

LAND	763.9 SM
OPEN SPACE	
OS3	55% = 420min
WIDTH > 3M	

L0	FRONT	OS1	73
L1	SIDE W / REAR	OS2	372
L1	SIDE EAST	OS3	24
		TOTAL	469sm
			61.4%
			COMPLIES

WIDTH >3M 35% OF OS = 147sm
PROPOSED

L1	FRONT	LS1	73
L2	SIDE W / REAR	LS2	205
INC. X3 28SM REAR PAVING REMOVED			
L2	EXC. POOL	36	
		TOTAL	278sm
		COMPLETES	

FSR_001 C 45% = 343 sm

		EXISTING	PROPOSED	TOTAL
L1	GARAGE	17.2 DEMOLISH	39 -ALLOWANCE 30	9
L2	LIVING	145		145
L3	BEDROOMS	130		130
				284 sm
				COMPLIES
				37%

763.9sm	SITE AREA	
	IMPERVIOUS	
	60% max	= 459sm
	EXISTING	351 sm
	PROPOSED	370 sm
	INCREASE	19 sm

RENOVATIONS AND ADDITIONS TO
EXISTING BRICK VENEER RESIDENCE TO INCLUDE -

- | | |
|----|--|
| X1 | DEMOLISH EXISTING DELAPIDATED GARAGE |
| X2 | DEMOLISH EX. CROSSING AND DRIVEWAYS |
| X3 | REPLACE REAR PAVING 18.6SM WITH TURF |
| A | NEW DOUBLE GARAGE |
| B | NEW ENTRY LAYBACK AND DRIVEWAY
TO EXISTING CUL-DE-SAC ROLLED KERB |
| C | NEW ENTRY STEPS, PLANTERS AND
FEATURE DOORS TO SUB FLOOR STORE |

	DEMOLISH	ESP	EX. STORMWATER PIT
	EXISTING	NSP	NEW STORMWATER PIT
	PROPOSED	P	VERANDA / PATIO
	UNDER NEW	RW	RETAINING WALL
	UNDER EX.	SP	STORMWATER PIT
	GLASS		



LOT 166
DP 35319
763.9 sm

PAUL CARRICK
ASSOCIATES



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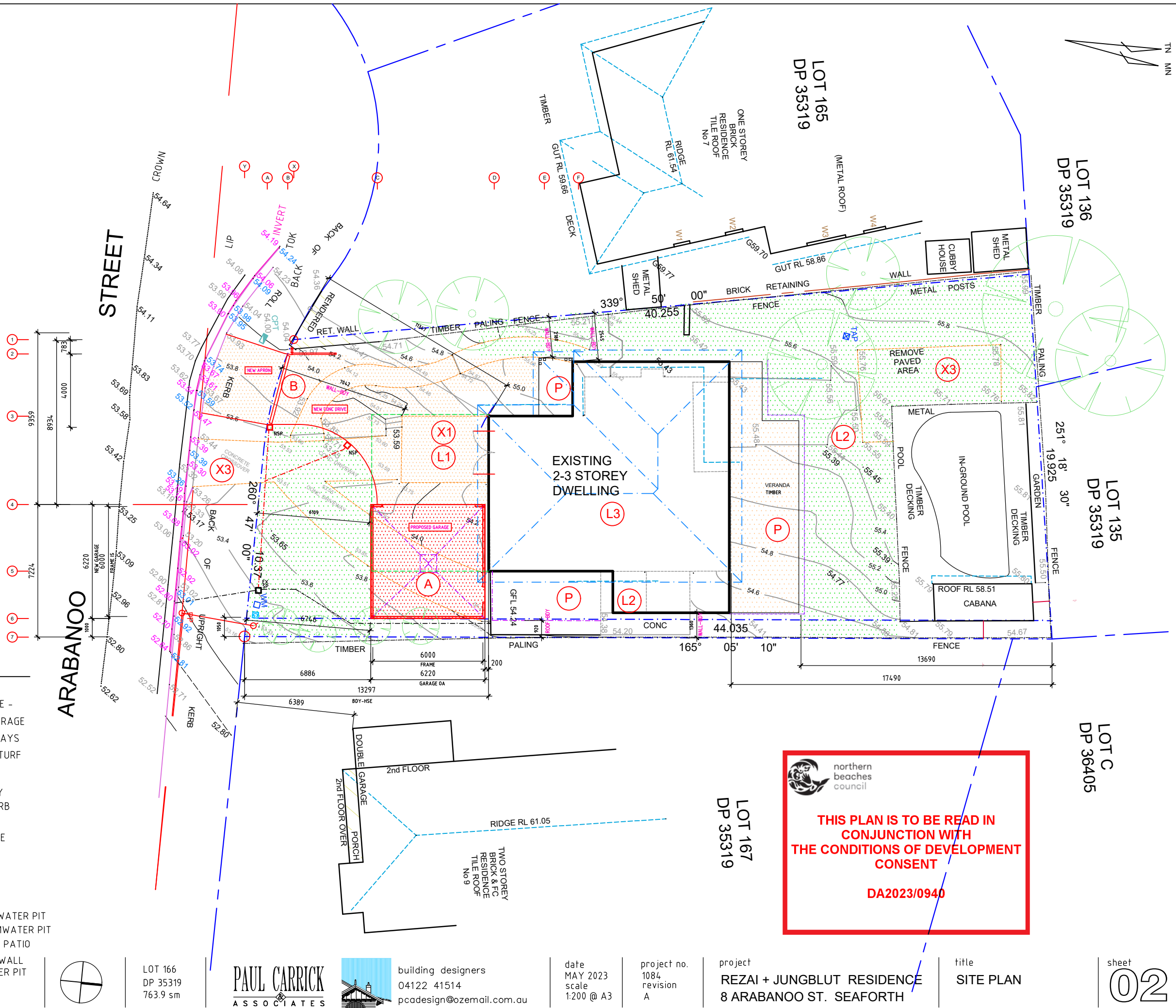
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project no.
1084
revision
A

