


 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2020/283826
DATED: 8 November 2021



DKO Architecture (NSW) Pty Ltd
 42 Davies Street
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 ABN: 81956706590
 NSW: Nominated Architects
 Koos de Keijzer 5767 | David Randerson 8542

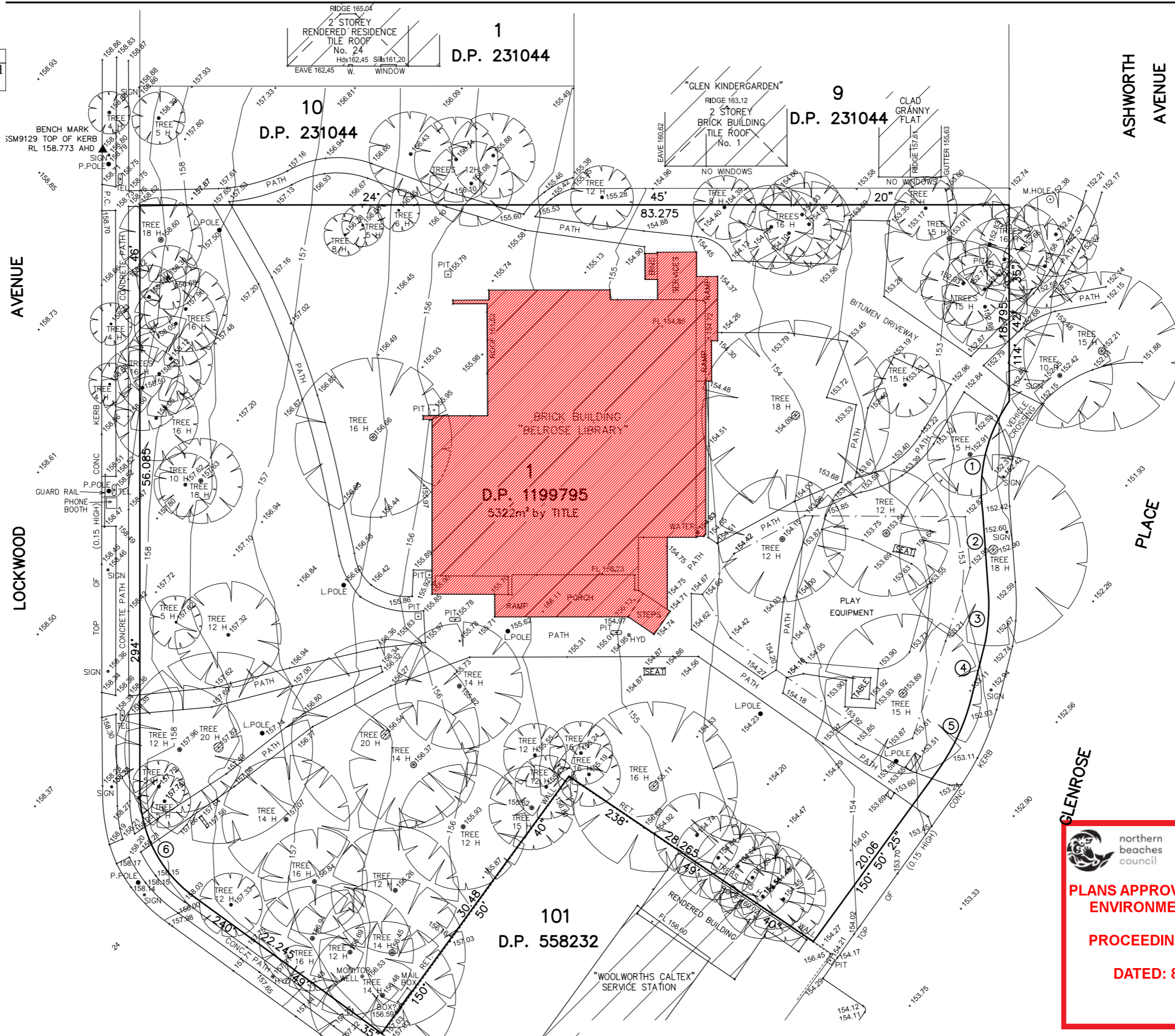
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D	26/03/2021	WL	IL	S34 PRELIMINARY REVISED PROPOSAL
E	16/04/2021	WL	NB	S34 REVISED PROPOSAL
F	7/05/2021	WL	NB	S34 REVISED PROPOSAL
G	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Site Plan
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA102
		Revision	G

NOTES
Please refer to Arborist Report for selected trees to be removed



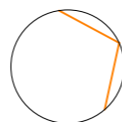
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02	26/11/2019	WL	IL	DA SUBMISSION
A	29/11/2019	WL	IL	DA SUBMISSION
B	9/03/2021	WL	IL	S34 SUBMISSION
C	26/03/2021	WL	IL	S34 PRELIMINARY REVISED PROPOSAL
D	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Demolition Plan
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA103
		Revision	D



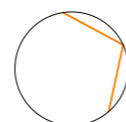

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H	16/04/2021	WL	NB	S34 REVISED PROPOSAL
I	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Basement 4
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA200
		Revision	I

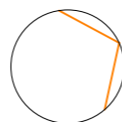



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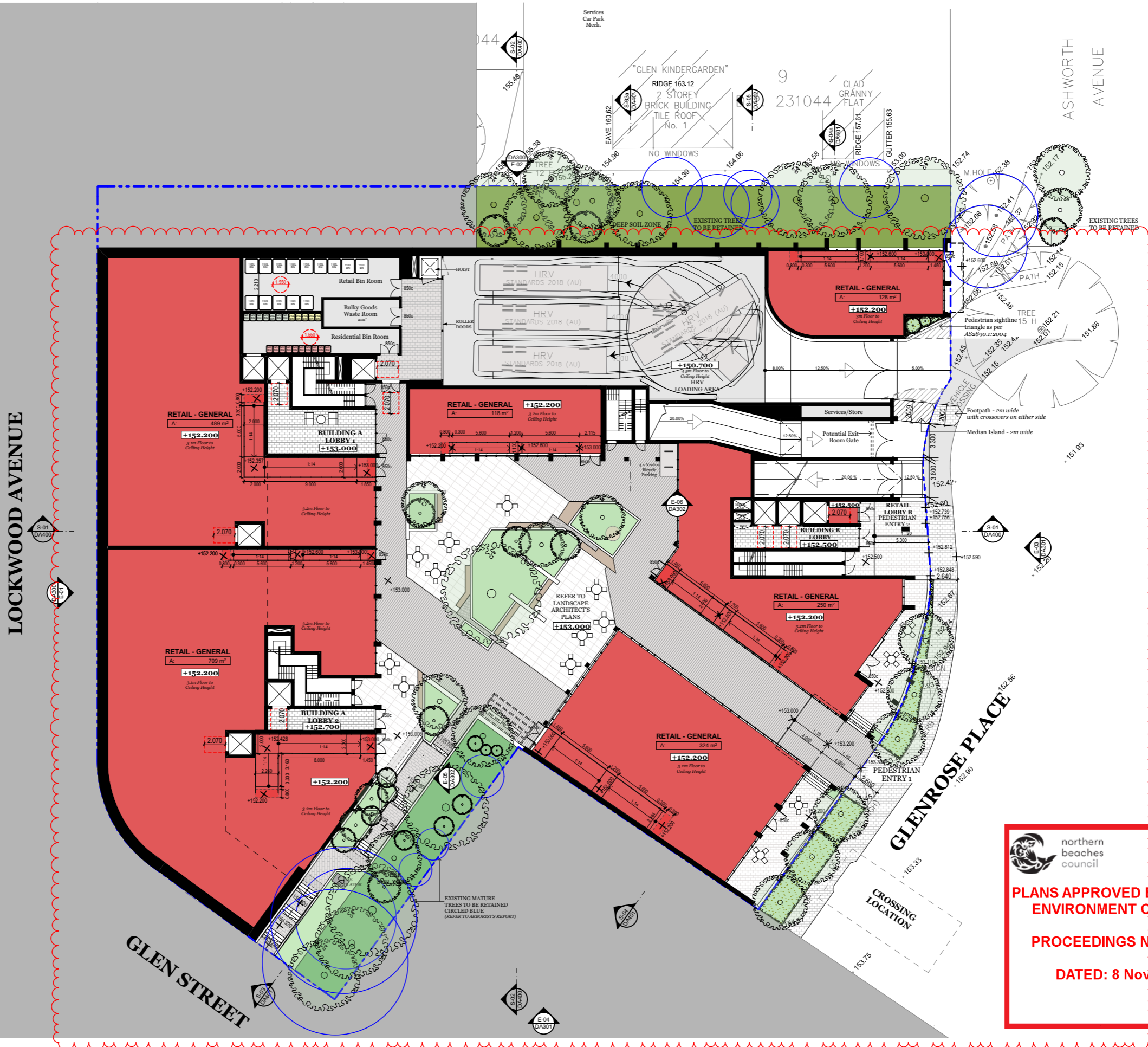
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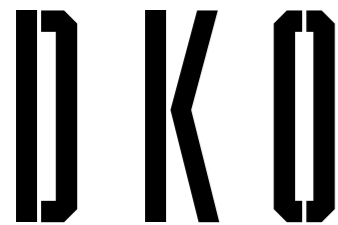


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H	16/04/2021	WL	NB	S34 REVISED PROPOSAL
I	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Basement 3
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA201
		Revision	I



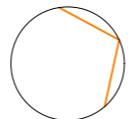

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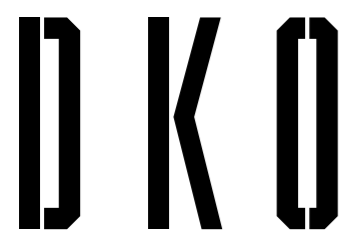


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H	16/04/2021	WL	NB	S34 REVISED PROPOSAL
I	7/05/2021	WL	NB	S34 REVISED PROPOSAL
J	9/08/2021	WL	NB	S34 REVISED PROPOSAL
K	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Basement 2
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA202
		Revision	K



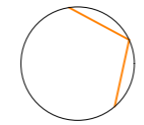

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J	2/09/2021	WL	NB	AMENDED S34
K	6/10/2021	WL	NB	S34 AMENDMENTS JOINT PLANNING PROPOSAL

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Lower Ground Floor
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA203
		Revision	K



2' STOREY
RENDERED RESIDENCE
TILE ROOF
No. 24
Hds 162.45 Sills 161.20
EAVE 162.45 W. WINDOW

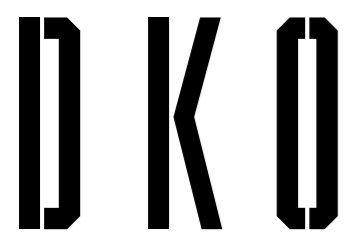
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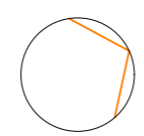
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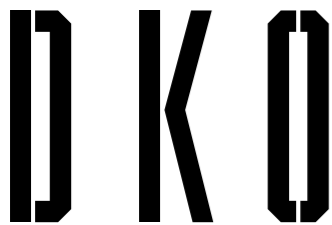


Rev.	Date	By	Ckd	Description
J	9/08/2021	WL	NB	S34 REVISED PROPOSAL
K	2/09/2021	WL	NB	AMENDED S34
L	6/10/2021	WL	NB	S34 AMENDMENTS JOINT PLANNING PROPOSAL

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Ground Floor
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		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA204
		Revision	L

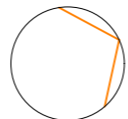



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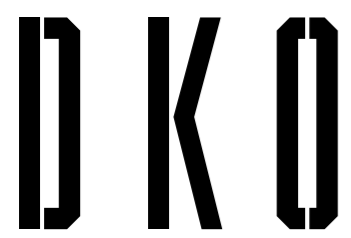


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I	16/04/2021	WL	NB	S34 REVISED PROPOSAL
J	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Level 1
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA205
		Revision	J

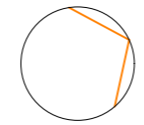



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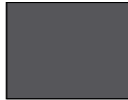









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H	16/04/2021	WL	NB	S34 REVISED PROPOSAL
I	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Roof
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA206
		Revision	I


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LEGEND:

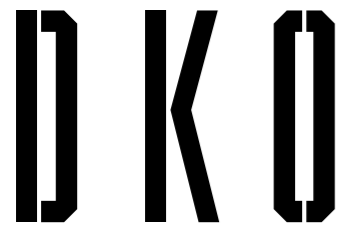
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	EF-02 Finish: Face Brick Product: Boral Brick Colour: Copper Pearl - Aged Natural		EF-06 Finish: Painted Concrete Product: Pre-Cast Concrete Colour: Delux Leadman - Dark Grey		EF-10 Finish: Glass Product: Glass Colour: Dark Grey
	EF-03 Finish: Face Brick Product: Boral Brick Colour: Contempo Madrid Blanco - White		EF-07 Finish: Painted Metal Product: Metal Colour: Delux Black		
	EF-04 Finish: Painted Concrete Product: Pre-Cast Concrete Colour: Delux Guild Grey		EF-08 Finish: Glass Product: Glass Colour: Clear		



E-01 South Elevation 1:250



E-02 West Elevation 1:250



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F	16/04/2021	WL	NB	S34 PRG
G	2/09/2021	WL	NB	AM

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Elevations - Sheet 1
Client	Platinum Property Group	Scale	1:250 @A3
		Date	Aug 2019
		Drawing Number	DA300
		Revision	G



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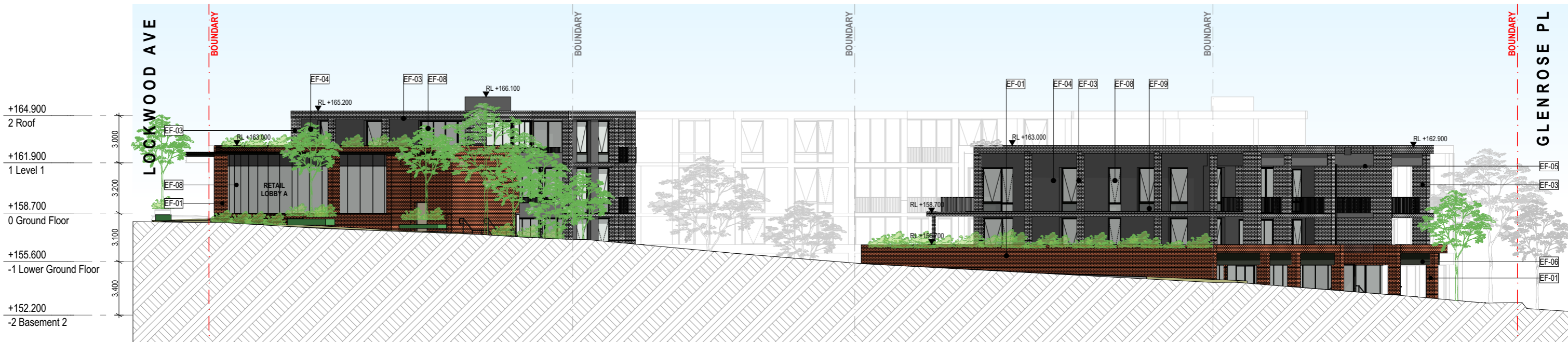
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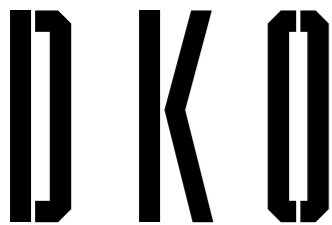
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	EF-02 Finish: Face Brick Product: Boral Brick Colour: Copper Pearl - Aged Natural		EF-06 Finish: Painted Concrete Product: Pre-Cast Concrete Colour: Delux Leadman - Dark Grey		EF-10 Finish: Glass Product: Glass Colour: Dark Grey
	EF-03 Finish: Face Brick Product: Boral Brick Colour: Contempo Madrid Blanco - White		EF-07 Finish: Painted Metal Product: Metal Colour: Delux Black		
	EF-04 Finish: Painted Concrete Product: Pre-Cast Concrete Colour: Delux Guild Grey		EF-08 Finish: Glass Product: Glass Colour: Clear		



E-03 North Elevation
1:250



E-04 East Elevation
1:250



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G	7/05/2021	WL	NB	S34 PRC
H	2/09/2021	WL	NB	AM

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Elevations - Sheet 2
		Scale	1:250 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA301
		Revision	H

LEGEND:

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	EF-02 Finish: Face Brick Product: Boral Brick Colour: Copper Pearl - Aged Natural		EF-06 Finish: Painted Concrete Product: Pre-Cast Concrete Colour: Delux Leadman - Dark Grey		EF-10 Finish: Glass Product: Glass Colour: Dark Grey
	EF-03 Finish: Face Brick Product: Boral Brick Colour: Contempo Madrid Blanco - White		EF-07 Finish: Painted Metal Product: Metal Colour: Delux Black		
	EF-04 Finish: Painted Concrete Product: Pre-Cast Concrete Colour: Delux Guild Grey		EF-08 Finish: Glass Product: Glass Colour: Clear		



E-05 North Internal Elevation
1:250



E-06 West Internal Elevation
1:250



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G	2/09/2021	WL	NB	AM

Project Name
Project Address

28 Lockwood Av. Belrose
28 Lockwood Ave,
Belrose, NSW 2085

Project Number
Drawing Name
Scale
Date

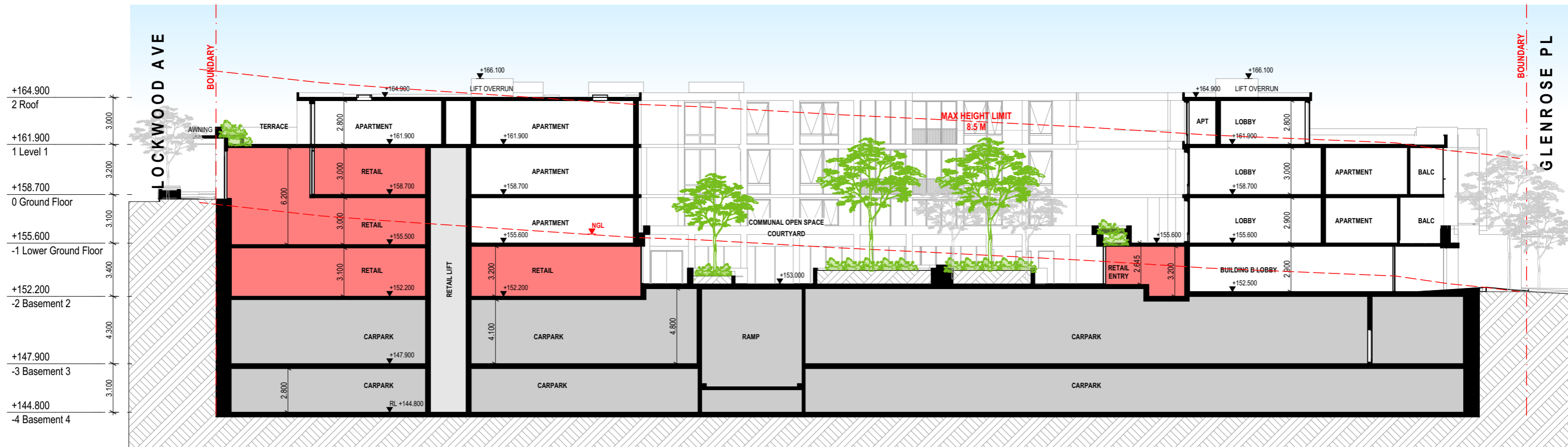
11574
Elevations - Sheet 3
1:10, 1:250 @A3
Aug 2019

