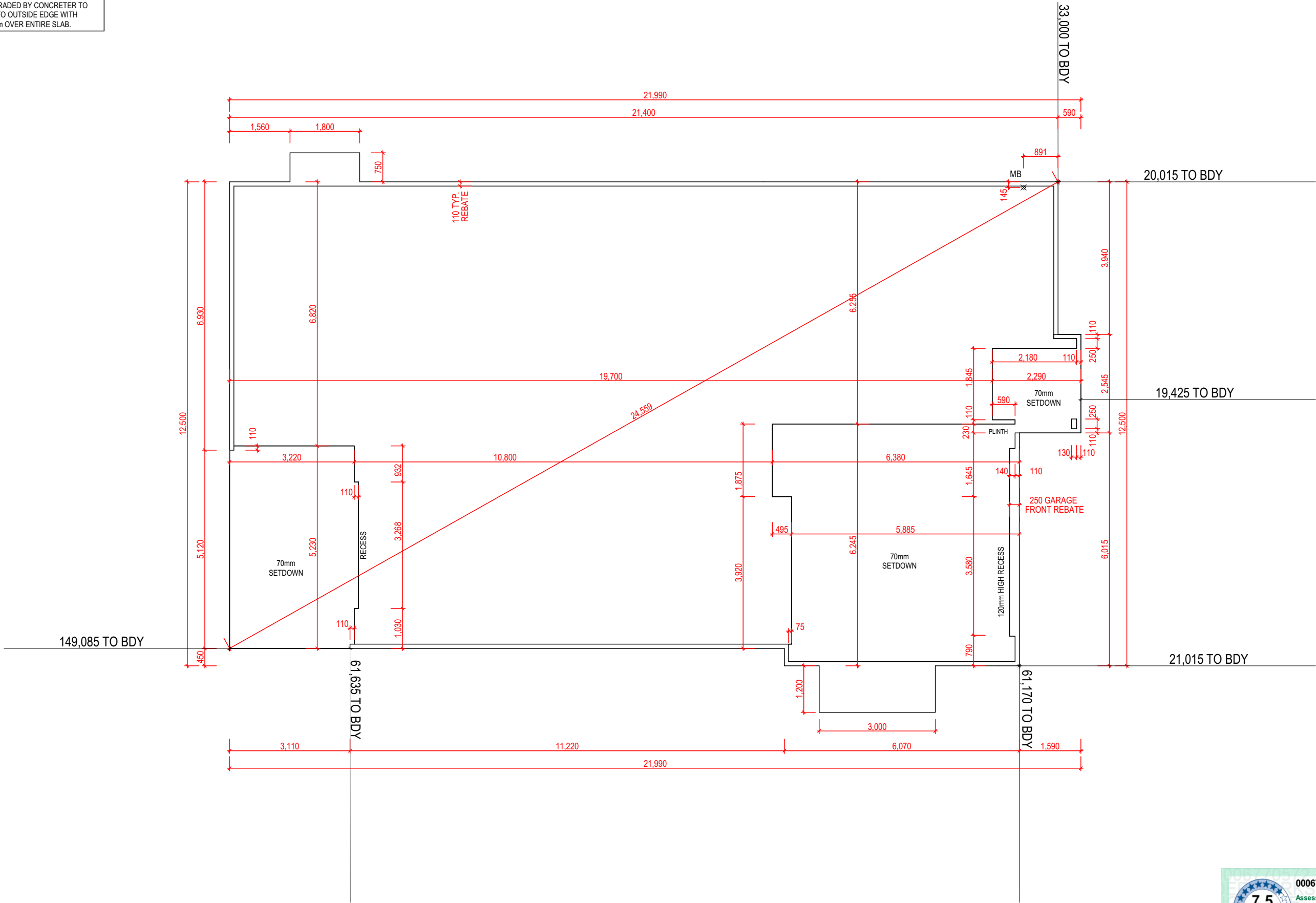
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MOJO MORE	1	DRAFT SALES PLAN		TNG 2021.05.07		MR. NIGEL BUBALO		RHAPSODY 28						
COPYRIGHT:	2	CT SKETCH		RPA 2021.06.18		ADDRESS:		FACADE DESIGN:		FACADE CODE:				
© 2021	3	WORKING DRAWINGS		QLE 2021.08.30		220 POWDERWORKS ROAD , INGLESIDE NSW 2101		MODERN		F-JMMRPY00MODNA				
	4	WORKING DRAWING CHECK		GBO 2021.10.26		LOT / SECTION / DP:		COUNCIL:		SHEET TITLE:		SHEET No.: 15 / 17	SCALES: 1:100	651945
						12 / - / 25143		NORTHERN BEACHES COUNCIL		FLOOR COVERINGS				

