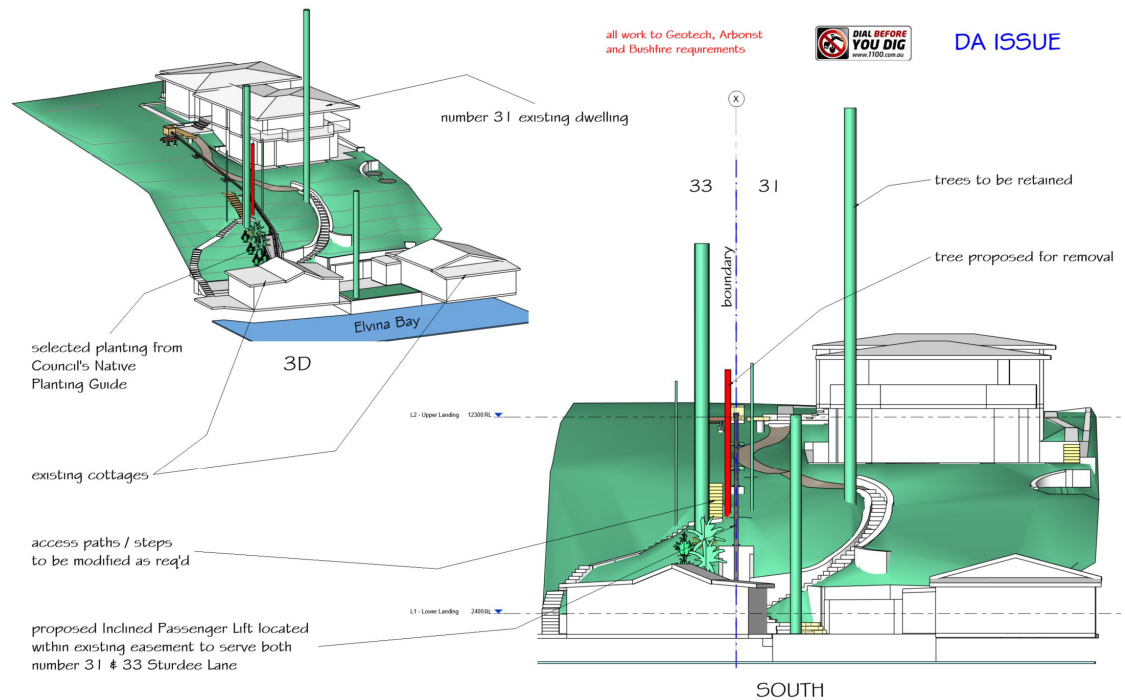


## HERITAGE IMPACT STATEMENT

9.5.25

### Proposed shared inclined lift and associated works at 31 & 33 Sturdee Lane Elvina Bay



## PROPOSED DEVELOPMENT

This Development Application proposes a new inclined passenger lift along the shared boundary of 31 & 33 Sturdee Lane Elvina Bay with associated landings and retaining works to serve the needs of both existing dwellings.

## PROPERTY DESCRIPTION

### Title Description

Number 31 Sturdee Lane: Lot 2 in D.P. 1180405.

Number 33 Sturdee Lane: Lot 1 in D.P. 1180405.

Elvina Bay NSW 2105

### Pittwater LEP 2014

### Part 5.10 Heritage Conservation

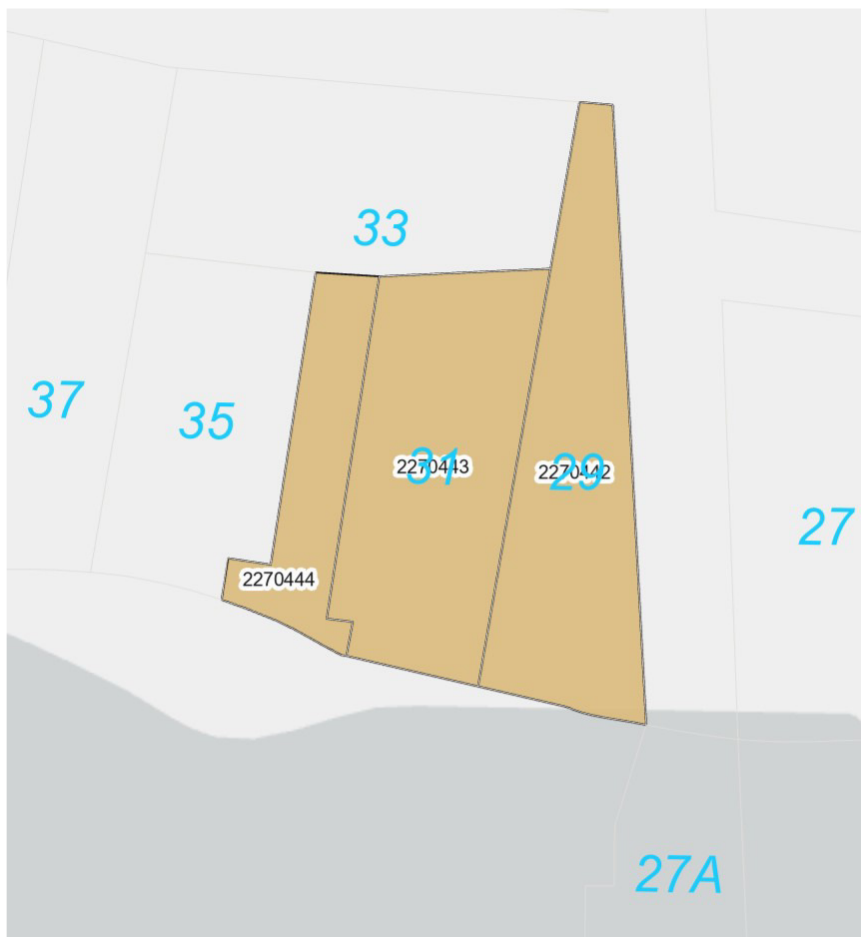


Image: NB Council Pittwater Heritage Map.

**Heritage Description:**

Both number 31 and number 33 Sturdee Lane are shown as containing heritage items, namely the two existing cottages which are situated on crown land in front of each property.

**Heritage Details:****Number 31**

Item name: Cottage  
Item Number: 2270443  
Item location: Crown land adjoining subject property  
Significance: Local

**Number 33**

Item name: Cottage  
Item Number: 2270444  
Item location: Crown land adjoining subject property  
Significance: Local

**Part 5.10 Objectives:**

- (a) to conserve the environmental heritage of Pittwater,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

## Heritage Impact Statement

- The proposed works are minor in nature, low to the ground and do not include any modification of the heritage listed cottages.
- The lower landing area of the proposed lift and almost all of the retaining works that are required to enable the construction of the lift are hidden behind the cottages when viewed from the water - particularly the cottage of number 33 Sturdee Lane, as such the proposed works will not have an impact on the unique relationship between the cottages and Elvina Bay.
- The proposed lift sits directly behind the cottage of number 33 and out of the way of the pathway at the rear of the cottage and also sufficiently far away from glazing to not represent a visual impact on the heritage item when viewed from the cottage itself.
- Due to the lack of impact on the Heritage Area, the author submits that the development complies with Part 5.10 generally and Clause 5.10 (3)(a)(ii) for development not requiring consent, as outlined below:

*(ii) would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place, archaeological site or heritage conservation area, or*



Simon Downes  
Building Designer  
Peter Downes Designs