Client

Platinum Property Group

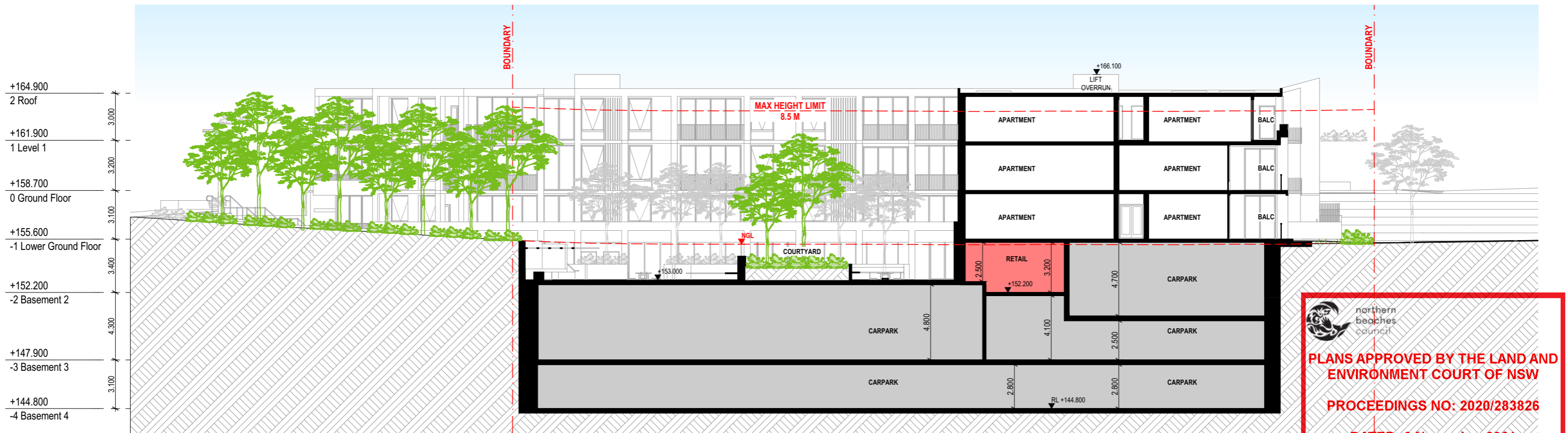
Drawing Number
Revision

DA302
G



S-01

Section A
1:250



S-02

Section B
1:250


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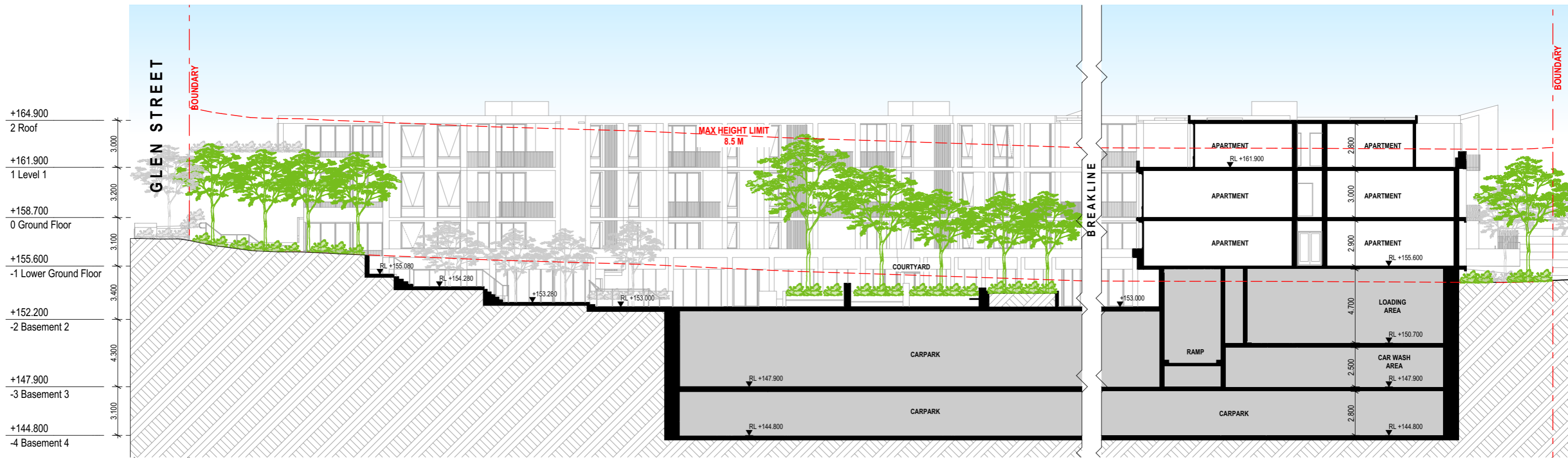
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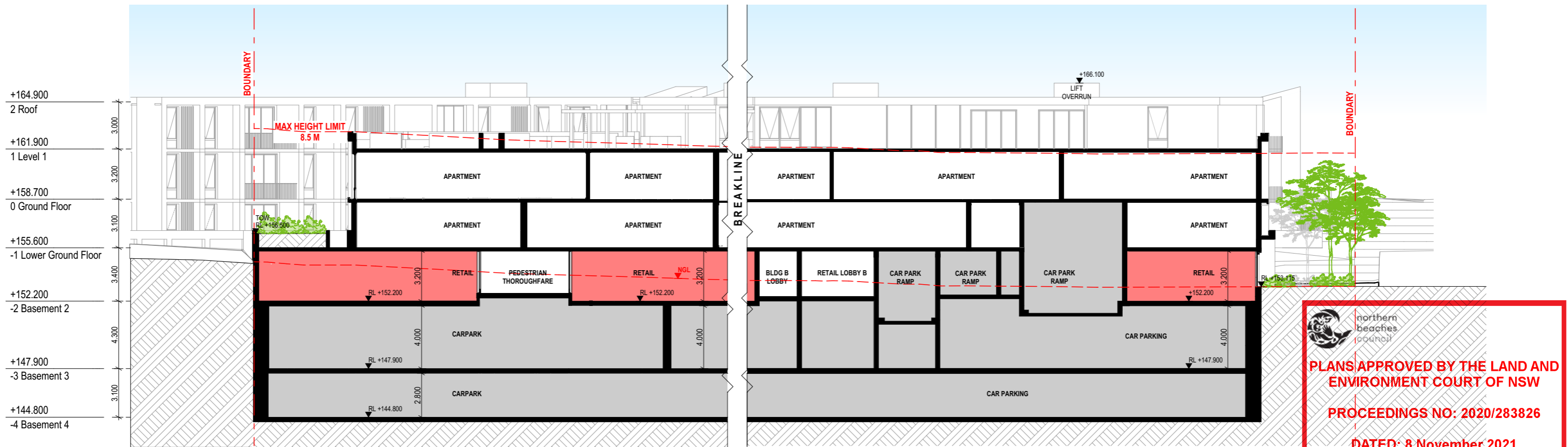
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F	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Sections - Sheet 1
		Scale	1:250 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA400
		Revision	F



S-03

Section C
1:250



S-04

Section D
1:250

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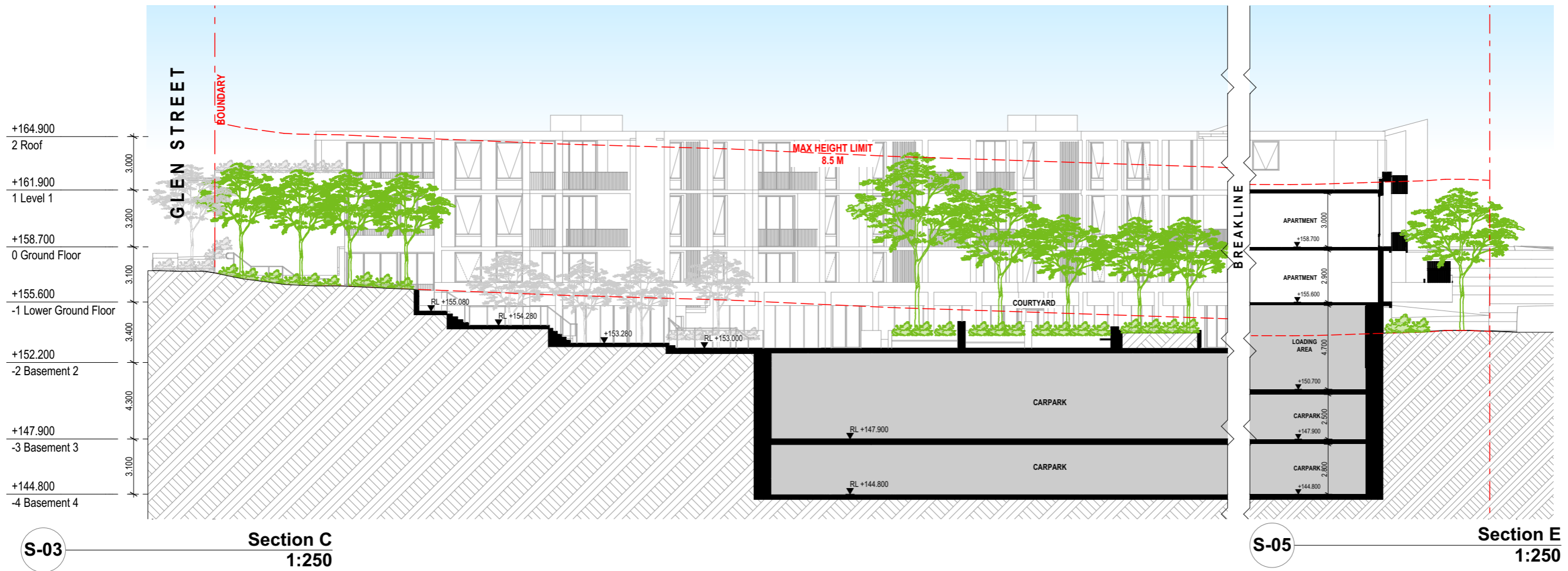


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F	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Sections - Sheet 2
		Scale	1:250 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA401
		Revision	F



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Rev.	Date	By	Ckd	Description
01	26/03/2021	WL	IL	S34 PRELIMINARY REVISED PROPOSAL
02	16/04/2021	WL	NB	S34 REVISED PROPOSAL
03	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Sections - Sheet 3
		Scale	1:250 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA402
		Revision	C



Lower Ground Floor

1B: 1/19
 2B: 11/19
 3B: 4/19
 3B-T: 3/19



Ground Floor

1B: 1/16
 2B: 9/16
 3B: 6/16
 3B-T: 0/16



Level 1

1B: 1/14
 2B: 9/14
 3B: 4/14
 3B-T: 0/14

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PROCEEDINGS NO: 2020/283826

DATED: 8 November 2021

UNIT MIX

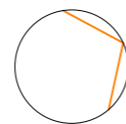
1B:	2/49	4%
2B:	30/49	61%
3B:	14/49	29%
3B-T:	3/49	6%



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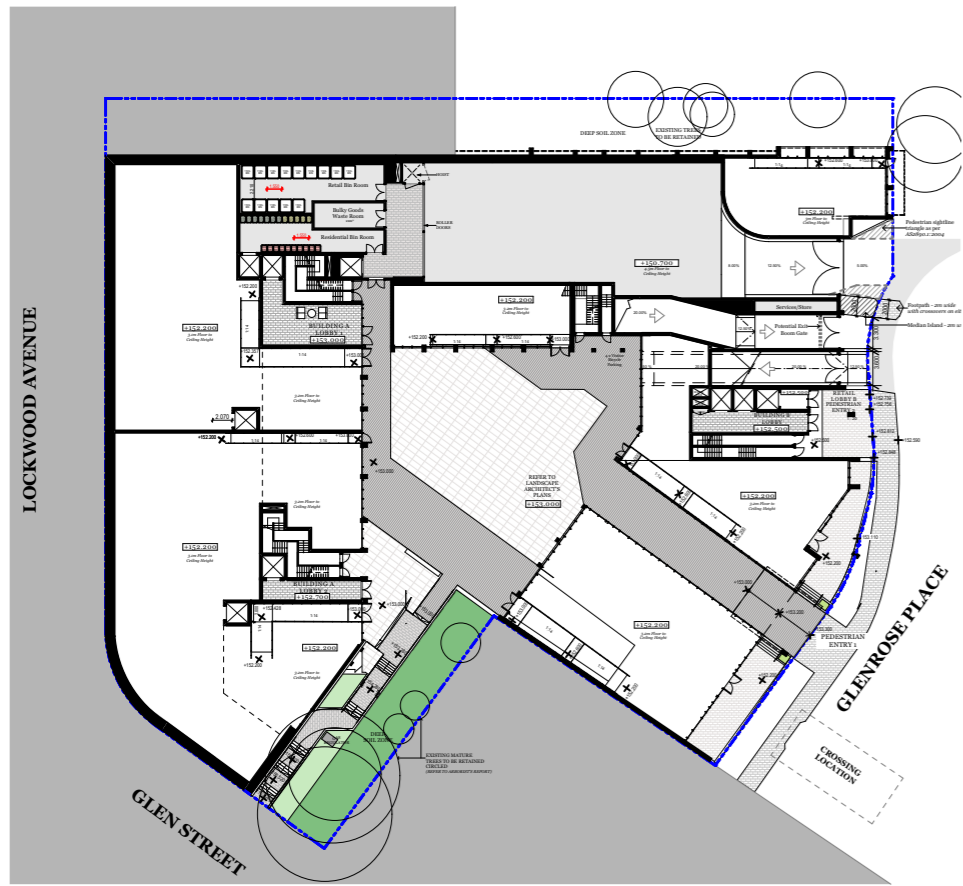
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D	26/03/2021	WL	IL	S34 PRELIMINARY REVISED PROPOSAL
E	16/04/2021	WL	NB	S34 REVISED PROPOSAL
F	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Unit Mix
		Scale	1:800 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA510
		Revision	F



Basement 2



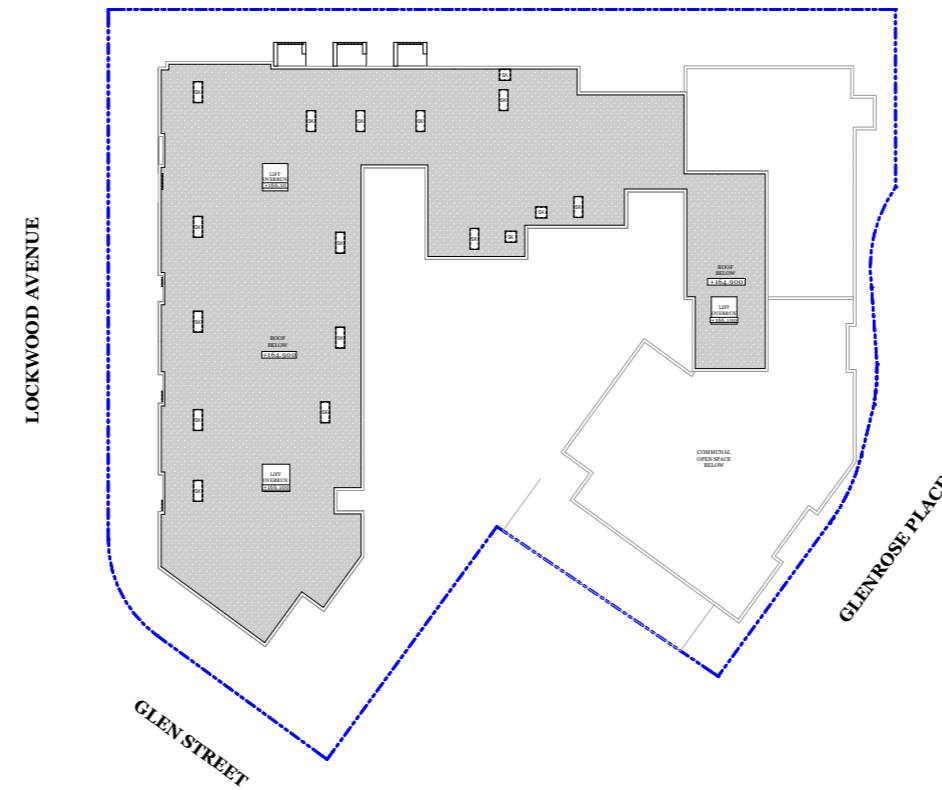
Lower Ground Floor



Ground Floor



Level 1



Roof



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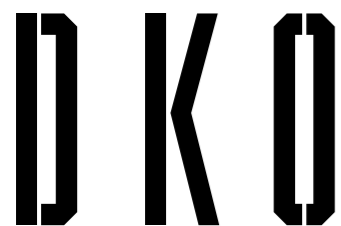
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DATED: 8 November 2021

ADAPTABLE UNIT LOCATIONS

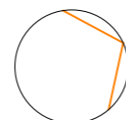
● Adaptable Units



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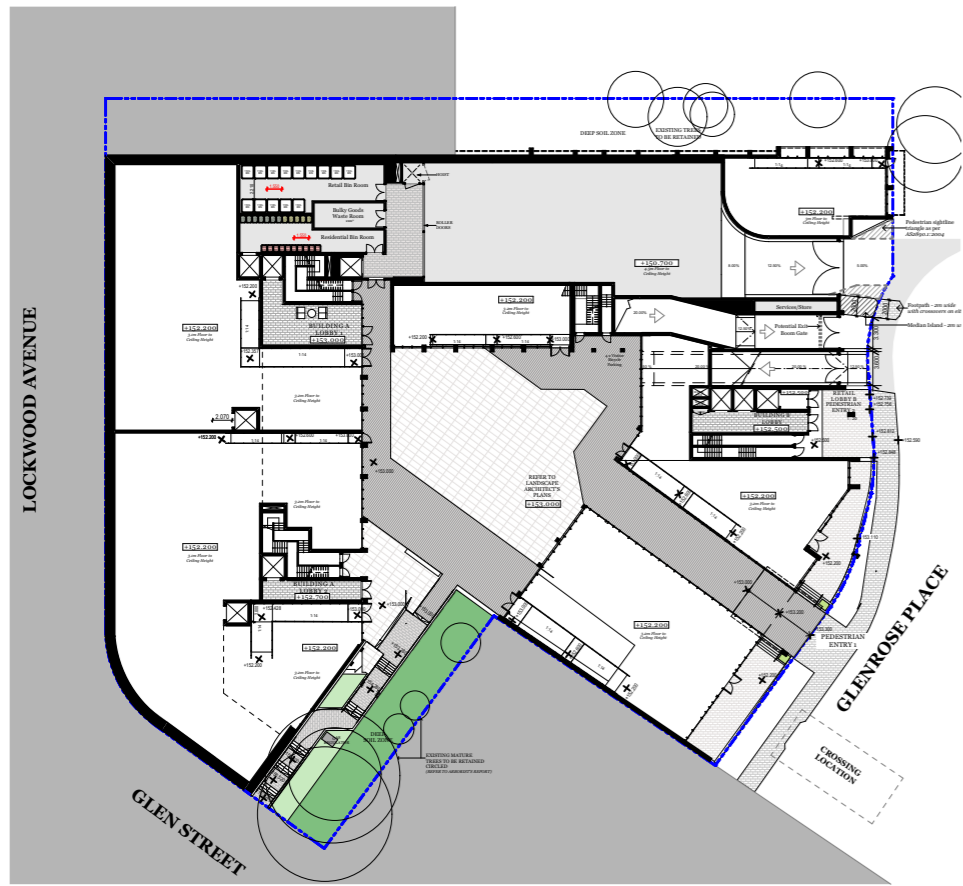
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E	16/04/2021	WL	NB	S34 REVISED PROPOSAL
F	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Adaptable Unit Locati
		Scale	1:800 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA511
		Revision	F



Basement 2



Lower Ground Floor



Ground Floor

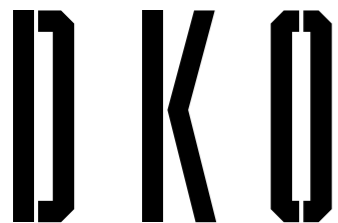


Level 1


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DATED: 8 November 2021

LIVABLE UNIT LOCATIONS

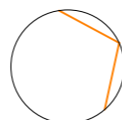
● Silver Standard Livable Housing Units



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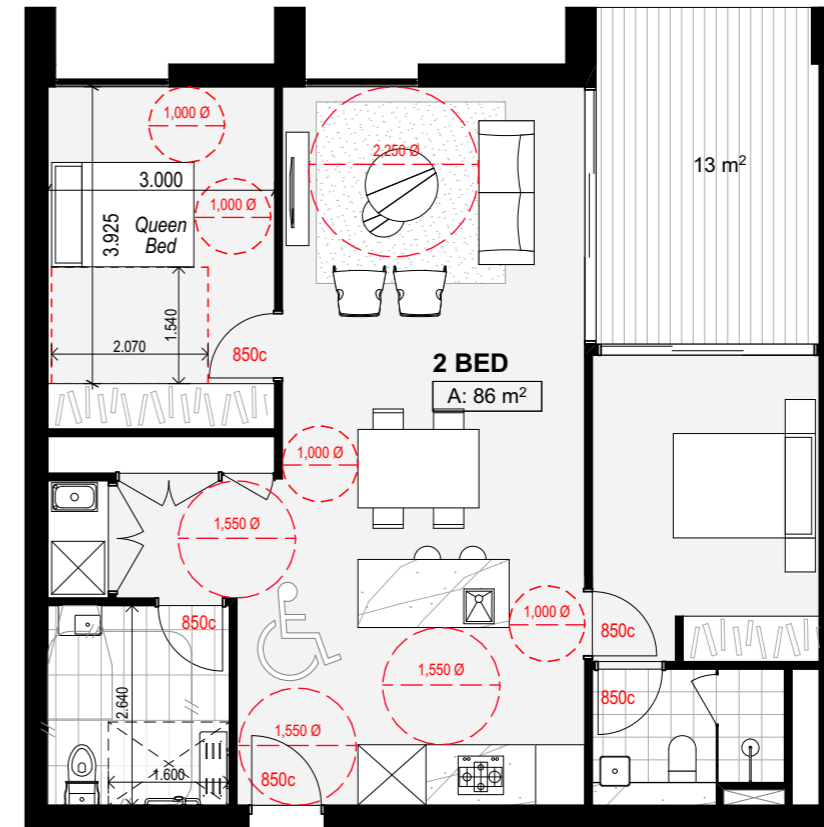
Rev.	Date	By	Ckd	Description
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E	16/04/2021	WL	NB	S34 REVISED PROPOSAL
F	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Livable Unit Locations
		Scale	1:800 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA512
		Revision	F



2 BED
PRE-ADAPTABLE

Note: This duct can only be dummy duct and not a service duct



2 BED
POST-ADAPTABLE
Unit No. LG.03, LG.17, G.03, G.14,
1.03, 1.04

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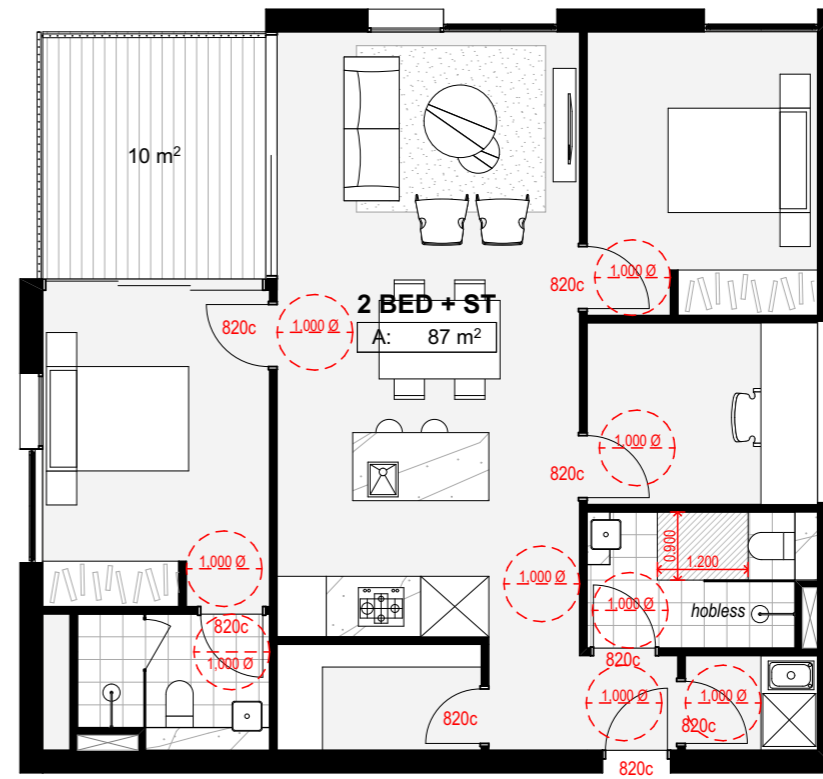
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C	9/03/2021	WL	IL	S
D	16/04/2021	WL	NB	S P
E	2/09/2021	WL	NB	A

