



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0032

NOTE- For details of new front fence and gates see floor plan and elevation sheets.

SITE RATIO'S - EXISTING:

SITE AREA	696.10m ²
BUILDING FOOTPRINT	194.58m ²
PAVED AREAS AND DRIVEWAY	68.57m ²
AREAS UNDER 2m WIDE	46.17m ²
SUM TOTAL	309.32m ²
EXISTING LANDSCAPED AREA	386.78m ²
	55.5%

SITE RATIO'S - PROPOSED:

SITE AREA	696.10m ²
BUILDING FOOTPRINT	229.53m ²
PAVED AREAS AND DRIVEWAY	91.80m ²
POOL SURROUNDS	15.68m ²
TERRACE/WALKWAY/PORCH	66.44m ²
AREAS UNDER 2m WIDE	13.45m ²
SUM TOTAL	416.90m ²
EXISTING LANDSCAPED AREA	279.20m ²
	40.1%

NOTES

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BASIC INFORMATION REQUIREMENTS:

LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or LED lamps.

WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating.
Swimming pool: Maximum size pool shall be 38 Kilolitres. It must have a pool pump timer, pool cover and not be heated.

HOT WATER SYSTEM:

Any new Hot water system shall be a gas instantaneous system in accordance with the Basic certificate.

INSULATION REQUIREMENTS:

External walls: The external walls shall be brick veneer and shall meet R1.70 (including construction).
Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction).
Ceilings: The new raked ceiling, pitched/skillion roof ceilings shall meet minimum R2.24 (upl).
Roof: The roof shall have a foil backed blanket (55mm) and be medium colour (solar absorption 0.475 > 0.70).

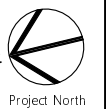
WINDOWS, GLAZED DOORS & SKYLIGHTS:

All window, door & skylight numbers shown on the window/door/skylight schedule correspond to matching window/door/skylight numbers shown in the Basic certificate.

Sizes: The total area of glazing for each window/door/skylight shall be no greater than that shown on the Basic certificate.

Shading devices: Shading devices shall be installed in accordance with the Basic certificate.

Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate.



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Client

MR. SUGAR & MS. GRATTON

Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

LOT 19, DP 232313

KILLARNEY HEIGHTS NSW 2087

JAH
DESIGN SERVICES

ABN 22 630 690 834

BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086

P.H. 0410 410 064 EMAIL juke@jahdesigns.com.au

Drawing Title:

SITE PLAN

Scale: 1:200 @ A3

Date: JANUARY 2021

Status: DA submission

Checked By: JAH

Project No:

2017

Drawing No.:

DA01

Plot Date: 7/01/2021

DONEGAL ROAD

500m TO PUBLIC
TRANSPORT

520m TO PUBLIC
PRIMARY SCHOOL &
1.1km TO PUBLIC HIGH
SCHOOL

600m TO
KILLARNEY HEIGHTS
SHOPPING VILLAGE &
2.1km TO FORESTVILLE
SHOPPING CENTRE

1

SITE PLAN

1:200

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT



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DA2021/0032

BOUNDARY 38.055m (survey) 38.105m (title) 8°24'00"

Demolish and remove concrete pathway and staircase shown hatched to allow for new extension as per proposed plan

Demolish and remove all walls shown hatched to allow for new layout as per proposed plan. Make good to all affected areas as required

Open up wall to allow for new door into garage

Remove existing steel columns and replace with new beam over to engineers details

WORKSHOP

RUMPUS ROOM

GARAGE

BATH

LDRY

CELLAR

STORE

BEDROOM 4

SITTING ROOM

HOME GYM

Remove existing internal doors and portion of wall shown hatched and allow for new door as per proposed plan

Remove existing window and portion of wall shown hatched and allow for new sliding door as per proposed plan

Demolish and remove all internal walls shown hatched to allow for new layout as per proposed plan. Make good to all affected areas as required

Remove existing window shown hatched and allow for new window as per proposed plan

Demolish and remove access ramp and landing shown hatched.

Demolish and remove existing staircase shown hatched. Make good to floor and ceiling to match existing adjoining finish

Remove existing steel columns and portion of rear wall, including windows and doors, shown hatched to allow for new rear extension as per proposed plan

Demolish and remove concrete driveway to allow for new driveway as per proposed plan

Demolish and remove front garage wall including garage doors to allow for new garage extension as per proposed plan and engineers details

Remove door and brick up opening as per proposed plan

NOTE- Demolish and remove all existing walls, windows and doors shown hatched. Make good to all affected surfaces as per proposed plan.

Demolish and remove existing bathroom and laundry cabinetry, fittings, and all wall and floor tiles shown hatched. Cap off any unused plumbing and electrical points and make good as per proposed plan

Open up wall to allow for new window and door as per proposed plan

Remove existing window and portion of wall shown hatched and allow for new window as per proposed plan

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BASIX INFORMATION REQUIREMENTS:

LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating
Swimming pool: Maximum size pool shall be 38 Kilolitres. It must have a pool pump timer, pool cover and not be heated.

HOT WATER SYSTEM:

Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate.

INSULATION REQUIREMENTS:

External walls: The external walls shall be brick veneer and shall meet R1.70 (including construction)
Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)
Ceilings: The new raked ceiling, pitched/skillion roof ceilings shall meet minimum R2.24 (upl).
Roof: The roof shall have a foil backed blanket (55mm) and be medium colour (solar absorption 0.475 > 0.70)

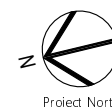
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Client

MR. SUGAR & MS. GRATTON

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29 DONEGAL ROAD

LOT 19, DP 232313

KILLARNEY HEIGHTS NSW 2087

JAH
DESIGN SERVICES

ABN 22 630 690 834

BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
P.H. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:

EXISTING GROUND FLOOR

Scale:

1:100 @ A3

Date:

JANUARY 2021

Status:

DA submission

Checked By:

JAH

Project No:

2017

Drawing No.:

DA02

Plot Date:

