



## BASIX® commitments

Assessor	Mr. Daniel Warda
Date	19 / 04 / 24
BASIX Certificate No.	1744403S
NATHERS Certificate No.	0009394719

## Project details

Site Address	Lot 79, 22 Birrong Avenue, Belrose NSW 2085
Municipality	Northern Beaches
Reference	29916934

## Thermal Comfort

Floors	300mm Waffle pod slab
Cantilevered Floors	R5.0 Insulation to Bed 1 Suspended Floor Overhang
External Walls	R2.7 Insulation to all external walls   Medium
Internal Walls	R2.0 Insulation to PDR1, PDR2, Laundry, Bath, WC & Garage internal walls shared with habitable areas
Ceilings	R5.0 Insulation to all trussed ceilings over living areas (R5.0 Insulation to Garage Ceiling Joists)
Roof	Colorbond   Medium
Roof Insulation	Sarking

### Windows:

Wideline Awning Windows (Aluminium Framed - Double Glazed Argon-Filled Low-e)	U-Value: 3.4	SHGC: 0.49
Wideline Fixed Windows (Aluminium Framed - Double Glazed Argon-Filled Low-e)	U-Value: 2.3	SHGC: 0.59
Wideline Sliding Windows (Aluminium Framed - Double Glazed Argon-Filled Low-e)	U-Value: 3.3	SHGC: 0.51
Wideline Sliding Door (Aluminium Framed - Double Glazed Argon-Filled Low-e)	U-Value: 2.9	SHGC: 0.55
Wideline Awning Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.4	SHGC: 0.66
Wideline Sliding Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.3	SHGC: 0.76
Wideline Fixed Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 5.9	SHGC: 0.80

\*Refer to NATHERS Certificate for location and dimensions of windows.

### Skylights

N/A

### Water

Landscape Area	399m <sup>2</sup>
W.C.'s	4 star
Kitchen Taps	4 star
Shower Heads	3 star (> 7.5 but <= 9 L/min)
Basin Taps	4 star
Alternative Water	3000L Rainwater Tank
Roof Water to Tank	150m <sup>2</sup>
All Water Uses	Garden Tap, Laundry & WC

### Energy

Hot Water	Gas Instantaneous   6 star
Air-Con (Heating)	1-Phase Ducted A/C   3.0 - 3.5
Air-Con (Cooling)	1-Phase Ducted A/C   3.0 - 3.5
Ventilation	As Per Basix Assessment
PV System	3.3kW
Cooking	Gas Cooktop & Electric Oven
Drying	Outdoor Clothesline
Lighting	Primarily LED

Phone: 0488 203 906

Email: giuseppe@energiasessments.com.au

ABN: 77 614 736 284

**Certificate No. 0009394719**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Daniel Warda  
 Accreditation No. 101182  
 Property Address: Birrong Avenue, Belrose NSW, 2085  
 hstar.com.au/QR/Generate?p=EUKGQKf



AREAS	
SITE:	702.90 m <sup>2</sup>
GROUND FLOOR:	168.3 m <sup>2</sup>
FIRST FLOOR:	184.74 m <sup>2</sup>
GARAGE:	39.65 m <sup>2</sup>
PORCH:	1.97 m <sup>2</sup>
BALCONY:	N/A m <sup>2</sup>
ALFRESCO:	39.65 m <sup>2</sup>
PATIO SLAB	1.18 m <sup>2</sup>
TOTAL:	432.93 m <sup>2</sup>

QUOTE	DATE	QUOTE NUMBER	REV	REV	DATE	AMENDMENTS	BY
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EHI			-				
AIR CONDITIONING			-	G	05.06.24	COUNCIL DEFERRAL	MJ
STAIRS			-	F	20.05.24	HYDRAULIC CO - ORDINATED	MJ
LANDSCAPE				E	29.04.24	DA DRAWINGS	MTK/MJ
HYDRAULICS				D	09.04.24	CV 1	DR
ENGINEER				C	07.03.24	CONTRACT DRAWINGS	MTK
PEG OUT				B	23.02.24	RE-TENDER	BG
				A	31.01.24	TENDER	BG

SHEET	DESCRIPTION
2.5	SHADOW ELEV. JUNE
2.4	JUNE SHADOW DIAGRAM
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
12	WET AREA DETAILS
11	WET AREA DETAILS
10	WET AREA DETAILS
9	ELECTRICAL LAYOUT
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

CLIENT'S SIGNATURE:

DATE:

REV

DATE

AMENDMENTS

BY

# ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**STAMFORD 42**  
Classic  
R/H Garage

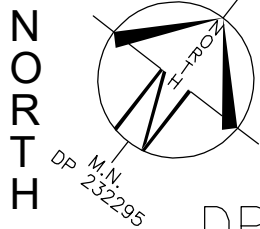
Sapphire Specification

Master Issued: 9.08.23 Revision: H

CLIENT:  
**Mr. MANN**  
**Mrs. MANN**  
SITE ADDRESS:  
Lot 79 No.22, DP 232295  
Birrong Avenue  
BELROSE 2085

## DA DRAWINGS

DRAWN: MTK	DATE: 07.03.24	Rev: G
RATIO @ A3: N/A	CHECKED: CY	
SHEET: 1	JOB No: 29916934	NSW



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**LOT 79**  
**D.P: 232295**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED  
 IN ACCORDANCE WITH  
 WARRINGAH DCP 2011**

SITE AREA	702.9 m <sup>2</sup>
ROOF AREA	274.93 m <sup>2</sup>
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	398.60 m <sup>2</sup> 56.7 %
MIN. REQUIRED BY COUNCIL:	40 %

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	128.29 m <sup>2</sup>
MIN. REQUIRED BY COUNCIL:	60 m <sup>2</sup>

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	274.93 m <sup>2</sup>
DRIVEWAY/ PAVED AREAS:	40.23 m <sup>2</sup>
TOTAL:	315.16 m <sup>2</sup> 44.83 %
MAX SITE COVERAGE FOR OSD:	40%

BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	398.60 m <sup>2</sup> 56.7 %

CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	M	Zone 5

**NOTE:**  
 ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

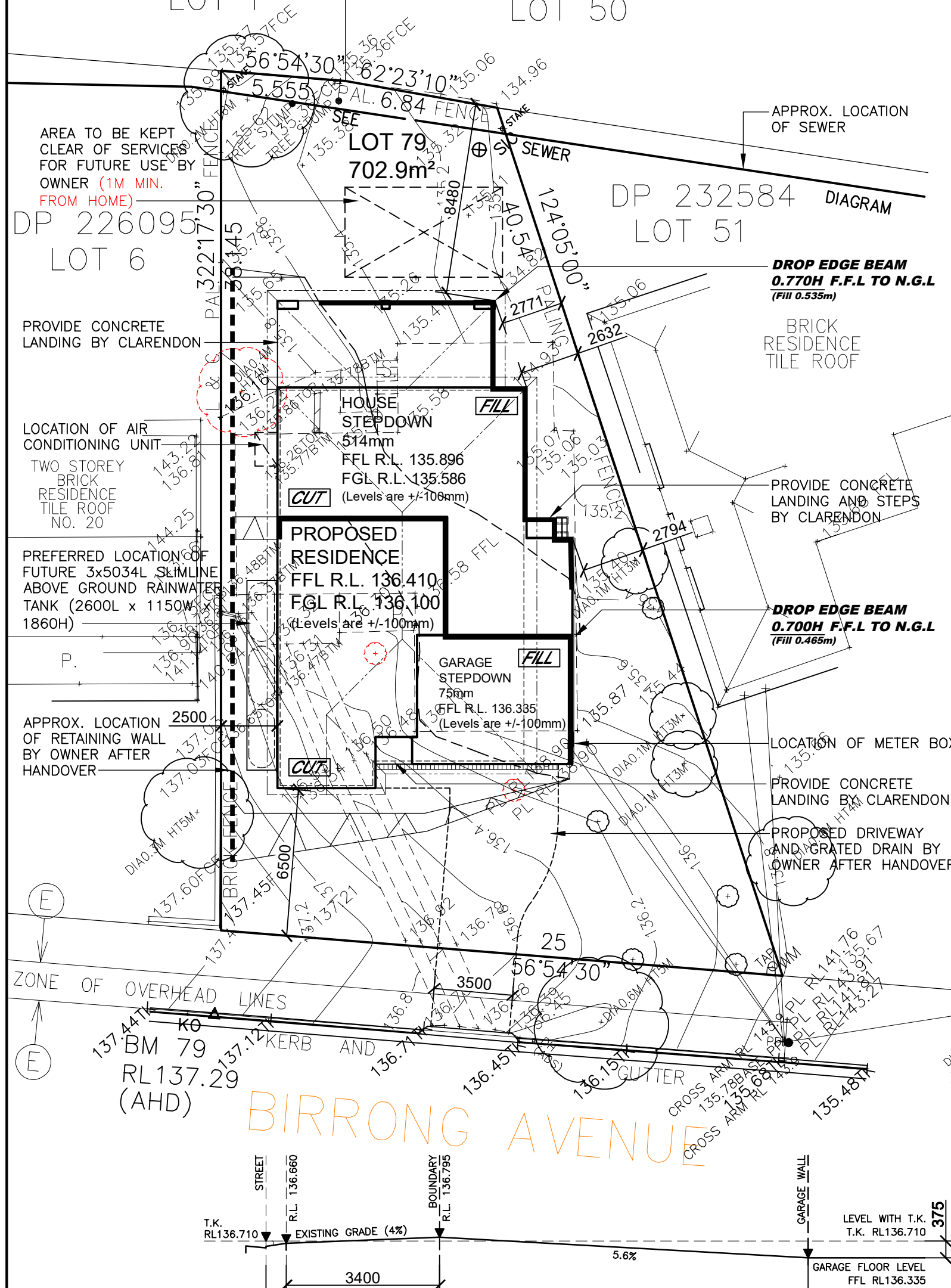
**RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS**