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Adaptable Unit Plans
		Scale	1:100 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA513
		Revision	E



2 BED
 SILVER STANDARD LIVABLE HOUSING UNIT
 TYPE A
 Unit No. LG.03, LG.04, G.03, G.04,
 1.03, 1.04



2 BED
 SILVER STANDARD LIVABLE HOUSING UNIT
 TYPE B
 Unit No. LG.05, G.05, 1.05

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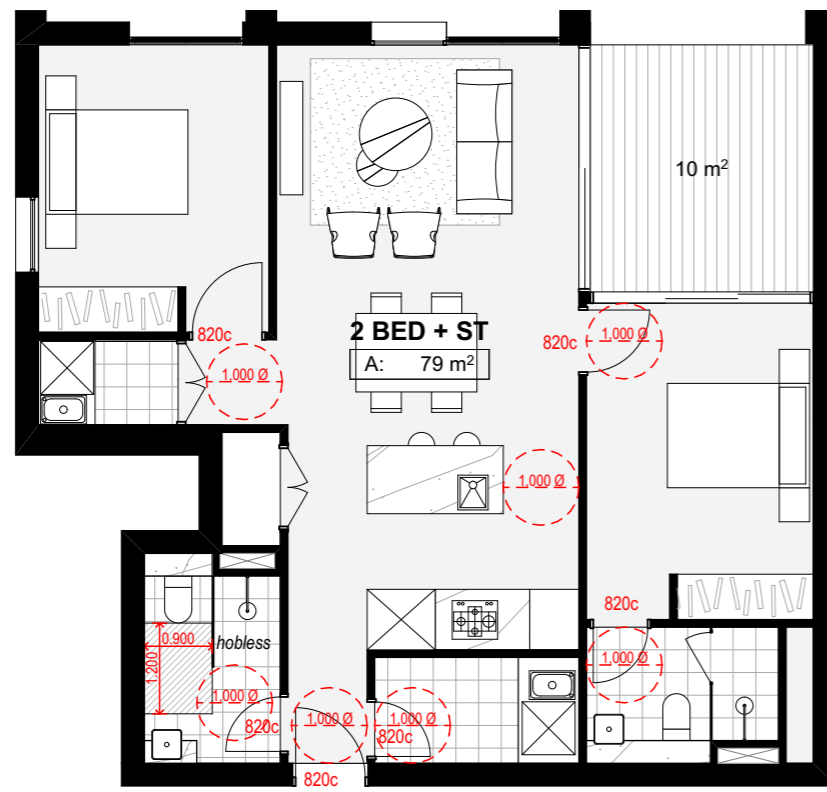
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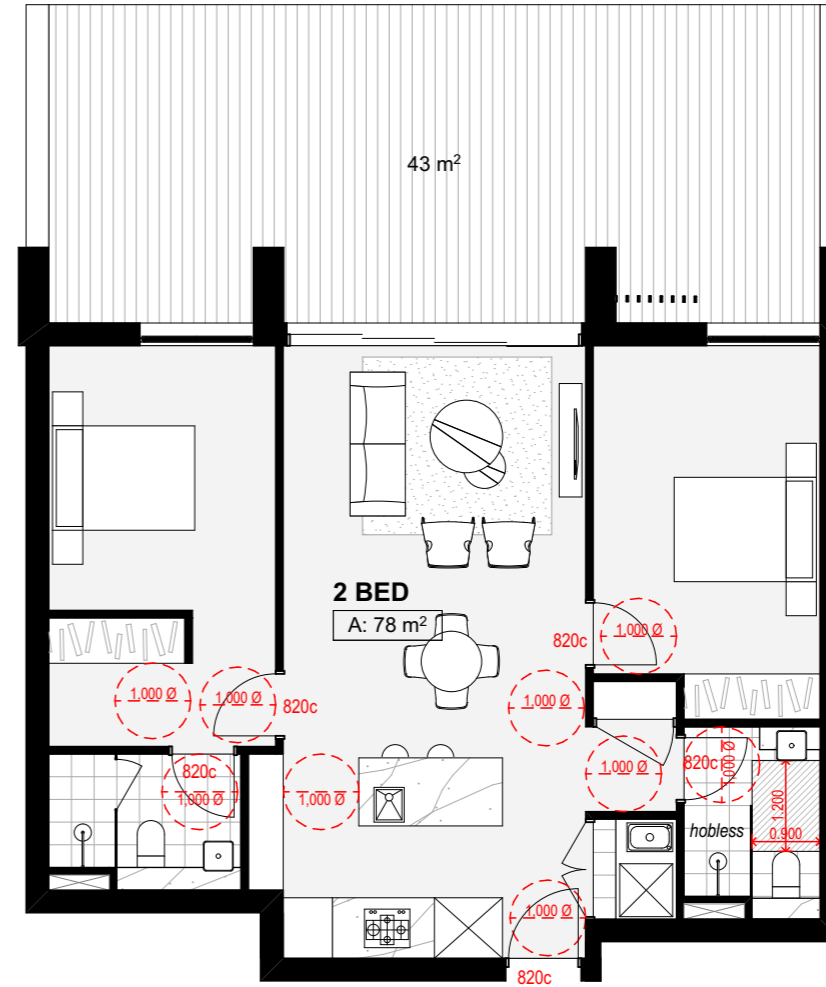
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C	9/03/2021	WL	IL	S
D	16/04/2021	WL	NB	S P
E	2/09/2021	WL	NB	A

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Livable Unit Plans - S1
		Scale	1:100 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA514
		Revision	E

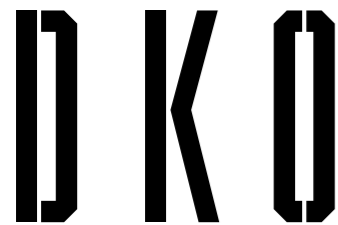


2 BED
SILVER STANDARD LIVABLE HOUSING UNIT
TYPE C
Unit No. LG.06, G.06



2 BED
SILVER STANDARD LIVABLE HOUSING UNIT
TYPE D
Unit No. 1.10

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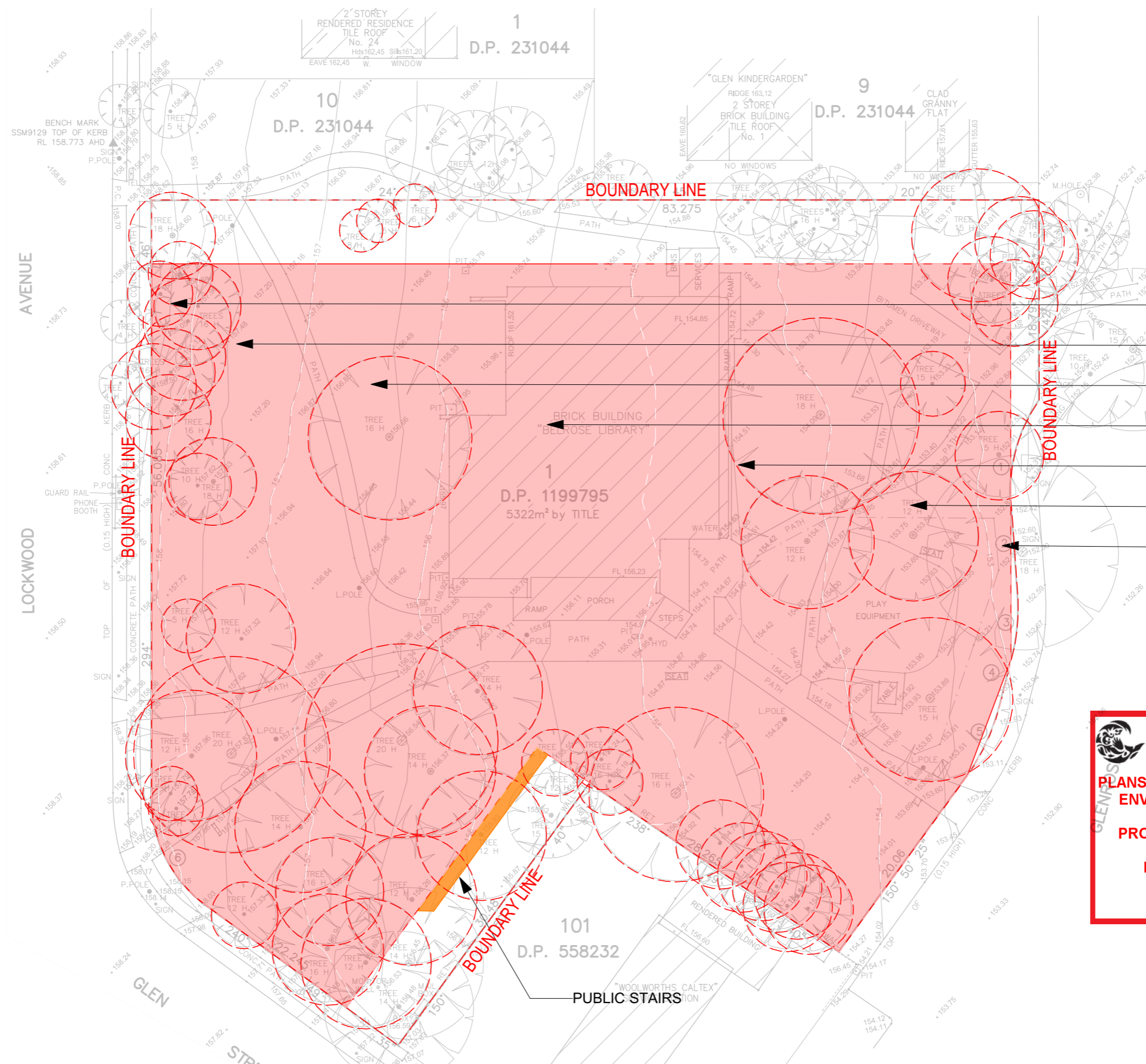


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C	9/03/2021	WL	IL	S
D	16/04/2021	WL	NB	S P
E	2/09/2021	WL	NB	A

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Livable Unit Plans - SH
		Scale	1:100 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA515
		Revision	E



- 14 Meters Excavation
- 13 Meters Excavation
- 12 Meters Excavation
- 11 Meters Excavation
- 10 Meters Excavation
- 9 Meters Excavation
- 8 Meters Excavation

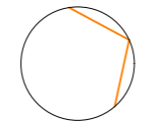

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Legend
 Extent of Excavation



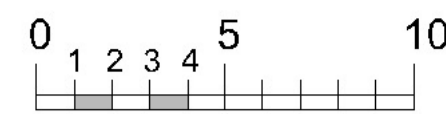
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D	2/09/2021	WL	NB	AMENDED S34

Project Name	28 Lockwood Av. Belrose	Project Number	11574
Project Address	28 Lockwood Ave, Belrose, NSW 2085	Drawing Name	Excavation Plan
		Scale	1:400 @A3
		Date	Aug 2019
Client	Platinum Property Group	Drawing Number	DA516
		Revision	D



Legend

- Existing trees to be removed (see sheet 3 & Arborist report)
- Existing trees on adjoining properties
- Existing trees as per Arborist Report to be retained
- Proposed evergreen trees
- Proposed Deciduous tree
- Palm
- Succulents
- Tree Ferns
- Low shrubs / ornamental grasses
- Screen plants
- Steps up
- Private open space paving
- Common area paving
- Common area linear paving
- Groundcovers
- Turfed areas
- Timber decking / seating
- Balustrading/fence
- Water
- Strip drainage grate
- Drainage pit
- Stone clad walls
- Concrete
- Walls
- Proposed levels
- Survey layer under

AMENDMENTS

E REVISED DA 19.4.21

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LANDSCAPE

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ABN: 627 121 448

PHONE: 02 9907 8011
WWW.SCRIVENER-DESIGN.COM
EMAIL: PAUL@SCRIVENER-DESIGN.COM

PROJECT: RETAIL & RESIDENTIAL DEVELOPMENT AT 28 LOCKWOOD AVE, BELROSE, NSW

DWG: LANDSCAPE PLAN
DATE: 19.4.21 SCALE: 1:200 @A1
JOB REF: 21/2110 SHEET NO: 1 OF 6

BUILDER MUST VERIFY ALL DIMENSIONS OF THE SITE BEFORE WORK COMMENCES. FIGURED DIMENSIONS SHOULD BE USED IN PREFERENCE TO THOSE SCALED OFF.

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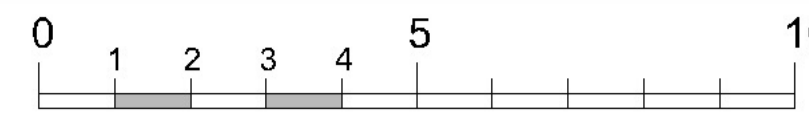
Indicative plant species images



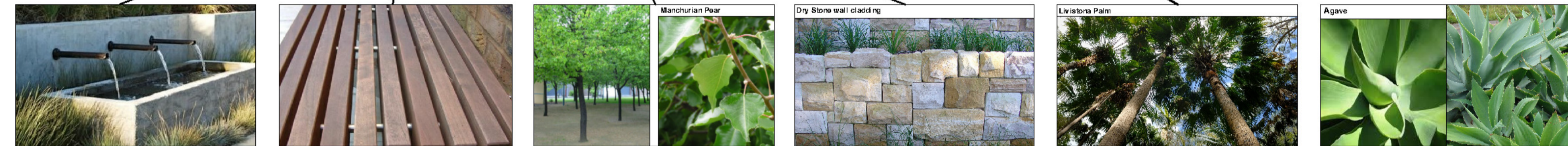
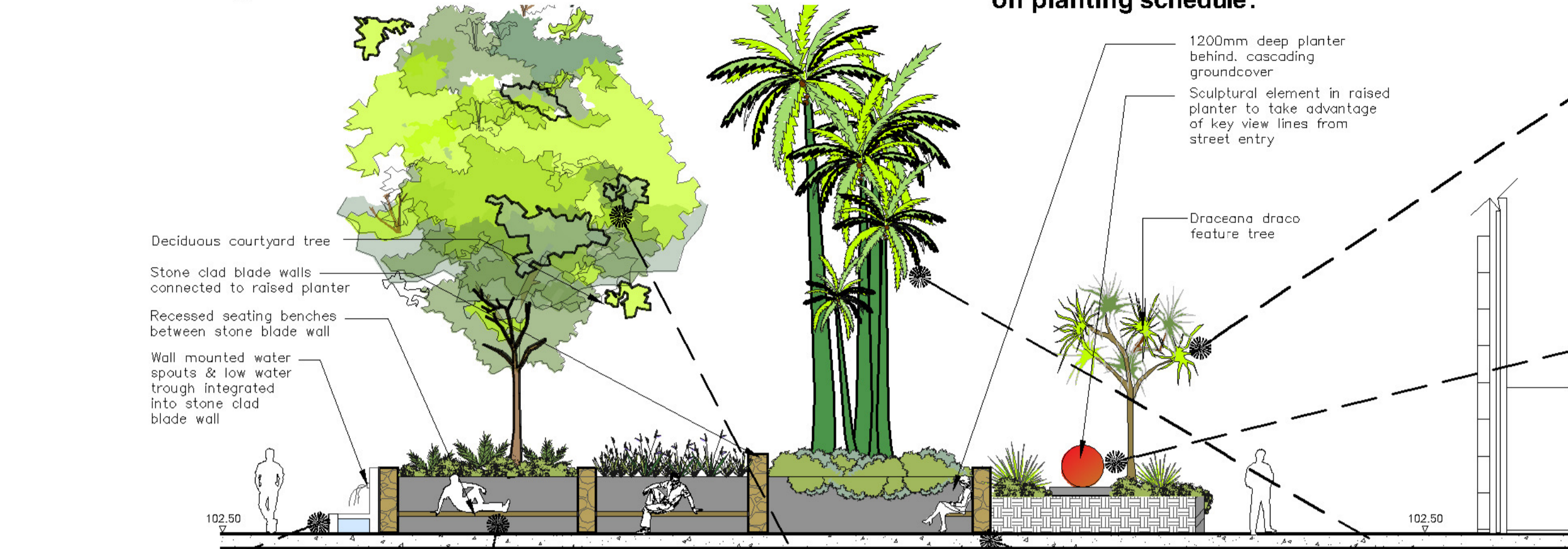
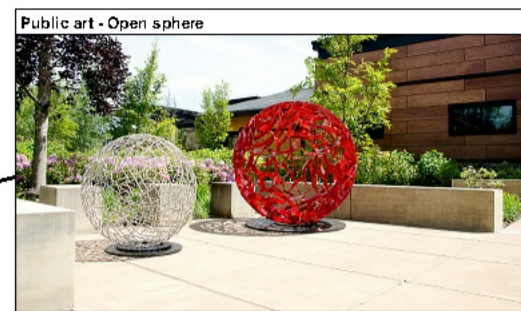
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PROCEEDINGS NO: 2020/283826
DATED: 8 November 2021

Drawing schedule
Sheet 1: Masterplan concept
Sheet 2: Sections
Sheet 3: Planting plan & indicative details
Sheet 4: Site analysis

Section AA 1:100 @ A1

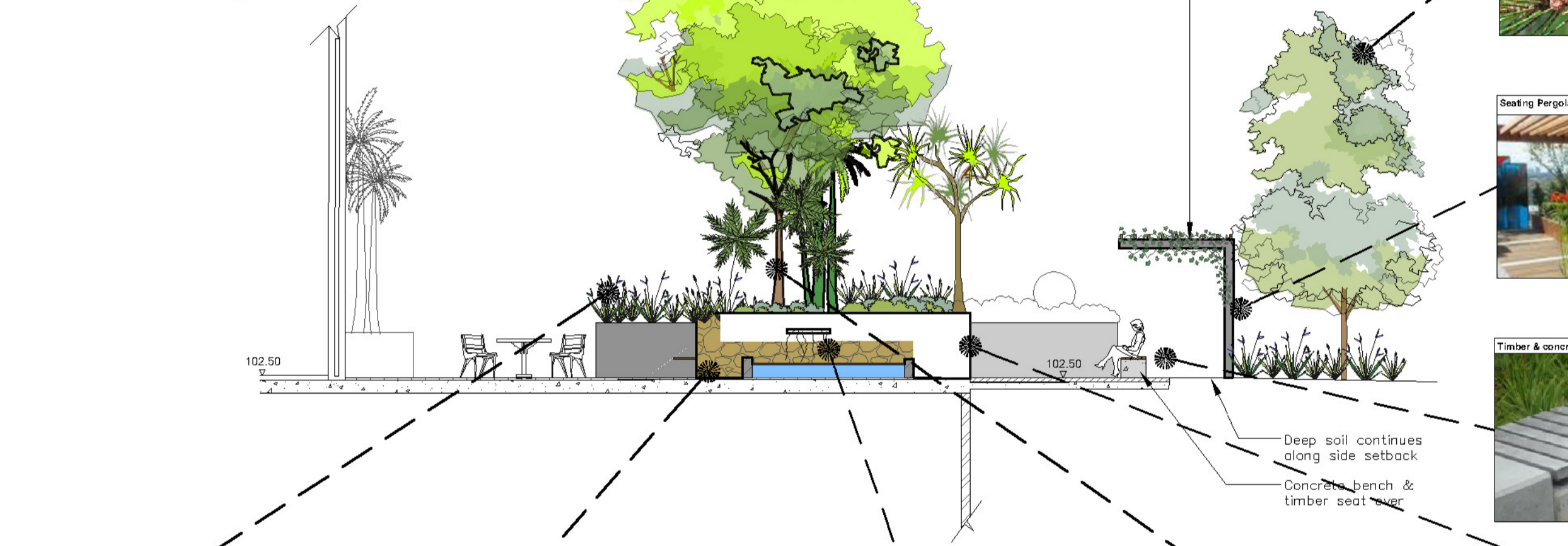


Note: Advanced tree & palm specimens listed on planting schedule.



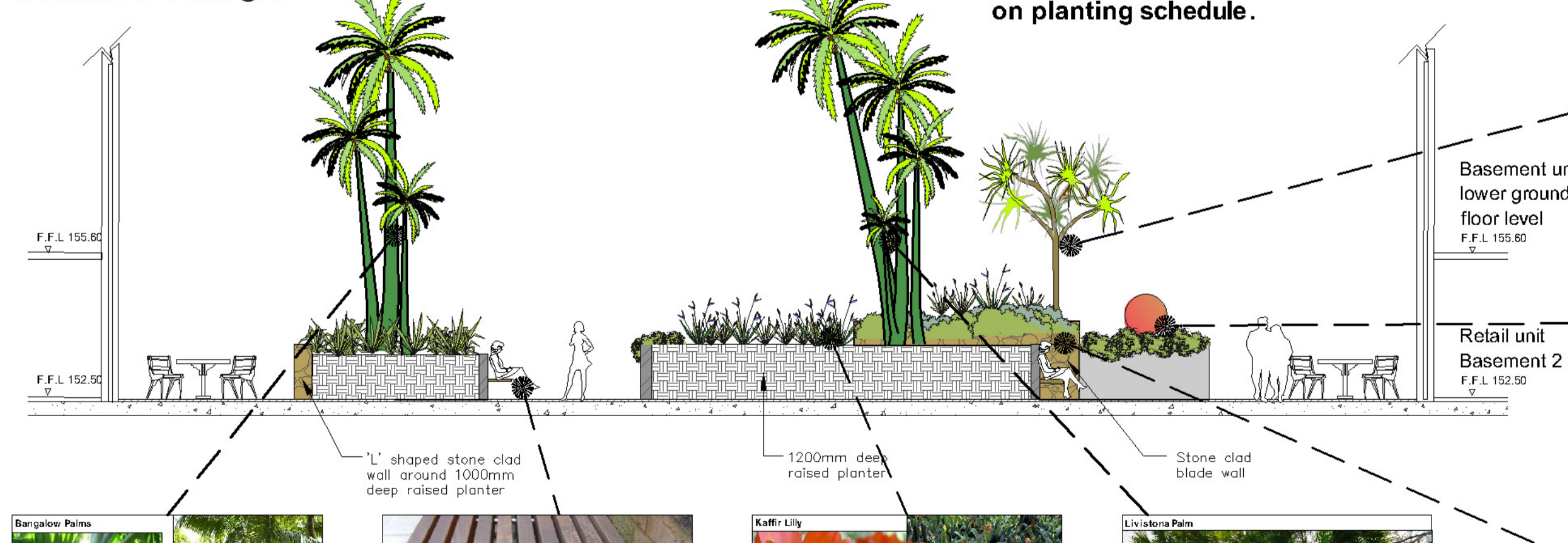
Section BB 1:100 @ A1

Note: Advanced tree & palm specimens listed on planting schedule.