7/01/2021

1

EXISTING GROUND FLOOR PLAN

1:100



northern
beaches
council

**THIS PLAN IS TO BE READ IN
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DA2021/0032

BOUNDARY 18.365m 283°31'50"

Remove existing window and portion of wall shown hatched and allow for new window as per proposed plan

Open up wall to allow for new window and door as per proposed plan

Demolish and remove existing bathroom, ensuite and WC cabinetry, fittings, and all wall and floor tiles shown hatched. Cap off any unused plumbing and electrical points and make good as per proposed plan

Remove existing windows and brick up as per proposed plan. Make good to all affected surfaces

BOUNDARY 38.055m (survey) 38.105m (title) 8°24'00"

Demolish and remove existing front wall including window shown hatched to allow for new extension as per proposed plan and engineers details

Demolish and remove concrete staircase shown hatched to allow for new extension as per proposed plan

Demolish and remove all internal walls shown hatched to allow for new layout as per proposed plan. Make good to all affected areas as required

Demolish and remove all internal wardrobes shown hatched to allow for new layout as per proposed plan. Make good to all affected areas as required

Demolish and remove existing verandah and front wall including windows and doors shown hatched to allow for new extension as per proposed plan and engineers details

Remove existing privacy screen from end of verandah

Open up wall to allow for new windows as per proposed plan

Demolish and remove existing kitchen cabinetry, fittings, and all wall and floor tiles shown hatched. Cap off any unused plumbing and electrical points and make good as per proposed plan

NOTE - Demolish and remove all existing walls, windows and doors shown hatched. Make good to all affected surfaces as per proposed plan.

Demolish and remove all internal walls shown hatched to allow for new layout as per proposed plan. Make good to all affected areas as required

Remove existing window and portion of wall shown hatched and allow for new sliding door as per proposed plan

Remove existing window shown hatched and allow for new window as per proposed plan

Remove portion of floor shown hatched to allow for new staircase and void as per proposed plan

Demolish and remove existing staircase shown hatched. Make good to floor and ceiling to match existing adjoining finish

Remove portion of wall shown hatched to allow for new window as per proposed plan

Remove existing sliding door and portion of wall shown hatched and allow for new sliding door as per proposed plan

Remove existing balcony shown hatched and allow for new extended balcony as per proposed plan

Remove existing sliding door and block up as per proposed plan

Remove existing window shown hatched and allow for new window as per proposed plan

Remove existing window and portion of wall shown hatched and allow for new window as per proposed plan

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LIGHTING:

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WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

Swimming pool: Maximum size pool shall be 38 Kilolitres. It must have a pool pump timer, pool cover and not be heated.

HOT WATER SYSTEM:

Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate.

INSULATION REQUIREMENTS:

External walls: The external walls shall be brick veneer and shall meet R1.70 (including construction)

Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)

Ceilings: The new raked ceiling, pitched/skillion roof ceilings shall meet minimum R2.24 (up).

Roof: The roof shall have a foil backed blanket (55mm) and be medium colour (solar absorption 0.475 > 0.7)

WINDOWS, GLAZED DOORS & SKYLIGHTS:

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Project North

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Client

MR. SUGAR & MS. GRATTON

Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

LOT 19, DP 232313

KILLARNEY HEIGHTS NSW 2087

JAH
DESIGN SERVICES

ABN 22 630 690 834

BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
P.H. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:

EXISTING FIRST FLOOR

Scale:

1:100 @ A3

Date:

JANUARY 2021

Status:

DA submission

Checked By:

JAH

Project No:

2017

Drawing No.:

DA03

Plot Date:

7/01/2021

1

EXISTING FIRST FLOOR PLAN

1:100

DOOR/WINDOW SCHEDULE		
D 1	4400w x 2100h	Selected Aluminium Framed 3 Panel Sliding Door
D 2	900w x 2100h	Selected Aluminium Framed Glazed Door
D 3	900w x 2100h	Selected Aluminium Framed Glazed Door
W 1	2300w x 2100h	Selected Aluminium Fixed Window
W 2	2400w x 1200h	Selected Aluminium Sliding Window
W 3	600w x 850h	Selected Aluminium Framed Awning Window
W 4	600w x 600h	Selected Aluminium Framed Awning Window with Frosted Glass
W 5	1385w x 600h	Selected Aluminium Framed Awning Window with Frosted Glass
GD 1	5400w x 2100h	Selected Panel Lift Garage Door
GD 2	2500w x 2100h	Selected Panel Lift Garage Door
Note: The Builder shall check measure all windows and doors on site prior to ordering.		



northern
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DA2021/0032

NOTE- HARD WIRED PHOTOELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.2 & AS3786