**NOTE:**  
 OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**STORMWATER TO STREET VIA RAINWATER TANK AND O.S.D**  
 REFER TO HYDRAULIC DETAILS

DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

**GRATED DRAIN TO FRONT OF GARAGE BY OWNER AFTER HANDOVER.**  
 OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER FOR THE SIZE OF THE GRATE



**SITE PLAN**  
 SCALE 1:200



GENERAL NOTES  
 A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED  
 B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY  
 C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION  
 D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**  
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 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**STAMFORD 42**  
 Classic  
 R/H Garage  
 Sapphire Specification

CLIENT:  
 Mr. MANN  
 Mrs. MANN  
 SITE ADDRESS:  
 Lot 79 No.22, DP 232295  
 Birrong Avenue  
 BELROSE 2085

DA DRAWINGS		
DRAWN: BG	DATE: 31.01.24	Rev: G
RATIO @ A3: 1:200	CHECKED: CY	
SHEET: 2	JOB No: 29916934	NSW

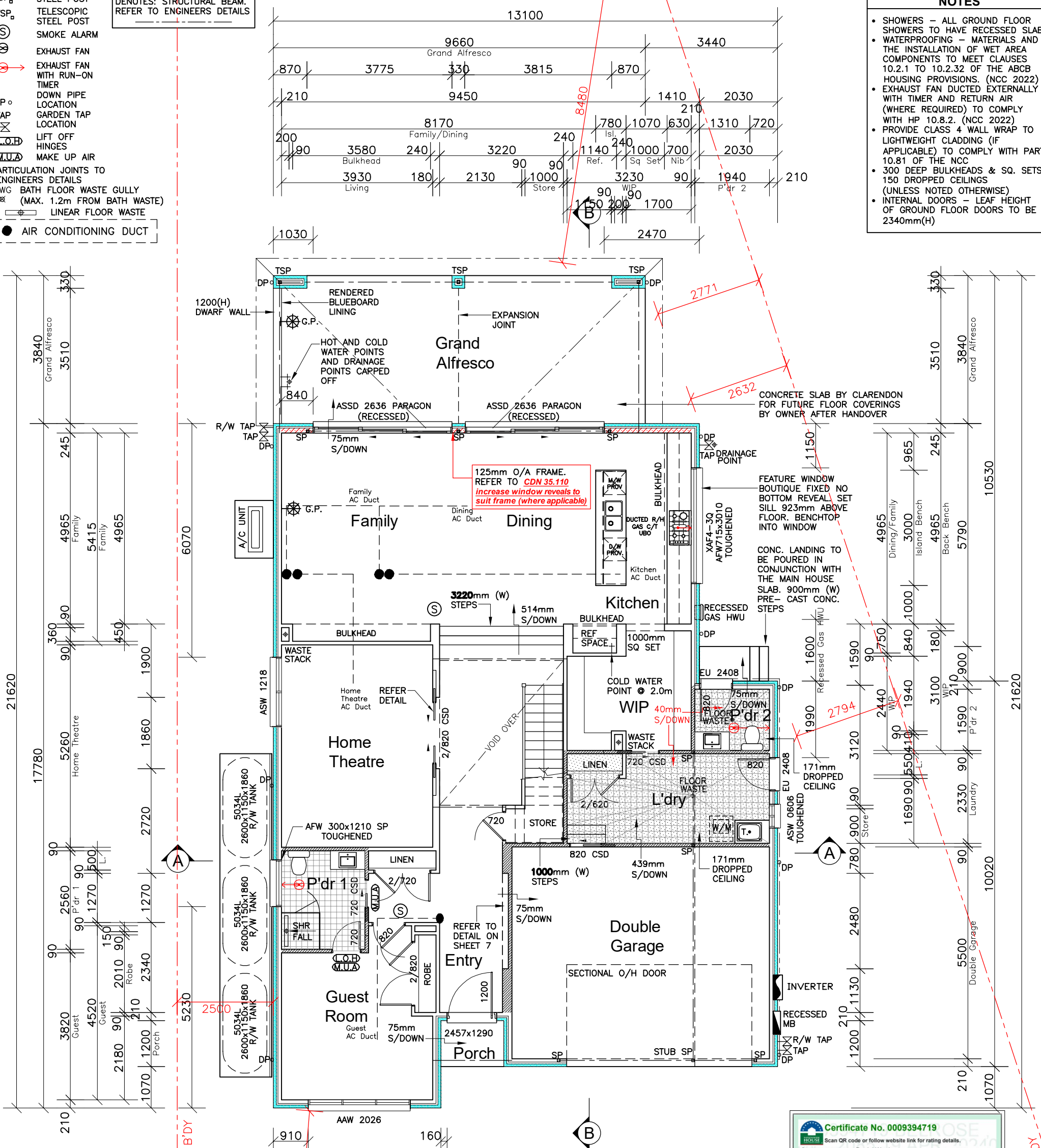


- SP. STEEL POST
- TSP. TELESCOPIC STEEL POST
- (S) SMOKE ALARM
- (E) EXHAUST FAN
- (E) EXHAUST FAN WITH RUN-ON TIMER
- DP. DOWN PIPE LOCATION
- TAP. GARDEN TAP LOCATION
- (L.O.B) LIFT OFF HINGES
- (M.U.A) MAKE UP AIR
- ARTICULATION JOINTS TO ENGINEERS DETAILS
- FWG. BATH FLOOR WASTE GULLY (MAX. 1.2m FROM BATH WASTE)
- LINEAR FLOOR WASTE
- AIR CONDITIONING DUCT

DENOTES: STRUCTURAL BEAM. REFER TO ENGINEERS DETAILS

**NOTES**

- SHOWERS - ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
- WATERPROOFING - MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
- EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
- PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
- 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
- INTERNAL DOORS - LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)

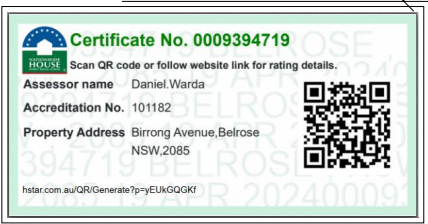


**HEBEL CONSTRUCTION**

**NOTE:**  
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

**NOTE:**  
PROVIDE NU-FLAKE EPOXY FLOOR FINISH TO GARAGE ONLY

**SOLAR PACK PROMOTION**  
\* 3.3 KW SMART SOLAR SYSTEM  
\* EV CHARGER (7KW)  
\* INVERTER



**NOTE:**  
PROVIDE R5.0 DEEP INSULATION TO GARAGE CEILING JOISTS

**NOTE:**  
PROVIDE R2.0 INSULATION TO INTERNAL WALLS OF PDR 1, PDR 2, LAUNDRY, GARAGE

**GROUND FLOOR PLAN**

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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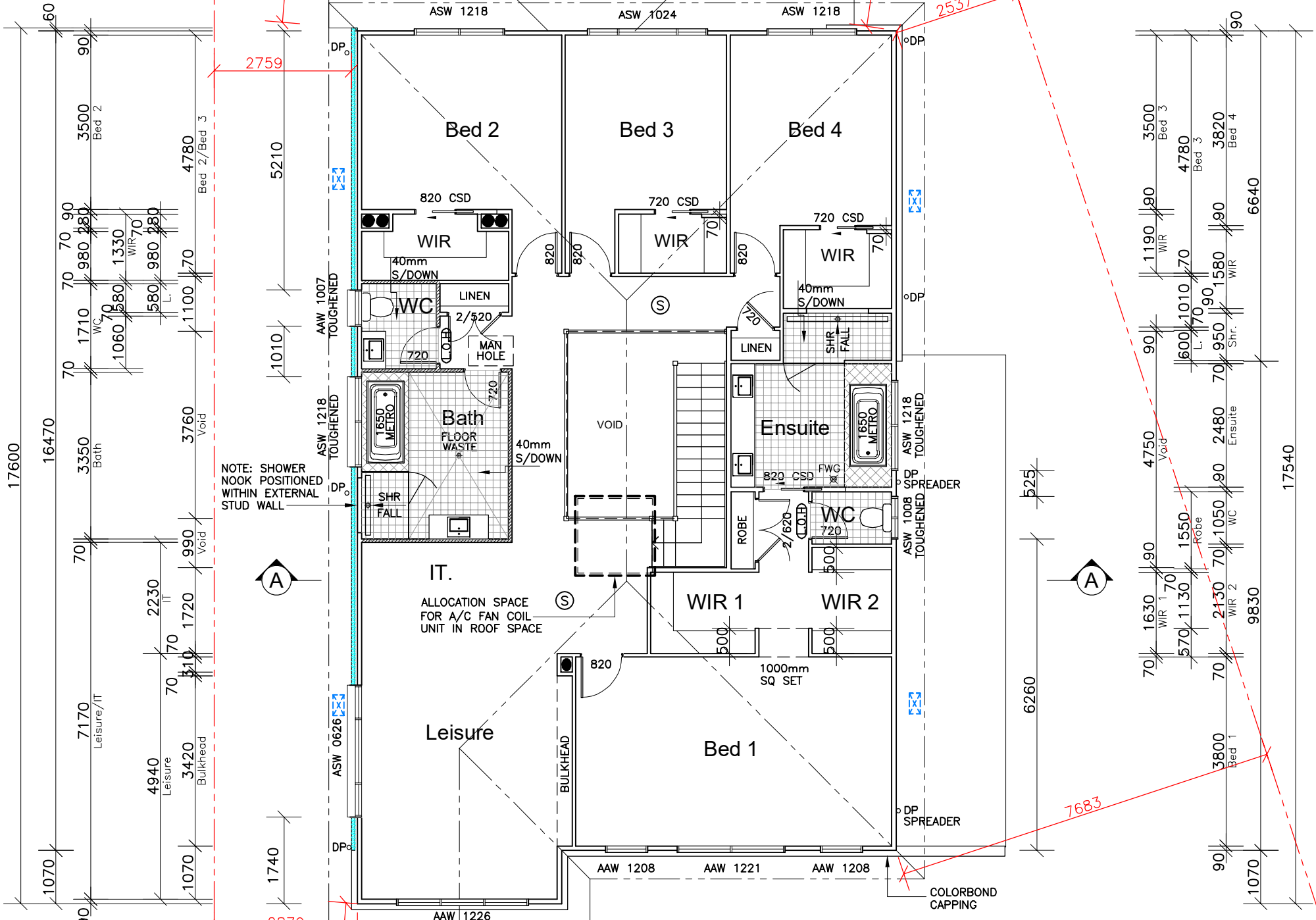
DA DRAWINGS		
DRAWN: MTK	DATE: 07.03.24	Rev: G
RATIO @ A3: 1:100	CHECKED: CY	
SHEET: 3	JOB No: 29916934	NSW

