

3rd March, 2014

Pittwater Council
P.O. Box 882
Mona Vale NSW 2103

Dear Sir or Madam:

Re: Lodgement of CDC2014/036
Site Address : No. 17 Alexandra Crescent, Bayview.

Please find attached all required documentation relied upon to issue Complying Development Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$36.00 payable to Council.
- Sydney Water Building Plan Approval
- 1 full set of Complying Development Certificate Plans.
- 1 Structural Engineer's Plans.
- 1 copy of Notification Map & Letter.
- Owner Builders Permit
- 1 Basix Certificate
- PCA in receipt of 149(2) Planning Certificate.
- Long Service Levy receipt.
- Geotechnical Engineers report & Form 2 Part A & B

Yours faithfully

A handwritten signature in black ink, appearing to read "C Formosa".

Craig Formosa
Form Building Certifiers



836

REC: 358838

8/4/14.

POSTED
2/4/14



COMPLYING DEVELOPMENT CERTIFICATE # 2014-036 Approved 31/03/14

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 85, 85A & 87

Date Application Received	19-02-14	Certificate Lapse Date	5 yrs after approval date		
Council	Pittwater Council	Relevant Planning Instrument	SEPP E & C Dev. 2008		
Certifying Authority	Craig Formosa - BPB0124	Accredited Certifier	Craig Formosa - BPB0124		
Accreditation Body	Building Professionals Board	BCA in force	2013		
APPLICANT DETAILS					
Name	Geoff White		Ph No.	0411 740 500	
Address	17 Alexandra Crescent, Bayview NSW 2104				
OWNER DETAILS					
Name	Geoff White & Juliette Georginis				
Address	17 Alexandra Crescent, Bayview , NSW 2104				
DEVELOPMENT DETAILS					
Subject Land	17 Alexandra Crescent, Bayview	Lot No.	B	DP	33460
Description of Development	Alterations & additions to an existing dwelling		Zone	R2	
Class of Building	1a, 10a	Value of Work	\$200,000.00		
OWNER BUILDER DETAILS					
Name	Geoff White				
Contact Number	0411 740 500	O/B Permit No.	410327P		
APPROVED PLANS & DOCUMENTS					
Plans Prepared By	Greendraw Design & Drafting				
Drawing Numbers	A1.1-1.4, A2.1-2.6, A3.1-3.3		Dated	17-02-14 & 19-02-14	
Engineer Details Prepared By	Thitchener Consulting		Crozier Geotechnical Consultants		
Drawing Numbers	1/2 Issue A	2014-043	Dated	20/01/2014	03/14
Basix Certificate No.	A180790		Dated	17-02-14	
This Certificate is approved subject to the prescribed conditions listed under Clauses: 133, 136A, 136D, 149 & 154B of the Environmental Planning and Assessment Act Regulations 2000. This Certificate is approved subject to the attached conditions as contained in the SEPP Exempt and Complying Development 2008.			Nos.	3.37 – 3.45	
CERTIFICATION					
I, Craig Formosa, as the certifying authority am satisfied that; The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986.					
Signed:			Date: 31/03/14		



Prescribed Conditions of Complying Development under Clause 136 of the Environmental Planning and Assessment Regulation

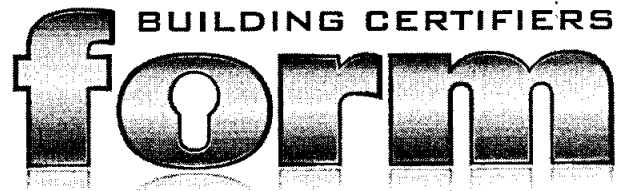
136A Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989

- (1) A complying development certificate for development that involves any building work must be issued subject to the following conditions:
 - (a) that the work must be carried out in accordance with the requirements of the *Building Code of Australia*,
 - (b) In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance must be entered into and be in force before any building work authorised to be carried out by the certificate commences.
- (1A) A complying development certificate for a temporary structure that is used as an entertainment venue must be issued subject to the condition that the temporary structure must comply with Part B1 and NSW Part H102 of Volume One of the *Building Code of Australia* (as in force on the date the application for the relevant complying development certificate is made).
- (2) This clause does not limit any other conditions to which a complying development certificate may be subject, as referred to in section 85A (6) (a) of the Act.
- (3) This clause does not apply:
 - (a) to the extent to which an exemption is in force under clause 187 or 188, subject to the terms of any condition or requirement referred to in clause 187 (6) or 188 (4), or
 - (b) to the erection of a temporary building, other than a temporary structure that is used as an entertainment venue.
- (4) In this clause, a reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant complying development certificate is made.

Note. There are no relevant provisions in the *Building Code of Australia* in respect of temporary structures that are not entertainment venues.

136B Erection of signs

- (1) A complying development certificate for development that involves any building work, subdivision work or demolition work must be issued subject to a condition that the requirements of subclauses (2) and (3) are complied with.
- (2) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.
- (3) Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- (4) This clause does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building, that does not affect the external walls of the building.
- (5) This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws.



- (6) This clause applies to a complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date.

Note. Principal certifying authorities and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100).

136C Notification of Home Building Act 1989 requirements

- (1) A complying development certificate for development that involves any residential building work within the meaning of the *Home Building Act 1989* must be issued subject to a condition that the work is carried out in accordance with the requirements of this clause.
- (2) Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information:
 - (a) in the case of work for which a principal contractor is required to be appointed:
 - (i) the name and licence number of the principal contractor, and
 - (ii) the name of the insurer by which the work is insured under Part 6 of that Act,
 - (b) in the case of work to be done by an owner-builder:
 - (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- (3) If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the updated information.
- (4) This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws.

136D Fulfilment of BASIX commitments

- (1) This clause applies to the following development:
 - (a) BASIX affected development,
 - (b) any BASIX optional development in relation to which a person has made an application for a complying development certificate that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 4A of Schedule 1 for it to be so accompanied).
- (2) A complying development certificate for development to which this clause applies must be issued subject to a condition that the commitments listed in each relevant BASIX certificate for the development must be fulfilled.

136E Development involving bonded asbestos material and friable asbestos material

- (1) A complying development certificate for development that involves building work or demolition work must be issued subject to the following conditions:
 - (a) work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 318 of the *Occupational Health and Safety Regulation 2001*,
 - (b) the person having the benefit of the complying development certificate must provide the principal certifying authority with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
 - (c) any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered.



- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must:
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.

3.39 Garbage receptacle

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

3.39A Notification to neighbours

The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out.

3.39B Adjoining wall dilapidation report

- (1) If a wall on a lot is to be built to a boundary and there is a wall (the **adjoining wall**) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall.
- (2) If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall.
- (3) In this clause:
dilapidation report means a report, prepared by a professional engineer, confirming the structural condition of the adjoining wall before the development commences.

Subdivision 2 Conditions applying during the works

Note. The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise.

3.40 Hours for construction

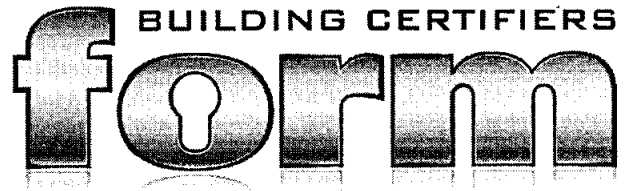
Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday.

3.41 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

3.42 Sedimentation and erosion controls

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped.



- (2) This clause applies only to a complying development certificate issued after the commencement of this clause.
- (3) In this clause, ***bonded asbestos material, bonded asbestos removal work, friable asbestos material and friable asbestos removal work*** have the same meanings as in clause 317 of the *Occupational Health and Safety Regulation 2001*.

Note 1. Under clause 317 removal work refers to work in which the bonded asbestos material or friable asbestos material is removed, repaired or disturbed.

Note 2. The effect of subclause (1) (a) is that the development will be a workplace to which the *Occupational Health and Safety Regulation 2001* applies while removal work involving bonded asbestos material or friable asbestos material is being undertaken.

Note 3. Information on the removal and disposal of asbestos to landfill sites licensed to accept this waste is available from the Department of Environment, Climate Change and Water.

Note 4. Demolition undertaken in relation to complying development under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* must be carried out in accordance with Australian Standard AS 2601—2001, *Demolition of structures*.

136H Condition relating to shoring and adequacy of adjoining property

- (1) A complying development certificate for development must be issued subject to a condition that if the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the certificate must at the person's own expense:
 - (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

Division 3 Conditions applying to complying development certificate under this code

Note. Complying development must comply with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Part.

Note. A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan.

Subdivision 1 Conditions applying before works commence

3.37 Protection of adjoining areas

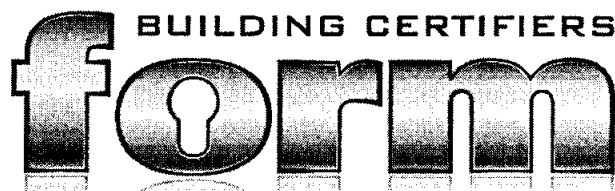
(1) A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

(2), (3) (Repealed)

Note. See the entry in the General Exempt Development Code for scaffolding, hoardings and temporary construction site fences.

3.38 Toilet facilities



3.43 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

Subdivision 3 Construction requirements

3.44 Staging construction

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed.
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out.
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained.

3.45 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.



ADVICE TO NEIGHBOURS – WORKS COMMENCING

This is to notify you that it is intended that work will soon be commenced on a development at a property near to you.

The work has been authorised by a complying development certificate issued under the provisions of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Particulars relating to the work and the complying development certificate are set out below.

1. Development Address

17 Alexandra Crescent, Bayview.

Formal Particulars of Title

Lot:2 DP: 1016440

2. Name of Applicant

Geoff White

3. Description of Development

Alterations & additions to existing dwelling

4. Council Area

Pittwater Council

5. Details of Complying Development Certificate

(a) Issued by* Craig Formosa

(b) Accreditation Number**BPB 0124

(c) Complying Development Certificate No: 2014/036

(d) Date of Certificate... 31/03/14

6. Date on which it is intended to commence work...03/04/14

Note A copy of the complying development certificate, including related plans and specifications, is available for inspection at the Council's principal office, free of charge, during the Council's ordinary office hours.

(Signed).....

Date.....