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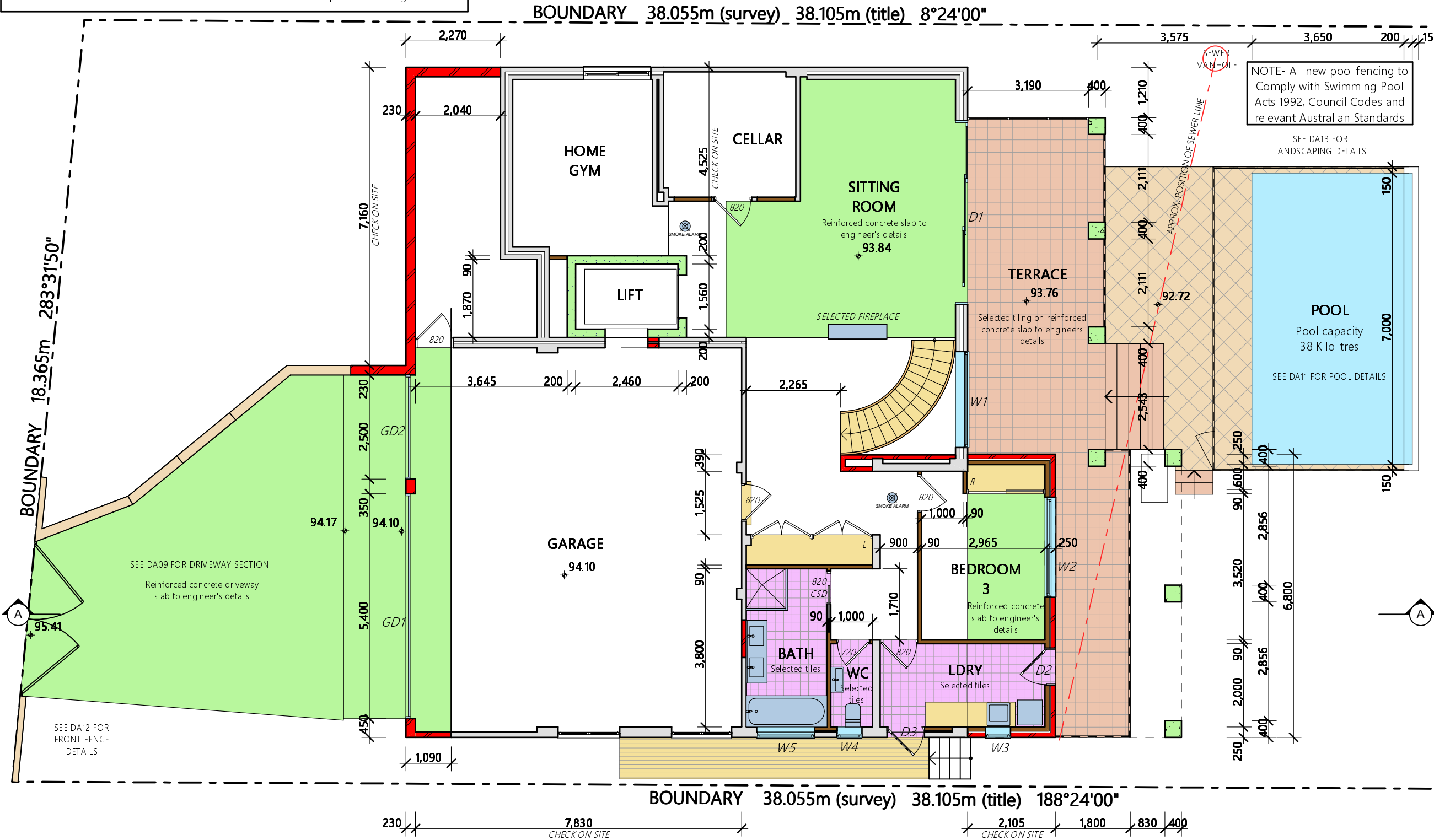
LIGHTING:
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Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating
Swimming pool: Maximum size pool shall be 38 Kilolitres. It must have a pool pump timer, pool cover and not be heated.

HOT WATER SYSTEM:
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate.

INSULATION REQUIREMENTS:
External walls: The external walls shall be brick veneer and shall meet R17.0 (including construction)
Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)
Ceilings: The new raked ceiling, pitched/skillion roof ceilings shall meet minimum R2.24 (upl).
Roof: The roof shall have a foil backed blanket (55mm) and be medium colour (solar absorption 0.475 > 0.7)

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1 PROPOSED GROUND FLOOR PLAN 1:100

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Client
MR. SUGAR & MS. GRATTON
Project Name
PROPOSED ALTERATIONS + ADDITIONS
29 DONEGAL ROAD
LOT 19, DP 232313
KILLARNEY HEIGHTS NSW 2087

JAH
DESIGN SERVICES
ABN 22 630 690 834
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:
PROPOSED GROUND FLOOR

Scale: 1:100 @ A3	Date: JANUARY 2021
Status: DA submission	Checked By: JAH
Project No: 2017	Drawing No.: DA04
Plot Date:	7/01/2021

DOOR/WINDOW SCHEDULE

D 4	1200w x 2400h	Selected Timber Framed Entry Door
D 5	5400w x 2100h	Selected Aluminium Framed 4 Panel Sliding Stacker Door
D 6	5000w x 2100h	Selected Aluminium Framed 4 Panel Sliding Stacker Door
W 6	2400w x 1500h	Selected Aluminium Framed Sliding Window
W 7	2400w x 1500h	Selected Aluminium Framed Sliding Window
W 8	2000w x 600h	Selected Aluminium Framed Sliding Window
W 9	2200w x 600h	Selected Aluminium Framed Sliding Window with Frosted Glass
W 10	900w x 600h	Selected Aluminium Framed Sliding Window with Frosted Glass
W 11	900w x 600h	Selected Aluminium Framed Sliding Window with Frosted Glass
W 12	3200w x 600h	Selected Aluminium Framed Sliding/Fixed/Sliding Window
W 13	2300w x 2100h	Selected Aluminium Framed Fixed Window
W 14	1800w x 1200h	Selected Aluminium Framed Fixed Window
W 15	2250w x 900h	Selected Aluminium Framed Sliding Window
W 16	2600w x 600h	Selected Aluminium Framed Sliding/Fixed/Sliding Window
W 17	1500w x 600h	Selected Aluminium Framed Sliding Window with Frosted Glass
W 18	900w x 600h	Selected Aluminium Framed Sliding Window with Frosted Glass

Note: The Builder shall check measure all windows and doors on site prior to ordering.