- ⊙ SMOKE ALARM
- ⊗ EXHAUST FAN
- ⊗ EXHAUST FAN WITH RUN-ON TIMER
- DP ○ DOWN PIPE LOCATION
- ⊙ LIFT OFF HINGES
- ⊙ MAKE UP AIR
- ARTICULATION JOINTS TO ENGINEERS DETAILS
- FWG BATH FLOOR WASTE GULLY (MAX. 1.2m FROM BATH WASTE)
- ⊙ LINEAR FLOOR WASTE
- AIR CONDITIONING DUCT
- ⊙ EAVE VENT

PROVIDE R2.0 INSULATION TO INTERNAL WALLS OF BATH, WC

**NOTE:** PROVIDE R5.0 DEEP INSULATION TO BED 1 SUSPENDED FLOOR OVERHANG

- NOTES**
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY
  - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
  - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
  - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
  - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
  - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
  - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
  - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)



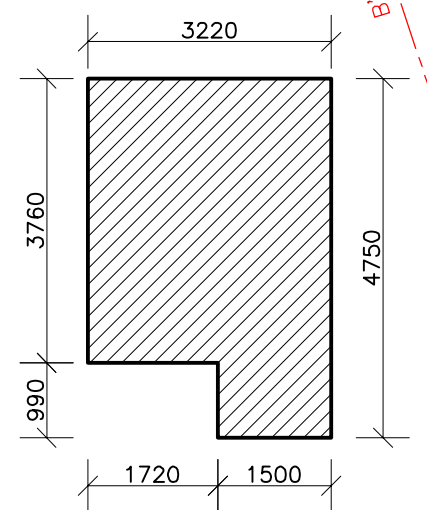
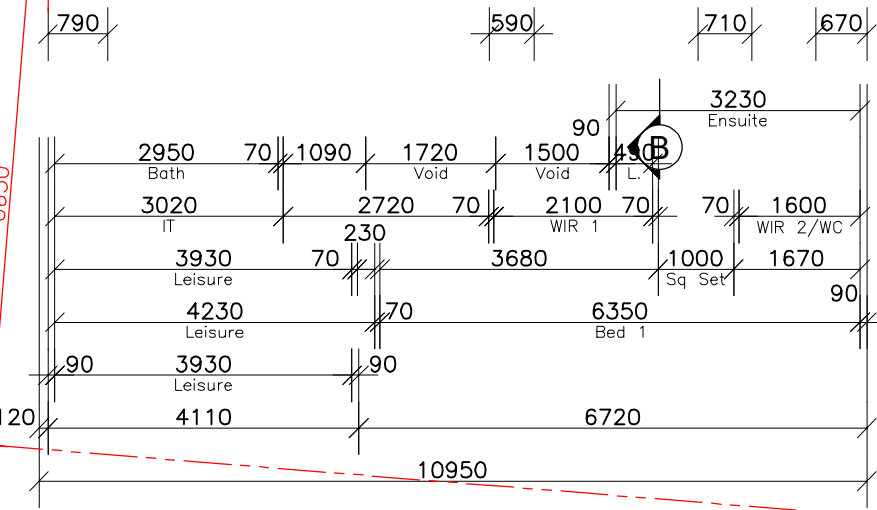
**HEBEL CONSTRUCTION**

**NOTE:** SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 12 FOR DETAILS

**NOTE:** INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

**SOLAR PACK PROMOTION**

- \* 3.3 KW SMART SOLAR SYSTEM
- \* EV CHARGER (7KW)
- \* INVERTER



**FIRST FLOOR PLAN**

**STAIR CUTOUT**  
SCALE 1:100

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**SOLAR PACK PROMOTION**  
 \* 3.3 KW SMART SOLAR SYSTEM  
 \* EV CHARGER (7KW)  
 \* INVERTER

DENOTES WINDOWS WITH  
 DOUBLE GLAZED ARGON  
 FILLED LOW-E GLAZING

NOTES:  
 FOR DROP-OFF'S REFER  
 TO FRAMING DETAILS  
**CDN 21.010-21.080**

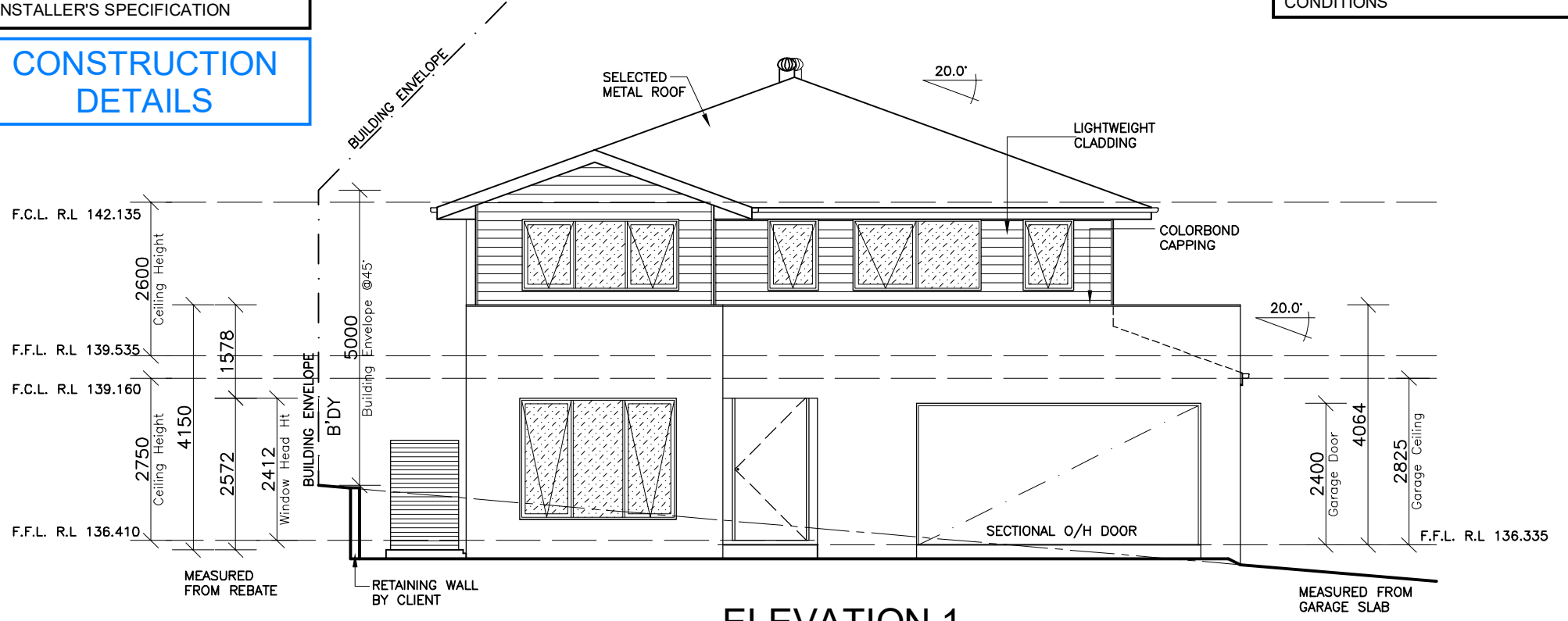
**HEBEL FLOORING  
 CONSTRUCTION**  
 (EXCLUDES WET AREAS)