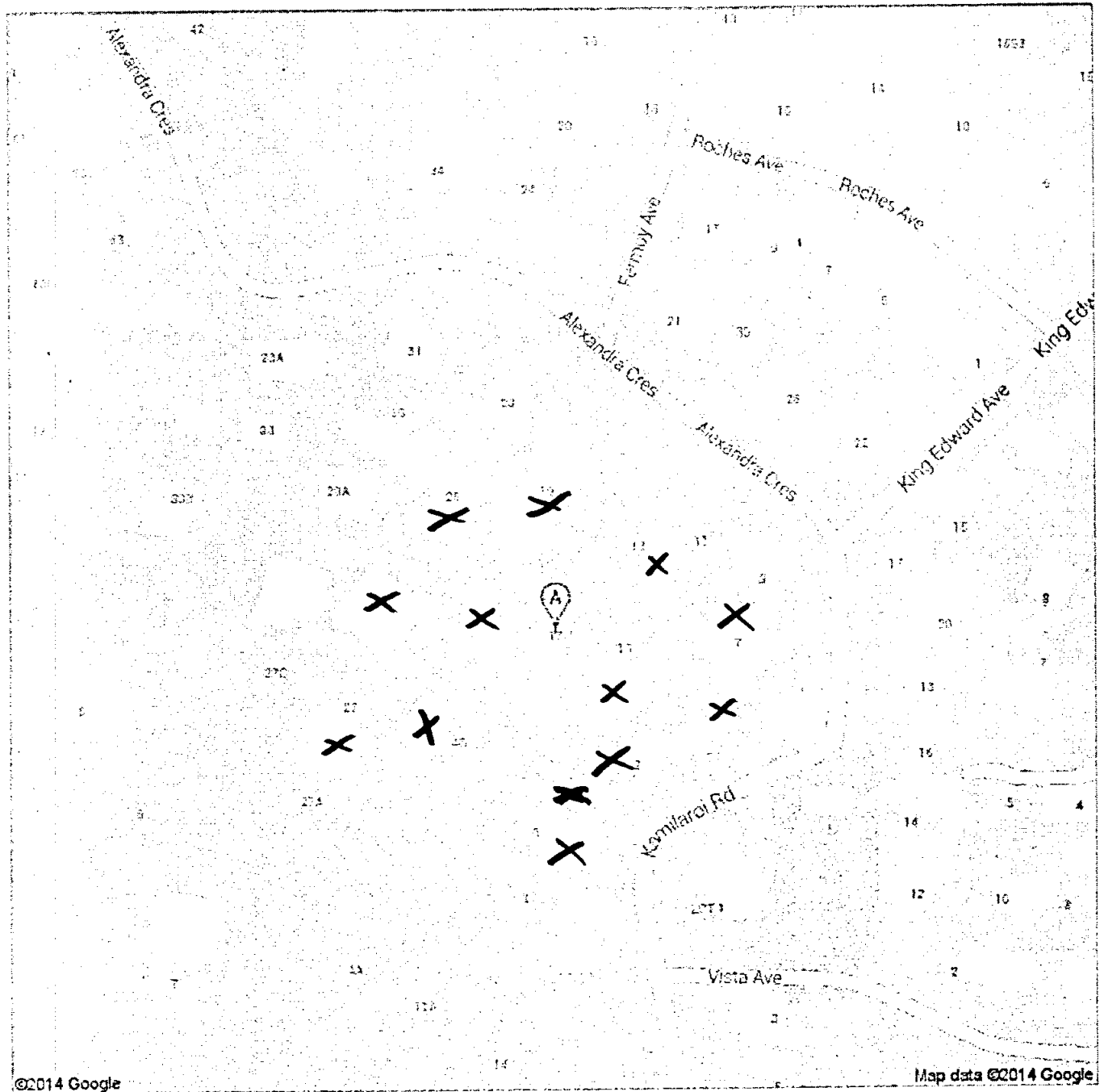
Owner's Signature



Address 17 Alexandra Crescent
Bayview NSW 2104

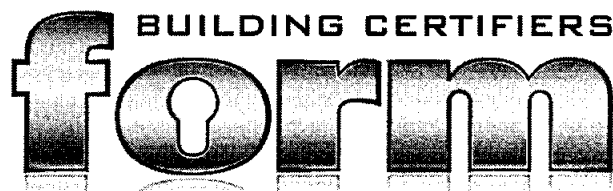
Notification of Neighbours

Please deliver attached notification letters to adjoining properties a minimum of two days prior to works commencing on-site as required by condition no. 3.39A of your CDC conditions. Properties marked X are within 20 metres



email: geoffskyworks@bigpond.com

emailed map + letter 31/3/14



IMPORTANT ADVICE

Due to changes in planning laws, (Sect. S81A (2)C of the Act), **the critical stage inspections are mandatory and must** be inspected by Form Building Certifiers or the final occupancy certificate (Occupation Certificate) may not be able to be issued (causing complications and delays when selling/refinancing etc). **The critical stage inspections are listed on the Notice of Commencement part of this document.**

Also, **NO CHANGES** to the building, as detailed in the plans, can be made without notification to your PCA (**some changes will need a modified CDC issued prior to works commencing on those parts**). Please take note of any changes made in red to your plans, the builder will have to be provided with a copy of the approved Complying Development Certificate plans, specifications and documents so that compliance with the Building Code of Australia and Complying Development conditions is achieved first time.

Unauthorised changes may lead to fines and orders being issued by Council's Compliance Officers and prevent an Occupation Certificate being issued.

To arrange the mandatory inspections please give 48 hours notice by contacting Form Building Certifiers by telephone.

Please do not hesitate to ring me if there are any enquiries in respect of these matters.

Kind regards

A handwritten signature in black ink, appearing to read "Craig Formosa".

Craig Formosa

Director

Form Building Certifiers

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – PART A – To be submitted with detailed design for Construction Certificate

Development Application for _____ White and Georginis _____ (Name of Applicant)
Address of site _____ 17 Alexandra Crescent, Bayview _____

PART A: Declaration made by Structural or Civil Engineer in relation to the Incorporation of the Geotechnical issues into the project design

I, _____ Graeme Thitchener _____ on behalf of _____ Thitchener Consulting _____
(Insert name) (Trading or company name)

on this the _____ 31st March, 2014 _____
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2 million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box


- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
- ☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: Report on Geotechnical Site Investigation and Risk Assessment (Project: 2014-043)
Report Date: 24 th March 2014
Author: James Butcher & Troy Crozier
Author's Company/Organisation: Crozier Geotechnical Consultants

Structural Documents list:
Job No. 20130316-S – Issue B - Drawing No's. 1 & 2 – Dated – 20/01/2014

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature 

Name: Graeme Thitchener

Chartered Professional Status: ... Structural Engineer

Membership No.: 145955

Company: ... Thitchener Consulting



PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO. 2 – PART B – To be submitted with detailed design for Construction Certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, Peter Crozier on behalf of Crozier Geotechnical Consultants
(insert name) (trading or company name)

on this the 02/04/14
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: Report on Geotechnical Site Investigation & Risk Assessment
Report Date: 24th March 2014 # 2014-043
Author: J. Butcher

Documentation which relates to or is relied upon in report preparation:

Structural Design: Thitchener Consulting
Job No. 2013 0316-S
Dated: 20/01/14 Dwg. 1 & 2/2 Issue: A

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

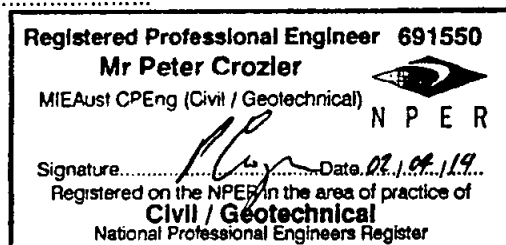
Signature

Name

Chartered Professional Status.....

Membership No.

Company.....



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A180790

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General

Date of issue: Monday, 17, February 2014

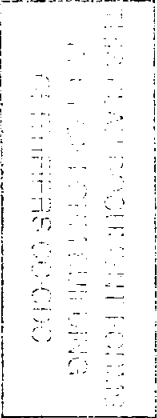
To be valid, this certificate must be lodged within 3 months of the date of issue.



Information to be provided

Project address	
Project name	White-Georginis House
Street address	17 Alexandra Crescent Bayview 2104
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 33460
Lot number	B
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Ian Sercombe Architect	
ABN (if applicable): 68077364866	



Fixtures and systems				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water						
The applicant must install the following hot water system in the development: gas instantaneous.				✓	✓	✓
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.					✓	✓
Fixtures						
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.					✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.					✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.					✓	✓

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.					
Construction	Additional insulation required (R-value)	Other specifications	✓	✓	✓
concrete slab on ground floor.	nil				
suspended floor above garage: framed (R0.7).	nil				
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
internal wall shared with garage: single skin masonry (R0.18)	nil				
flat ceiling, pitched roof	ceiling: R2.25 (up), roof: thermocellular reflective	dark (solar absorptance > 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R2.04 (up), roof: thermocellular reflective	dark (solar absorptance > 0.70)			

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window or door	Orientation	Area of glass inc. frame (m2)		Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type			
GDD1	N	2.01	0	0		eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	✓	✓	✓

Glazing requirements

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
GD02	N	11.36	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD03	S	3.27	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD04	S	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD05	E	3.44	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
GD06	N	11.28	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW01	N	4.05	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW02	N	4.05	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW03	E	6.44	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
GW04	S	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW05	S	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW06	S	0.81	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW07	S	0.68	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW08	S	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
GW09	W	1.08	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
GW10	W	2.7	0	0	awning (fixed) >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
GW11	W	1.69	6.19	11.53	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
GW12	E	1.08	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
GW13	E	1.08	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
GW14	E	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
GW15	E	0.7	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
GW16	E	1.79	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
GW17	E	1.82	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
GW18	S	1.62	0	0	projection/height above sill ratio >=0.29	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
GW19	W	0.81	3.17	12.23	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
GW20	E	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
Skylights								

Glazing requirements

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.66	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)	✓	✓	✓

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



Fair
Trading

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Geoffrey White
24 Quarter Sessions Rd
CHURCH POINT NSW 2105

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit : 410327P
Receipt: 10000055538-01

Issued : 31/03/2014
Amount: \$163.00

BUILDING SITE

17 Alexandra Cres, BAYVIEW, NSW 2104 AUSTRALIA

AUTHORISED BUILDING WORK

Extend bedrooms, construct double garage and deck.

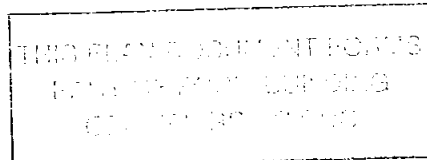
Authority No : DC-2014-036
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$20,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00

Rod Stowe
Commissioner for Fair Trading



Issuing officer

***** END OF PERMIT *****



Levy Online Payment Receipt

Building and Construction

GEOFFREY WHITE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 496 805

Application Details:

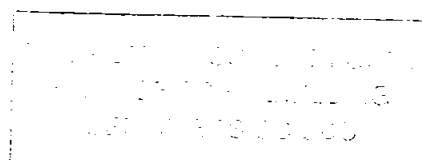
Applicant Name:	GEOFFREY WHITE
Levy Number:	5060010
Application Type:	CDC
Application Number:	CDC2014-038
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	17 ALEXANDRA CRESCENT BAYVIEW NSW 2104
Value of work:	\$200,000
Levy Due:	\$700.00

Payment Details:

LSC Receipt Number:	158470
Payment Date:	17/02/2014 5:21:44 PM
Bank Payment Reference:	738273508
Levy Paid:	\$700.00
Credit card surcharge:	\$2.80
Total Payment Received:	\$702.80