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DA2021/0032

NOTE - HARD WIRED PHOTOELECTRIC SMOKE
ALARMS TO BE INSTALLED IN ACCORDANCE WITH
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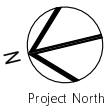
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INSULATION REQUIREMENTS:
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Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)
Ceilings: The new raked ceiling, pitched/skillion roof ceilings shall meet minimum R2.24 (upl).
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Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

LOT 19 , DP 232313

KILLARNEY HEIGHTS NSW 2087



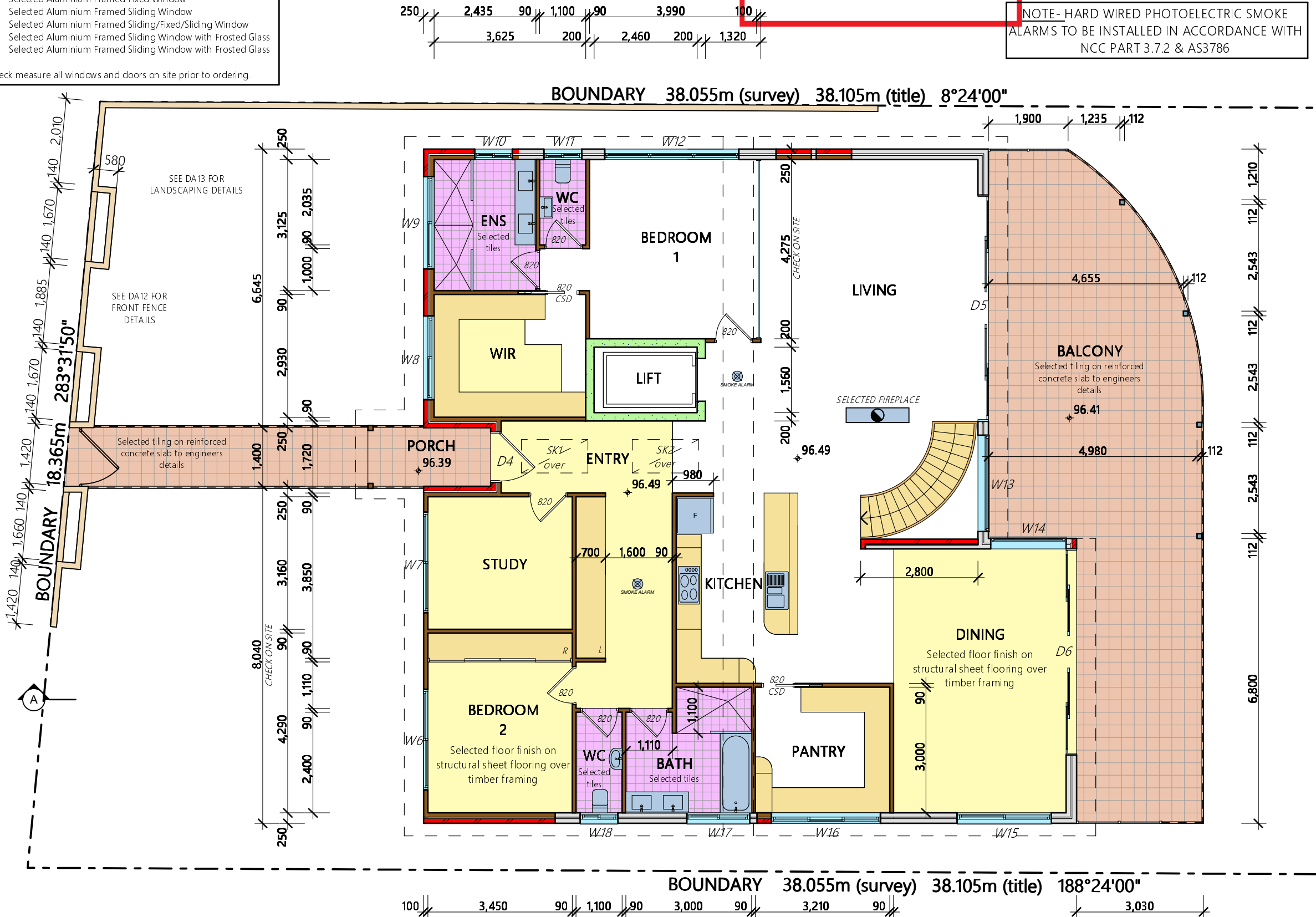
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
P.H. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

PROPOSED FIRST FLOOR

Scale: 1:100 @ A3	Date: JANUARY 2021
Status: DA submission	Checked By: JAH
Project No: 2017	Drawing No.: DA05

Plot Date: 7/01/2021



1

PROPOSED FIRST FLOOR PLAN

1:100

WINDOW/SKYLIGHT SCHEDULE		
W 19	2000w x 600h	Selected Aluminium Adjustable Louvre Window
W 20	2000w x 600h	Selected Aluminium Adjustable Louvre Window
W 21	2000w x 600h	Selected Aluminium Adjustable Louvre Window
W 22	2000w x 600h	Selected Aluminium Adjustable Louvre Window
W 23	2000w x 600h	Selected Aluminium Adjustable Louvre Window
W 24	2000w x 600h	Selected Aluminium Adjustable Louvre Window
SK 1	800w x 1600h	Selected Timber Framed Fixed Skylight
SK 2	800w x 1600h	Selected Timber Framed Fixed Skylight
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council

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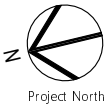
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29 DONEGAL ROAD