NOTE:  
 CONTROL JOINTS AS PER  
 INSTALLER'S SPECIFICATION

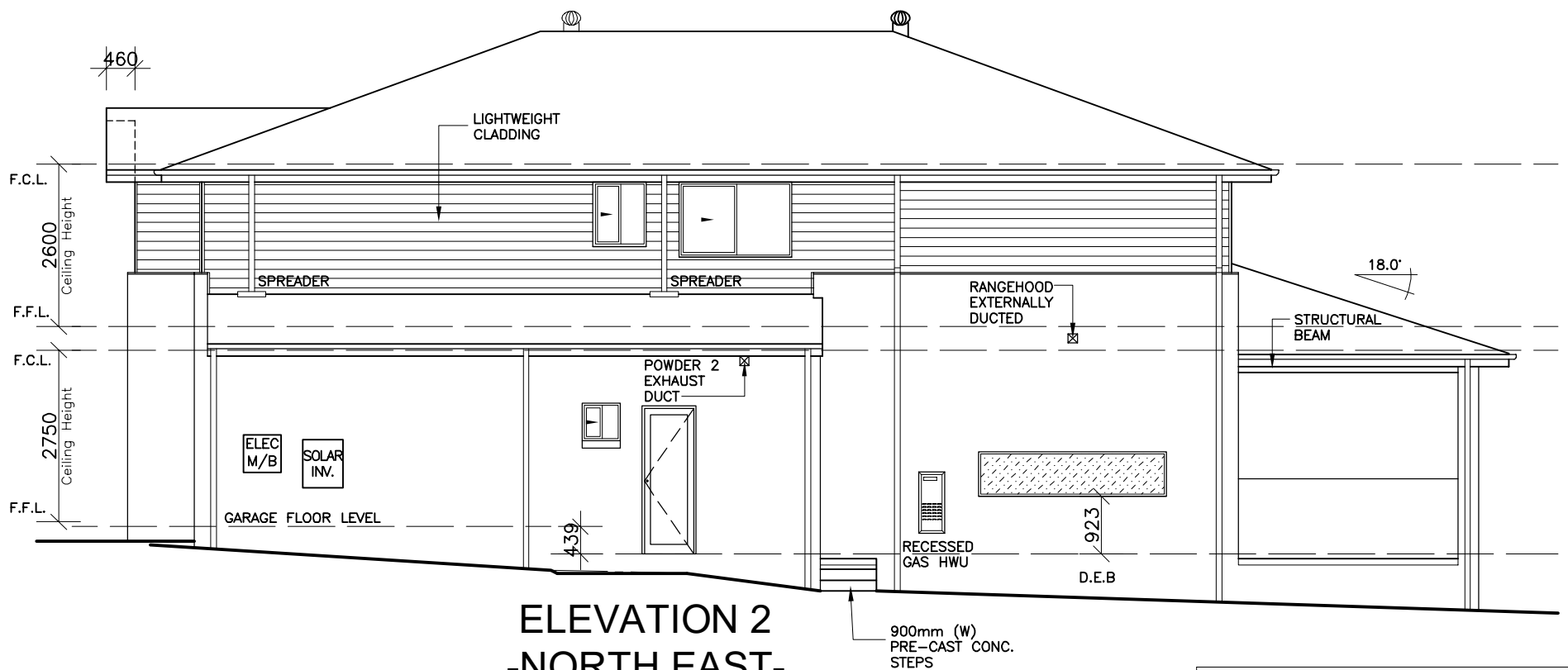
**CONSTRUCTION  
 DETAILS**

NOTE:  
 HEIGHT OF DROP EDGE BEAM MAY  
 VARY DUE TO SITE CONDITIONS  
 UPON COMPLETION OF SITE WORKS

NOTE:  
 NUMBER OF STEPS REQUIRED MAY  
 VARY DEPENDING ON SITE  
 CONDITIONS



**ELEVATION 1  
 -SOUTH EAST-**



**ELEVATION 2  
 -NORTH EAST-**

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SHEET: <b>5</b>	JOB No: <b>29916934</b>	<b>NSW</b>



**SOLAR PACK PROMOTION**  
 \* 3.3 KW SMART SOLAR SYSTEM  
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■ DENOTES WINDOWS WITH  
 DOUBLE GLAZED ARGON  
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NOTES:  
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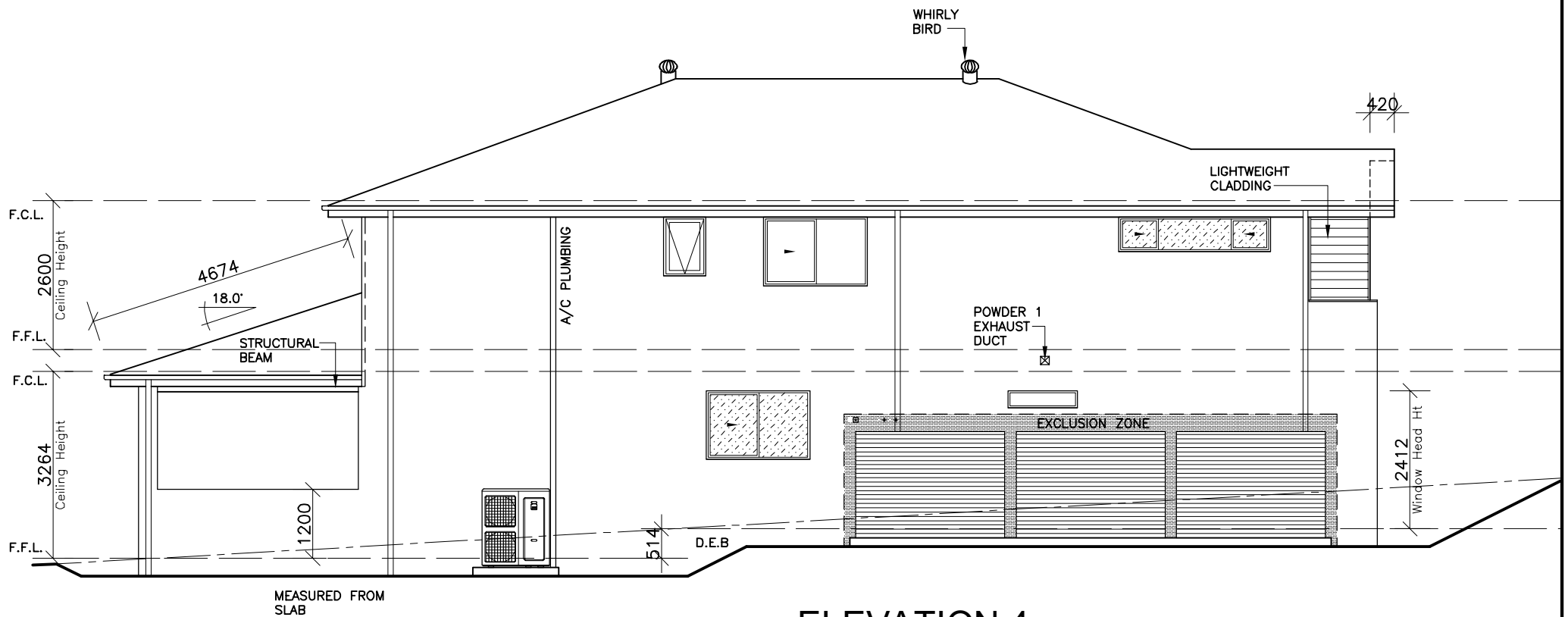
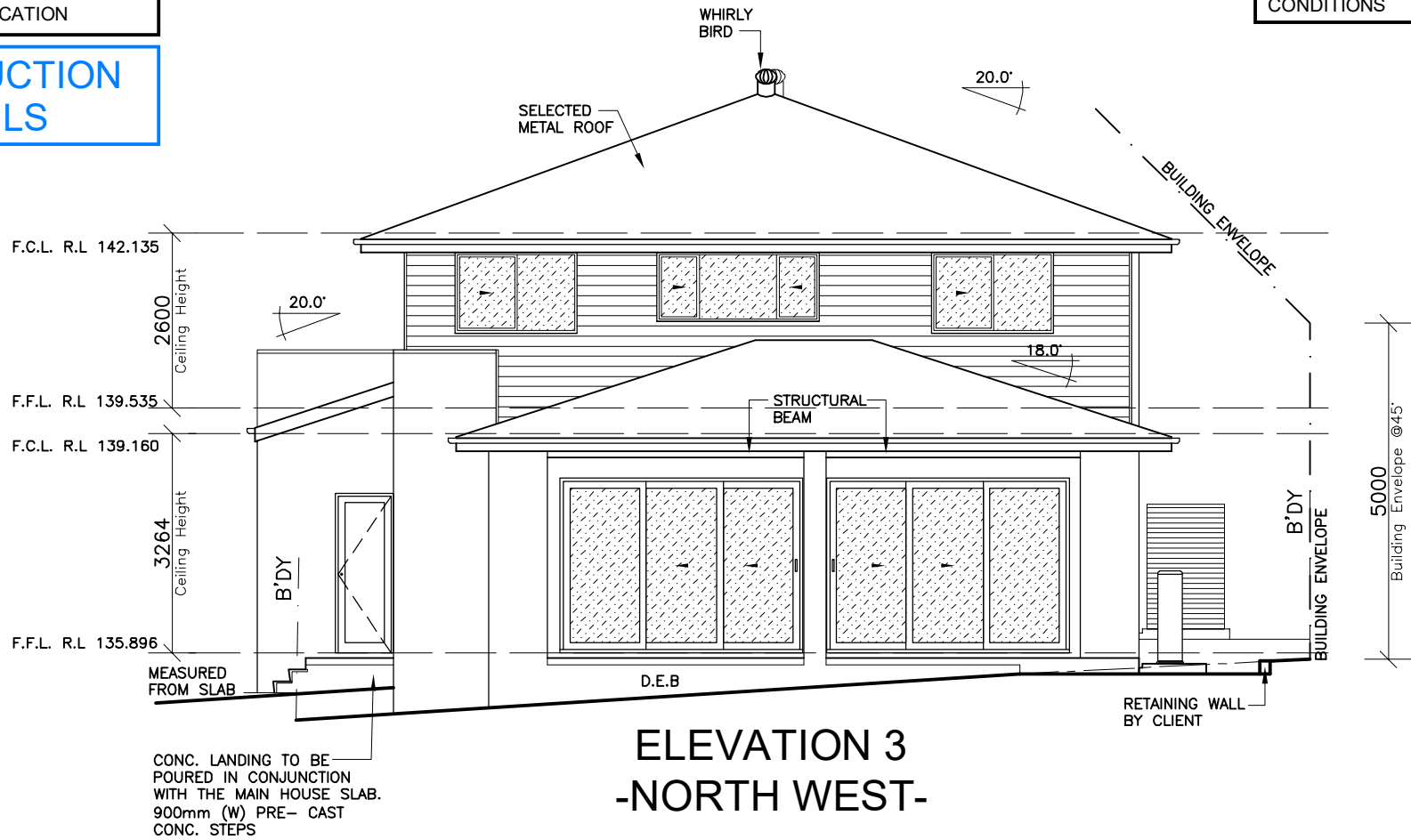
**HEBEL FLOORING  
 CONSTRUCTION**  
 (EXCLUDES WET AREAS)