project
REZAI + JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
SITE PLAN

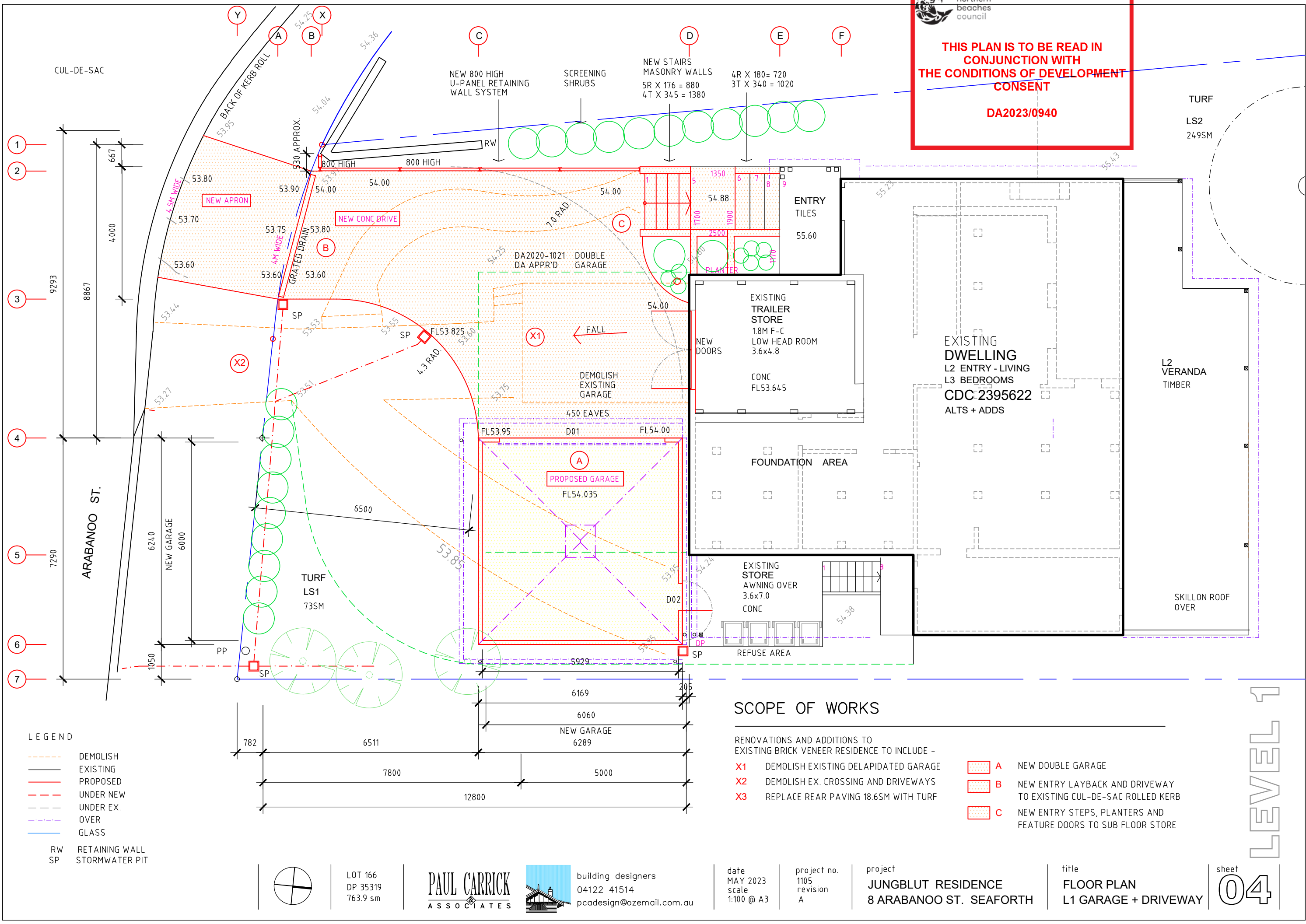
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 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