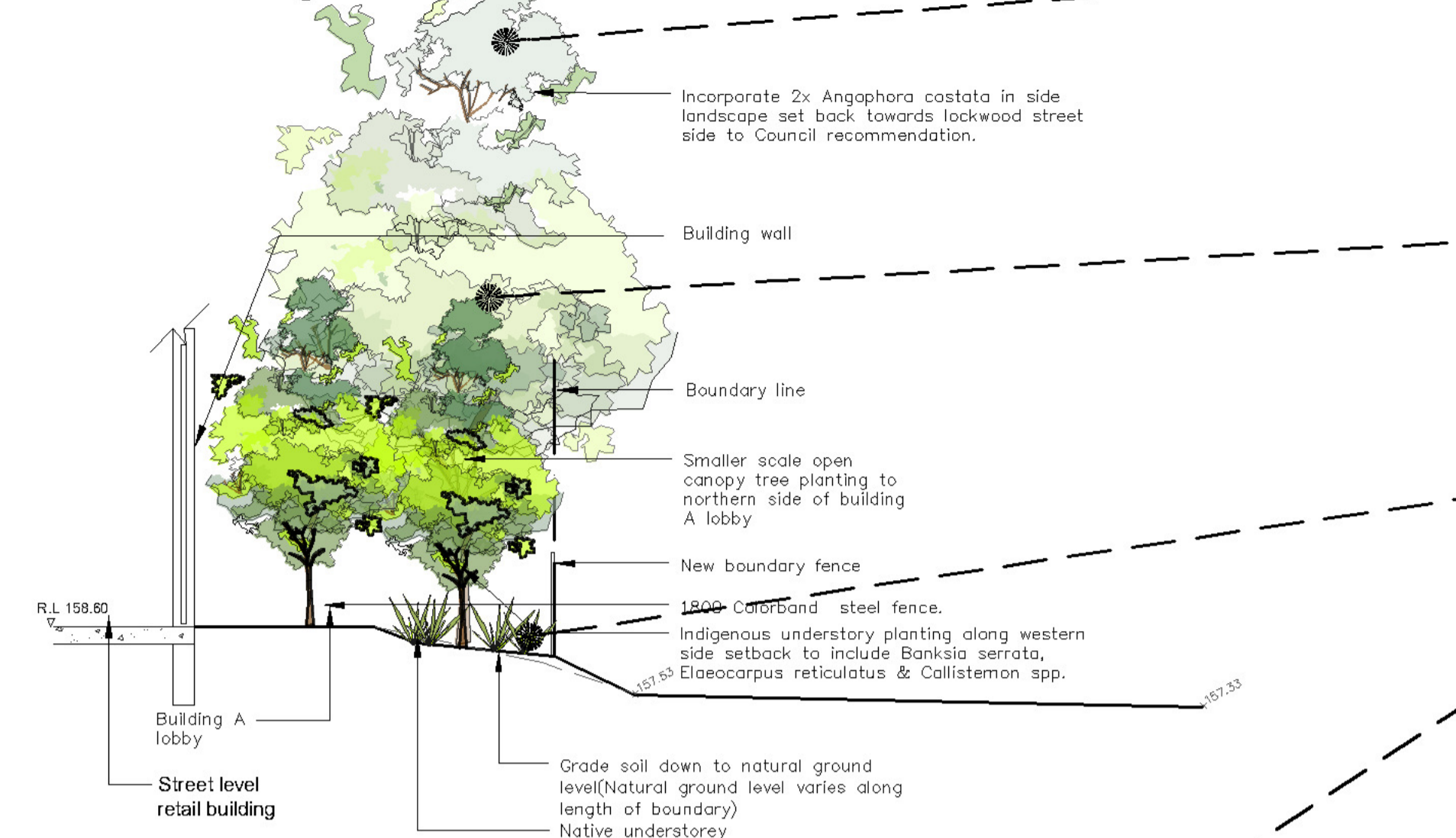


Section CC 1:100 @ A1

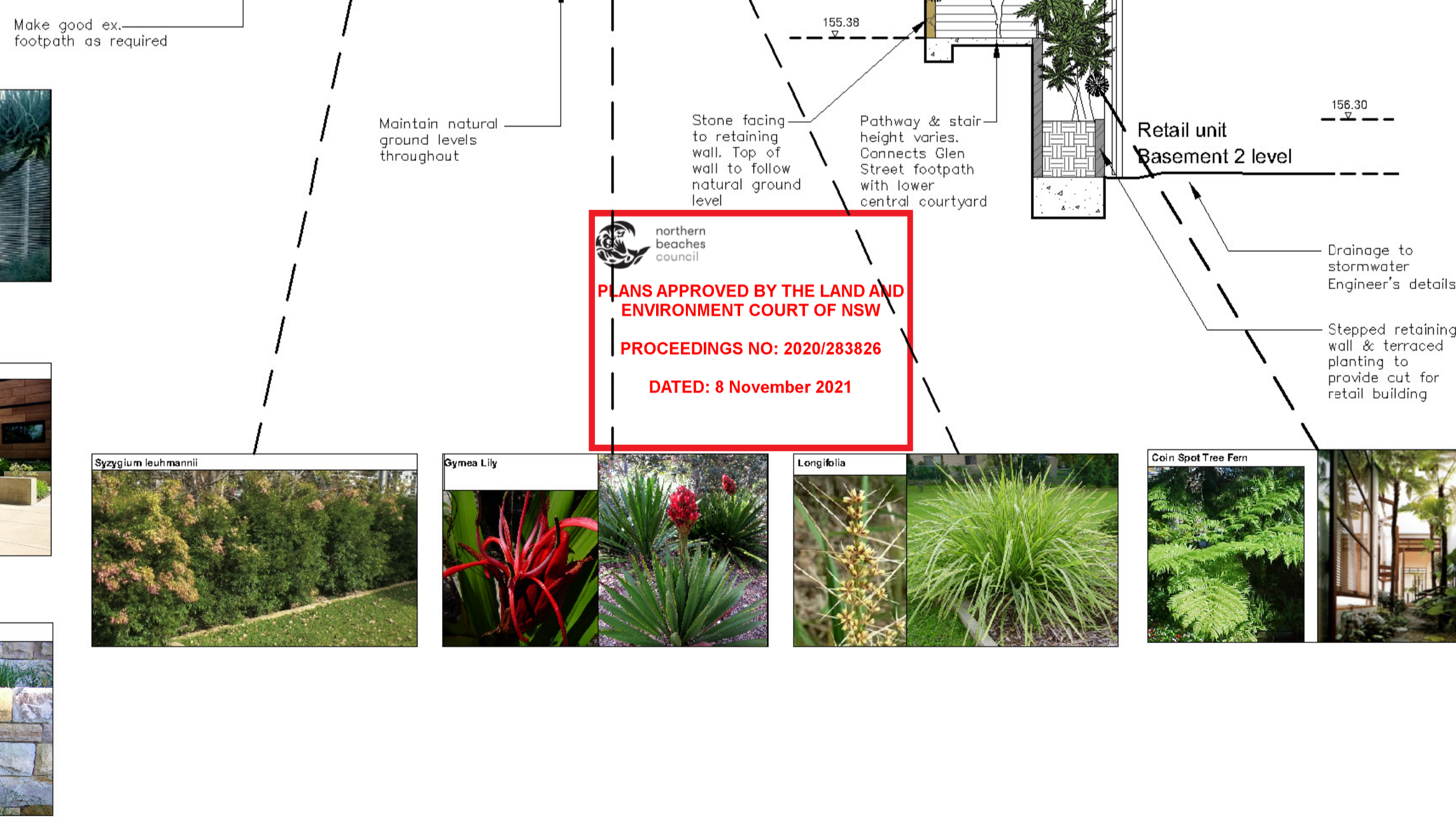
Note: Advanced tree & palm specimens listed on planting schedule.



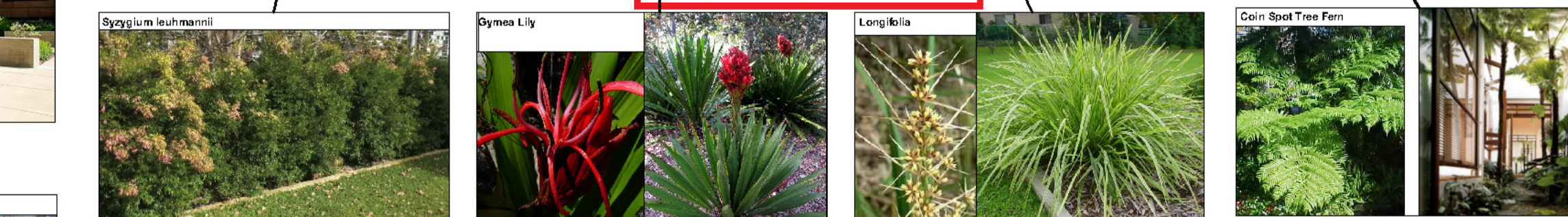
Section DD 1:100 @ A1



Section EE 1:100 @ A1



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DATED: 8 November 2021



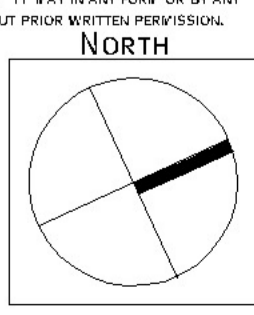
AMENDMENTS		
E	REVISED DA	19.4.21



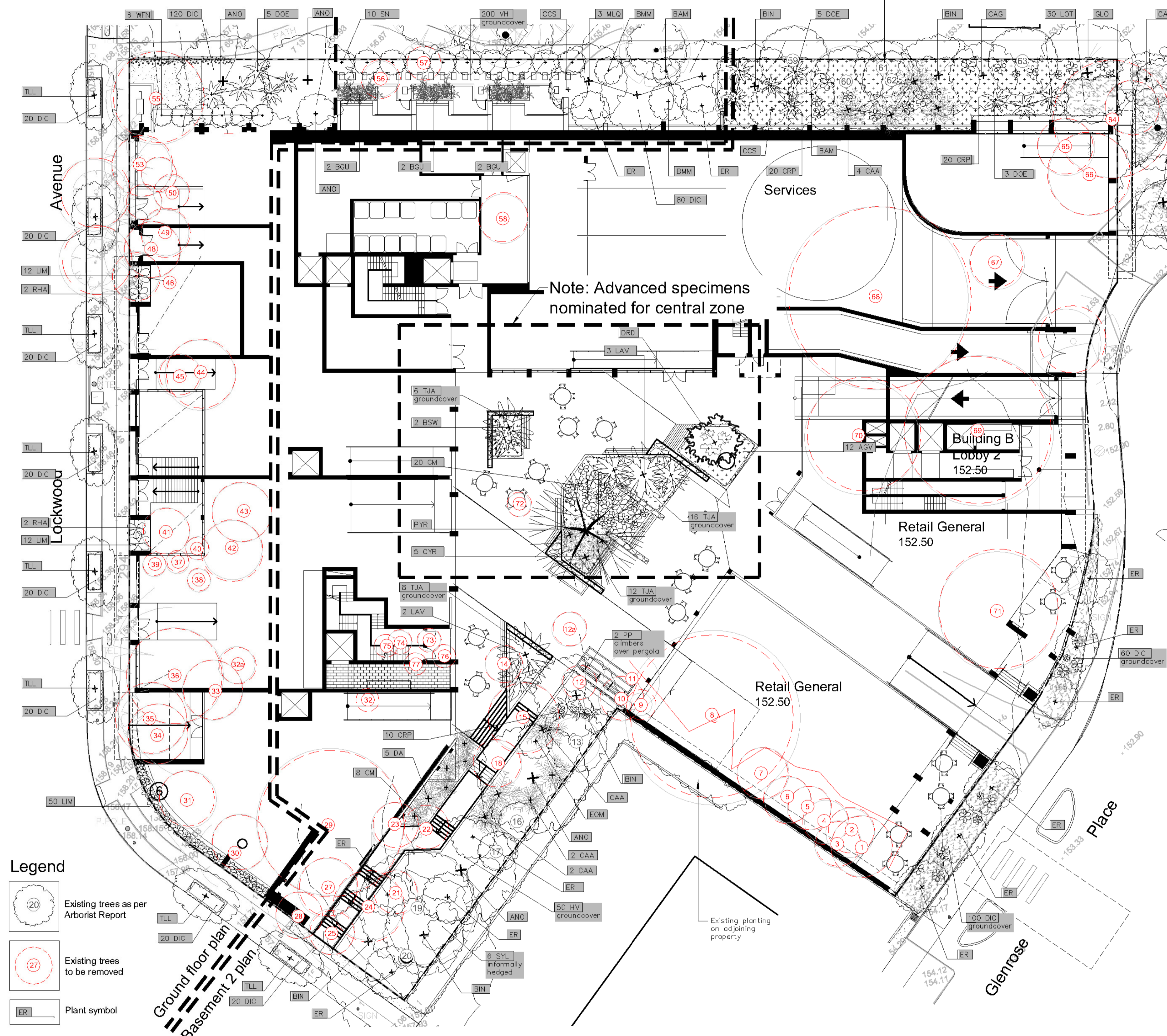
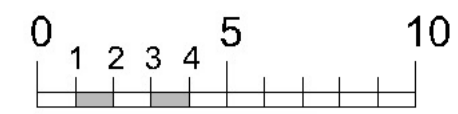
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EMAIL: PAUL@SCRIVENER-DESIGN.COM
PROJECT: RETAIL & RESIDENTIAL DEVELOPMENT AT 28 LOCKWOOD AVE, BELROSE, NSW

DWG: SECTIONS
DATE: 19.4.21 SCALE: 1:100 @ A1
JOB REF: 21/2110 SHEET No: 2 OF 6

2 OF 6
ISSUE-E



Planting plan 1:200 @ A1



Note: Advanced specimens nominated for central zone

General installation notes

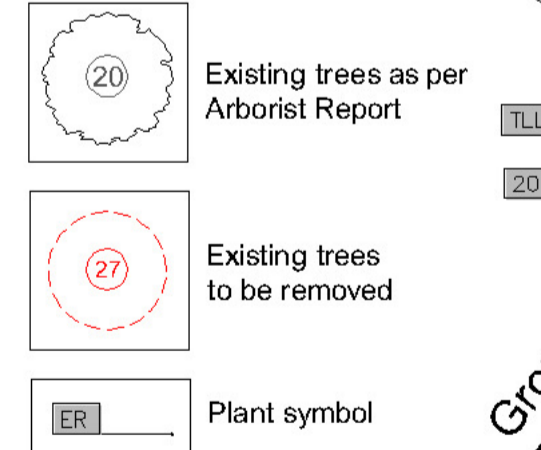
- 1. Site preparation**
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried out using hand tools. To ensure the survival and growth of existing trees during landscaping works, protected by fencing or staking where necessary. Trees shall not be removed or topped unless specifically written approval to do so is given or is indicated on plan. Storage of materials, moving of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.
- 2. Soil preparation**
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419. Turfed areas to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to cut/cut in any area existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensure soil conditions and compaction worked into the top 200mm profile. To comply with AS 4454:1999.
- 3. New plantings**
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of plants as shown on planting schedule can vary due to site conditions, locations in container deep soil or over slab planters and so forth) Also shall take care in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.
- 4. Planter boxes & waterproofing**
All slab areas to be waterproofed and 'Atlanta' drainage cell installed with geotextile fabric. Refer Engineer's details for structural details for all planter box construction. All internal planter slab levels to fall to drainage outlets as detailed by Engineer. Ensure min 50mm cavity between planter box and building wherever planter joins building with drainage provided. Keep cavity clear of debris by providing capping ramp butted against building. Exterior finishes as per Architects detail. Ensure base of cavity is able to drain via drain outlet points in event water seeps into cavity, so as to not build up against building wall. Containers to be at height as indicated on Architects' drawing. All planting containers to have the following:
 - Waterproofing to Engineer's specification and construction details.
 - Impervious waterproof membrane along base and to continue up to top of soil level of containers.
 - 'Atlanta' drainage cell (or engineers specified equivalent at base to be connected to drainage system of development).
 - Planter box soil mix or equivalent to comply with AS 4419.
 - Contractor to install all planter box finishes after other site works are completed to ensure no deterioration of waterproof membrane. Contractor to be responsible for the integrity of the waterproofing of the planter boxes.
 - All planter boxes are to have automatic dripline irrigation system. Connecting pipes to installed in slab structures prior to slab pour.
- 5. Mulching**
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454.
- 6. Fertiliser**
All planting areas to be fertilised with 9 month NPK slow release fertiliser.
- 7. Staking**
To those plants indicated on the planting schedules provide hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support.
- 8. Lawn edging**
All ground level garden beds adjacent to site boundary or paved areas to have 150mm raised concrete edging as nominated on the plans.
- 9. Turfing**
Turfed nature strip areas to be Soft leaf Buffalo or Soft Leaf Buffalo 'chameleon' to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. 300mm soil underlay over slab areas as per detail 7 sheet.
- 10. Structural**
All structural details whatsoever to Engineer's details.

Planting schedule (Includes level 1 & 2 planters on sheet 4)

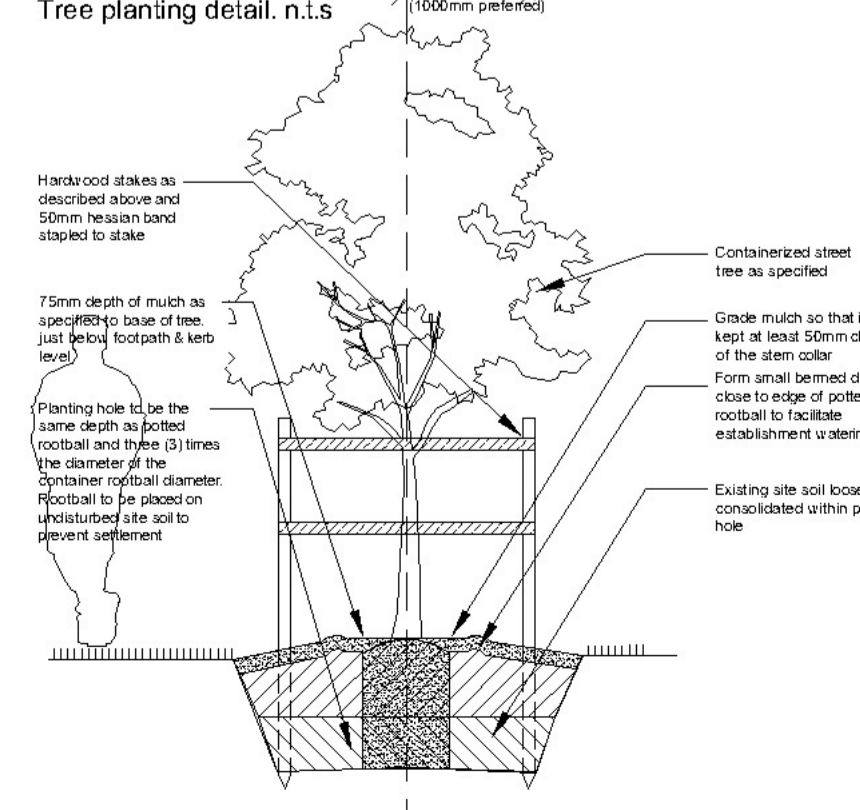
Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
Canopy trees						
ANO	Angophora costata	Sydney Red Gum (large native tree, striking bark colour)	45L	3x50x50x1900	16-25.0M	6
BAM	Banksia marginata	Silver Banksia	300mm	nil	2-5.0M	2
BAS	Banksia serrata	Old Man Banksia (small native, untrained trunk, serrated leaves)	75L	3x50x50x1800	4-6.0M	2
BIN	Banksia integrifolia	Coast Banksia (medium indigenous tree)	75L	3x50x50x1800	12-15.0M	5
CAG	Cassinia glauca	Swamp She-Oak (medium native tree)	45L	3x50x50x1800	16-13.0M	4
ER	Elaeoagnathus reticulatus	Blueberry Ash (indigenous small tree)	45L	3x50x50x1800	6-8.0M	12
GLO	Gleichenia fernandensis	Cheese Tree (indigenous medium tree)	75L	3x50x50x1800	8-10.0M	1
MLO	Melicope aphanocarpa	Flax Leaf Paperbark (indigenous medium tree)	75L	3x50x50x1800	12-15.0M	3
PHR	Phytolacca fraxinea	Miniflourant Pear (medium indigenous tree)	200L	3x50x50x1800	9-12.0M	1
SYL	Syzygium laetum	Small Leaved Lilly Pilly (small native tree)	75L	3x38x38x1800	8-11.0M	6
TLL	Tristanopsis laurina 'Luskook'	Water Gum cultivar (indigenous small tree)	75L	3x50x50x1800	5-7.0M	7
Shrubs / small feature trees						
BMM	Banksia 'mimosa'	Dwarf Banksia marginata	300mm	nil	2.0M	2
CCS	Callistemon citrinus 'Splendens'	Dwarf Crinum Bottlebrush (crimson flowering native shrub)	200mm	nil	2.5M	2
EOM	Enostemon australe	Pink Wax Flower (native shrub)	200mm	nil	2.0M	1
SN	Syzygium 'Straight & Narrow'	Pink Wax Lilly Pilly (very narrow and vertical rose)	200mm	hedged to req height	3-5.0M	10
WLN	Wisterlingia triflora 'Naringa'	Ozbrad Grey Box (handy low shrub can be hedged)	200mm	hedged	0.4-0.7M	6
Ferns / Palms / Succulents / ornamental bamboos						
AGV	Azalea attenuata	Century plant (crisp, spiky leaved succulent)	200mm	nil	0.5M	12
BGU	Bambusa guangdongensis	Dwarf Chinese Bamboo (ornamental bamboo can be hedged)	200mm	nil	2-3.5M	6
BSW	Beulandia gracilis	Slender Weavers (non-invasive ornamental bamboo)	300mm	nil	6-8.0M	2
CAA	Cyathea australis	Tree Fern (native tree fern)	300mm	nil	2-4.0M	9
CYR	Cycas revoluta	Swamp Palm (native tree fern)	300mm	nil	1-1.2M	5
DA	Dicksonia antarctica	Soft Tree Fern (shades tolerant tree fern)	300mm	nil	4.0M	5
DRD	Dracaena draco	Dragon Tree (min 2m high specimen at time of installation)	same adv	nil	2.5-3.5M	1
DYE	Doryanthea excelsior	Cyrtia Lily (gully palm lily, tall red flower on spike)	300mm	nil	1.5-2.0M	13
LAV	Livistonia australis	Colossal Palm (2.5m trunk at time of installation)	same adv	wire guys	8-12.0M	5
RHE	Rhapis excelsior	Lady Finger Palm	300mm	nil	2-2.5M	4
Groundcovers/Climbers						
HJA	Handbergia violacea	Native saxifrage (native groundcover)	200mm	nil	2.0M	50
PP	Pandorea pandorica	Wonga Wonga Vine (native climber/groundcover)	200mm	wire supports on fence	3.0M	2
TJA	Trachelospermum asiaticum	Floral Star Jasmine (for Ozbrad hybrid groundcover)	200mm	nil	0.2M	42
VH	Viola hederacea	Native Violets (native low groundcover)	tubes	nil	0.1M	200
Ornamental grasses/strappy leaved plants						
CM	Civica melissa	Kaffir Lily (shade tolerant groundcover)	200mm	nil	0.5M	28
CRP	Crimum pedunculatum	Swamp Lily (native mass planted groundcover)	200mm	nil	0.5-0.7	70
DC	Dianella caerulea	Blue Flax Lily (native grass like plant)	100mm	nil	0.4M	650
JMC	Juniperus Evergreen Giant	Turf Lily (shade tolerant groundcover)	150mm	nil	0.4M	74
LCT	Lomandra 'lanka'	Dwarf Mat Rush (native mass planted groundcover)	150mm	nil	0.4M	70