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



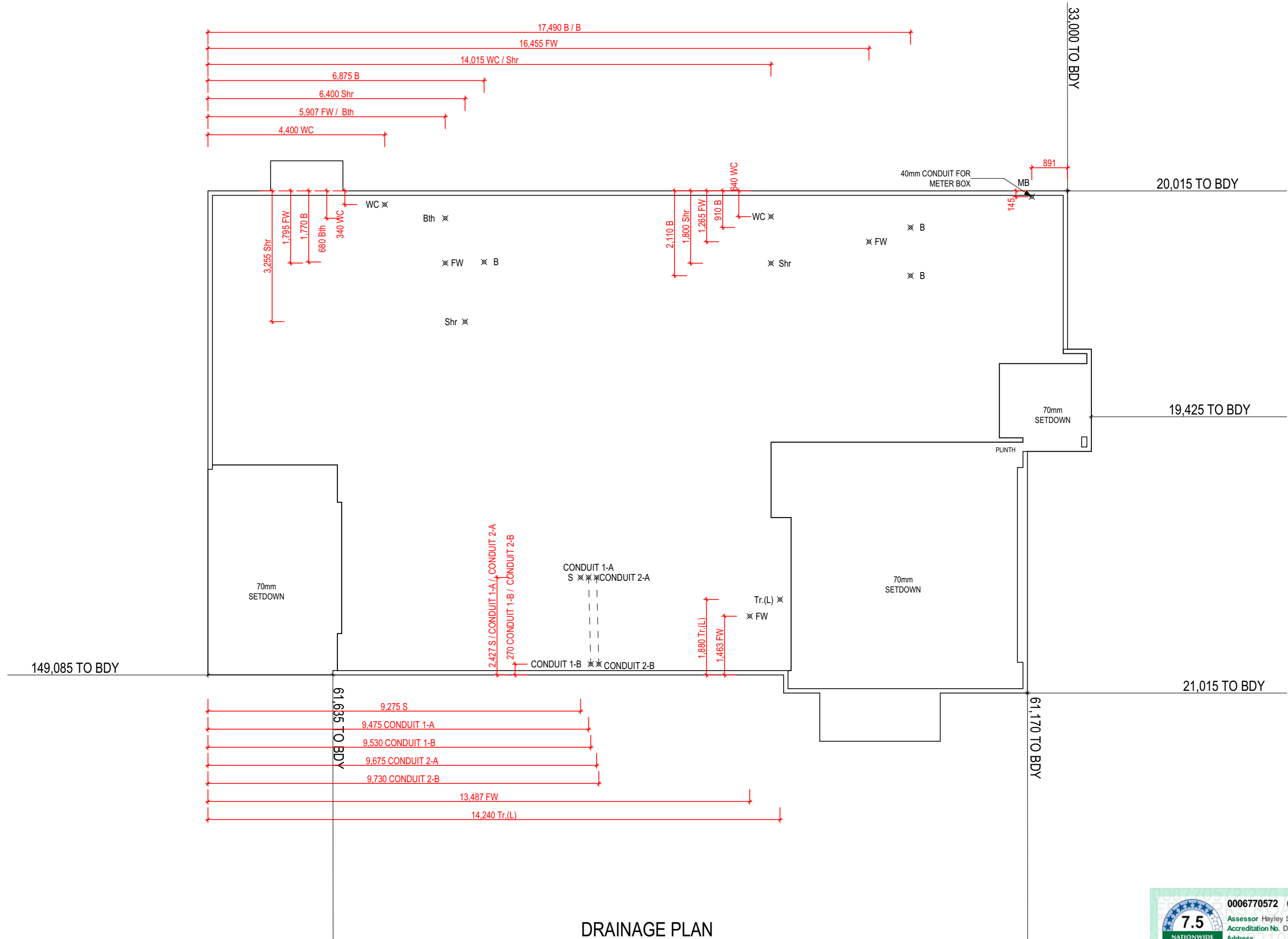
SLAB PLAN  
Scale: 1:100

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<div>MOJO</div> <div>homes</div>	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	COPYRIGHT:		2	CT SKETCH	RPA	2021.06.18	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2021		3	WORKING DRAWINGS	QLE	2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101		MODERN		F-JMMRPY00MODNA		
			4	WORKING DRAWING CHECK	GBO	2021.10.26	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
							12 / - / 25143	NORTHERN BEACHES COUNCIL	SLAB PLAN	1 / 1	1:100	651945	

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



DRAINAGE PLAN  
Scale: 1:100

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LEGEND	
B	BASIN
Bth	BATH WASTE
FW	FLOOR WASTE GULLY
Shr	SHOWER
S	SINK (KITCHEN)
Tr.(L)	TROUGH (LAUNDRY)
WC	WATER CLOSET

SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
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© 2021		3	WORKING DRAWINGS	QLE	2021.08.30	220 POWDERWORKS ROAD , INGLESIDE NSW 2101		MODERN		F-JMMRPY00MODNA				
		4	WORKING DRAWING CHECK	GBO	2021.10.26	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:				
						12 / - / 25143		NORTHERN BEACHES COUNCIL		DRAINAGE PLAN		1 / 1	1:100	651945