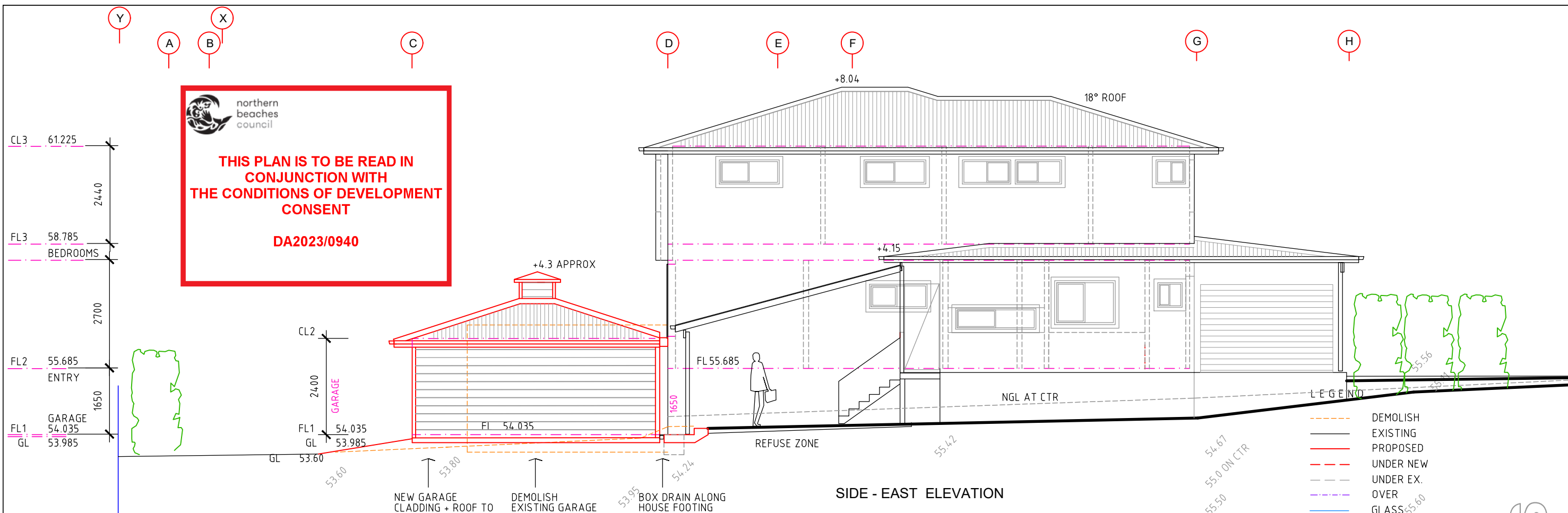
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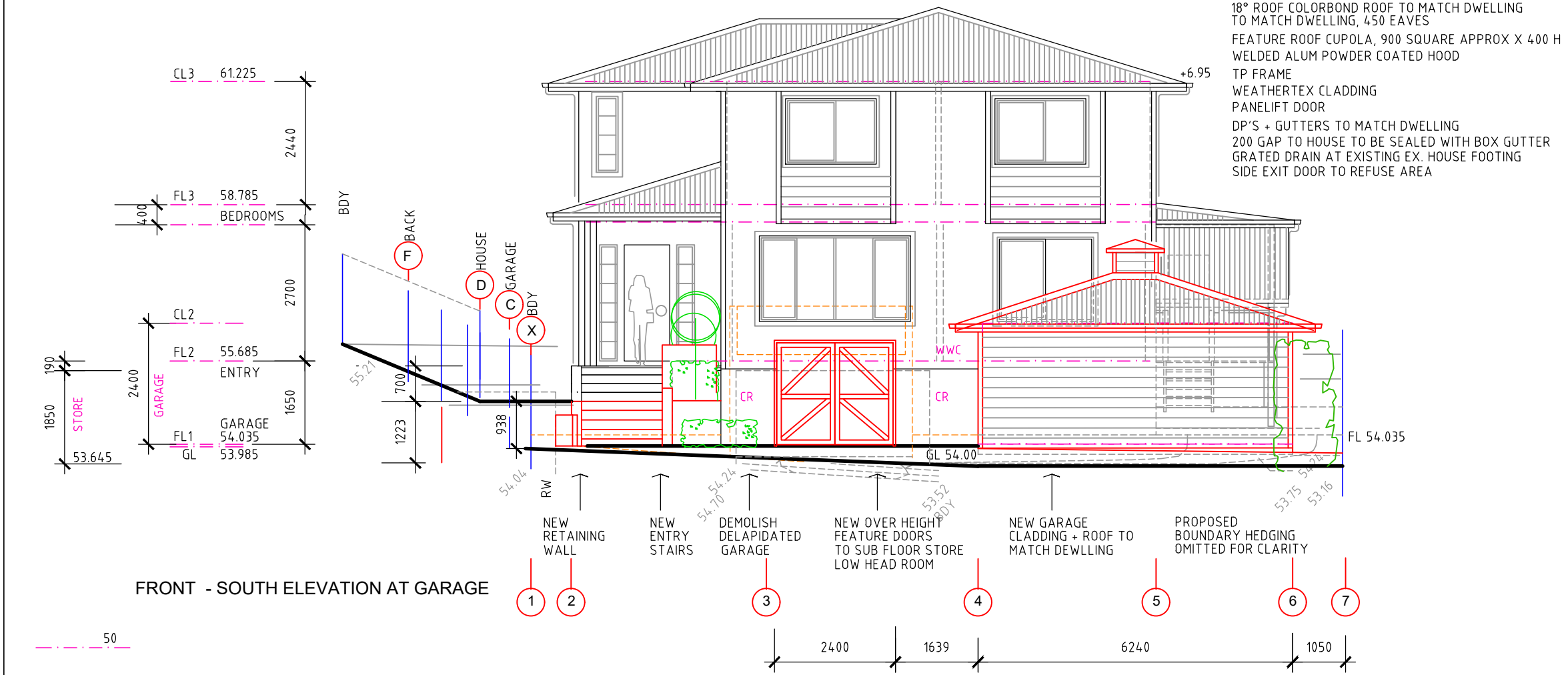
 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0940