LOT 19, DP 232313

KILLARNEY HEIGHTS NSW 2087

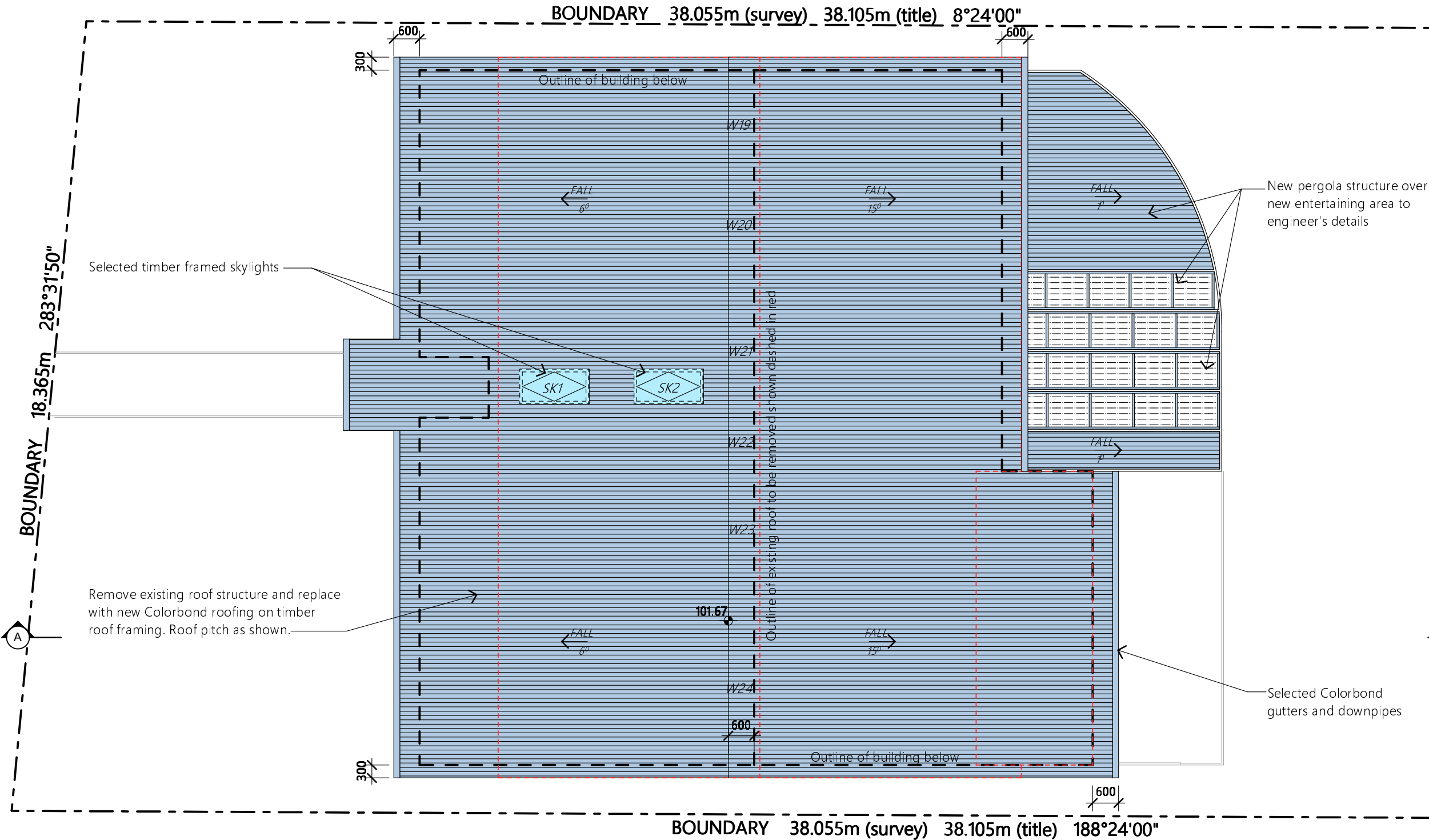


ABN 22 630 690 834
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
PH. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

ROOF PLAN

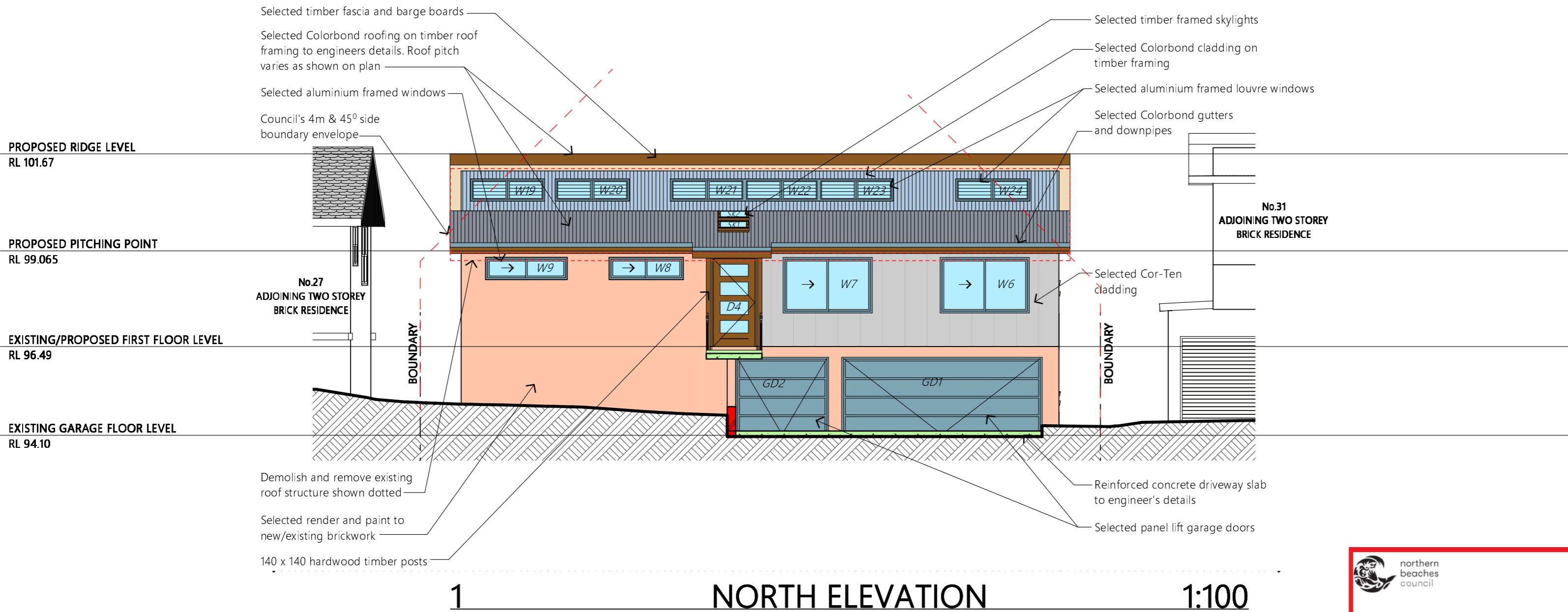
Scale: 1:100 @ A3	Date: JANUARY 2021
Status: DA submission	Checked By: JAH
Project No: 2017	Drawing No.: DA06
Plot Date:	7/01/2021