NOTE:  
 CONTROL JOINTS AS PER  
 INSTALLER'S SPECIFICATION

**CONSTRUCTION  
 DETAILS**

NOTE:  
 HEIGHT OF DROP EDGE BEAM MAY  
 VARY DUE TO SITE CONDITIONS  
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NOTE:  
 NUMBER OF STEPS REQUIRED MAY  
 VARY DEPENDING ON SITE  
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CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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DRAWN: MTK	DATE: 07.03.24	Rev: <b>G</b>
RATIO @ A3: 1:100	CHECKED: CY	
SHEET: <b>6</b>	JOB No: <b>29916934</b>	<b>NSW</b>

**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO GROUND & FIRST FLOOR TO BE 2340mm(H)

PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR  
PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

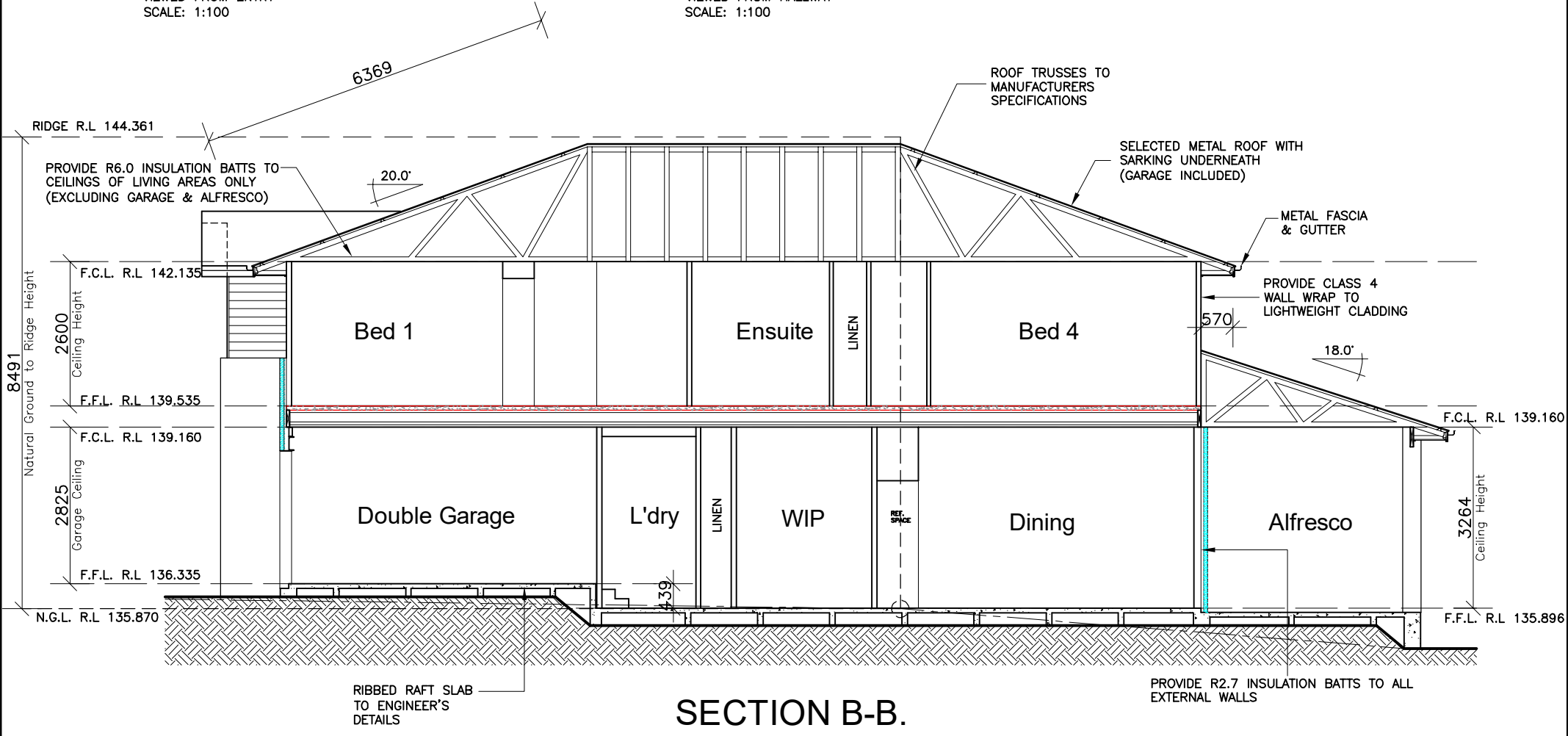
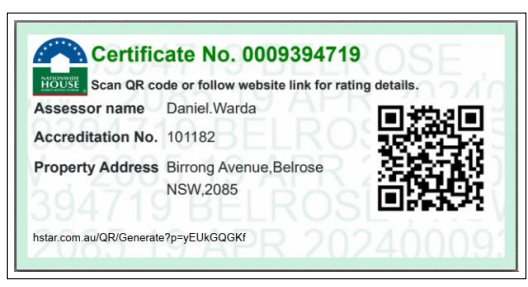
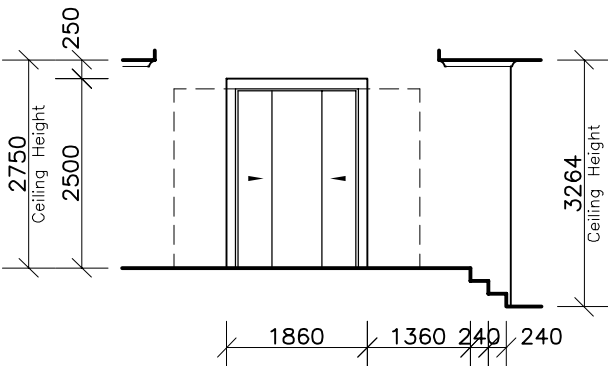
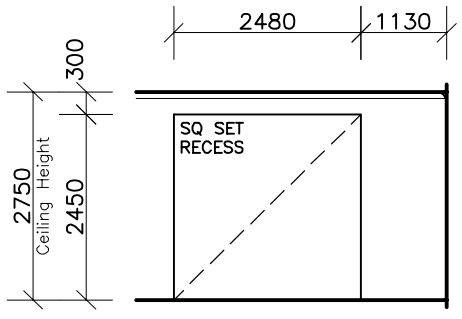
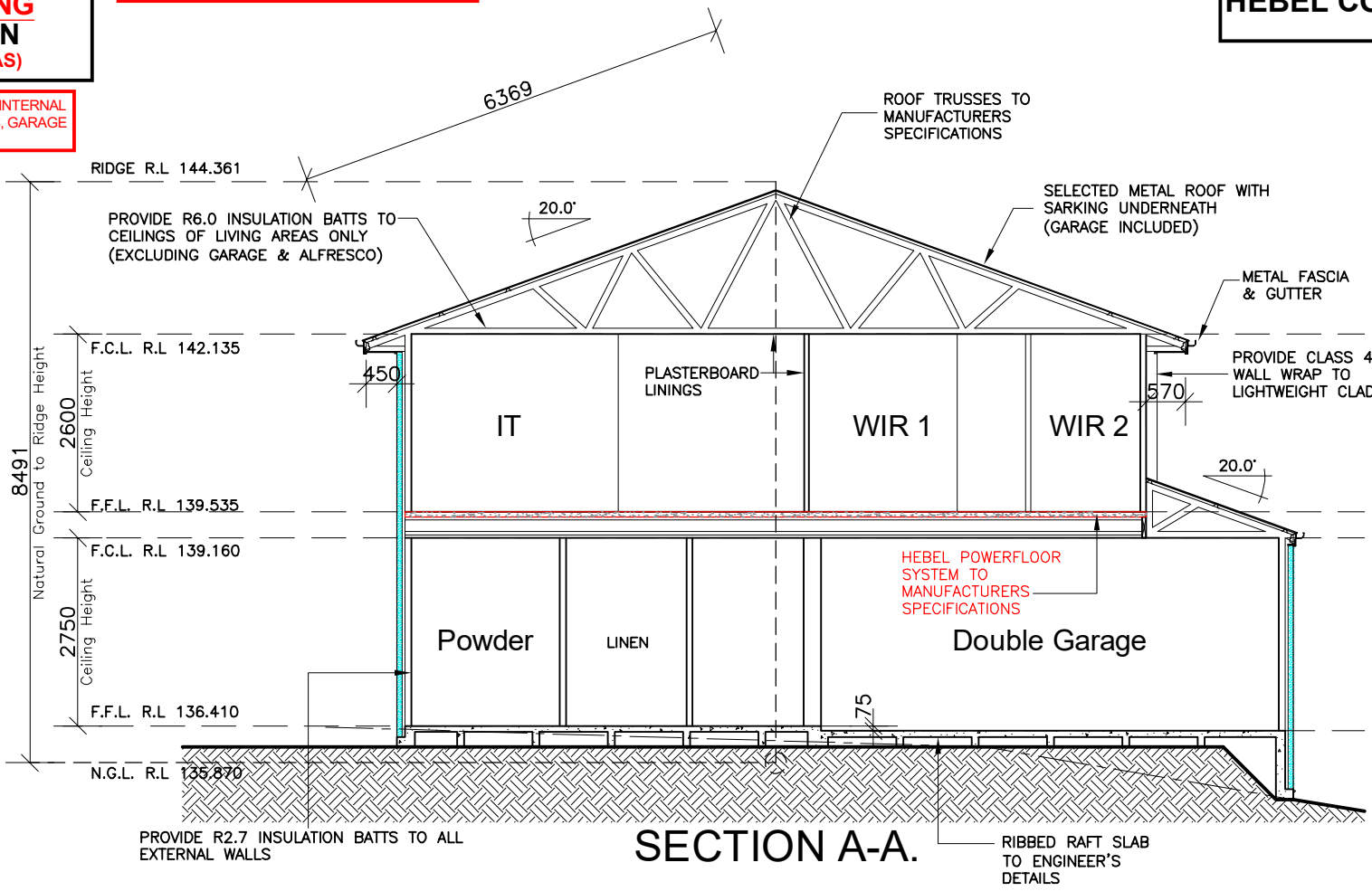
**NOTE -**  
CLIENT TO INSTALL CEILING FANS TO BED1, BED2, BED3 & BED4 AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS  
O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED

**NOTE:**  
CONTROL JOINTS AS PER INSTALLER'S SPECIFICATION

**HEBEL FLOORING CONSTRUCTION**  
(EXCLUDES WET AREAS)

PROVIDE R2.0 INSULATION BATTS TO INTERNAL WALLS OF PDR1, PDR2, LAUNDRY, WC, GARAGE AND BATH

**HEBEL CONSTRUCTION**



CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

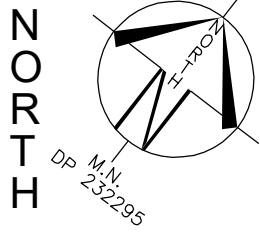
**ClarendonHomes**  
BL No. 2298C  
ABN 18 003 892 706  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**STAMFORD 42**  
Classic  
R/H Garage  
Sapphire Specification

CLIENT:  
Mr. MANN  
Mrs. MANN  
SITE ADDRESS:  
Lot 79 No.22, DP 232295  
Birrong Avenue  
BELROSE 2085

DA DRAWINGS		
DRAWN: MTK	DATE: 07.03.24	Rev: G
RATIO @ A3: 1:100	CHECKED: CY	
SHEET: 7	JOB No: 29916934	NSW



DP 226095  
LOT 1

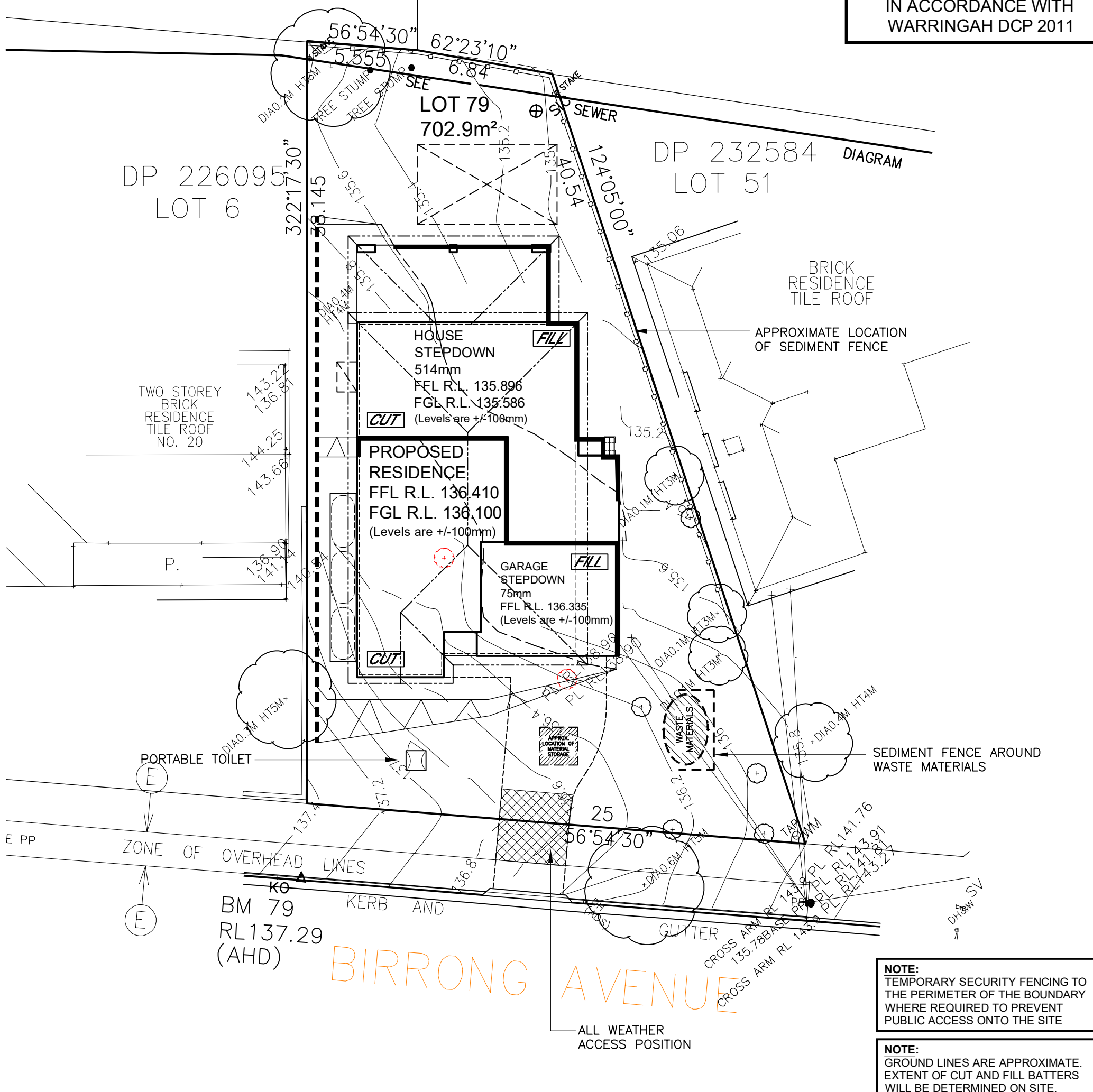
DP 232584  
LOT 50

**LOT 79**  
D.P: 232295  
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
WARRINGAH DCP 2011

DP 226095  
LOT 6

DP 232584  
LOT 51



**NOTE:**  
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

**SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

**SEDIMENT FENCE**  
NOT TO SCALE

# CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<p>Bl No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L. # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</p>	<p>PRODUCT: <b>STAMFORD 42</b> Classic R/H Garage</p> <p>Sapphire Specification</p>	<p>CLIENT: Mr. MANN Mrs. MANN</p> <p>SITE ADDRESS: Lot 79 No.22, DP 232295 Birrong Avenue BELROSE 2085</p>	<p>DA DRAWINGS</p>		
				<p>DRAWN: MTK</p> <p>RATIO @ A3: 1:200</p> <p>SHEET: 2.1</p>	<p>DATE: 07.03.24</p> <p>CHECKED: CY</p> <p>JOB No: 29916934</p>	<p>Rev: G</p> <p>NSW</p>