SYDNEY WATER APPROVED

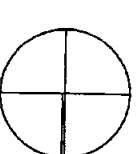
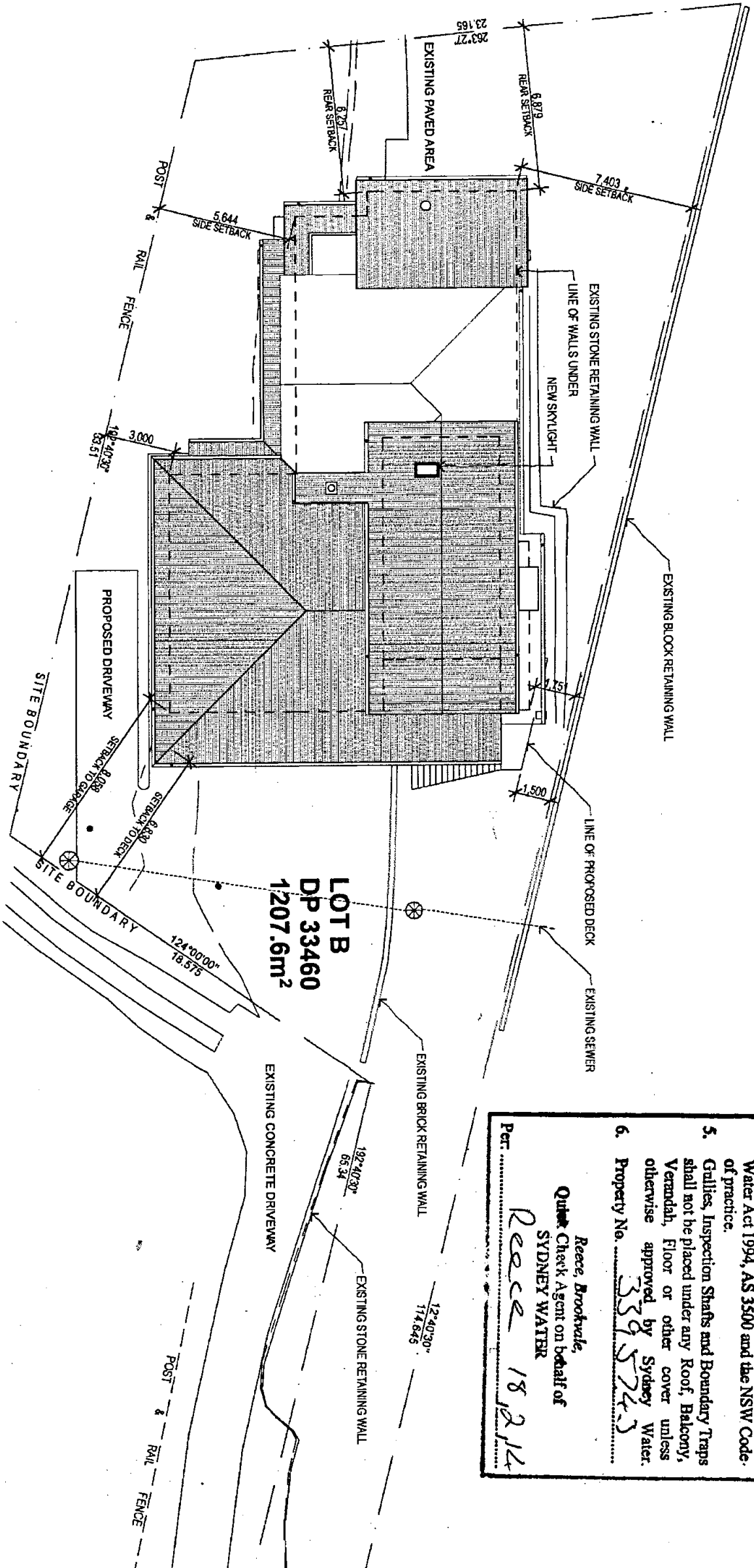
1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drafter.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 339 57243

Reece, Brookvale,
Quite Check Agent on behalf of
SYDNEY WATER

Per. Reece 18.2.14

NOTES
This drawing shall be read in conjunction with all other drawings and specifications in the project to the architect for any dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
Building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

CAD Ref: 1348WWhite-CDA.pln DRAWN BY: BR
LEGEND



0 1 2 5m
GREENDRAW-DESIGN+DRAFTING
PO BOX 137 PACIFIC PALMS NSW 2428
02 6554 0555 • 0425 233331

Ben Sorenson Architect Pty. Ltd. 405 7095 444-88 077 3541408
PROJECT

WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT: B DP: 33460

CDC2014-038

ALTS & ADS
COMPLYING DEVELOPMENT CONSENT
CLIENT
GEOFF WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW
DRAWING TITLE

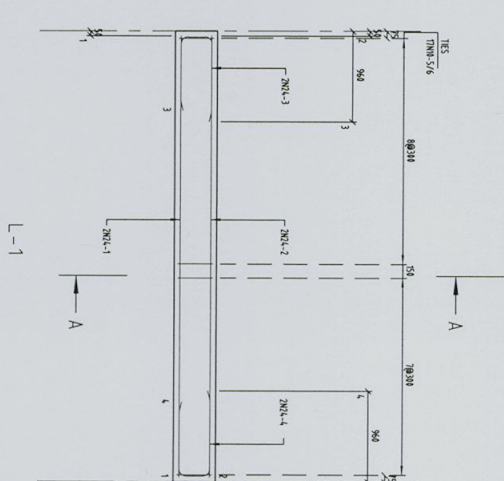
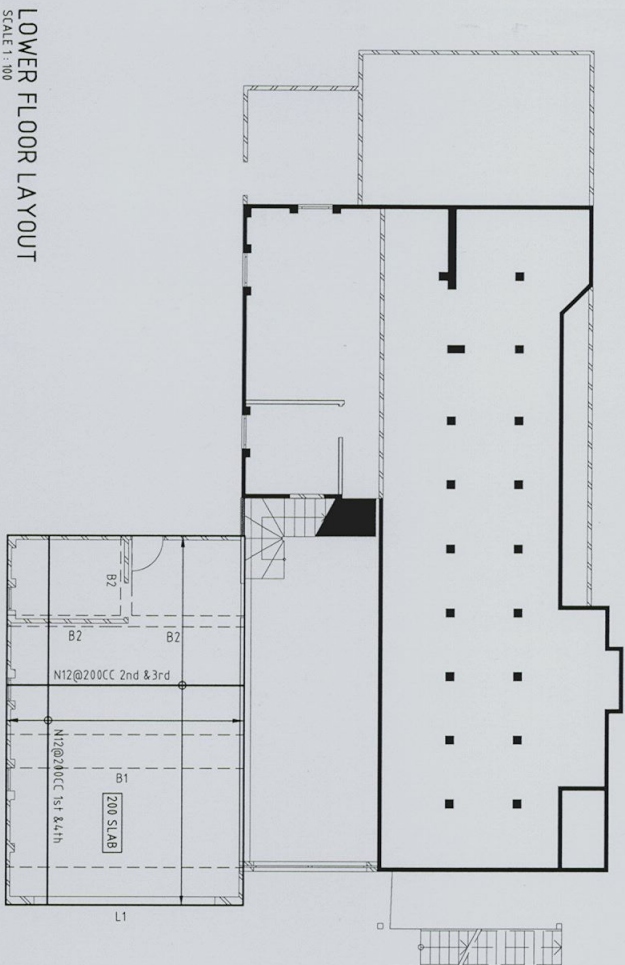
SITE-ROOF PLAN

REVISION
CDC ISSUE
DATE
17 FEB 2014

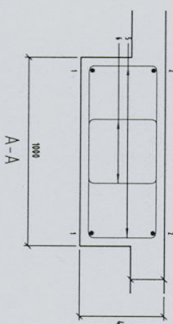
PLOT DATE
17/02/2014
SCALE: A1
PROJECT NO.
13348
DRAWING NO.
A2.1

1 SITE/ROOF PLAN 1:200

NOTE: ALL STORMWATER TO BE CONNECTED TO EXISTING SYSTEM

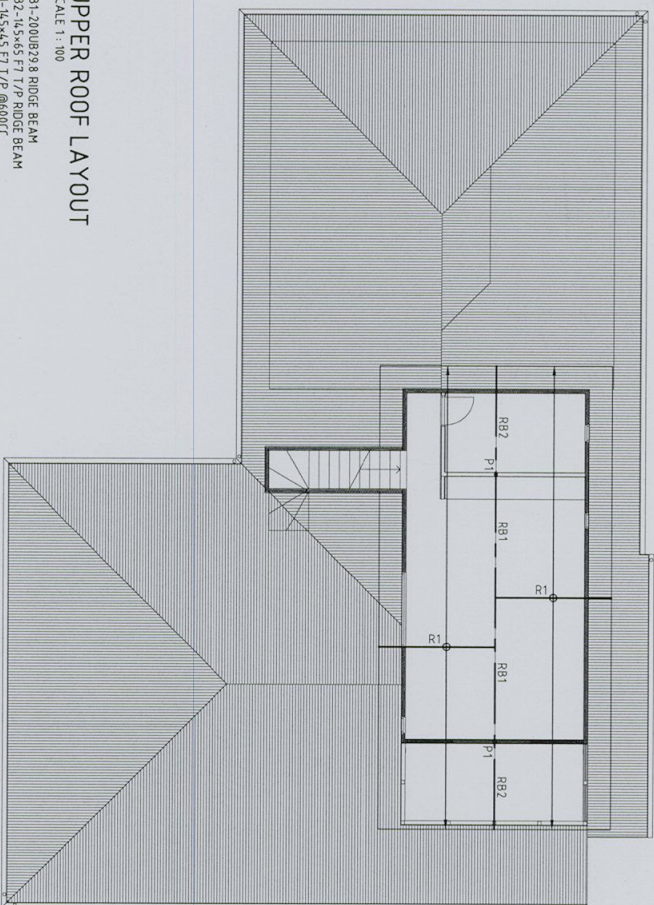


BEAM MARK	SPAN LENGTH	BAR NO	BAR SIZE	BAR LAYER	NL NO.	BAR'S SHAPE	'A'	'B'	'C'
L-1	6100	1	N24	BTM	1	2	S	6000	
		2	N24	TOP	1	2	S	6000	
		3	N24	B/T	1	2	LL	1170	790 350
		4	N24	B/T	1	2	LL	1170	790 350
		5	N10	LINK	-	17	T	370	920
		6	N10	LINK	-	0	T	370	346



LOWER FLOOR LAYOUT

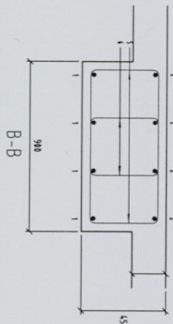
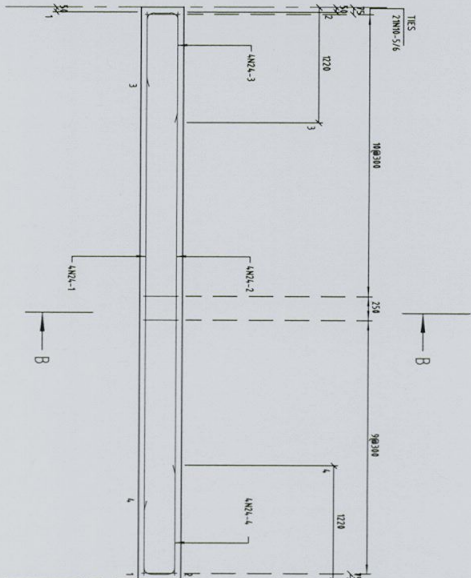
SCALE 1:100



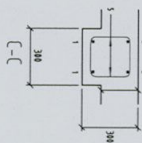
UPPER ROOF LAYOUT

SCALE 1:100

RB1-200UB23 RIDGE BEAM
RB2-N4x65 F17/P RIDGE BEAM
R1-N4x45 F17/P @600C
P1-15x75x5.0 SHS



BEAM MARK	SPAN LENGTH	BAR NO.	BAR SIZE	BAR LAYER	NL	BAR NO.	BAR SHAPE	DIM 'A'	DIM 'B'	DIM 'C'
B-2	3000	1	N16	BTM	1	2	S	2900		
		2	N16	TOP	1	2	S	2900	510	200
		3	N16	B/T	1	2	LL	550	510	200
		4	N16	B/T	1	2	LL	700	510	200
		5	N10	LINK	-	16	T	220	220	



B-2

THITCHENER CONSULTING
STRUCTURAL ENGINEERING CONSULTANTS
Suite 310 THE PLATINUM BUILDING
4 ILIYA AVENUE EBNIA
PHONE: 43672723 FACSIMILE: 43672823

STRUCTURAL DETAILS FOR
PROPOSED ALTERATION TO EXISTING RESIDENCE

CLIENT
WHITE - GEORGINIS

17 ALEXANDRA CRESCENT
BAY VIEW
NSW

LOCATION	P/G	DATE	AS SHOWN @ A1	SCALE	DRAWING NO.	2/2	A
BRANK	20/01/2014	20/01/2014	20/01/2014	20/01/2014	20/01/2014	20/01/2014	20/01/2014
APPROVED							