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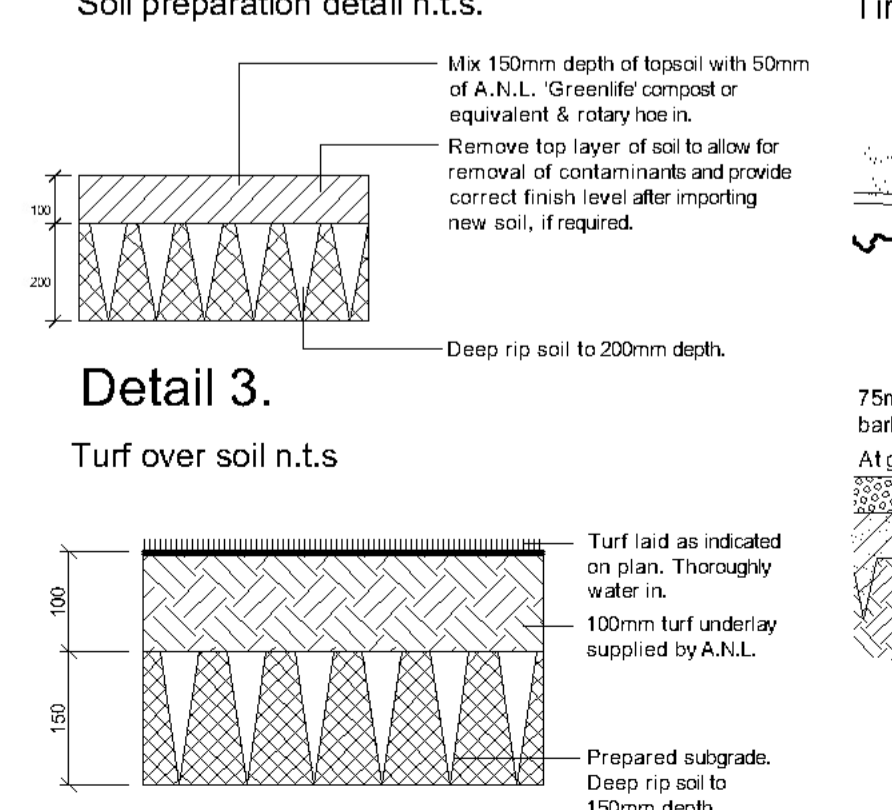
Legend



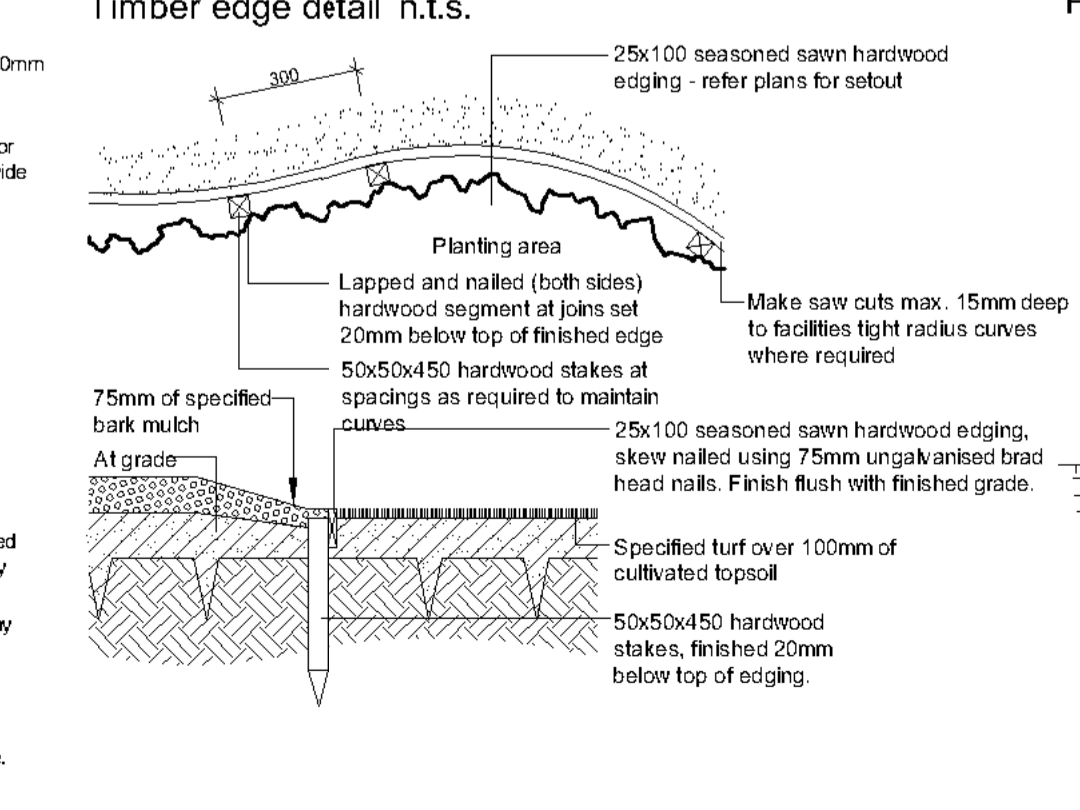
Detail 1. Tree planting detail n.t.s



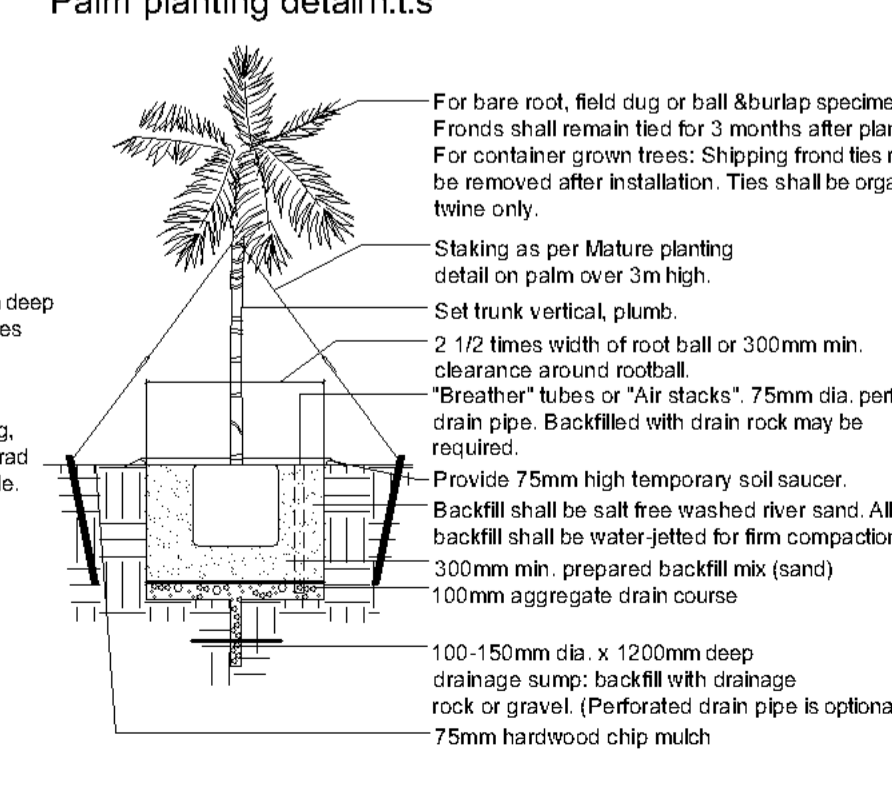
Detail 2. Soil preparation detail n.t.s.



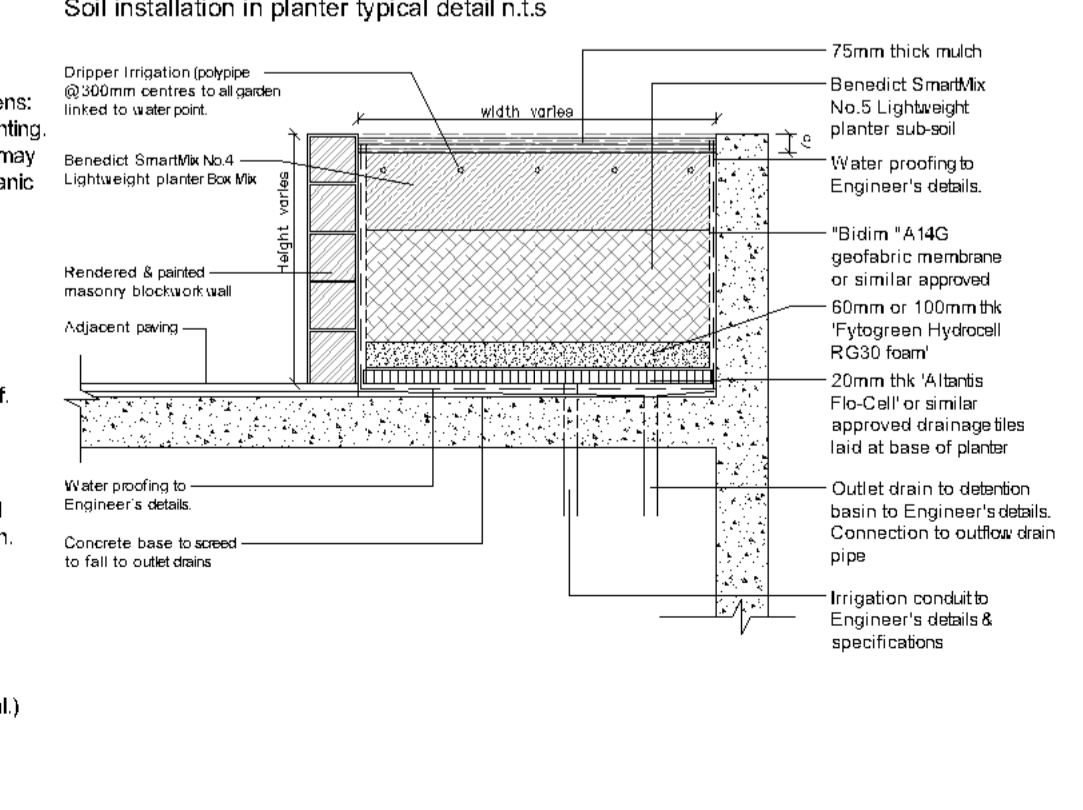
Detail 4. Timber edge detail n.t.s.



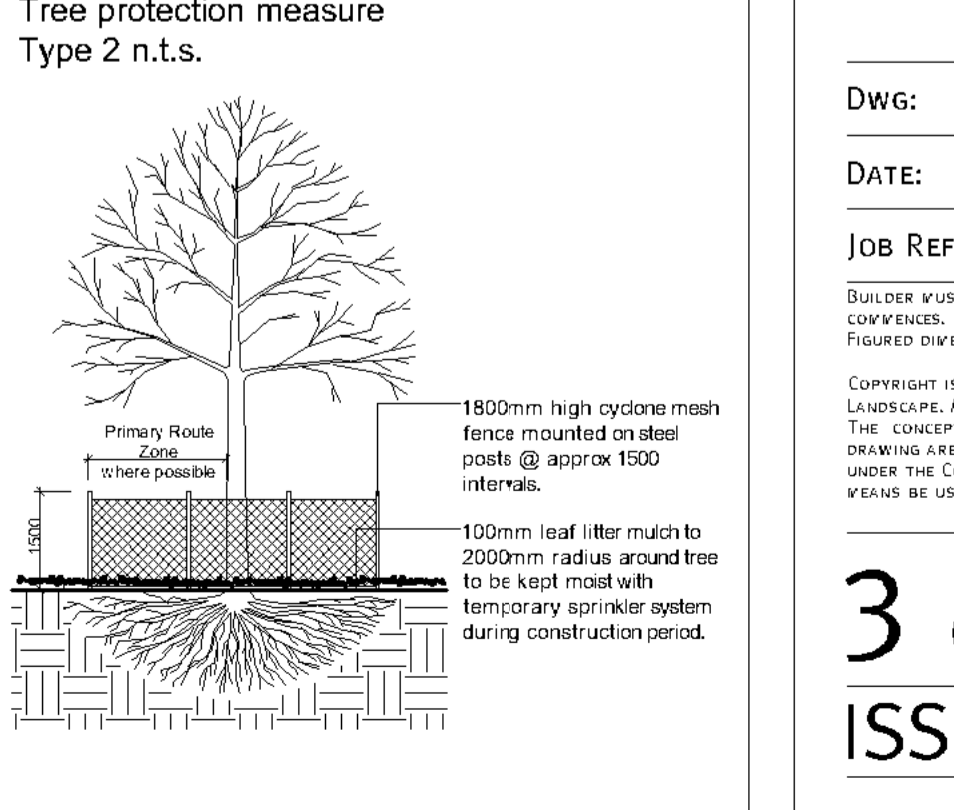
Detail 5. Palm planting detail n.t.s.



Detail 6. Soil installation in planter typical detail n.t.s.



Detail 7. Tree protection measure Type 2 n.t.s.



Irrigation notes

Automatic drip line watering system to be selected. To extend to all garden areas nominated on the hatched areas on sheet 3 and is to include all raised planter boxes over slab structures. Water supply tap hosecocks to each isolated planterbox for separate irrigation lines with battery timers. (To be coordinated with Hydraulic Engineer's details). Drip line supply system only to be incorporated. Contractor is to provide an irrigation design to meet the following requirements.

General: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with hydraulic engineer's plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Irrigation system to be supplied from rainwater tanks as nominated on the Hydraulic Engineer's plans with town water top up system.

Chemical root control: Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation.

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation area plan on sheet 2.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS).

AMENDMENTS

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DWG: PLANTING PLAN
DATE: 19.4.21 SCALE: 1:200 @A1
JOB REF: 21/2110 SHEET NO: 3 OF 6

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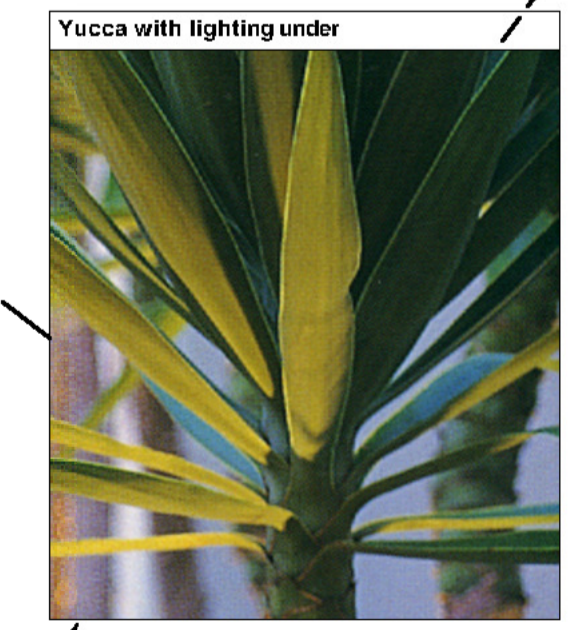
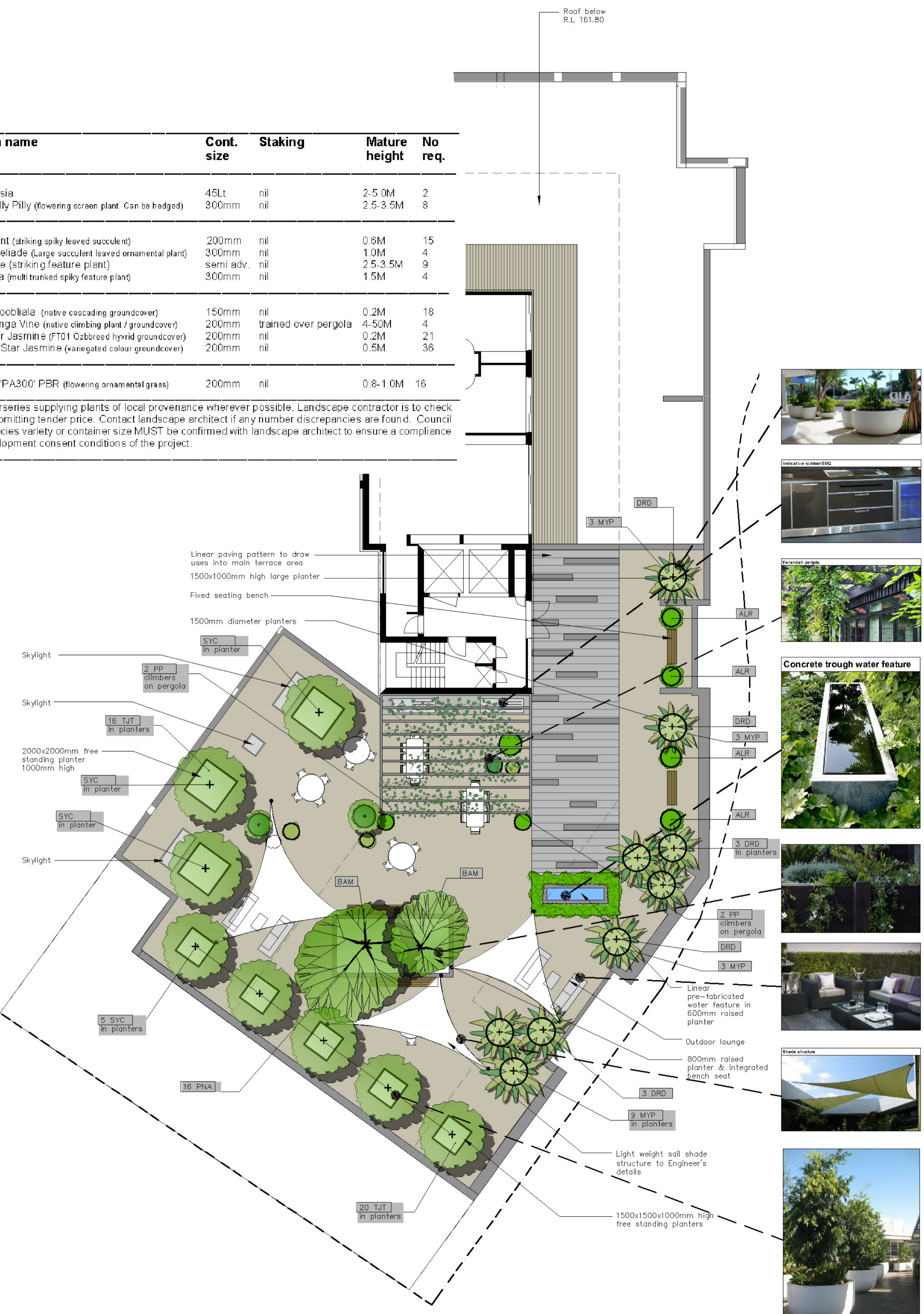
3 OF 6
ISSUE-E



Planting schedule sheet 4

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
Shrubs / small feature trees						
BAM	Banksia marginata	Silver Banksia	45Lt	nil	2-5.0M	2
SYC	Syzygium 'Cascade'	Cascade Lilly Pilly (flowering screen plant. Can be hedged)	300mm	nil	2.5-3.5M	8
Ferns / Palms / Succulents / ornamental bamboos						
AGV	Agave attenuata	Century plant (striking spiky leaved succulent)	200mm	nil	0.6M	15
ALR	Alcanatarea 'Rubra'	Giant Bromeliads (Large succulent leaved ornamental plant)	300mm	nil	1.0M	4
DRD	Draceana draco	Dragon Tree (striking feature plant)	semi adv.	nil	2.5-3.5M	9
YUC	Yucca elaphantipes	Giant Yucca (multi trunked spiky feature plant)	300mm	nil	1.5M	4
Groundcovers/Climbers						
MYP	Myoporum parvifolium	Creeping Boobialla (native cascading groundcover)	150mm	nil	0.2M	18
PP	Pandorea pandorana	Wonga Wonga Vine (native climbing plant / groundcover)	200mm	trained over pergola	4-5.0M	4
TJA	Trachelospermum asiaticum	Flametal Star Jasmine (F101 Ozbred hybrid groundcover)	200mm	nil	0.2M	21
TJT	Trachelospermum tricolor	Variegated Star Jasmine (variegated colour groundcover)	200mm	nil	0.5M	36
Ornamental grasses/strappy leaved plants						
PNA	Pennisetum alopecuroides Natray NAFRAY® PA300' PBR	(flowering ornamental grass)	200mm	nil	0.8-1.0M	16