NORTH

LOT 79  
D.P: 232295  
L.G.A: NORTHERN BEACHES

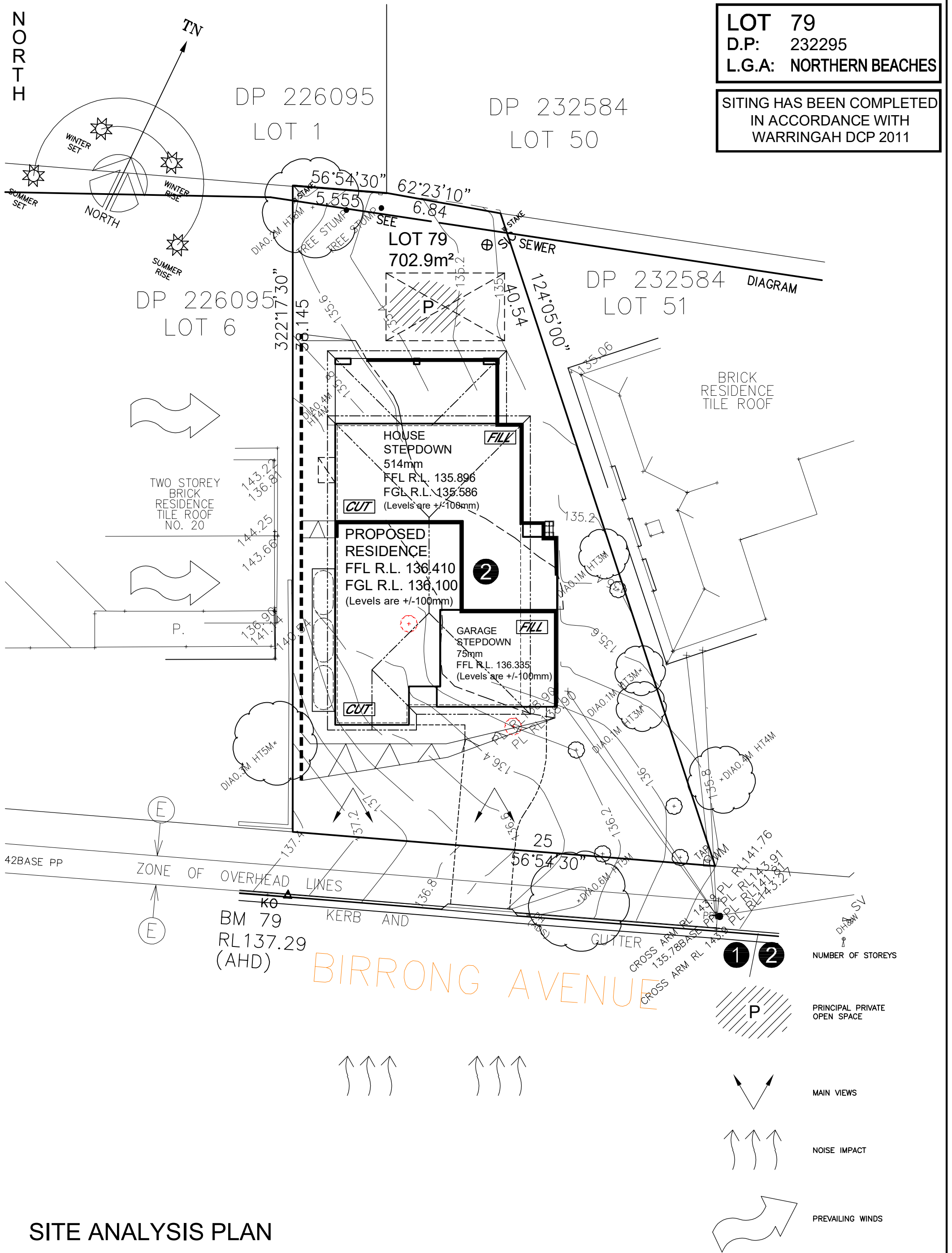
SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
WARRINGAH DCP 2011

DP 226095  
LOT 1

DP 232584  
LOT 50

DP 226095  
LOT 6

DP 232584  
LOT 51



### SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

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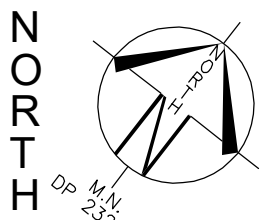
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BELROSE 2085

### DA DRAWINGS

DRAWN: MTK	DATE: 07.03.24	Rev: <b>G</b>
RATIO @A3: 1:200	CHECKED: CY	
SHEET: 2.2	JOB No: 29916934	NSW



DP 226095  
LOT 1

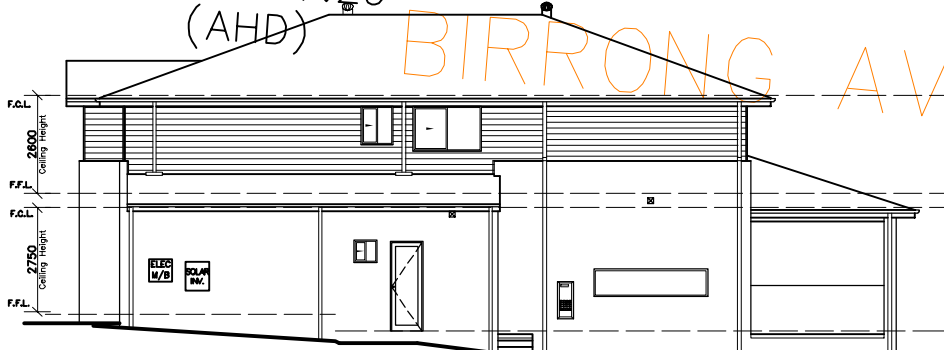
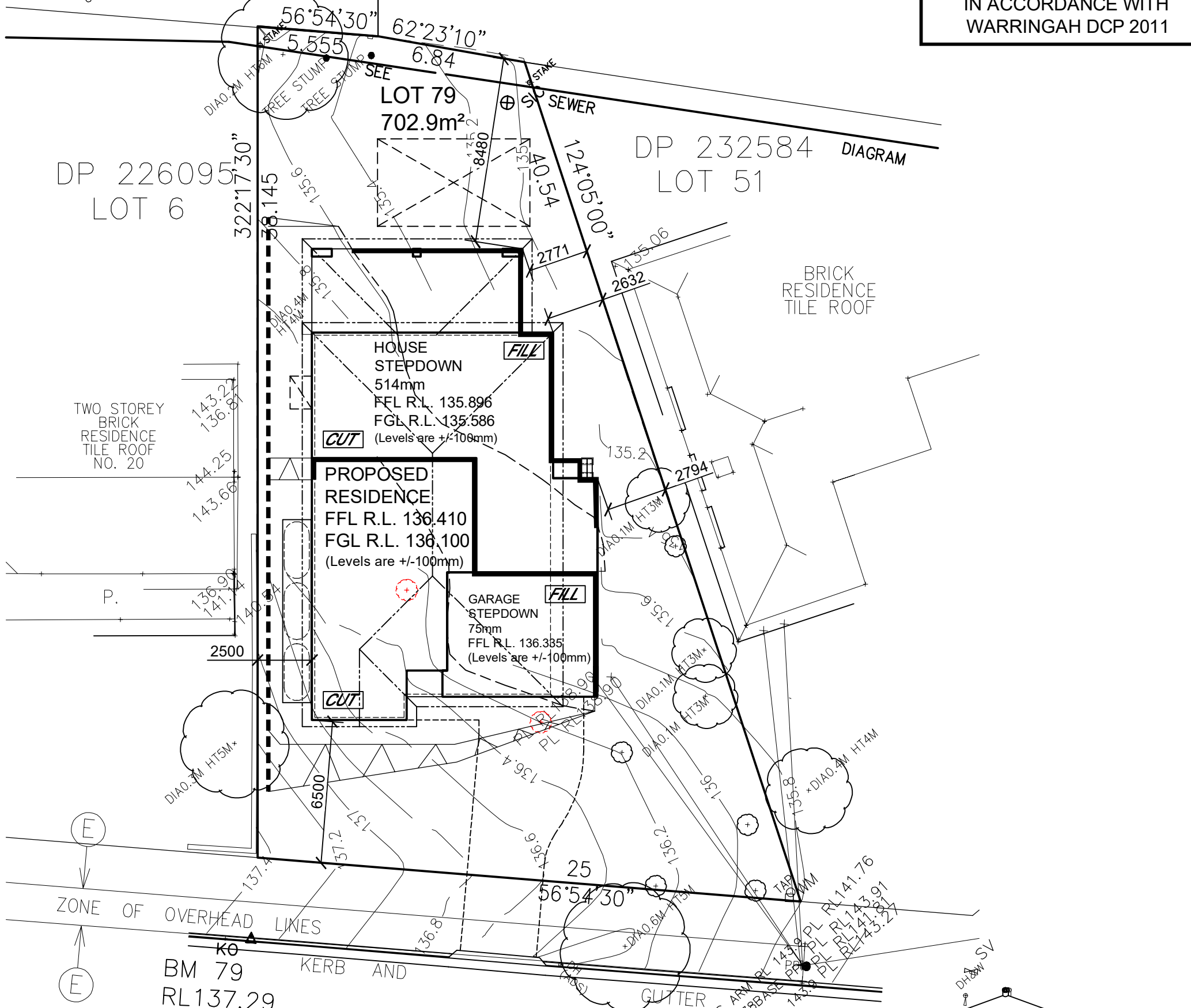
DP 232584  
LOT 50