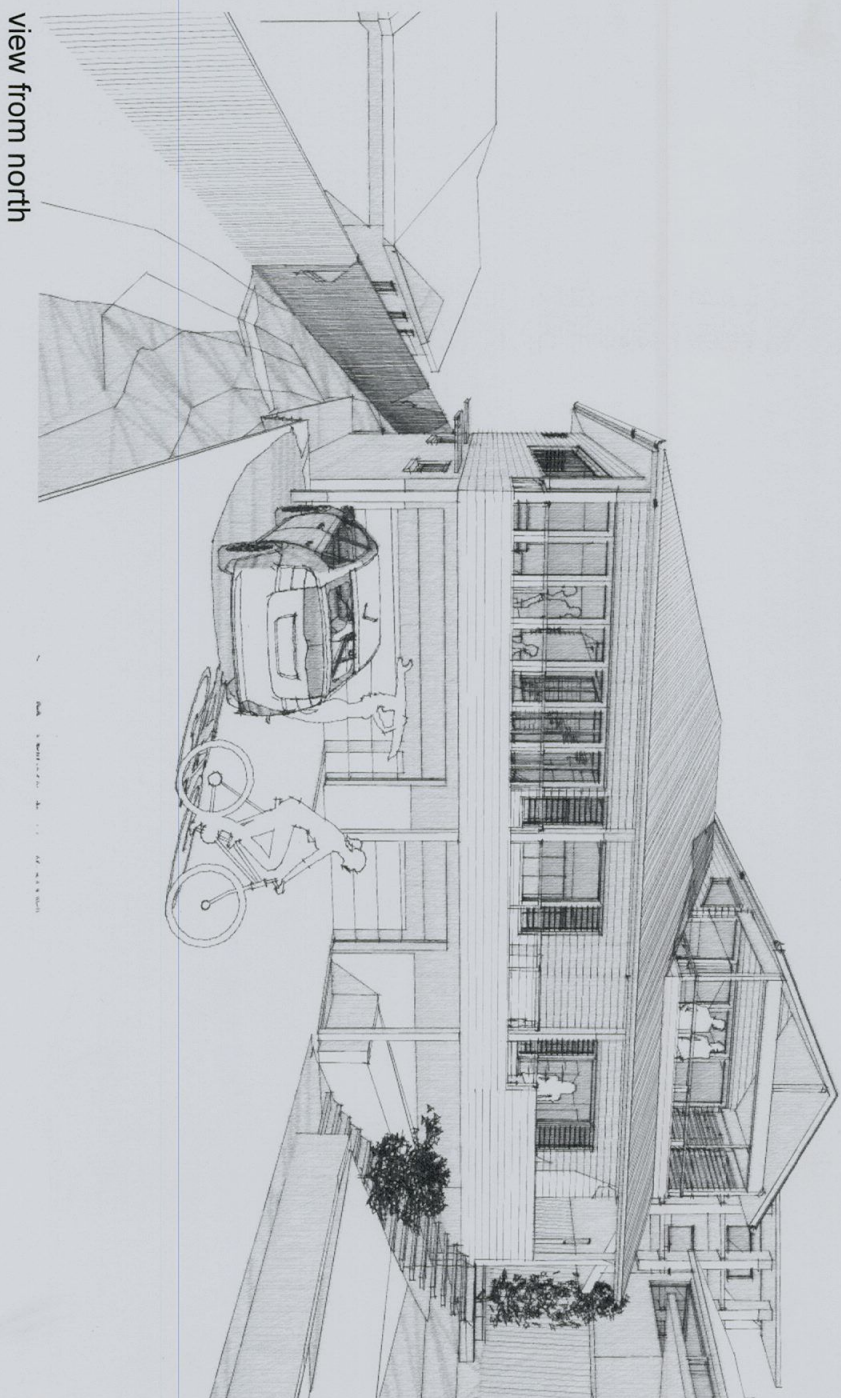
COMPLYING DEVELOPMENT CONSENT
WHITE-GEORGINIS HOUSE

LOT:B DP:33460

17 ALEXANDRA CRESCENT BAYVIEW NSW 2104

CDC2014-038

No.	DRAWING	SCALE	AREAS: FLOOR
A1.1	COVER SHEET	-	AREA
A1.2	BASIX	-	SITE AREA
A1.3	SPECIFICATION	-	1: SITE AREA
A1.4	SPECIFICATION	-	FLOOR AREA
A2.1	SITE-ROOF PLAN	1:200	1: BASEMENT
A2.2	EXISTING BASEMENT PLAN	1:100	2: GROUND FLOOR
A2.3	EXISTING GROUND FLOOR PLAN	1:100	3: FIRST FLOOR
A2.4	PROPOSED BASEMENT FLOOR PLAN	1:100	4: GF NORTH DECK
A2.5	PROPOSED GROUND FLOOR PLAN	1:100	5: GF SOUTH DECK
A2.6	PROPOSED FIRST FLOOR PLAN	1:100	6: BED 1 DECK
A3.1	ELEVATIONS	1:100	7: EXIST. FLOOR
A3.2	ELEVATIONS	1:100	8: EXIST. CARPORT
A3.3	SECTIONS	1:100	



STATE ENVIRONMENTAL PLANNING POLICY-
EXEMPT AND COMPLYING DEVELOPMENT CODES 2008

SITE AREA: 911.5sqm

CLAUSE	CONTROL	REQUIREMENT	PROPOSED	COMPLYING
3.1(a)	Site area:	Min. 200sqm 909.76sqm	YES	
3.1(b)	Street frontage:	n/a - Battle-axe block n/a	n/a	
3.8(1)(a)	Lot requirements	Max. 1 dwelling 1 dwelling	YES	
3.8(1)(b)	Lot requirements	Min. 3m access laneway 4.785m	YES	
3.8(1)(b)	Lot requirements	Min. 12m x 12m 33.51m x 21.87m	YES	
m3.9(1)(e)	Site coverage	Max. 40% of site - 363.9 34.7% - 315.6sqm	YES	
3.10(f)	Max floor area	430sqm 428.15sqm	YES	
3.12	Deck area	Max. 12sqm n/a	n/a	
3.13(1)	Height	Max. 8.5m 8.4m	YES	
3.14(1)a	Front setback	n/a (battle axe block) n/a	n/a	
3.16(2)(c(i))	Side setback (east)	Up to 4.5m - 1.5m 3.0m	YES	
3.16(2)(c(i))	Side setback (west)	Up to 4.5m - 1.5m 1.5m	YES	
3.16(2)(c(ii))	Side setback (east)	>4.5m - 1.5m + 0.25H 3.0m (2.043m req'd)	YES	
3.16(2)(c(ii))	Side setback (west)	>4.5m - n/a 1.5m	YES	
3.17(2)(d)(i)	Rear setback	<4.5m - 5m 6.25m	YES	
3.17(2)(d)(ii)	Rear setback	>4.5m - 12m n/a	n/a	
3.20(4)	Side setback (north)	Up to 4.5m - 1.5m n/a	n/a	
3.20(4)	Side setback (north)	>4.5m - 1.5m + 0.25H 6.83m (1.68m req'd)	YES	
3.24(1)(e)	Landscaped area	40% of lot - 364.6 69% - 630.2sqm	YES	
3.24(2)	Landscaped area	50% forward front line 61.7% - 348.5sqm	YES	
3.24(4)	Landscaped area	50% behind front line 73.2% - 281.7sqm	YES	
3.26(2)	Car parking	Min. 1 off-street 4	YES	

This is the plan/spec. referred to
in Form Building Certifiers Certificate
Certificate No. CDC2014-038.
Plan Nos A1.1-A1.4, A2.1-2.6
A3.1-A3.3
22/03/14
Craig Formosa BPB0124 DATED

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the architect for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

CAD Ref: 13348White-CDA.mn DRAWN BY: BB
LEGEND

GREENDRAW-DESIGN+DRAFTING
PO BOX 137 PACIFIC PALMS NSW 2428
02 6554 0555 • 0425 233331

Ian Sercombe Architect P/L, abt 7089 abt89 077 364 866

PROJECT
WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT:B DP:33460 CDC2014-038
ALTS & ADS
COMPLYING DEVELOPMENT CONSENT
CLIENT
GEOFF WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW
DRAWING TITLE

COVER SHEET

REVISION
CDC ISSUE
DATE
17 FEB 2014

PLOT DATE
17/02/2014 -
SCALE@A3
PROJECT NO.
13348
DRAWING NO.
A1.1

	✓	✓	✓
Fixtures and systems	✓	✓	✓
Hot water	✓	✓	✓
The applicant must install the following hot water system in the development: gas instantaneous.			
Lighting	✓	✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.			
Fixtures	✓	✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Insulation requirements			Show on IDA Plans	Show on CC/CDC Plans & Specs	Certifier Check
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.</p>					
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
suspended floor above garage: framed (R0.7).	nil				
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
internal wall shared with garage: single skin masonry (R0.18)	nil				
flat ceiling: pitched roof	ceiling: R2.25 (up); roof: thermocellular reflective	dark (solar absorptance > 0.70)			
raked ceiling: pitched/skillion roof: framed	ceiling: R2.04 (up); roof: thermocellular reflective	dark (solar absorptance > 0.70)			

Glazing requirements				Show on DA Plans	Show on P/O/C&C Plans & specs	Cartiller Check
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC), no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fire Protection Rating Council (NFRC) conditions.						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or bonded/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC), no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fire Protection Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the overshadowing column in the table below.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
GD01	N	2.01	0	0	eave/verandah/pergo/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD02	N	11.36	0	0	eave/verandah/pergo/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD03	S	3.27	0	0	eave/verandah/pergo/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD04	S	5.04	0	0	eave/verandah/pergo/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GD05	E	3.44	0	0	eave/verandah/pergo/balcony >=800 mm	timber or UPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
GD06	N	11.28	0	0	eave/verandah/pergo/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW01	N	4.05	0	0	eave/verandah/pergo/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
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GW06	S	0.81	0	0	eave/verandah/pergo/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW07	S	0.68	0	0	eave/verandah/pergo/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW08	S	1.08	0	0	eave/verandah/pergo/balcony >=600 mm	timber or UPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
GW09	W	1.08	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW10	W	2.7	0	0	awning (fixed) >=900 mm	timber or UPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
GW11	W	1.69	6.19	11.53	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW12	E	1.08	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW13	E	1.08	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW14	E	1.08	0	0	eave/verandah/pergo/balcony >=900 mm	timber or UPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
GW15	E	0.7	0	0	eave/verandah/pergo/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
GW16	E	1.79	0	0	eave/verandah/pergo/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
GW17	E	1.82	0	0	eave/verandah/pergo/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
GW18	S	1.62	0	0	projection/height above sill ratio >=0.29	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW19	W	0.81	3.17	12.23	eave/verandah/pergo/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GW20	E	0.54	0	0	eave/verandah/pergo/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

COMPLYING DEVELOPMENT CONSENT			
CLIENT: WHITE + JULIETTE GEORGINIS GEOTECHNICAL ENGINEERING 1111 EXAMINER CRESCENT BAYVIEW 2104 NSW			
GLAZING REQUIREMENTS	DA Plans	COCDC Plans & Specs	Certifier Check
<p>The applicant must install the skylights in accordance with the specifications listed in the table below.</p> <p>The following requirements must also be satisfied in relation to each skylight:</p> <p>Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.</p>	✓	✓	✓
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.66	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.809)

BASIX DRAWING TITLE REVISION DATE 17 FEB 2014 CDC ISSUE	PLOT DATE SCALE@A3 PROJECT NO. 13348 DRAWING NO. A1.2
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GREENDRAW+DESIGN+DRAFTING
PO BOX 137 PACIFIC PALMS NSW 2428
02 6554 0555 • 0425 233331

WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT B DP:33460

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COMPLYING DEVELOPMENT CONSENT

CLIENT
GEOFF WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW

DRAWING TITLE

SPECIFICATION

PLOT DATE
19/02/2014

SCALE@A3
PROJECT NO.
13348

DRAWING NO.
A1.3

9.0 TIMBER FRAMING

9.1 Generally

All timber framing shall comply with the NCC, alternative structural framing shall be to structural engineer's details and certification. Timber Engineered products may be used provided their design comply with the MCC and they are installed in accordance with the manufacturer's instructions. The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

9.1.1 Floor Framing

All floor framing is to be framed at the level shown on the plan.

9.1.2 Wall Framing

Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab. The interface between masonry and wall framing will conform with the MCC.