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Legend

- Proposed evergreen trees
- Proposed Deciduous tree
- Cascading groundcovers
- Succulent
- Private open space paving
- Walls

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 PROCEEDINGS NO: 2020/283826
 DATED: 8 November 2021

See Arborists report prepared by Mark Bury Consulting

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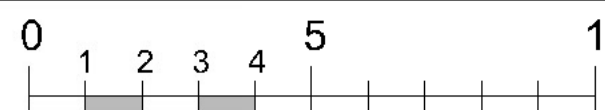
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NORTH

4 OF 6
ISSUE-E



Legend

- Proposed evergreen trees
- Small palm
- Cascading groundcovers
- Succulent
- Ornamental grasses
- Walls

See sheet 7 for planter pot types

See Arborists report prepared by Mark Bury Consulting

AMENDMENTS

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AT 28 LOCKWOOD AVE,
BELROSE, NSW

DWG: LOWER GF PLAN

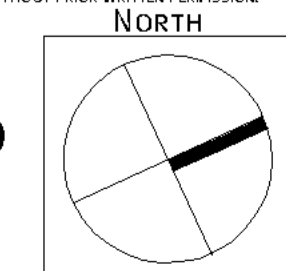
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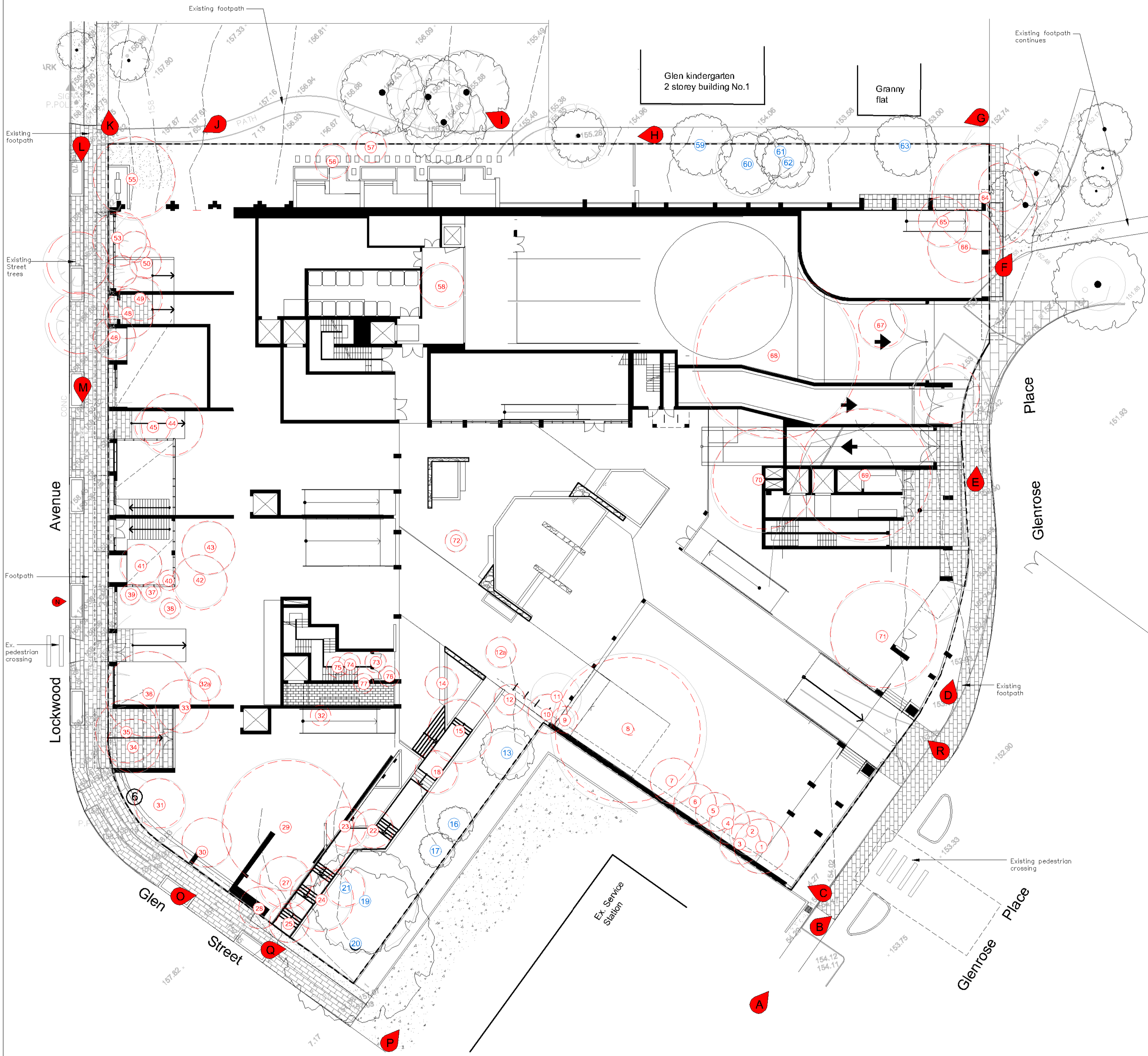
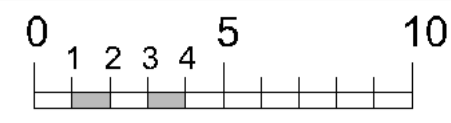
5 OF 6
ISSUE-E



Planting schedule – sheet 5

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
Shrubs / small trees						
BAM	Banksia marginata	Silver Banksia	300mm	nil	2-5.0M	8
BAS	Banksia serrata	Old Man Banksia (Small native, gnarled trunk & serrated leaves)	75Lt	3x50x50x1800	4-6.0M	1
Ferns / Palms / Succulents / ornamental bamboos						
BGU	Bambusa guangxiensis	Dwarf Chinese Bamboo (ornamental bamboo can be hedged)	300mm	nil	2-3.5M	3
RHA	Rhipis excelsior	Lady Finger Palm	300mm	nil	2-2.5M	9
Groundcovers/Climbers						
SCA	Scaevola aemula	Fan Flower (Flowering cascading groundcover)	150mm	nil	0.3M	30
TJA	Trachelospermum asiaticum	Flatmat Star Jasmine (FT01 Ozbreed hybrid groundcover)	200mm	nil	0.2M	27
Ornamental grasses/strappy leaved plants						
DIA	Dianella 'Cassa Blue'	Hybrid Flax Lily (native grass like plant)	150mm	nil	0.4M	50
DCR	Dianella 'Tasred'	Blue Flax Lily (red foliage native grass like plant)	150mm	nil	0.4M	60
ISN	Issolepis (Fimicia) nodosa	Knobby Club Rush (native ornamental grass)	150mm	nil	0.6M	8
LIM	Limnoloba Evergreen Giant	Turf Lily (shade tolerant groundcover)	150mm	nil	0.4M	38
LOT	Lomandra 'Tanika'	Dwarf Mat at Rush (native mass planted groundcover)	150mm	nil	0.4M	132

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Legend

- Existing trees to be removed
- Existing trees to be retained
- Site photo locations

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DWG: SITE ANALYSIS
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ISSUE-E

NORTH

LOCKWOOD AVENUE

GLENROSE PLACE

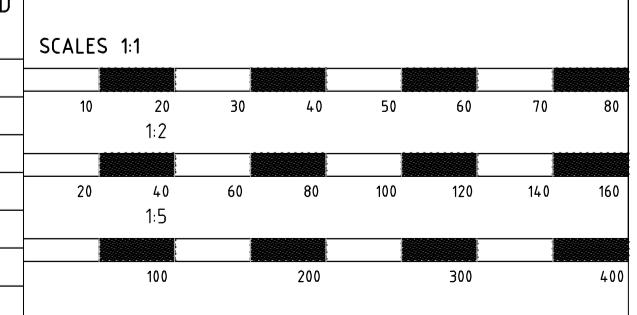


BASEMENT 4 STORMWATER DRAINAGE
SCALE 1:200

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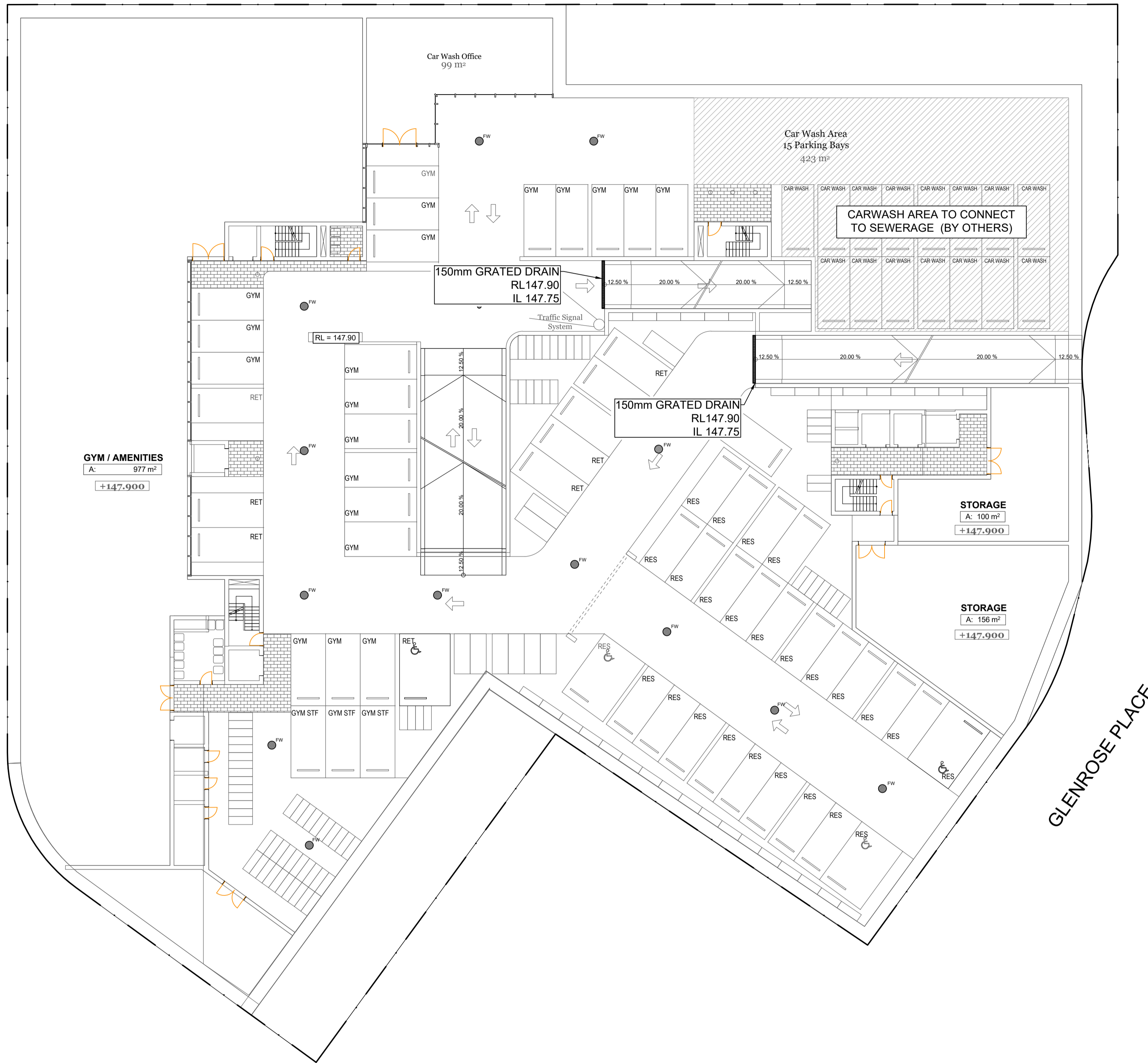
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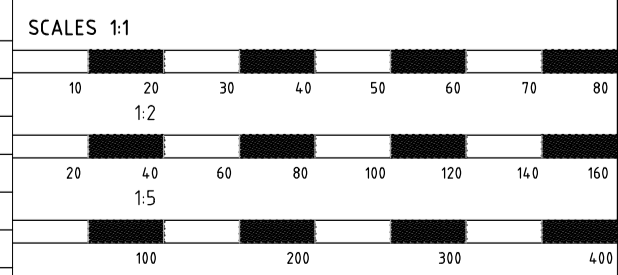
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BASEMENT 3 STORMWATER DRAINAGE PLAN
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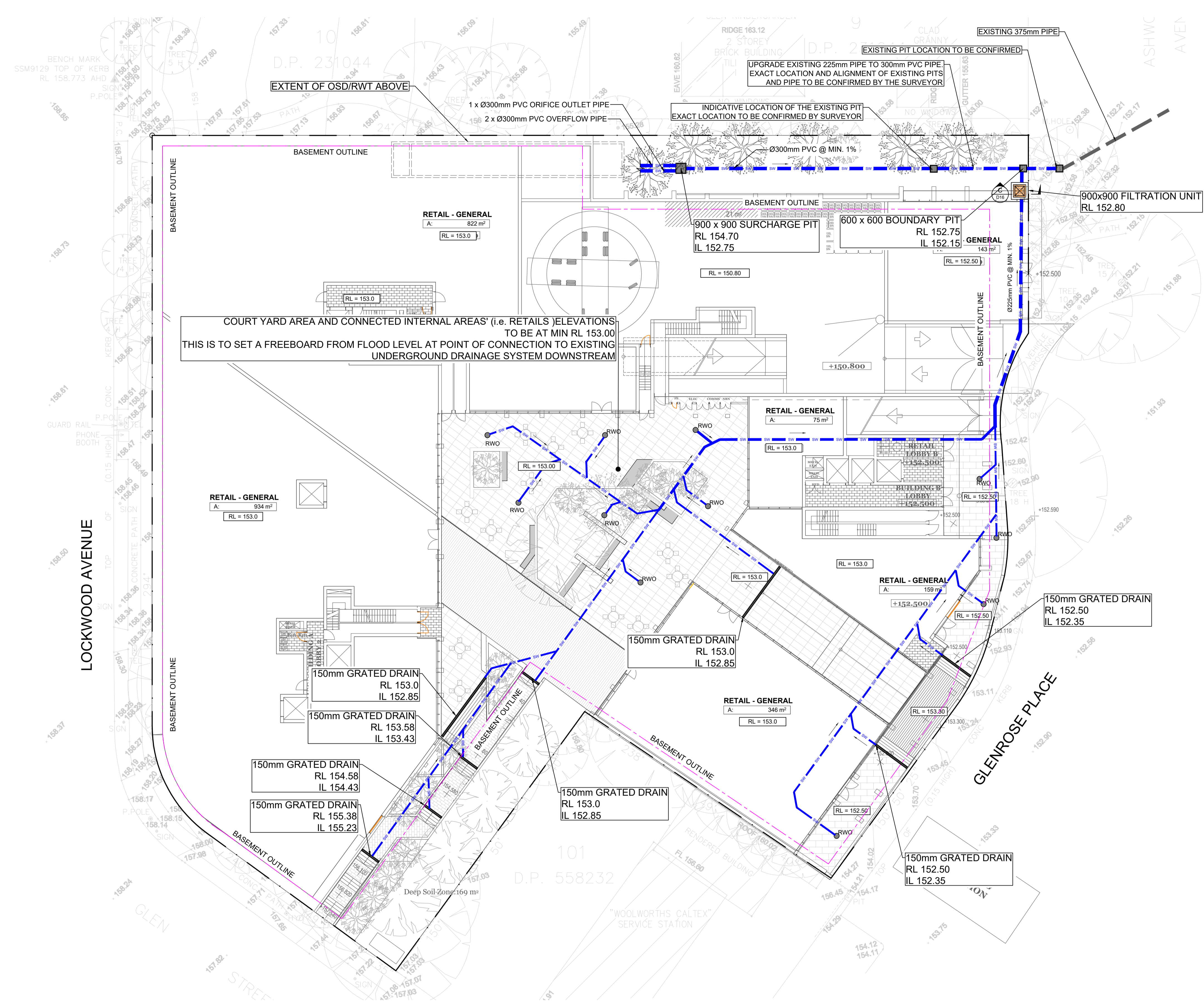
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BASEMENT 2 STORMWATER DRAINAGE PLAN
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RAIN WATER FROM ROOF AREAS TO BE CAPTURED BY DOWNPIPES AND TO BE CONNECTED TO RAIN WATER TANK.

DETAILED DESIGN AT CC STAGE

RWT
TWL 155.0
AREA = 4.50 m²
AVERAGE DEPTH = 2.595m
VOLUME REQUIRED = 10.0 m³
VOLUME PROVIDED = 11.67 m³

OSD
TWL 154.90
AREA = 60.00 m²
AVERAGE DEPTH = 1.90m
VOLUME REQUIRED = 95.6 m³
VOLUME PROVIDED = 114.0 m³



LOWER GROUND FLOOR STORMWATER DRAINAGE PLAN
SCALE 1:200

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CLIENT
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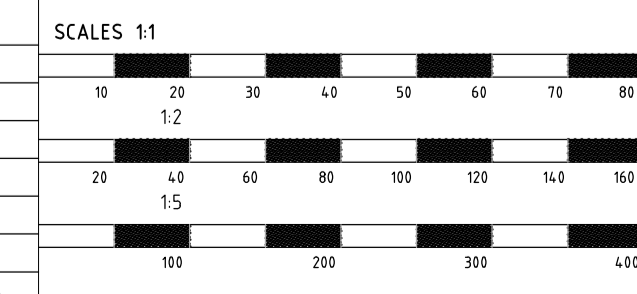
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DRAWN	DATE	SHEET NUMBER	
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GROUND FLOOR STORMWATER DRAINAGE PLAN
SCALE 1:200

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ARCHITECT
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CLIENT
 PLATINUM PROPERTY GROUP

PROJECT	NUMBER IN SET	JOB NO
28 LOCKWOOD AVE, BELROSE	AS SHOWN	190390

DRAWING TITLE	DESIGN	CHECK	REV.
GROUND FLOOR STORMWATER DRAINAGE PLAN	K.E.	K.E.	A

LOCKWOOD AVENUE

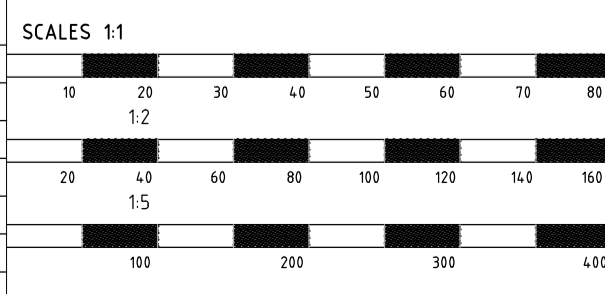
GLENROSE PLACE



ROOF STORMWATER DRAINAGE PLAN
SCALE 1:200

northern beaches council
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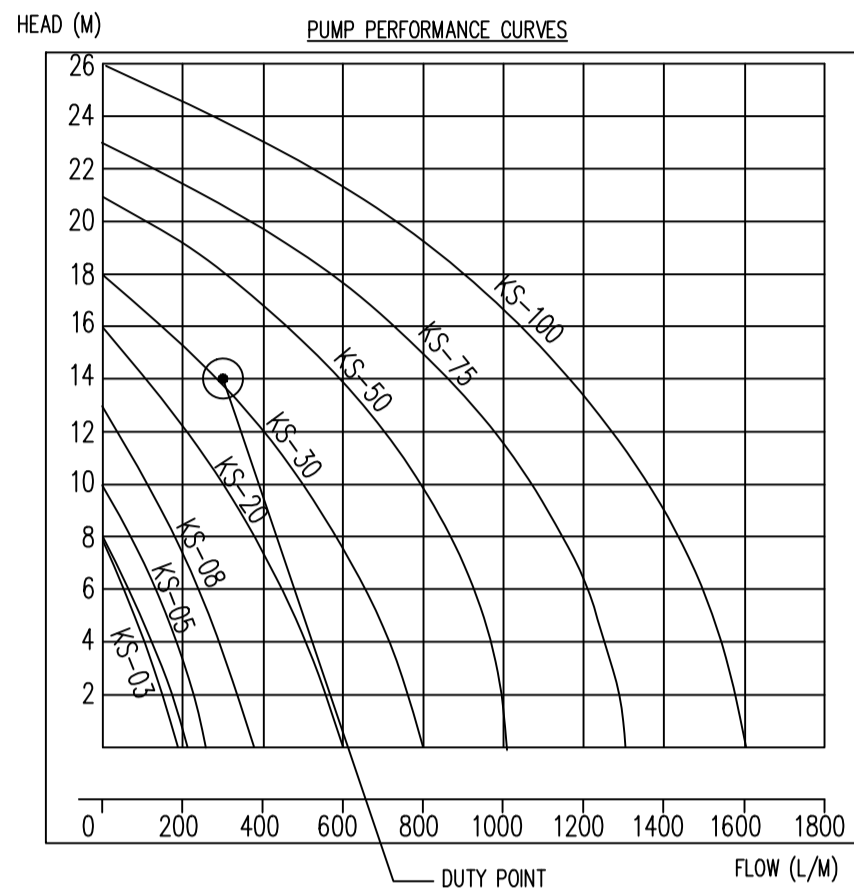
PROJECT	NUMBER IN SET	JOB NO	
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DRAWING TITLE	DESIGN	CHECK	REV.
ROOF STORMWATER DRAINAGE PLAN	K.E.	K.E.	A
DRAWN	DATE		
N.E.	NOVEMBER 2019		