**LOT 79**  
D.P: 232295  
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
WARRINGAH DCP 2011

DP 226095  
LOT 6

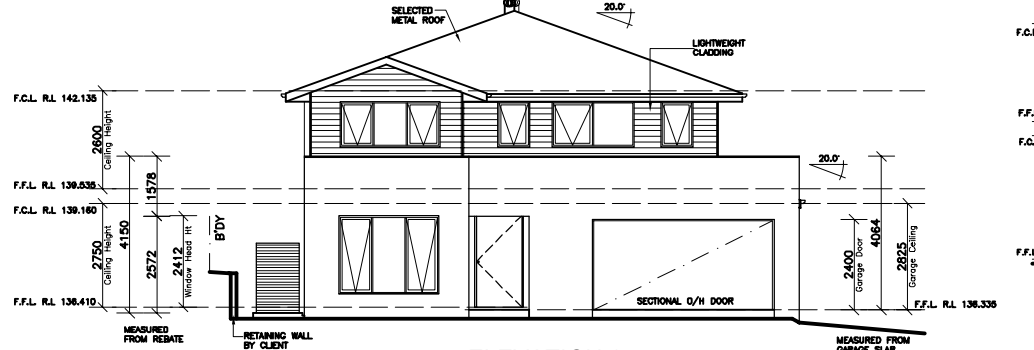
DP 232584  
LOT 51



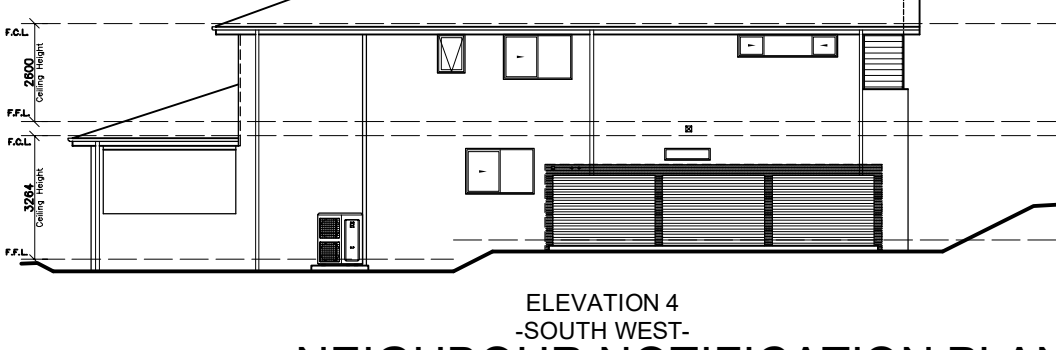
ELEVATION 2 - NORTH EAST



ELEVATION 3 - NORTH WEST



ELEVATION 1 - SOUTH EAST



ELEVATION 4 - SOUTH WEST

**BIRROING AVENUE**

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

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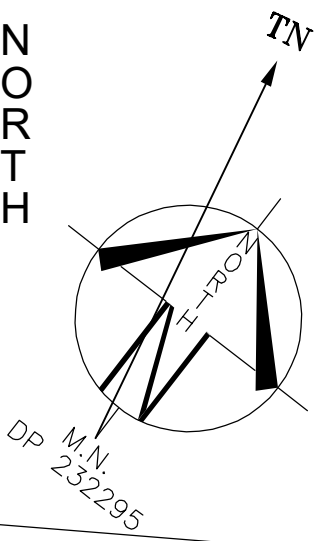
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BELROSE 2085

DA DRAWINGS

DRAWN: MTK	DATE: 07.03.24	Rev: <b>G</b>
RATIO @ A3: 1:200	CHECKED: CY	
SHEET: 2.3	JOB No: 29916934	NSW

NORTH



**LOT 79**  
D.P: 232295  
L.G.A: NORTHERN BEACHES

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WARRINGAH DCP 2011

DP 226095  
LOT 1

DP 232584  
LOT 50

DP 226095  
LOT 6

DP 232584  
LOT 51

LOT 79  
702.9m<sup>2</sup>

BRICK  
RESIDENCE  
TILE ROOF

Shadow outline for JUN21-9.00am  
TWO STOREY  
BRICK  
RESIDENCE  
TILE ROOF  
NO. 20

Shadow outline for JUN21-12.00pm

Shadow outline for JUN21-3.00pm

BIRRONG AVENUE

BM 79  
RL137.29  
(AHD)

### SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

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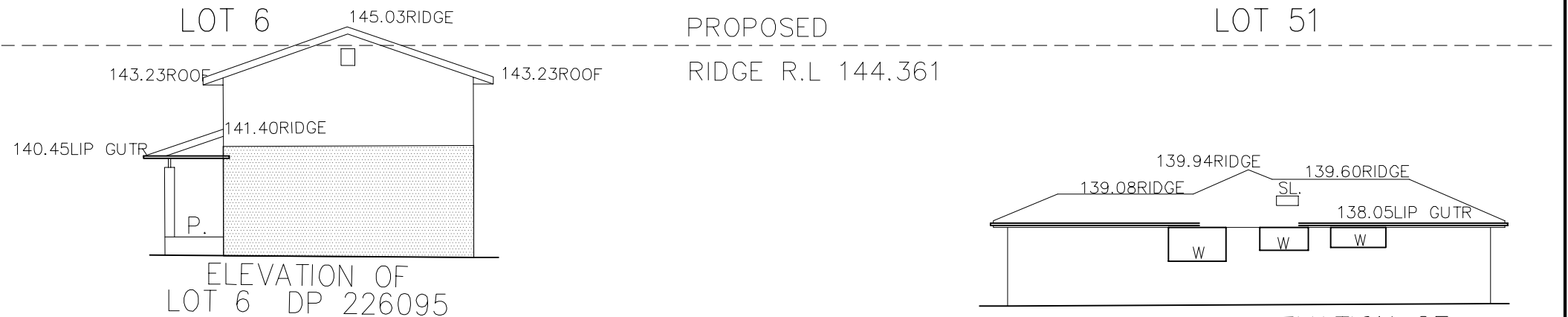
DA DRAWINGS

DRAWN: MTK	DATE: 07.03.24	Rev: <b>G</b>
RATIO @ A3: 1:200	CHECKED: CY	
SHEET: 2.4	JOB No: 29916934	NSW



**LOT 79**  
**D.P: 232295**  
**L.G.A: NORTHERN BEACHES**

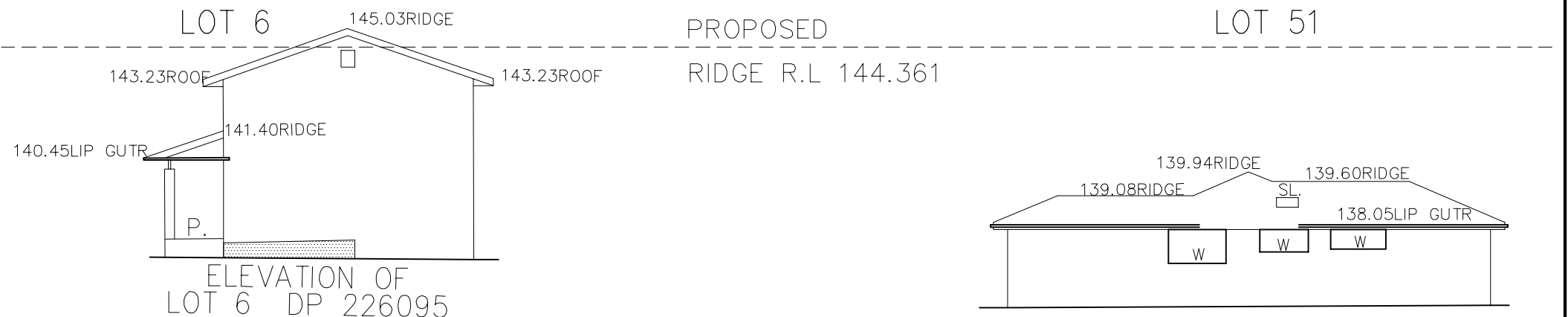
**SITING HAS BEEN COMPLETED  
 IN ACCORDANCE WITH  
 WARRINGAH DCP 2011**



ELEVATION OF  
 LOT 6 DP 226095

ELEVATION OF  
 LOT 51 DP 232584

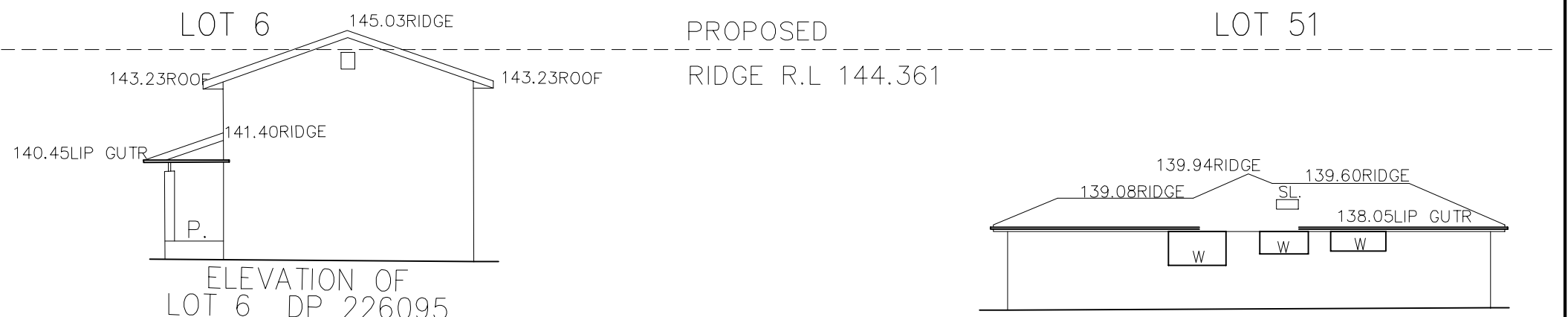
## Shadow outline for JUN21-9.00am



ELEVATION OF  
 LOT 6 DP 226095

ELEVATION OF  
 LOT 51 DP 232584

## Shadow outline for JUN21-12.00pm



ELEVATION OF  
 LOT 6 DP 226095

ELEVATION OF  
 LOT 51 DP 232584

## Shadow outline for JUN21-3.00pm

### ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
 ABN 18 003 892 706

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**BELROSE 2085**

**DA DRAWINGS**

DRAWN: MTK	DATE: 07.03.24	Rev:
RATIO @ A3: 1:200	CHECKED: CY	<b>G</b>
SHEET: 2.5	JOB No: 29916934	<b>NSW</b>