9.1.3 Heads Over Opening (Lintels)

- All solid timber lintels shall conform to the MCC.
- Glue laminated beams conforming to AS 1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may also be used.

9.1.4 Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and be erected, fixed and braced in accordance with the manufacturer's instructions.

9.1.5 Bracing

Bracing units shall be determined and installed in accordance with the MCC as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.

9.1.6 Flooring

Slip and sheet timber floors shall be installed in accordance with the MCC. The selection, installation and waterproofing of wet area floors shall conform to the MCC when listed in Schedule of Works. Where specified in the contract floors shall be sanded to provide an even surface and shall be left clean throughout.

9.1.7 Roof Framing

Roofs shall be pitched to the slope shown on plan. The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices. Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of the MCC.

9.1.8 Timber Posts

Unless otherwise specified and where required by the MCC posts supporting carports, verandas and porches shall be timber suitable for external use.

9.2 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with the MCC.

9.3 Hot Water Storage Units

Where a hot water storage unit or solar panels are supported by the roof structure the structure shall be specifically designed to support all imposed loads.

10.0 STEEL FRAMING

10.1 Generally

Steel framing shall be installed in accordance with the manufacturer's recommendations and the MCC.

11.0 ROOF LINING

All roof cladding is to comply with the relevant structural performance and weathering requirements of the MCC and be installed as per the manufacturer's specifications.

11.1 Tiled Roofing

The *Builder* shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with the MCC. Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof lies are made of natural products slight variation in colour is acceptable.

11.2 Metal Roofing

The *Builder* shall provide and install a metal roof together with accessories as determined in the contract documents in accordance with the MCC and the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed.

11.3 Gutters and Downpipes

Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with the MCC.

11.4 Corrosion Protection

Materials used for flashings, fasteners, gutters and downpipes shall be compatible.

11.5 Sarking

Sarking under roof coverings must comply with and be fixed in accordance with the MCC.

11.6 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.7 Flashing

Flashings shall comply with, and be installed in accordance with the MCC.

12.0 MASONRY

12.1 Bricks

All masonry construction and units shall comply with the MCC. Tolerances shall only be applied to the total measurements over 20 units, and not to the individual units. As class masonry units are natural kiln fired products their individual size may vary due to the manufacturing process.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with the MCC. Concrete blockwork shall be constructed in accordance with the MCC. Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with the MCC. The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.

12.4 Cavity Ventilation (Weepholes)

Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with the MCC.

12.5 Mortar and Joining

Mortar and joint tolerances shall comply with the MCC.

12.6 Masonry Accessories

Masonry accessories shall comply with the MCC and accepted building practices. Articulated joints shall be constructed in accordance with the MCC.

12.7 Lintels

Lintels used to support masonry above openings in walls must be suitable for the purpose as required by the MCC. Lintels are to be provided to each wall leaf and are to be corrosion protected appropriate for the site environment and location of the lintel within the structure in accordance with the MCC.

12.8 Cleaning

All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 WALL LINING

13.1 External Claddings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details. Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches.

13.2 Internal Wall and Ceilings Linings

Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards. Plasterboard sheets are to be of a minimum 10mm thick with recessed edges to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling. Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively the joint may be set as required for vertical internal angles. Wet area linings are to be fixed in accordance with the manufacturer's recommendations. The ceiling access hole shall be of similar material to the adjacent ceiling.

13.3 Waterproofing

All internal wet areas are to be waterproofed in accordance with the MCC. External tiled decks and balconies where required are to be waterproofed in accordance with the MCC and relevant manufacturer's specifications.

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.

14.2 Door Frames

External door frames shall be suitable for the exposed conditions and to receive doors. Internal jamb linings shall be suitable to receive doors as specified in the contract documents. Manufactured door frames shall be installed in accordance with the manufacturer's instructions.

14.3 Doors and Doorsets

All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.

14.4 Window and Sliding Doors

Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS 2047. All glazing shall comply with the MCC and any commitments outlined in the relevant BASIX Certificate.

14.5 Architectures and Skirting

Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with the accepted building practice.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Where required stairs or ramps to any change in level shall be provided and balustrades or barriers fitted in accordance with the MCC.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the MCC Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber. Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications. Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.

15.2 Electrical

All electrical work is to be carried out by a licensed electrical contractor to AS/NZS 3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority.

15.4 Smoke Detectors

Smoke alarms shall be installed in accordance with the MCC.

15.5 Thermal Insulation

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the MCC or as outlined in the relevant BASIX Certificate.

16.0 TILING

16.1 Materials

Tiles shall be as listed in the Schedule of Works or as selected by the Owner. Cement mortar and other adhesives shall comply with AS 3958.1 or the manufacturer's specifications.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.1 or the manufacturer's recommendations and accepted building practices. Where practicable, spacing between tiles should be even and regular. Expansion joints shall be installed in accordance with AS 3958.1 or the tile manufacturer's specifications. All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout materials as specified by the tile manufacturer or accepted building practice. As tiles are made of natural products a slight variation in colour is acceptable. Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

16.3 Walls

Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

16.4 Floors

Floors shall be tiled to areas where indicated by the contract documents with selected tiles. Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or metal angle to exposed edges in doorways or hob-less showers in wet areas shall be provided in accordance with the MCC. Where required, adequate falls shall be provided to wastes in accordance with the MCC.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Documentation. All surfaces to be painted shall be properly prepared to manufacturer's instructions.

18.0 CLEANING

Final Cleaning: provide final cleaning of the work of this specification, at time indicated, consisting of cleaning each surface of unit or work to normal 'clean' condition expected for a first class building cleaning and maintenance programme.

Examples of required cleaning are:

- Remove labels which are not required as permanent labels.
- Clean transparent materials, including mirrors and window/door glass, to a polished condition, removing substances which are noticeable as vision-obscuring materials. Replace broken glass and damaged transparent materials.
- Clean exposed exterior and interior hard surfaces finished to a dirt free condition, free of dust, stains, fingermarks, films and similar noticeable distracting substances. Restore otherwise indicated, avoid disturbance of natural weathering of exterior surfaces. Restore reflective surfaces to original reflective condition.
- Wipe clean surface of mechanical and electrical equipment, including lift and similar equipment, remove excess lubrication and other substances.
- Remove debris and surface dust from limited access spaces.
- Clean concrete floors broom clean.
- Vacuum clean carpet and similar soft surfaces.
- Clean plumbing fixtures to a sanitary and polished condition, free of stains including those resulting from water exposure.
- Clean light fixtures and lamps so as to function with full efficiency.
- If permanent lighting fixtures have been used for construction purposes replace globes with new.
- Clean project site, including planted sections and footpaths, of litter and foreign substances. Sweep paved areas to a broom clean condition; remove stains, petro-chemical spills and other foreign deposits.
- Label keys for locks accurately and provide in duplicate to the architect at the completion of the project.

NOTES

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LEGEND

GREENDRAW-DESIGN+DRAFTING
PO BOX 137 PACIFIC PALMS NSW 2428
02 8554 0555 • 0425 233331

PROJECT
WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT: B DP-33460

CLIENT
GEORGE WHITE + JULIETTE GEORGINIS
COMPLYING DEVELOPMENT CONSENT

DRAWING TITLE
SPECIFICATION

REVISION
CDC ISSUE

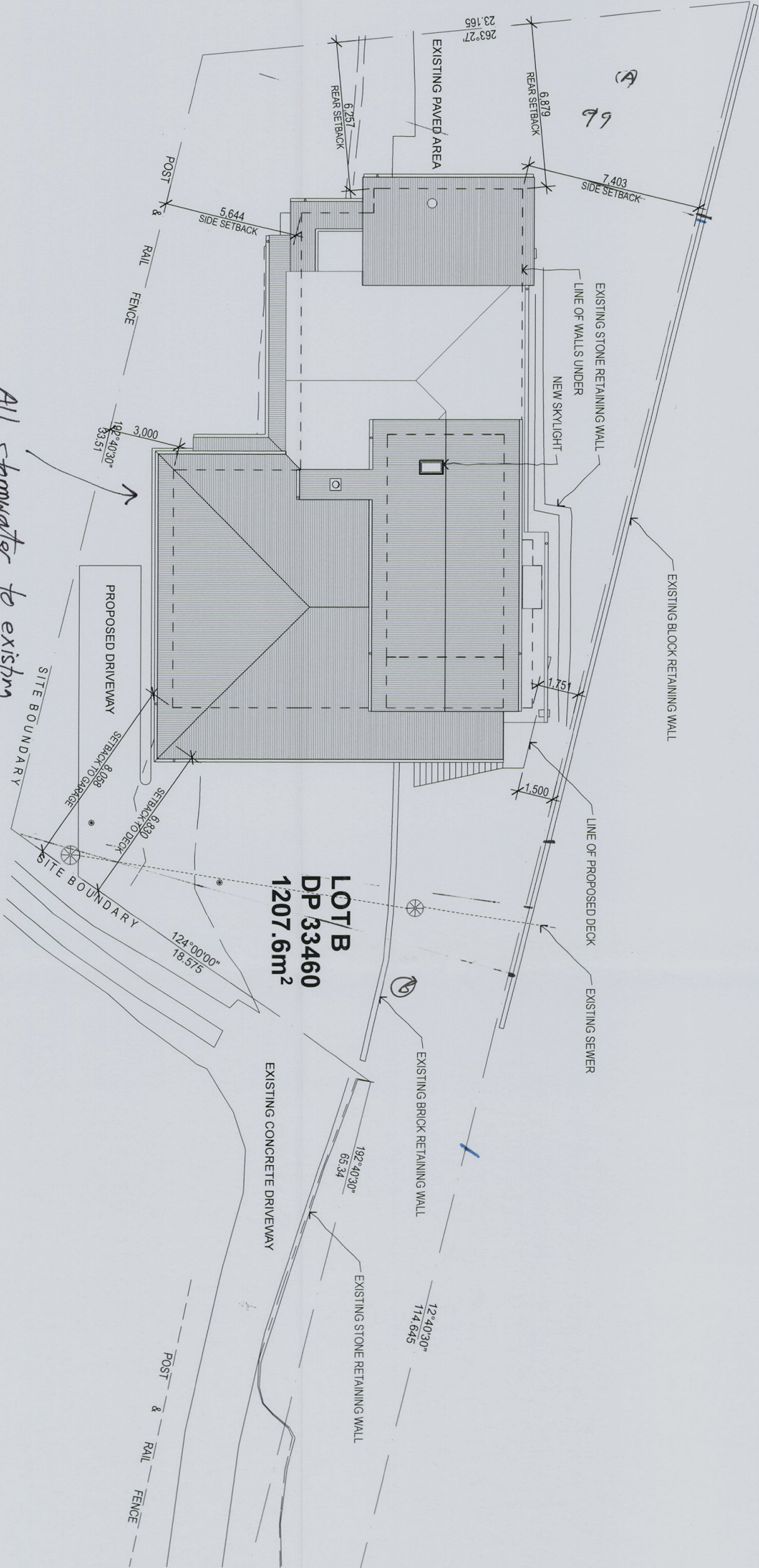
PLOT DATE
19/02/2014

PROJECT NO.
13348
DRAWING NO.
A1.4

DATE
17 FEB 2014

NOTES
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LEGEND



All stormwater to existing system street.