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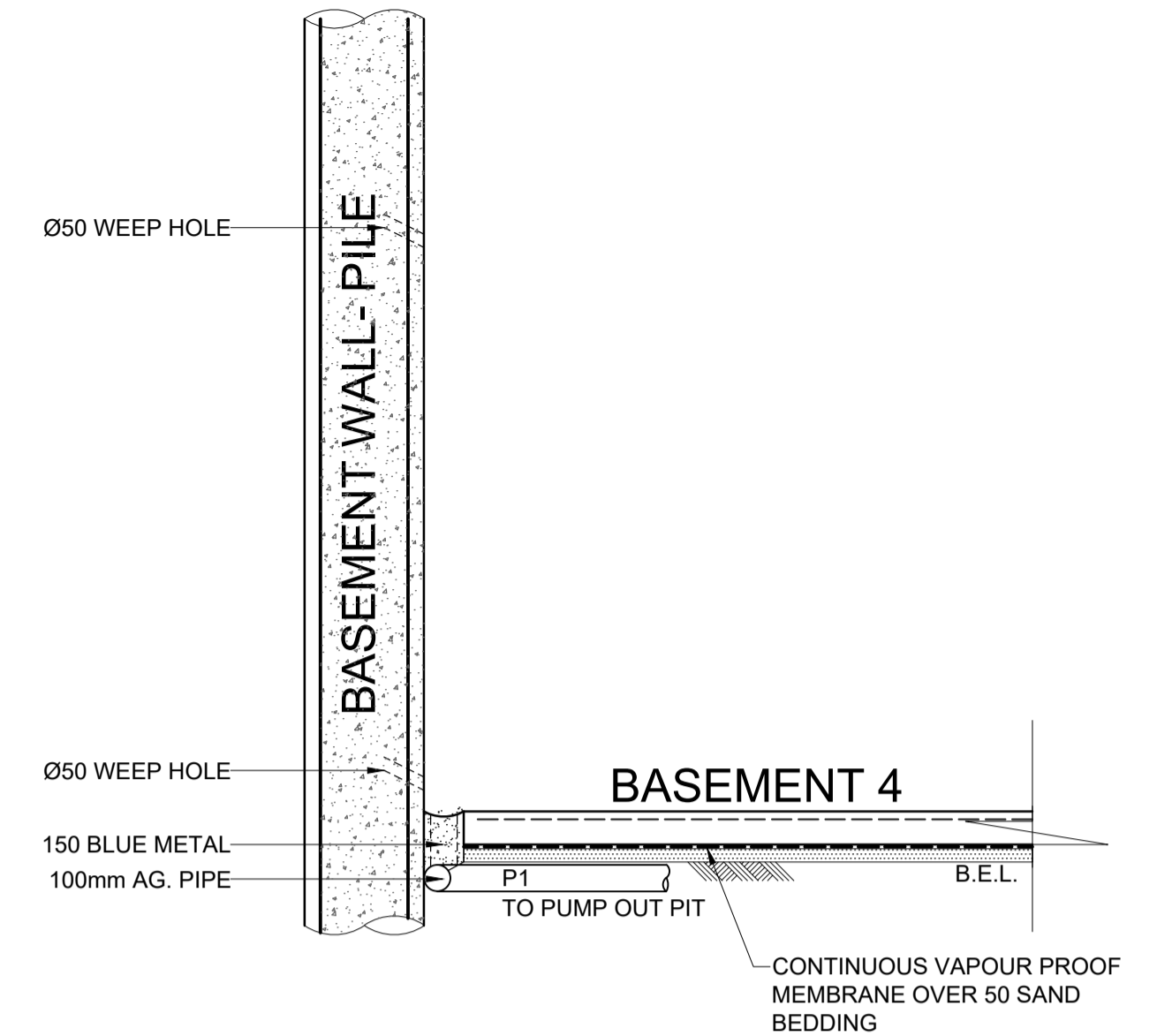
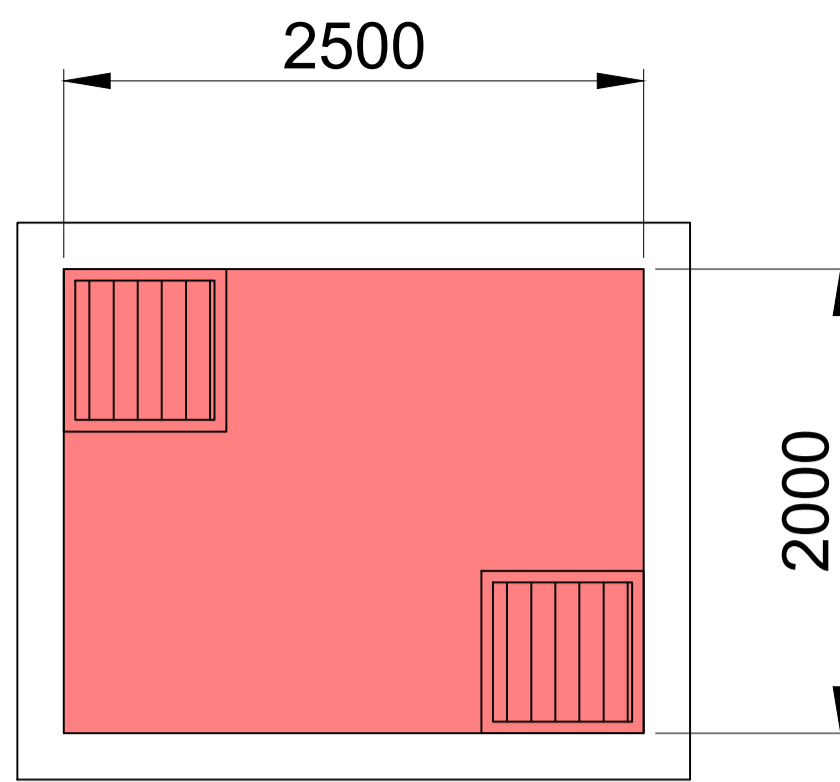
PUMP SPECIFICATIONS STANDARD PUMP-OUT NOTES

THE PUMP-OUT SYSTEM IS DESIGNED TO WORK IN THE FOLLOWING MANNER -

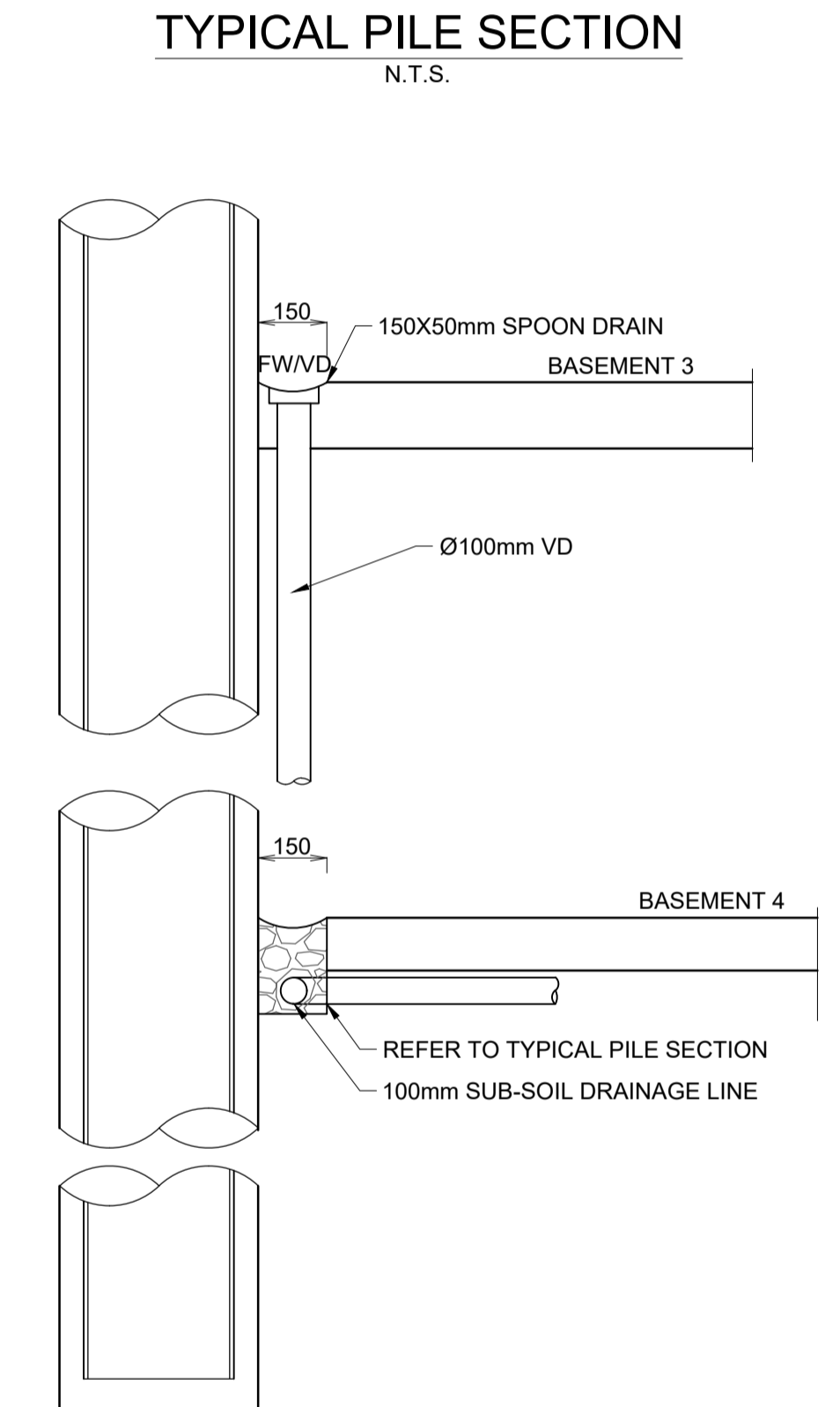
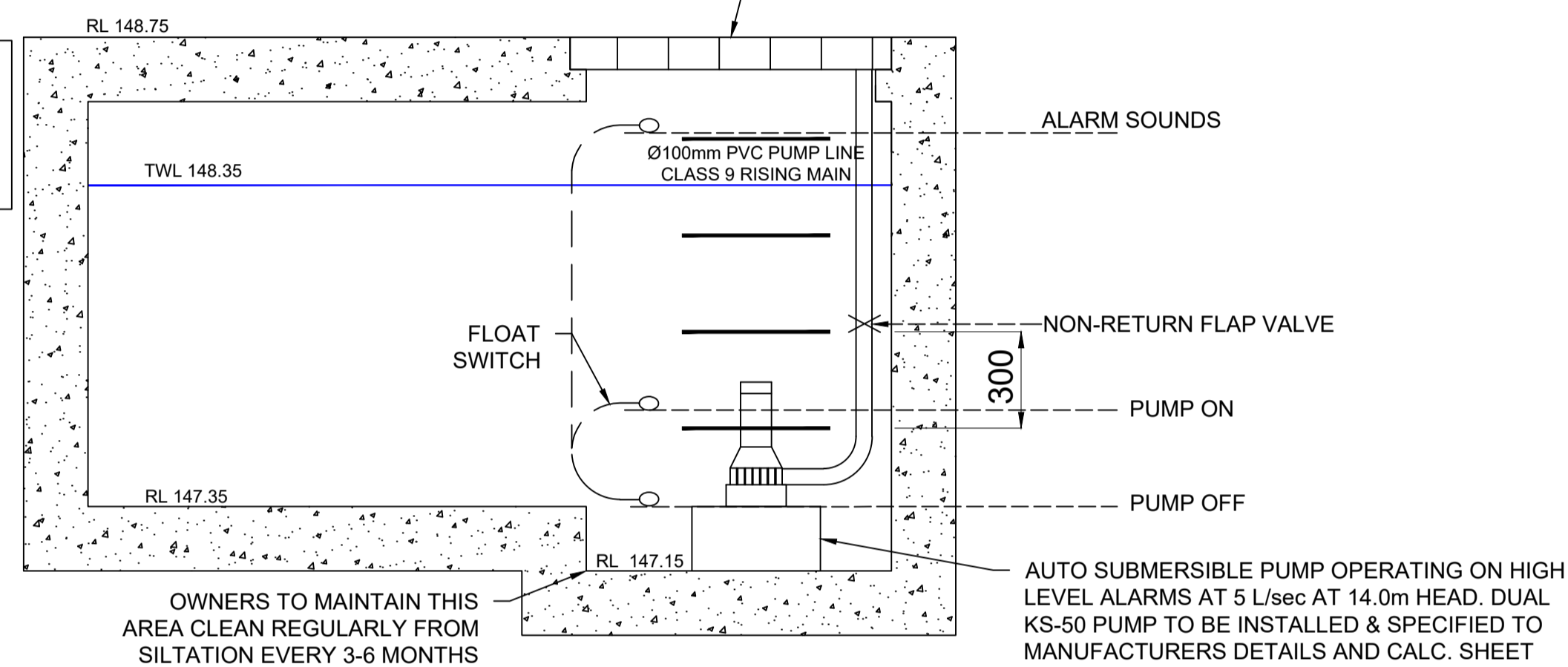
1. A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMP.
2. A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY THE PUMP WILL OPERATE & DRAIN THE TANK TO THE LEVEL OF THE LOW LEVEL FLOAT.
3. A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD ACTIVATE THE ALARM.
4. AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT & A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



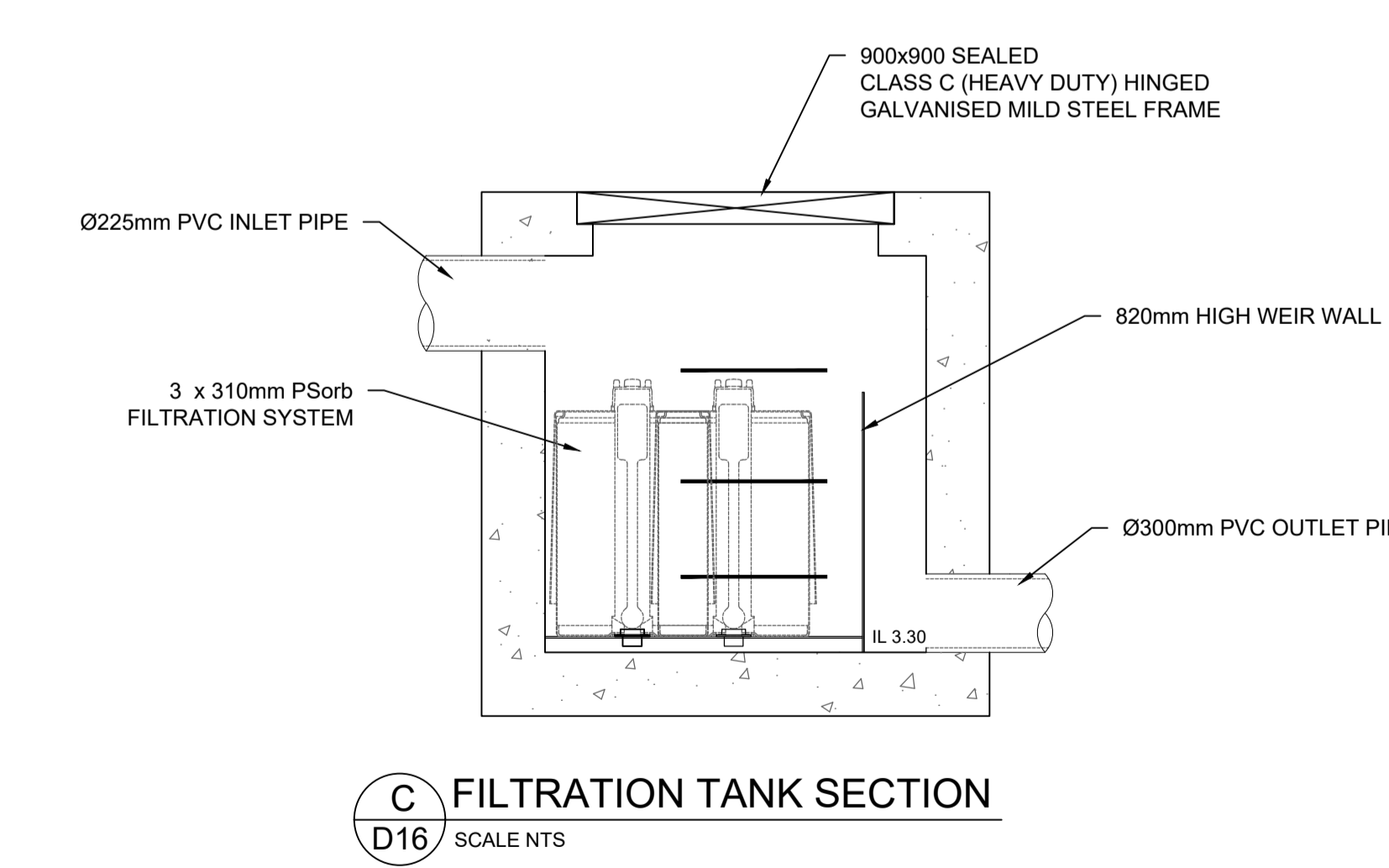
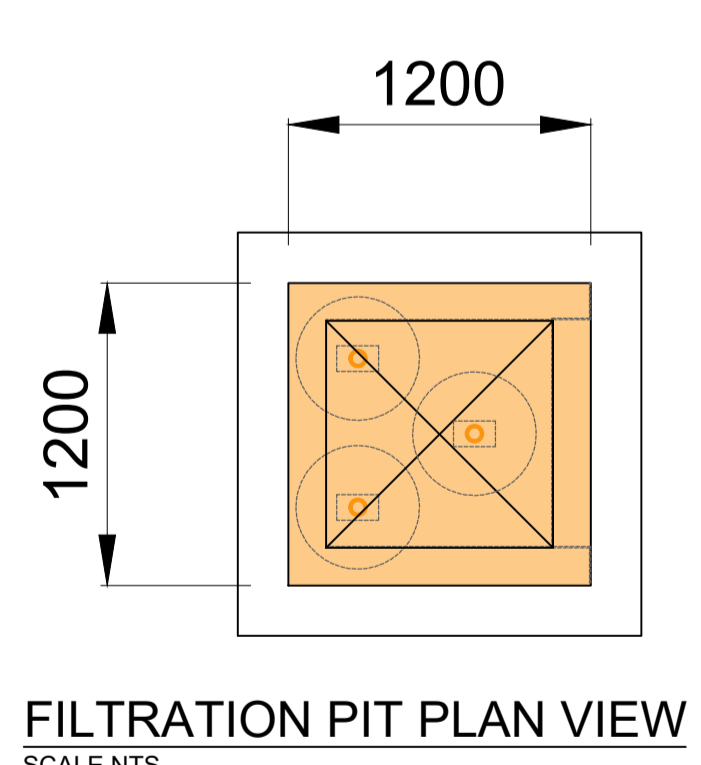
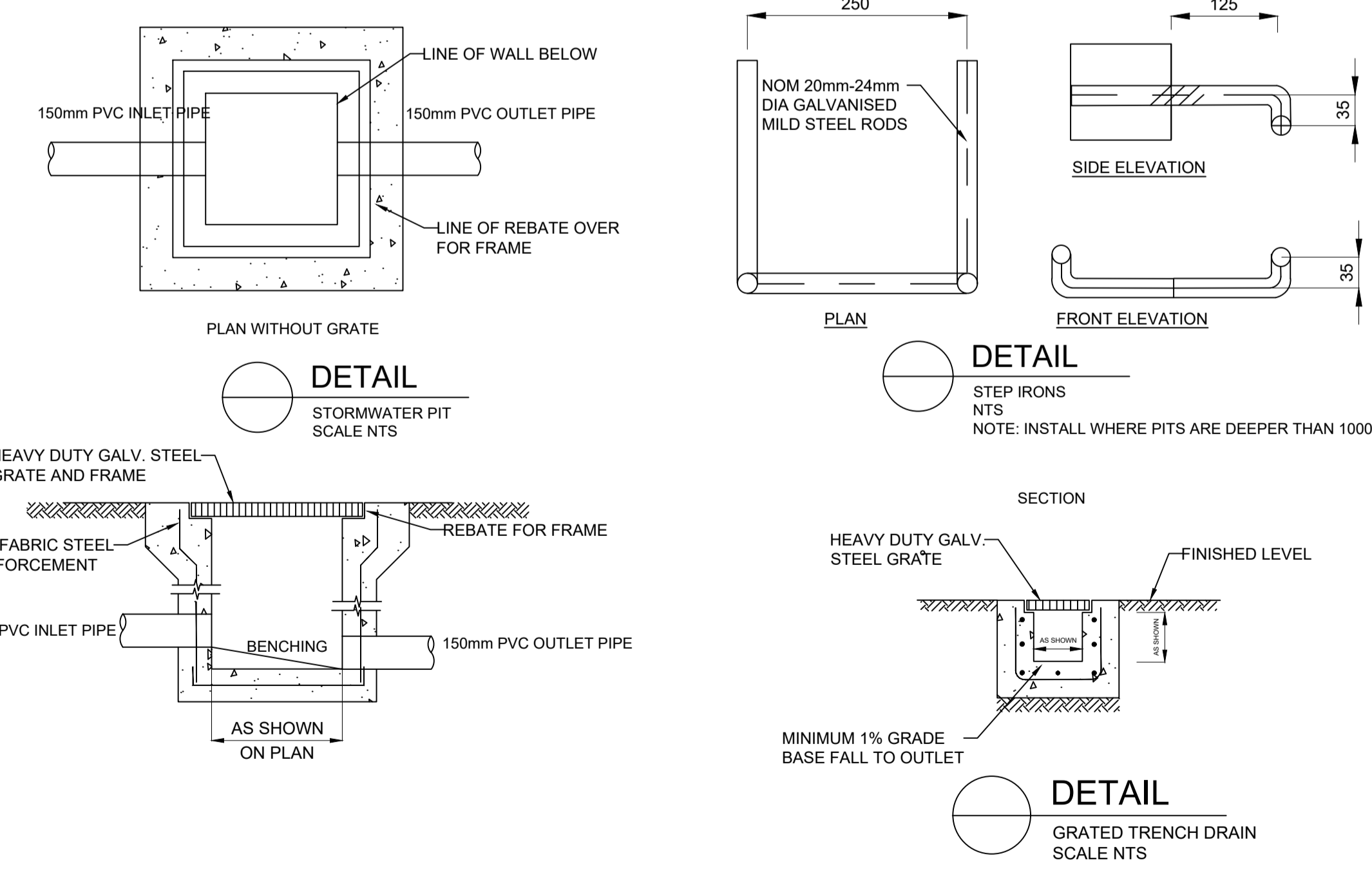
PUMP WELL DETAILS
 AREA DRAINING TO SUMP = 10.00m²
 SUMP SIZE BASED ON 100 YEAR 2 HR STORM, I = 49.3 mm/hr,
 $Q = CIA/3600 = 1 \times 10 \times 49.30/3600 = 0.137$ L/sec
 VOLUME REQUIRED = $0.137 \times (2 \times 60 \times 60) = 0.986$ m³
 MIN. VOLUME REQUIRED = 0.986 m³
 MIN. VOLUME REQUIRED BY AS 3500 = 3.00 m³
 STORAGE PROVIDED $2.5 \times 2.0 \times 1.0 = 5.00$ m³
 PUMP RATE BASED ON 100 YEAR 5 MIN STORM, I = 262mm/hr,
 $Q = CIA/3600 = 1 \times 10 \times 262 / 3600 = 0.727$ L/sec
 MIN. PUMP OUT RATE REQUIRED BY AS 3500.3 = 10.0 L/sec
 DUAL KS-50 PUMP OR EQUIVALENT TO BE INSTALLED IN SUMP AND CONNECTED TO CONTROL PANEL WHICH WILL ALLOW FOR THE PUMPS TO OPERATE SIMULTANEOUSLY ON HIGH LEVEL ALARMS AT 5.0L/sec (PER PUMP) AT 14.0m HEAD



PUMP OUT PIT
 TWL 148.35
 AREA = 5.0m²
 AVERAGE DEPTH = 1.00m
 VOLUME PROVIDED = 5.0m³
 VOLUME REQUIRED = 3.0m³



Type	Output		Outlet		Rated Head Capacity		Maximum Head Capacity		Weigh Kg	Dimension		
	HP	kW	mm	Inch	M	LPM	M	LPM		L(mm)	W(mm)	H(mm)
KS-03	1/3	0.25	40	1 1/2"	3	130	8	180	9	188	141	305
KS-04	1/2	0.4	50	2"	5	150	8	220	11	208	140	359
KS-05	1/2	0.4	50	2"	5	160	10	260	14	230	156	375
KS-08	1	0.75	50	2"	6	240	13	380	21	290	180	425
KS-20	2	1.5	80	3"	10	300	16	600	31	278	182	475
KS-30	3	2.2	80	3"	10	500	18	800	42	390	250	450
KS-50	5	3.7	100	4"	10	800	21	1100	48	450	240	530
KS-75	7 1/2	5.6	100	4"	15	800	23	1300	60	550	310	590
KS-100	10	7.5	150	6"	18	900	25	1600	70	550	310	610



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A	ISSUED FOR DA	27.11.19	N.E.	K.E.	1:1	DKO ARCHITECTURE (NSW) PTY LTD	PLATINUM PROPERTY GROUP	28 LOCKWOOD AVE, BELROSE	AS SHOWN	190390
						myd CONSULTING ENGINEERS			DESIGN	SHEET NUMBER
						Lvl 2, 19 Harris Street Pyrmont, NSW 2009			K.E.	D16
						T 02 9817 2611 E info@mydconsulting.com			CHECK	REV.
								STORMWATER DRAINAGE SECTIONS AND DETAILS SHEET 1	K.E.	A
									DATE	
									NOVEMBER 2019	

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OSD DESIGN DETAILS
 BASED ON WARRINGAH COUNCIL'S ON-SITE STORMWATER DETENTION TECHNICAL SPECIFICATION AN OSD SYSTEM IS REQUIRED FOR THE PROPOSED DEVELOPMENT.