SIDE - EAST ELEVATION



FRONT - SOUTH ELEVATION AT GARAGE

PROPOSED GARAGE

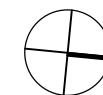
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FEATURE ROOF CUPOLA, 900 SQUARE APPROX X 400 H
WELDED ALUM POWDER COATED HOOD
TP FRAME
WEATHERTEX CLADDING
PANELIFT DOOR
DP'S + GUTTERS TO MATCH DWELLING
200 GAP TO HOUSE TO BE SEALED WITH BOX GUTTER
GRADED DRAIN AT EXISTING EX. HOUSE FOOTING
SIDE EXIT DOOR TO REFUSE AREA

RW RETAINING WALL
SP STORMWATER PIT

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LOT 166
DP 35319
763.9 sm

date
MAY 2023
scale
1:100 @ A3

project no.
1100
revision
A

project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
GARAGE
SOUTH + EAST ELEVATIONS

date
MAY 2023
scale
1:100 @ A3

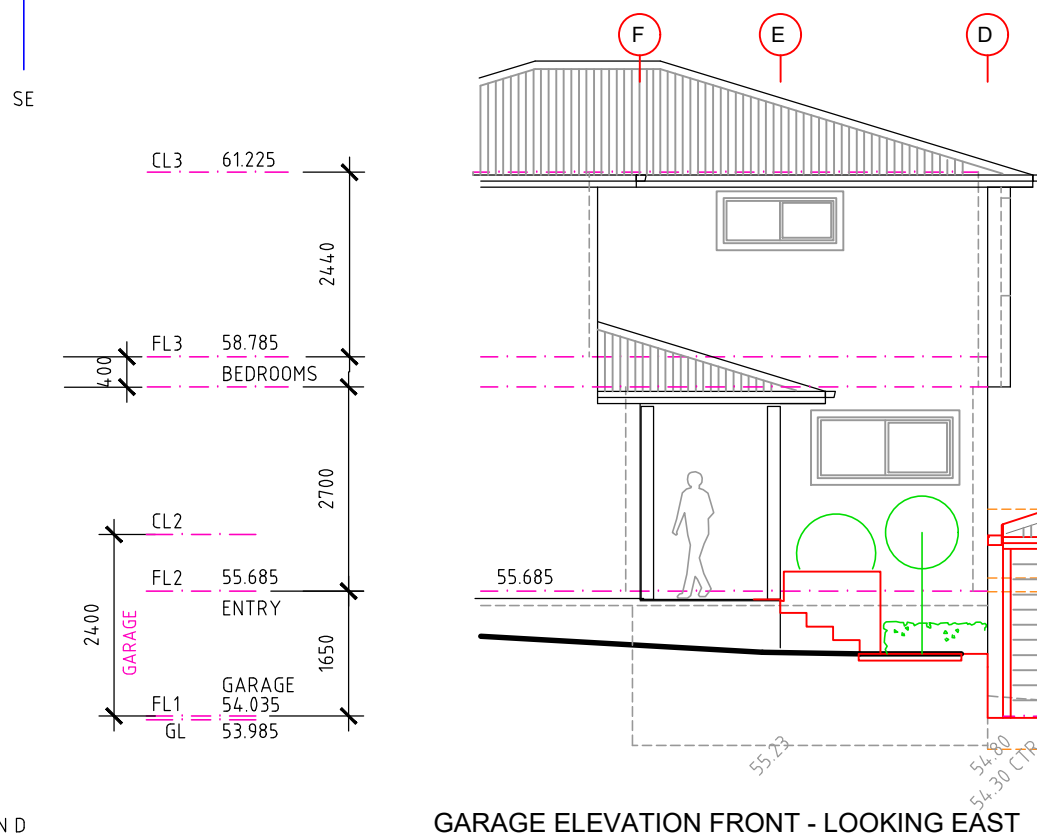
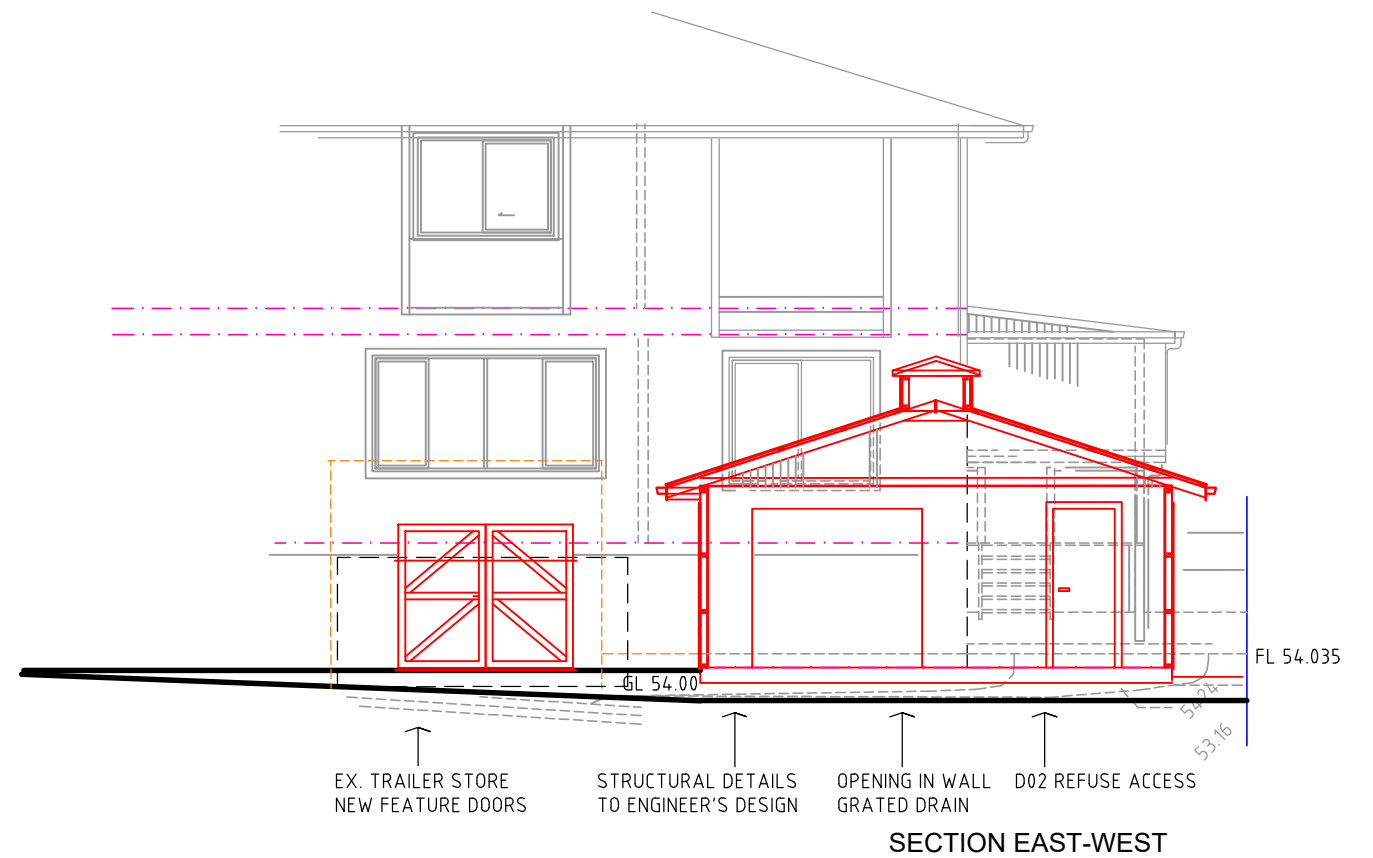
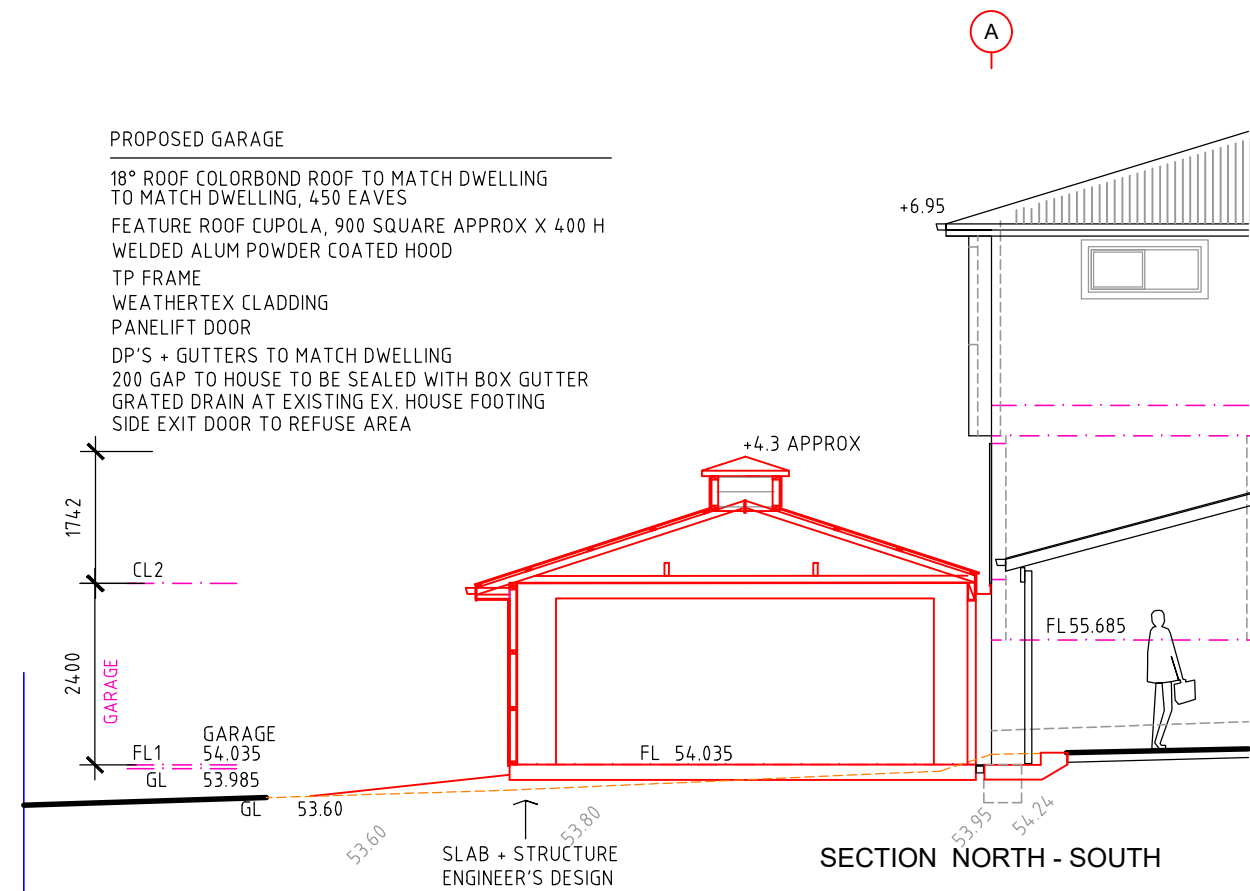
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revision
A