1 SITE/ROOF PLAN 1:200

NOTE: ALL STORMWATER TO BE CONNECTED TO EXISTING SYSTEM

0 1 2 5m
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PO BOX 137 PACIFIC PALMS NSW 2428
02 6654 0555 • 0425 233331

PROJECT
Ian Sercombe Architect P/L - artb 7089 artb 88 077 384 886

WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT/B DP: 33460 CDC2014-038
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CLIENT
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17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW
DRAWING TITLE

SITE-ROOF PLAN

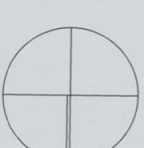
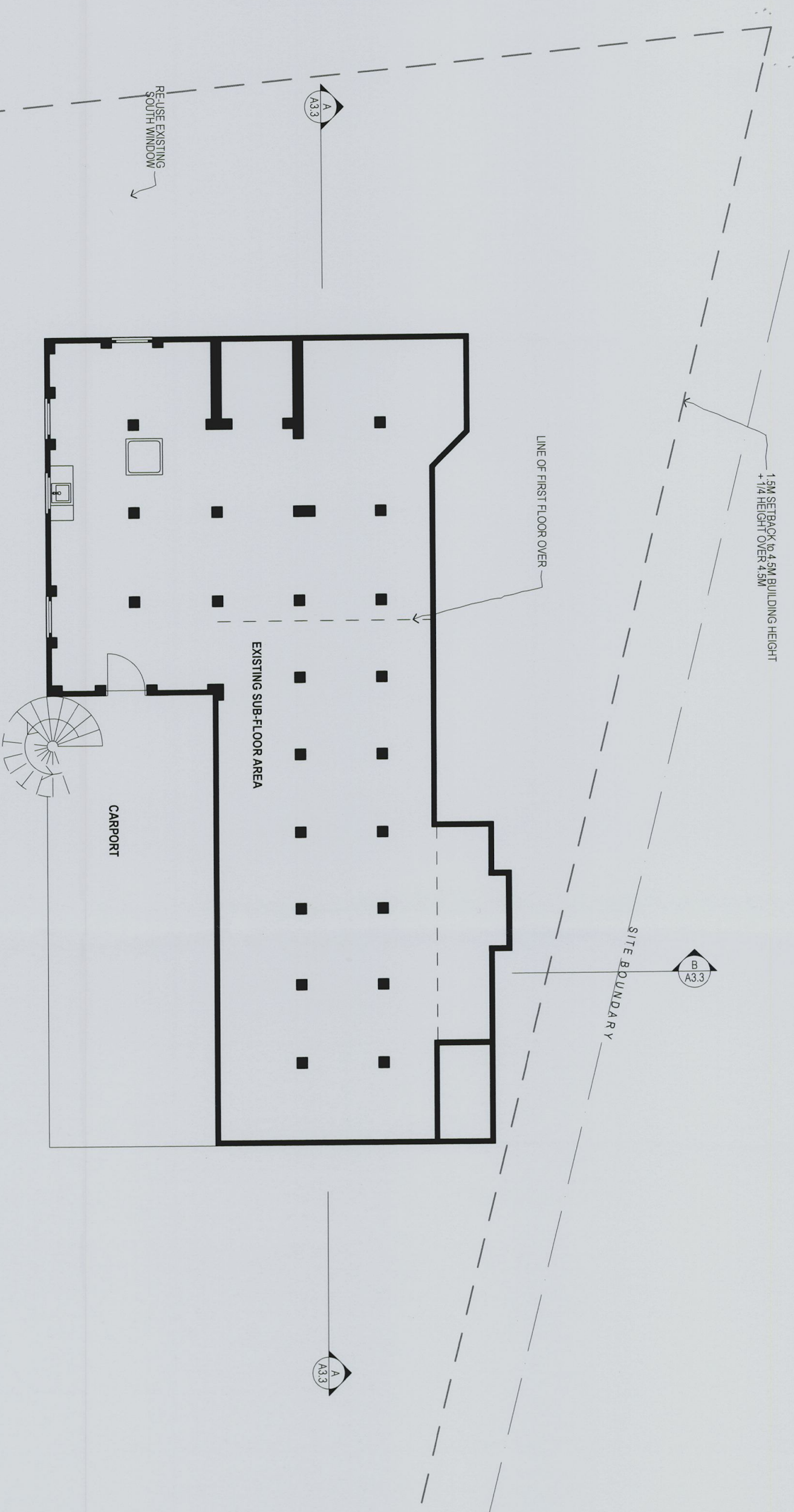
REVISION
CDC ISSUE 17 FEB 2014 DATE

PLOT DATE SCALE@A3 PROJECT NO. DRAWING NO.
17/02/2014 1:200 13348 A2.1

NOTES

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LEGEND



A horizontal number line with tick marks at 0, 1, 2, and 5m. The line is labeled 0 at the left end, 1, 2, and 5m at the right end. The segment between 0 and 1 is labeled 1, the segment between 1 and 2 is labeled 1, and the segment between 2 and 5m is labeled 3.

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PO BOX 137 PACIFIC PALMS NSW 2428
02 6554 0555 • 0425 233331

Ian Sercombe Architect P/L - arb 7089 abn:68 077 364 866

PROJECT
WHITE-GEORGINIS HOUSE

17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT:B DP:33460
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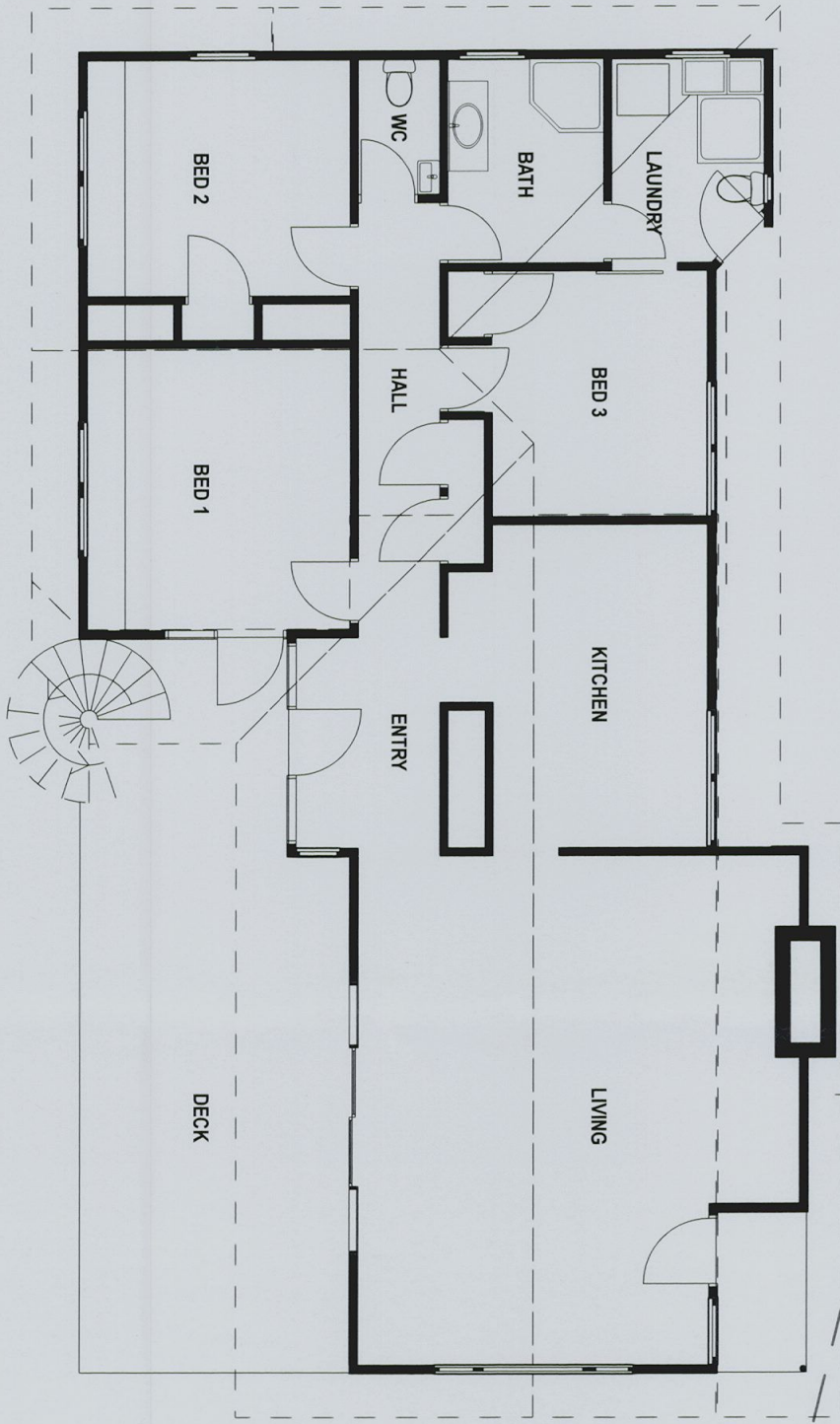
EXISTING BASEMENT PLAN

REVISION	DATE
CDC ISSUE	17 FEB 2014

PLOT DATE 17/02/2014 1:100 SCALE@A3 PROJECT NO. 13348 DRAWING NO. A2.2

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LEGEND



0 1 2 5m

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1m Scribble Archited P/L - abp 7089 abp 68 077 344 866

PROJECT
WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW/NSW 2104
LOT: B DP: 33460 CDC2014-038
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CLIENT
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17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW

DRAWING TITLE

EXISTING GROUND FLOOR PLAN

REVISION
CD ISSUE DATE
17 FEB 2014

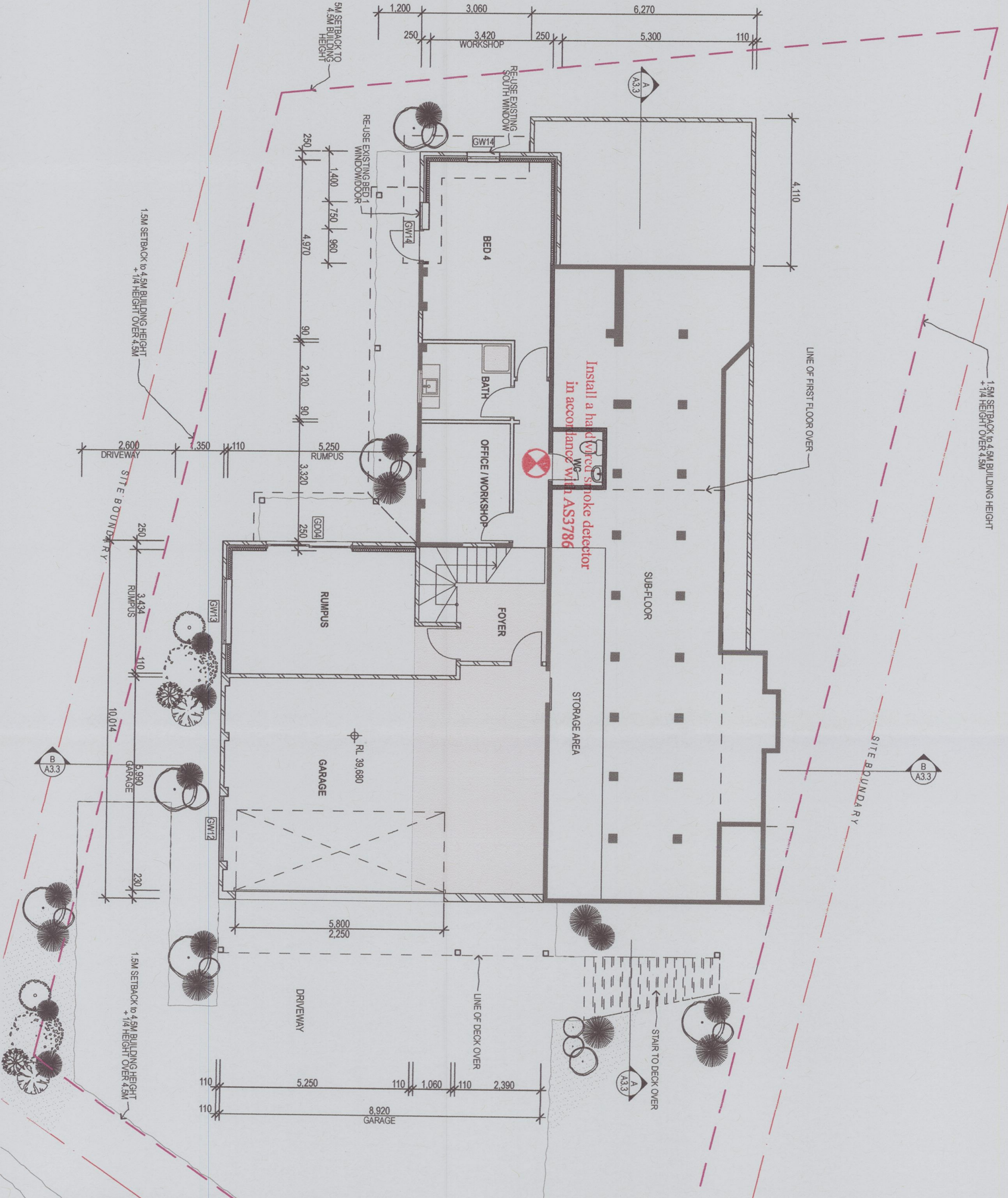
PLOT DATE SCALE: A3 PROJECT NO. DRAWING NO.
17/02/2014 1:100 13348 A2.3