1

PROPOSED ROOF PLAN

1:100



1

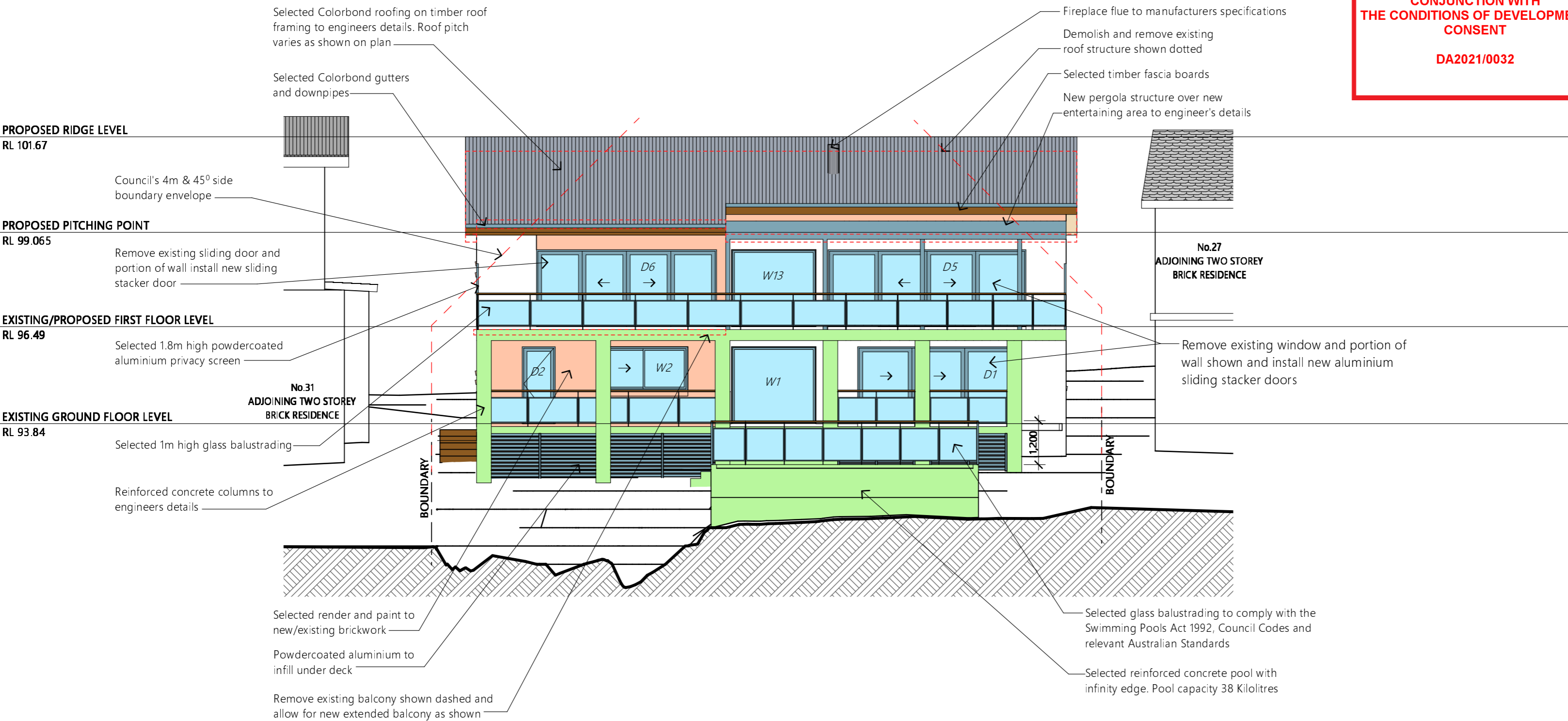
NORTH ELEVATION

1:100

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CONSENT**

DA2021/0032



2

SOUTH ELEVATION

1:100

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Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating
Swimming pool: Maximum size pool shall be 38 Kilolitres. It must have a pool pump timer, pool cover and not be heated.

HOT WATER SYSTEM:
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate.

INSULATION REQUIREMENTS:
External walls: The external walls shall be brick veneer and shall meet R1.70 (including construction)
Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)
Ceilings: The new raked ceiling, pitched/skillion roof ceilings shall meet minimum R2.24 (up).
Roof: The roof shall have a foil backed blanket (55mm) and be medium colour (solar absorption 0.475>0.70)

WINDOWS, GLAZED DOORS & SKYLIGHTS:
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Client

MR. SUGAR & MS. GRATTON

Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

LOT 19 , DP 232313

KILLARNEY HEIGHTS NSW 2087



ABN 22 630 690 834
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2087
PH. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:

NORTH & SOUTH ELEVATION

Scale: 1:100 @ A2 Date: JANUARY 2021

Status: DA submission Checked By: JAH

Project No: 2017 Drawing No: DA07

Plot Date: 7/01/2021



NOTES

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Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

LOT 19 , DP 232313

KILLARNEY HEIGHTS NSW 2087



ABN 22 630 690 834
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 20
PH. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

EAST & WEST ELEVATION

Scale: 1:100 @ A2

Date: JANUARY 2021

Status: DA submission

Checked By: JA

Project No:

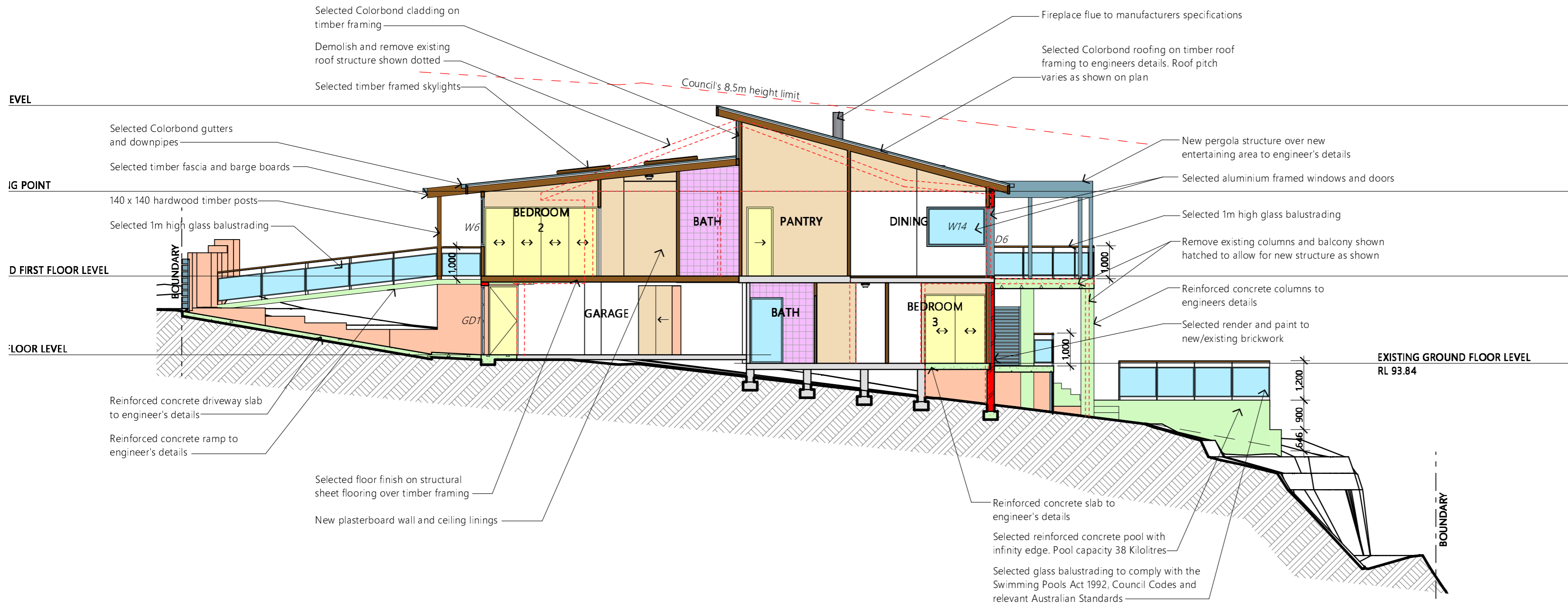
Drawing No.:

2017

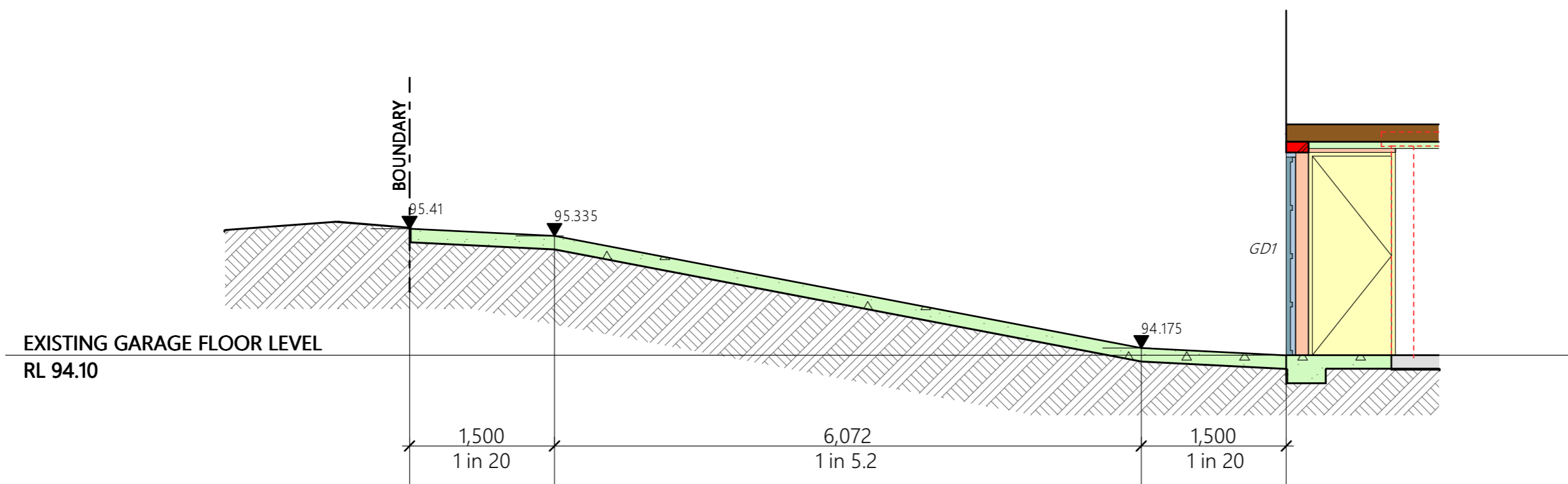
DA08

Plot Date

7/01/2021



1 SECTION A-A 1:100



2 DRIVEWAY SECTION 1:50

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Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

LOT 19, DP 232313

KILLARNEY HEIGHTS NSW 2087

JAH
DESIGN SERVICES

ABN 22 630 690 834
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
PH: 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:

SECTIONS

Scale: 1:100, 1:50 @ A2 Date: JANUARY 2021

Status: DA submission Checked By: JAH

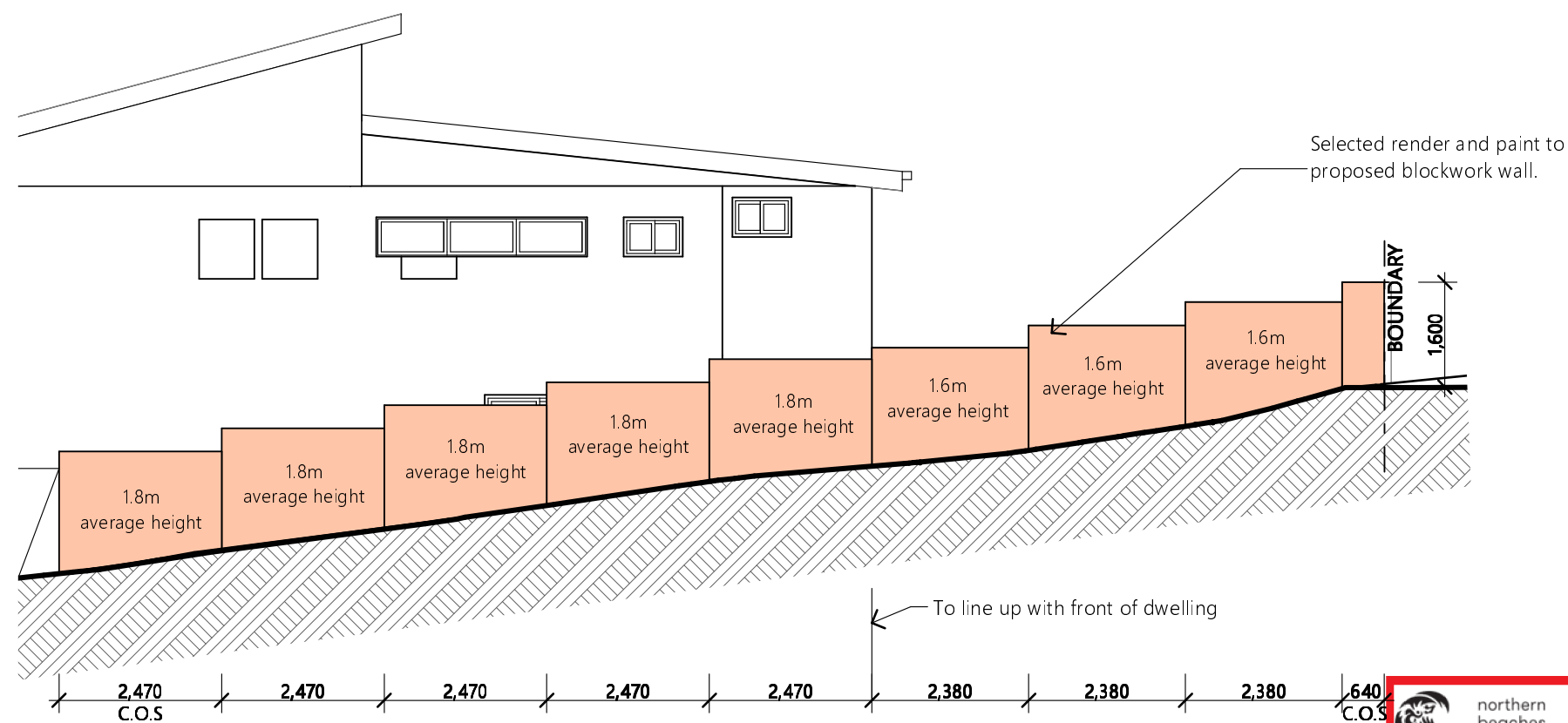
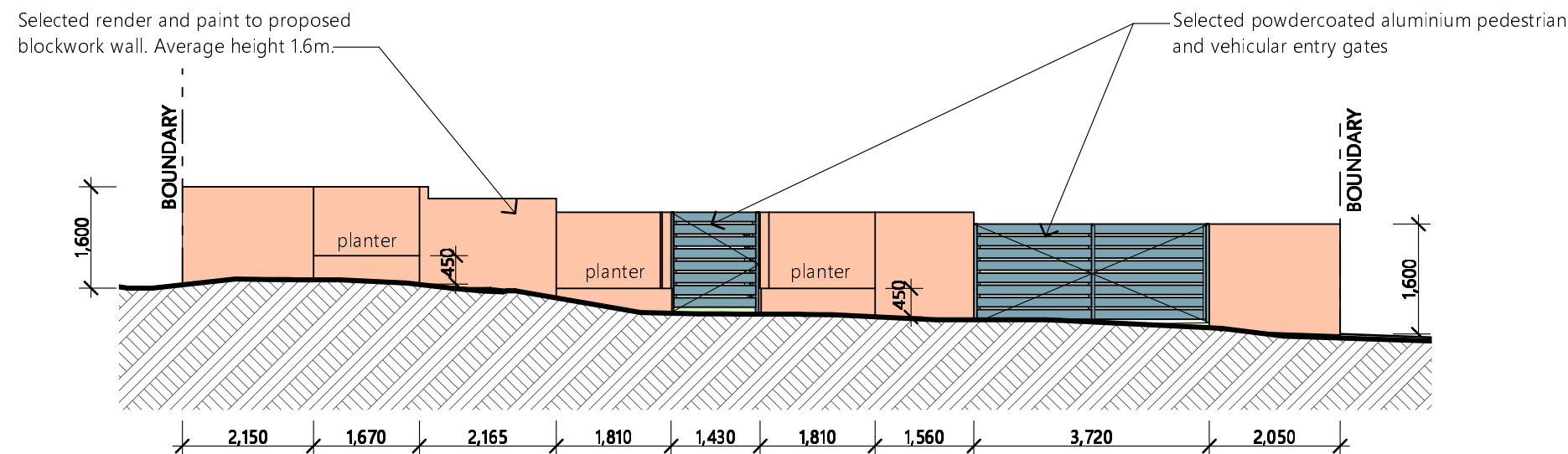
Project No: 2017 Drawing No: DA09

Plot Date: 7/01/2021

 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0032



NOTE- Block wall to meet up with existing metal boundary fence

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0032

NOTES

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Project Name

PROPOSED ALTERATIONS + ADDITIONS

29 DONEGAL ROAD

29 DONEGAL ROAD
LOT 19, DP 232313

KILLARNEY HEIGHTS NSW 2087



JAH
DESIGN SERVICES

ABN 22 630 690 834

BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
PH. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

FRONT FENCE DETAILS

Scale: 1:100 @ A3	Date: JANUARY 2021
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Status:	DA submission	Checked By:	IAH
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DA submission	JAN
Project No:	Drawing No.:

2017	DA12
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