sheet
05

ELEVATIONS

PROPOSED GARAGE

18° ROOF COLORBOND ROOF TO MATCH DWELLING
TO MATCH DWELLING, 450 EAVES
FEATURE ROOF CUPOLA, 900 SQUARE APPROX X 400 H
WELDED ALUM POWDER COATED HOOD
TP FRAME
WEATHERTEX CLADDING
PANELIFT DOOR
DP'S + GUTTERS TO MATCH DWELLING
200 GAP TO HOUSE TO BE SEALED WITH BOX GUTTER
GRADED DRAIN AT EXISTING EX. HOUSE FOOTING
SIDE EXIT DOOR TO REFUSE AREA



PROPOSED GARAGE
18° ROOF
COLORBOND ROOF
TO MATCH DWELLING
FEATURE ROOF CUPOLA
900 SQ.
PANELIFT DOOR
WEATHERTEX CLADDING

DEMOLISH EXISTING
SINGLE GARAGE

NEW FRONT
BOUNDARY
HEDGING SCREEN

**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2023/0940

LEGEND

---	DEMOLISH	RW	RETAINING WALL
---	EXISTING	SP	STORMWATER PIT
---	PROPOSED		
---	UNDER NEW		
---	UNDER EX.		
---	OVER		
---	GLASS		



LOT 166
DP 35319
763.9 sm

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date
MAY 2023
scale
1:100 @ A3