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1:100
17/02/2014 1:100 13348 A2.4
DATE
17 FEB 2014
REVISION
CDC ISSUE
**PROPOSED BASEMENT
FLOOR PLAN**
CLIENT: WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW
DRAWING TITLE
PROJECT
WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
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All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions must be used rather than scaling.
All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

CAD Ref: 13348White-CDA.dgn DRAWN BY: BB
LEGEND

GREENDRAW-DESIGN+DRAFTING
PO BOX 137 PACIFIC PALMS NSW 2428
02 6554 0555 • 0425 233331

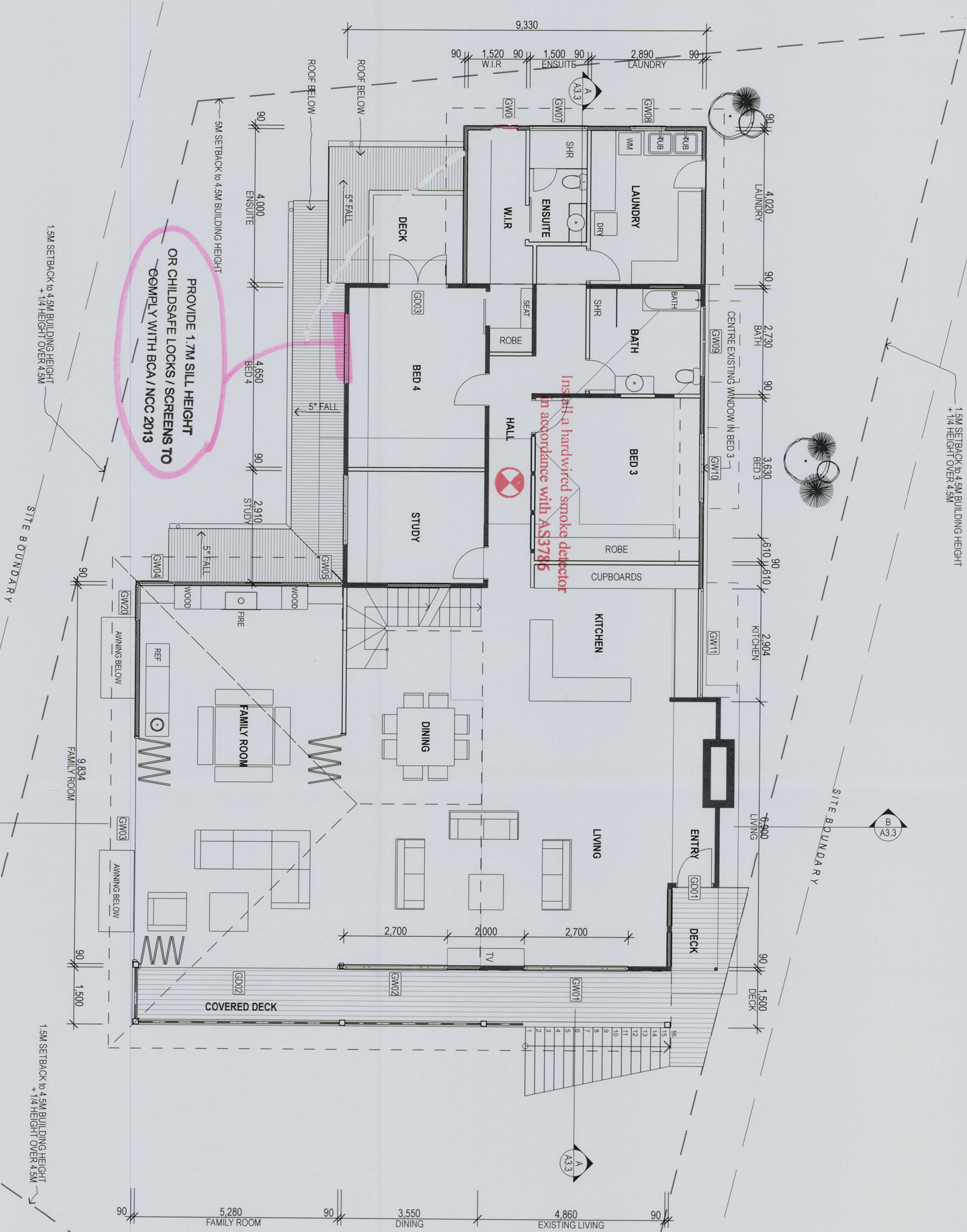
Project
Ian Sercombe Architect P/L - art 7069 atm 89 077 364 896

WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT B DP: 33460 CDC2014-038
ALTS & ADS
COMPLYING DEVELOPMENT CONSENT
CLIENT: WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW
DRAWING TITLE

PROPOSED GROUND
FLOOR PLAN

REVISION
CDC ISSUE
DATE
17 FEB 2014

PLOT DATE
17/02/2014 1:100 13348 A2.5
SCALE@A3
PROJECT NO.
DRAWING NO.



NOTES

This drawing shall be read in conjunction with all other drawings and specifications for the project.

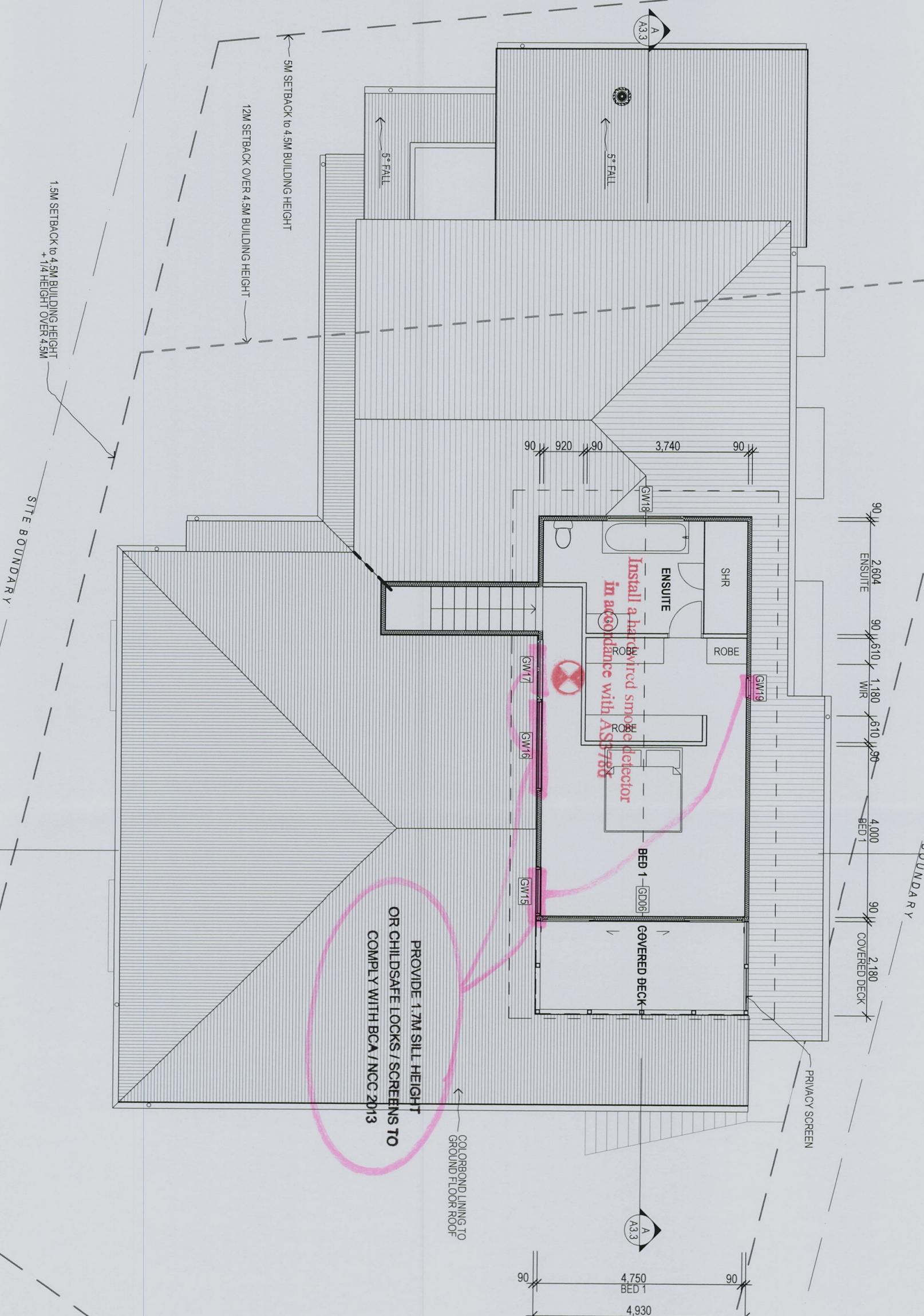
Any discrepancies shall be referred to the architect for clarification before proceeding with work.

All dimensions shall be verified on site prior to commencement of construction.

Figure dimensions to be taken on the basis of on and site ceiling.

All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian standards.

CAD Ref: 13348White-CDA.pln DRAWN BY: BB
LEGEND



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an Sercombe Architect P/L - arb 7089 abn:68 077 364 866

WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
OT:B DP:33460
CDC2014-038

CLIENT
GEOFF WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
SYDNEY NSW 2104

DRAFT TITLE

PROPOSED FIRST FLOOR PLAN

REVISION	DATE
17 FEB 2014	

17/02/2014	1:100	13348	A2.6
PILOT DATE	SCALE@A3	PROJECT NO.	DRAWING NO.

NOTES

This drawing shall be read in conjunction with all other drawings and specifications for the project.

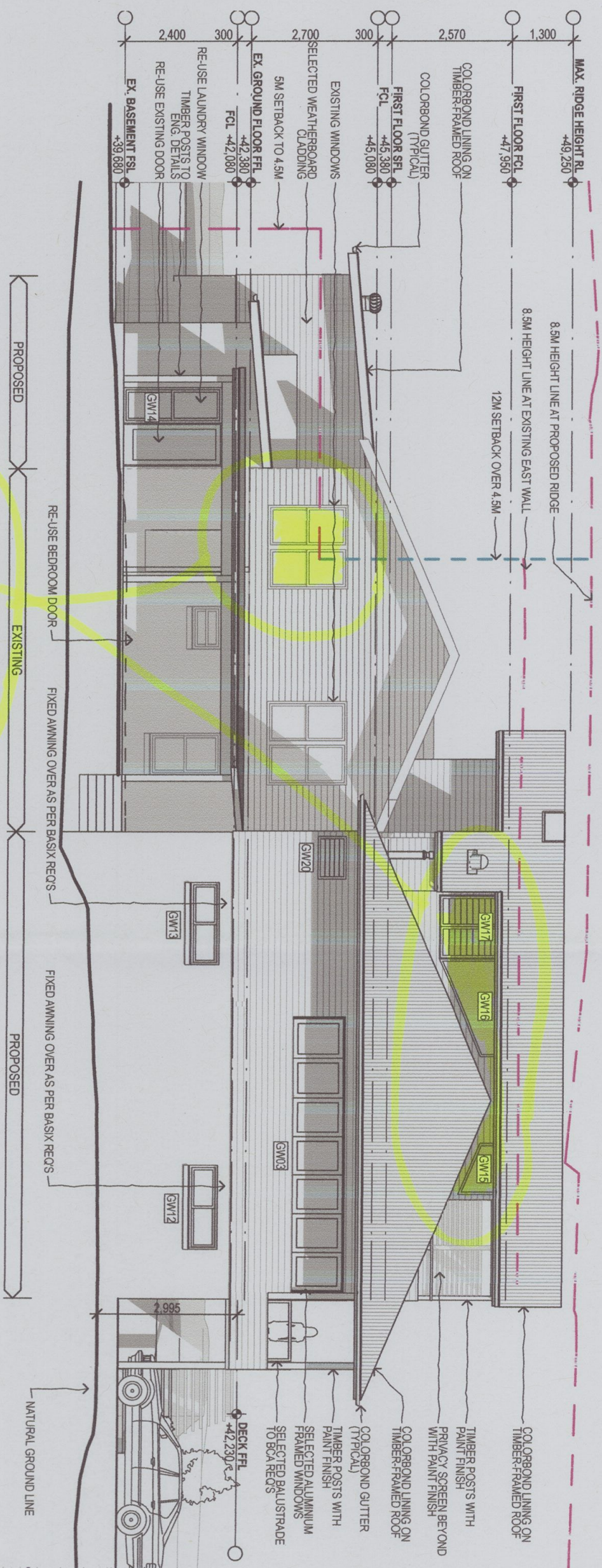
Any discrepancies shall be referred to the architect for clarification before proceeding with work.

Dimensions shall be taken on site prior to commencement of construction of fabrications.

Figured dimensions to be used rather than scaling.

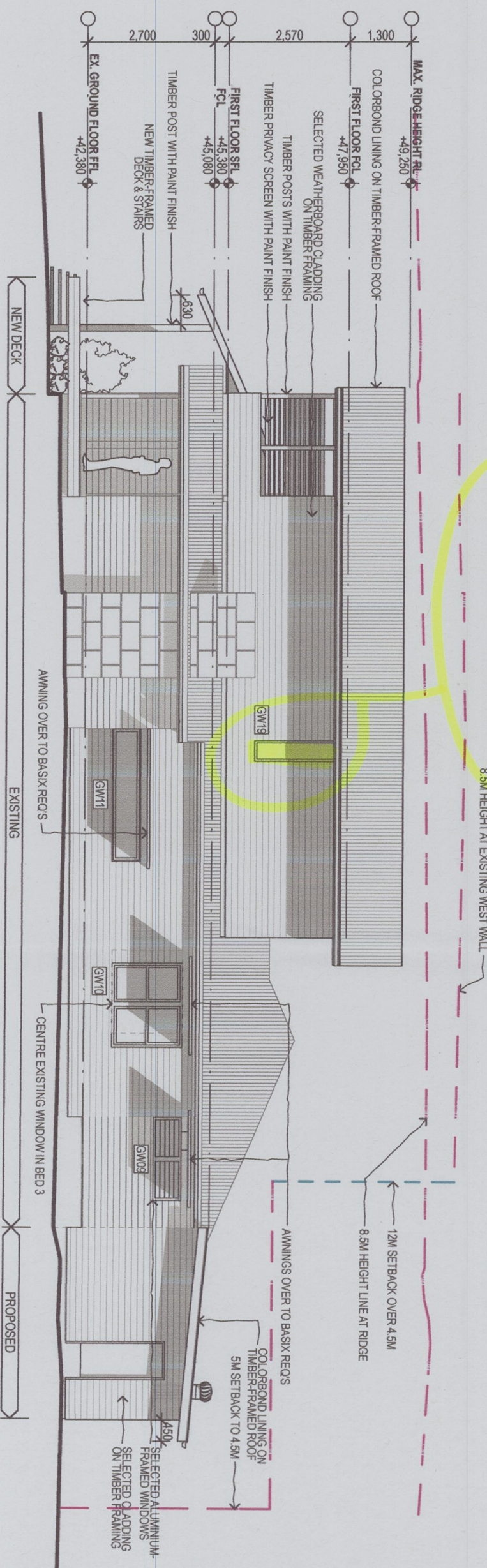
All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

CAD Ref: 13348White-CDA.pln DRAWN BY: BB
LEGEND



1 EAST ELEVATION
1:100

PROVIDE 1.7M SILL HEIGHT
OR CHILDSAFE LOCKS / SCREENS TO
COMPLY WITH BCA / NCC 2013



2 WEST ELEVATION
1:100

0 1 2 5m

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PROJECT
Iris Seccombe Architects P/L, at/b 7089 d/b/o 077 3366
WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT: B DP: 33460
CDCC2014-038
ALIS & ADS
COMPILING DEVELOPMENT CONSENT
CLIENT
GEOFF WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104 NSW
DRAWING TITLE
ELEVATIONS

REASON COMPLYING DEVELOPMENT APPLICATION	DATE DD MM 2013
PLOT DATE	SCALE@A3
PROJECT NO.	DRAWING NO.
17/02/2014 1:100	13348
	A3.2

NOTES

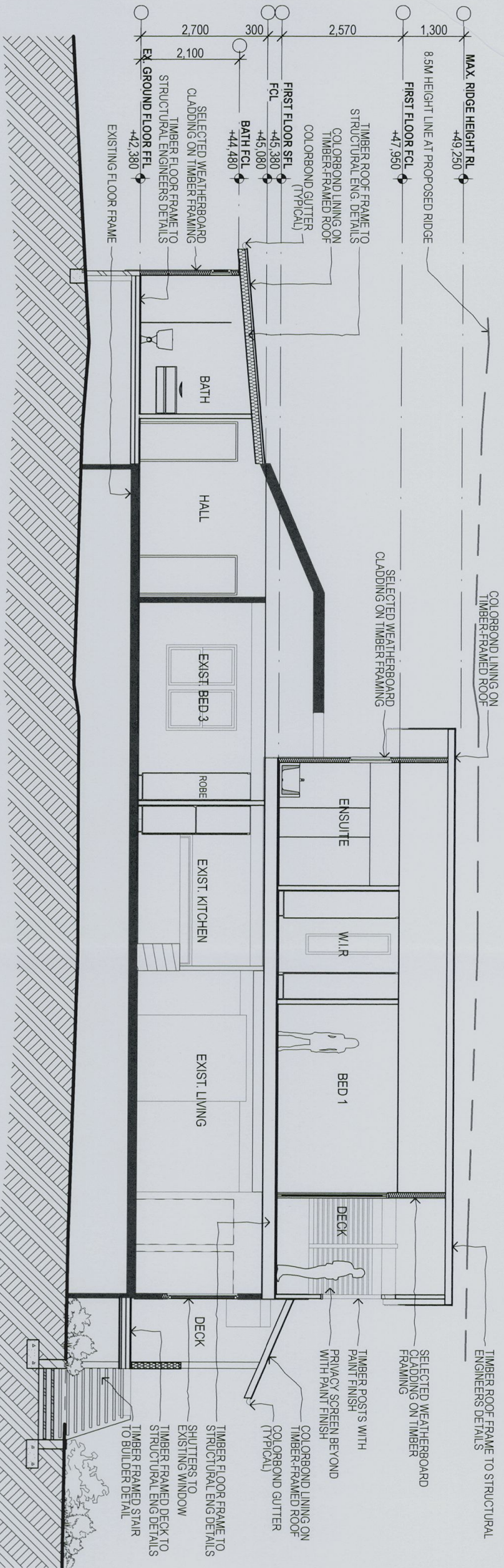
This drawing shall be read in conjunction with all other drawings and specifications for the project.

Any discrepancies shall be referred to the architect for clarification before proceeding with work.

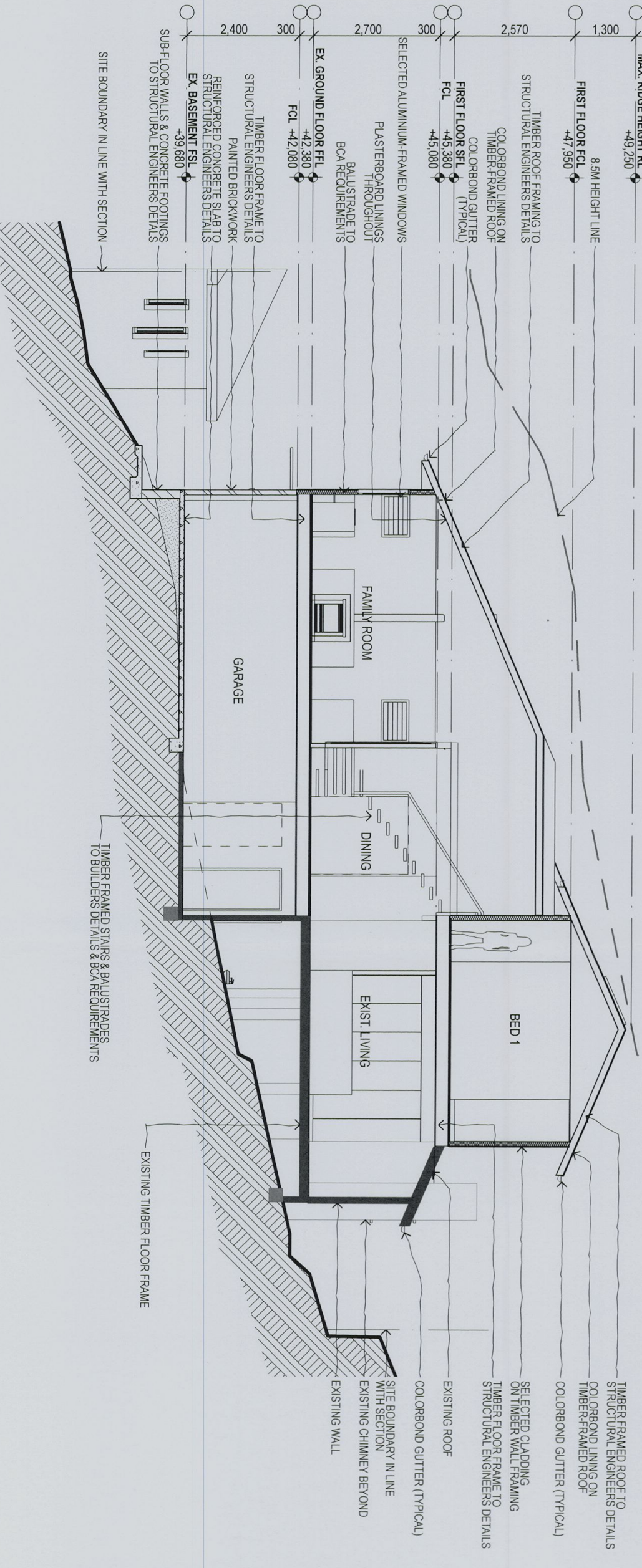
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.

Fixed inspection points shall be marked on drawings with the Building Code of Australia and all relevant Australian Standards.

CAD Ref: 13348White-CDA.pln DRAWN BY: BB
LEGEND



SECTION A
1:100



0 1 2 5m

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Lin Searcrobe Architect P/L - and 7689 abn:53 077 364 866

PROJECT
WHITE-GEORGINIS HOUSE
17 ALEXANDRA CRESCENT
BAYVIEW NSW 2104
LOT:B DP:33460 CDC2014-038
ALTS & ADS
COMPLYING DEVELOPMENT CONSENT
CLIENT
GEOFF WHITE + JULIETTE GEORGINIS
17 ALEXANDRA CRESCENT
BAYVIEW 2104 NSW
DRAWING TITLE

SECTIONS

REVISION
COMPLYING DEVELOPMENT APPLICATION DD MMM 2013 DATE

PLOT DATE SCALE@A3 PROJECT NO. DRAWING NO.
17/02/2014 1:100 13348 A3.3