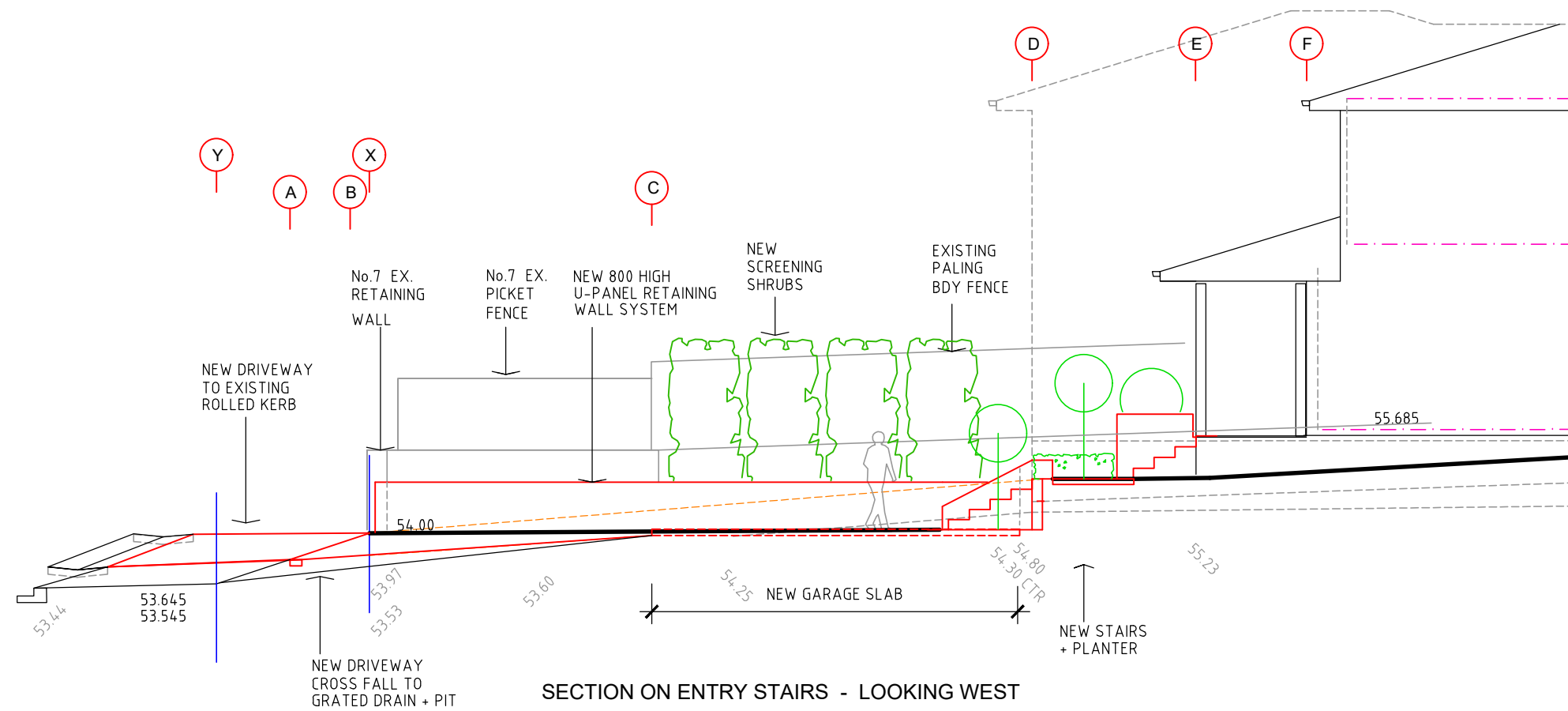
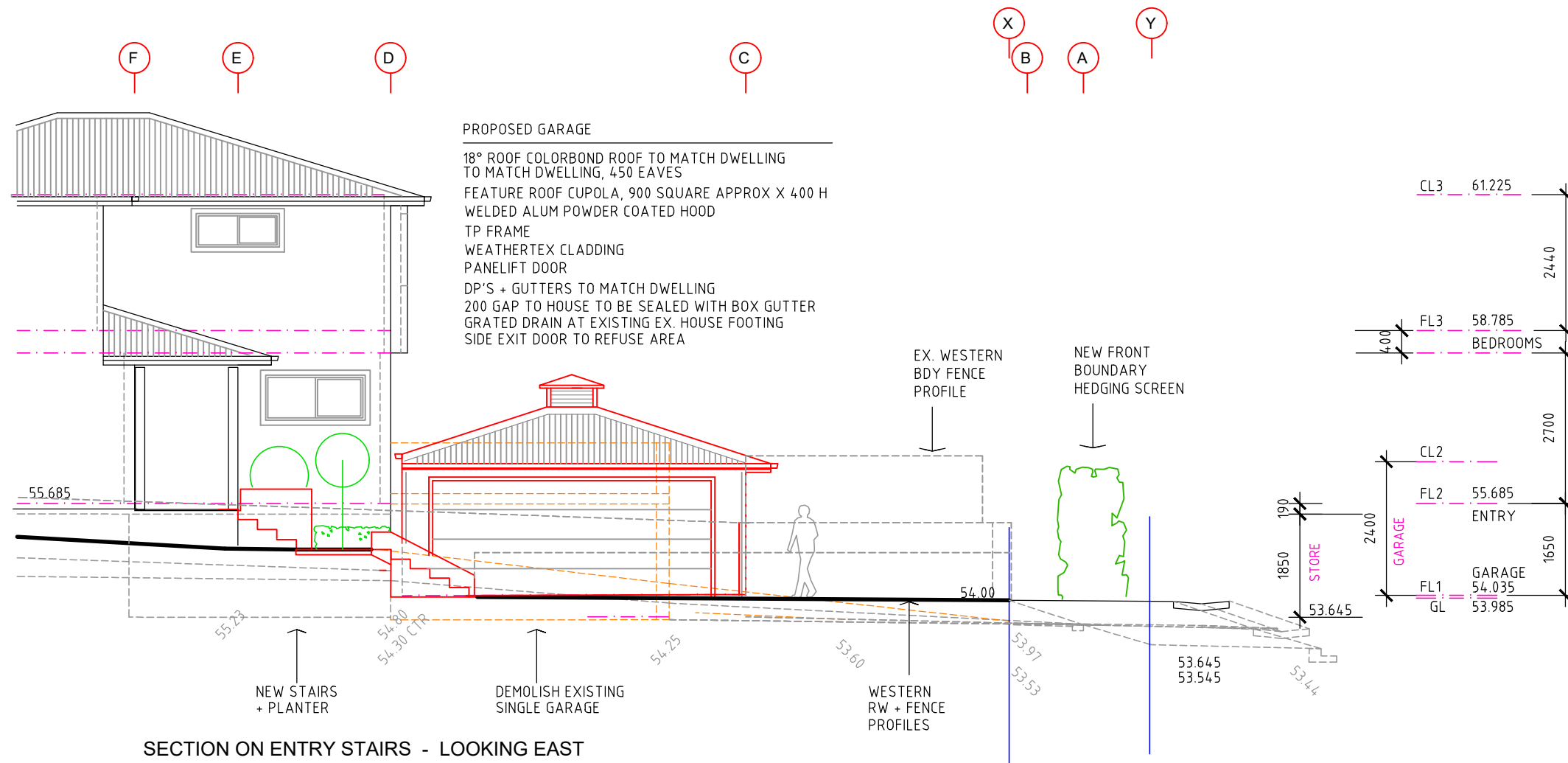
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1100
revision
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project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
**GARAGE WEST
ELEVATION + SECTIONS**

sheet
06

**GARAGE
SECTIONS**



**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2023/0940

LEGEND

- - - - - DEMOLISH
 ——— EXISTING
 ——— PROPOSED
 - - - - - UNDER NEW
 - - - - - UNDER EX.
 - . - . - OVER
 ——— GLASS

RW RETAINING WALL
SP STORMWATER PIT

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ASSOCIATES



date
MAY 2023
scale
1:100 @ A3

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1100
revision
A

project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
SECTIONAL ELEVATIONS
ENTRY EAST + WEST

date
MAY 2023
scale
1:100 @ A3

project no.
1100
revision
A

| sheet

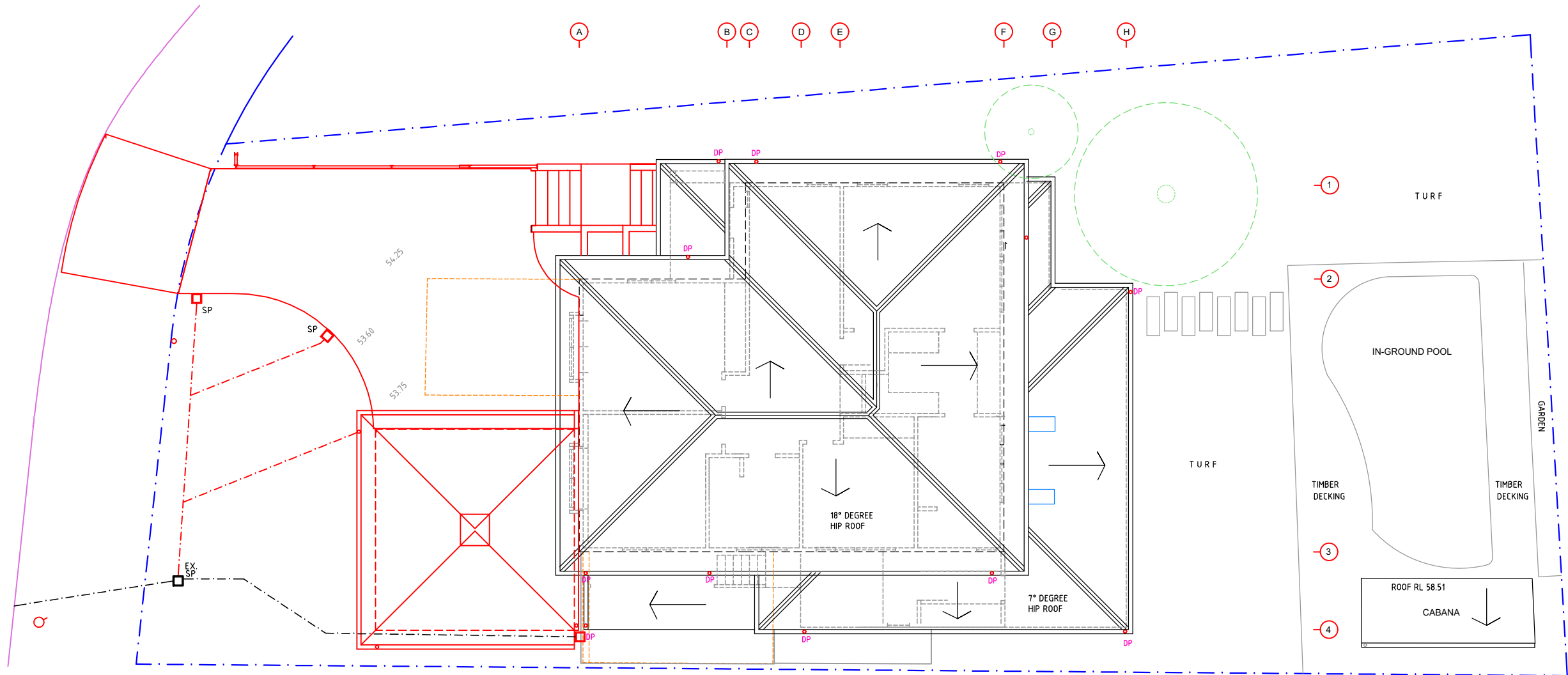
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DRIVEWAY ELEVATIONS



THIS PLAN IS TO BE READ IN
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CONSENT

DA2023/0940



PROPOSED GARAGE
18° ROOF COLORBOND ROOF TO MATCH DWELLING
TO MATCH DWELLING, 450 EAVES
FEATURE ROOF CUPOLA, 900 SQUARE APPROX X 400 H
WELDED ALUM POWDER COATED HOOD
TP FRAME
WEATHERTEX CLADDING
PANELIFT DOOR
DP'S + GUTTERS TO MATCH DWELLING
200 GAP TO HOUSE TO BE SEALED WITH BOX GUTTER
GRATED DRAIN AT EXISTING EX. HOUSE FOOTING
SIDE EXIT DOOR TO REFUSE AREA

ROOF PLAN AREA			
L2 +L3	EXISTING	237	
L1	NEW GARAGE	50	
TOTAL		287	

- LEGEND
- DEMOLISH
 - EXISTING
 - PROPOSED
 - UNDER NEW
 - UNDER EX.
 - OVER
 - GLASS



LOT 166
DP 35319
763.9 sm

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MAY 2023
scale
1:150 @ A3

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project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
ROOF PLAN

sheet
08

ROOF