TOTAL SITE AREA: 5322.0 m²

PRE-DEVELOPMENT CATCHMENT CONDITIONS:

IMPERVIOUS AREA = 1490.36 m²
 PERVIOUS AREA = 3831.64 m²

POST DEVELOPMENT CATCHMENT CONDITIONS:

TOTAL AREA DRAINING TO OSD = 4178.92m²

- ROOF AREA (IMPERVIOUS) = 4000.41 m²
- DRIVEWAY AREA (IMPERVIOUS) = 9.6 m²
- HARDSTAND AREA (IMPERVIOUS) = 168.91 m²

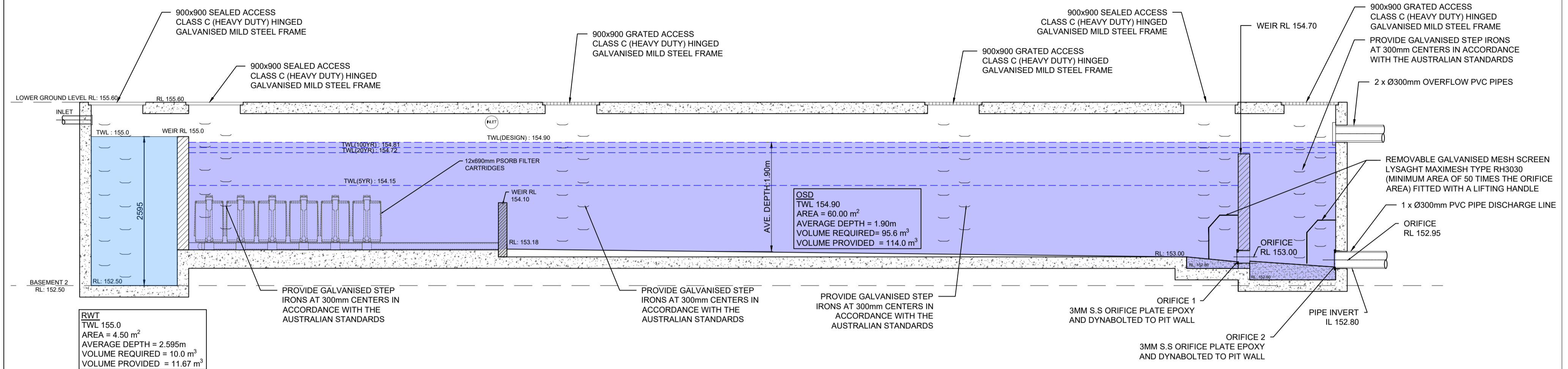
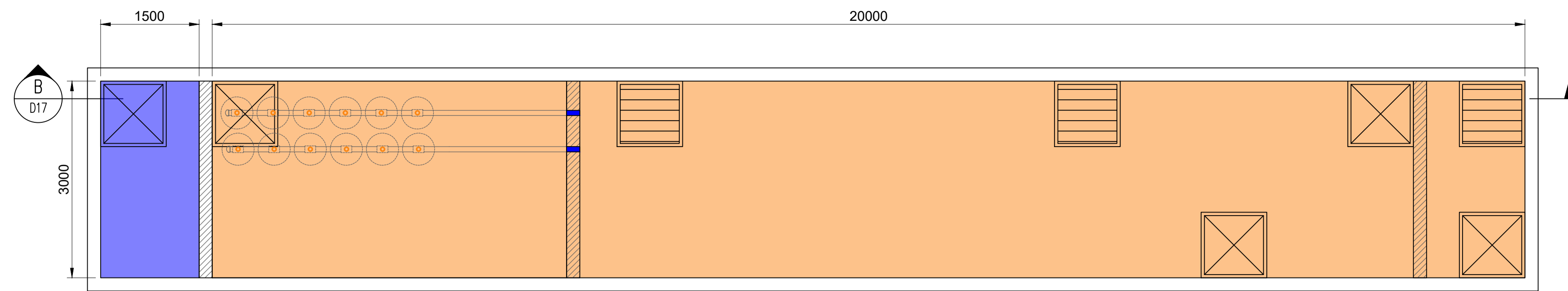
TOTAL AREA BYPASSING OSD = 1143.08m²

- IMPERVIOUS AREA (BYPASSING) = 798.44m²
- PERVIOUS AREA (BYPASSING) = 344.64m²

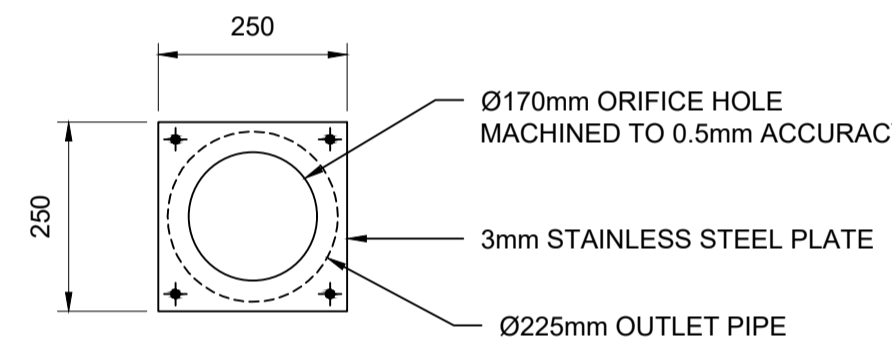
ACCORDING TO SECTION 4 (DETAILED DESIGN) OF THE DESIGN MANUAL MAXIMUM 20% OF THE HARDSTAND AREA WILL BE ALLOWED TO BYPASS THE OSD SYSTEM. WITH THIS REGARDS AND BASED ON SITE CATCHMENT ANALYSIS, ONLY 15% OF THE SITE'S HARDSTAND AREA WILL BYPASS THE PROPOSED OSD SYSTEM.

TO SIZE THE OSD SYSTEM, A DRAINS MODEL HAS BEEN CREATED USING ILSAX METHOD. BASED ON THE DESIGN POLICY THE RUN-OFF FROM THE SITE AFTER DEVELOPMENT IS NOT TO EXCEED THE RUN-OFF FROM THE TOTAL SITE PRIOR TO THE DEVELOPMENT FOR ALL STORM DURATIONS INCLUDING 5YEAR, 20 YEAR AND 100 YEAR ARI STORM EVENTS. THE PSD IS ALSO TO BE CALCULATED BASED ON THE ASSUMPTION OF PRE-DEVELOPMENT CONDITION AS "STATE OF NATURE" (i.e. 100% PERVIOUS).

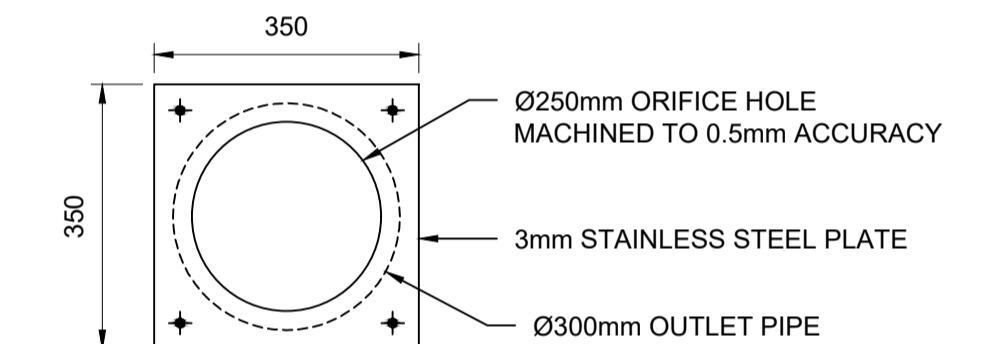
IN ORDER TO REACH AN OPTIMUM DESIGN, TWO-STAGE ORIFICE AND WEIR WALL METHODOLOGY ADOPTED TO SIZE OSD VOLUME AND CALCULATE THE SITE'S PSD VALUES FOR DESIGN STORM EVENTS.



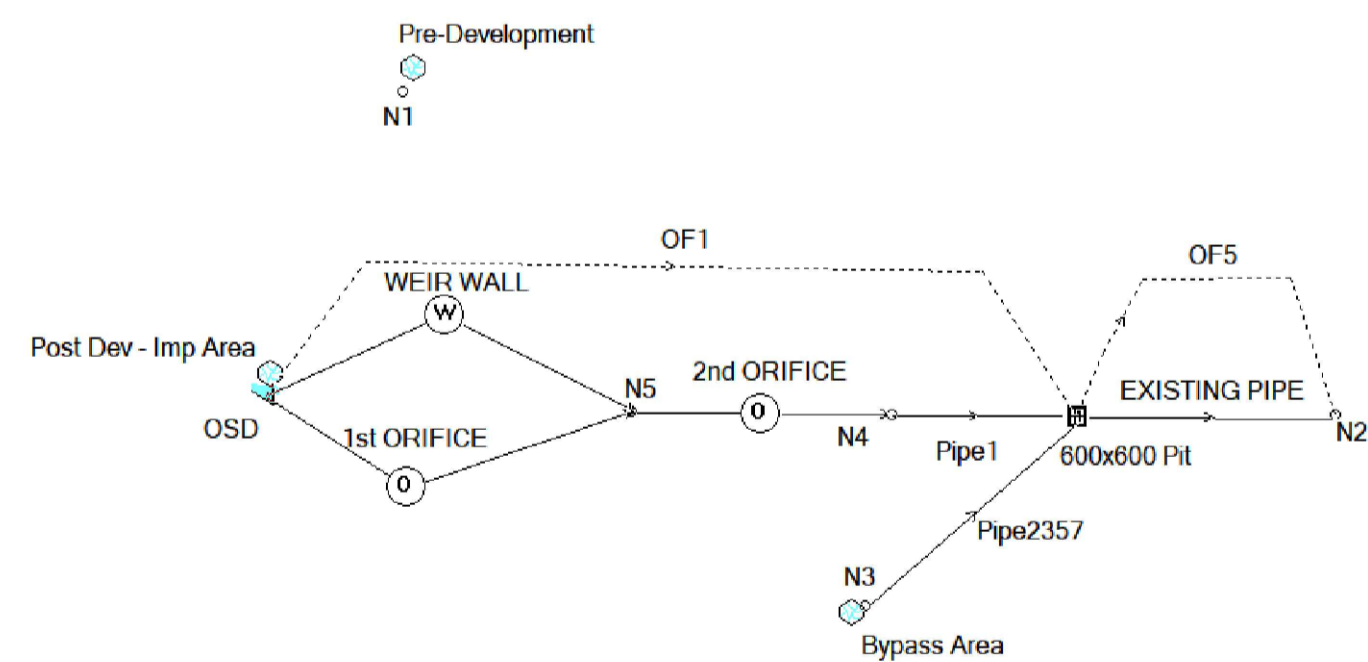
B SECTION THROUGH OSD
 D17 SCALE NTS



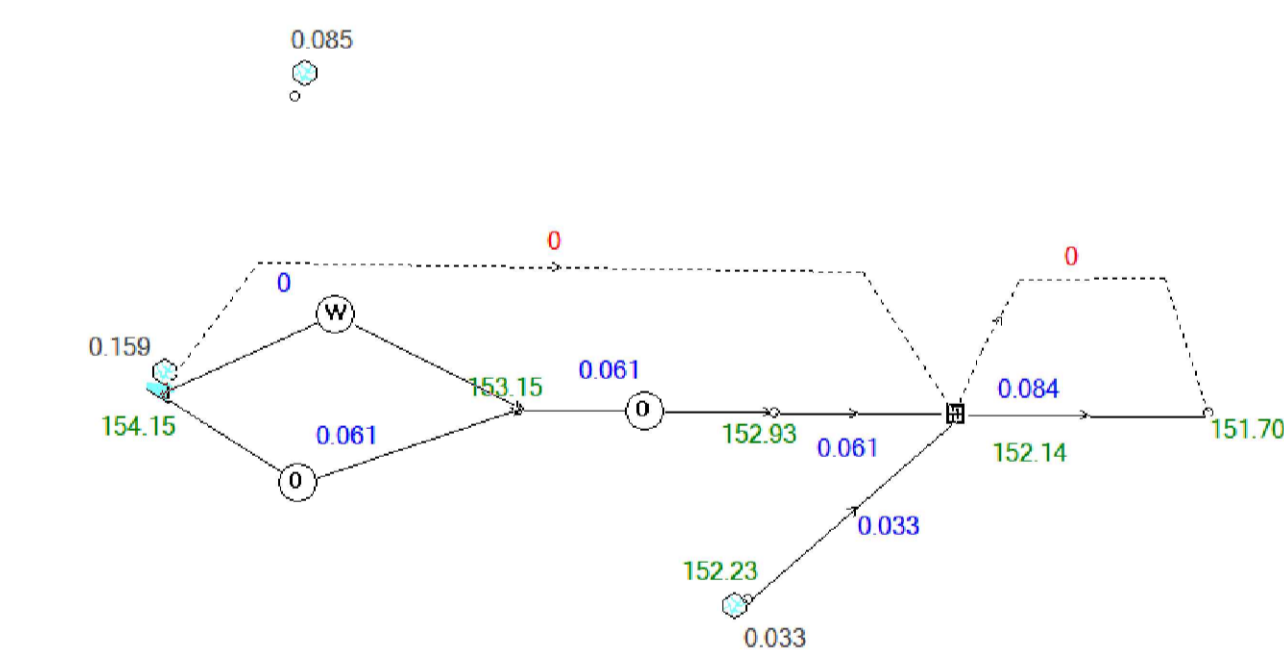
ORIFICE 1 PLATE ELEVATION
 SCALE NTS



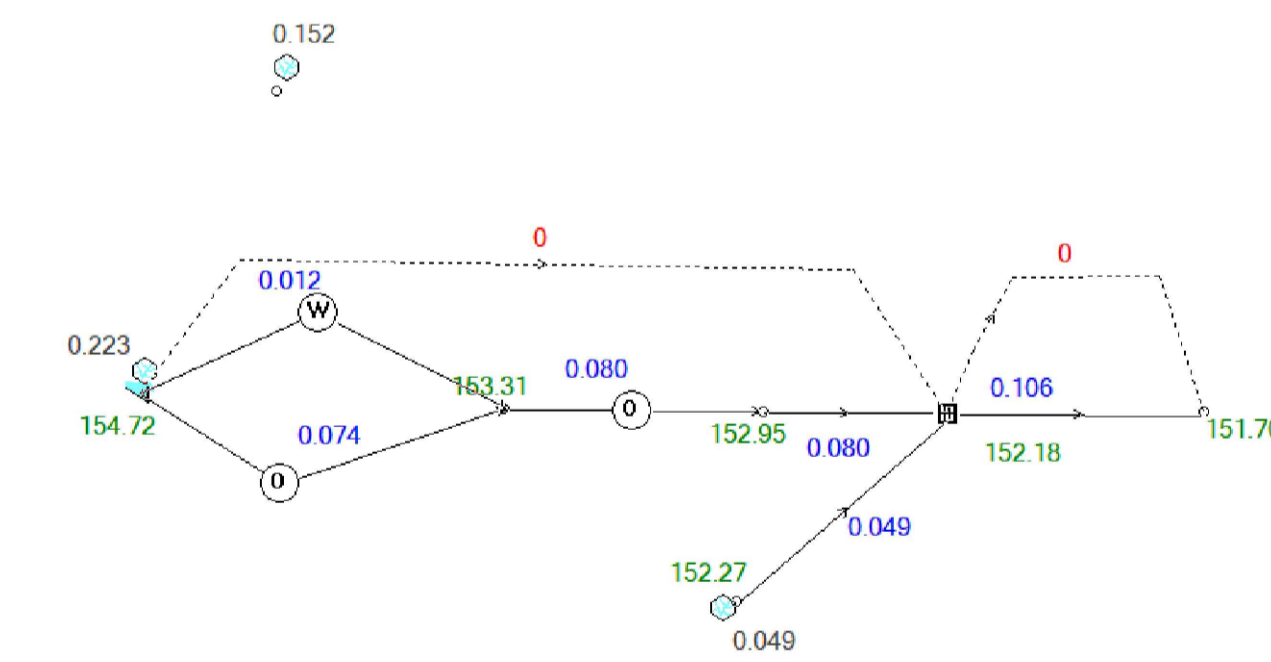
ORIFICE 2 PLATE ELEVATION
 SCALE NTS



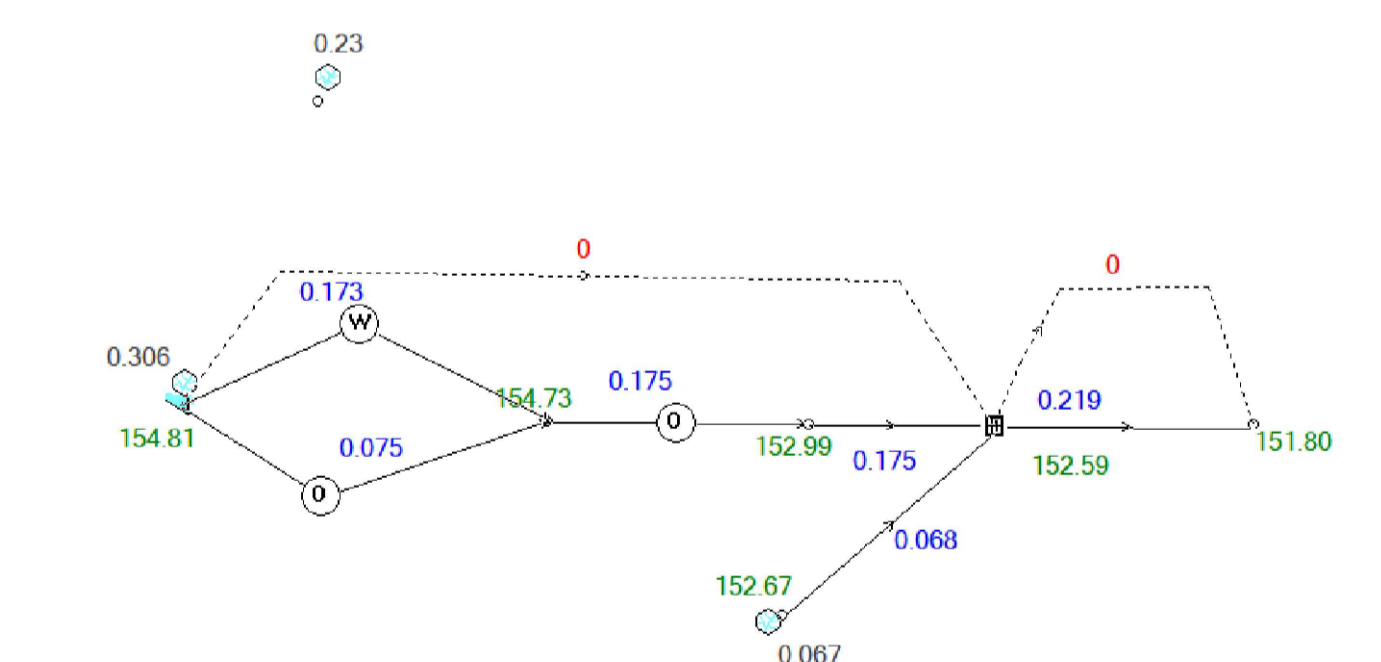
DRAINS MODEL



5 YEAR ARI (20% AEP) POST DEVELOPMENT - DRAINS MODEL



20 YEAR ARI (5% AEP) POST DEVELOPMENT - DRAINS MODEL



100 YEAR ARI (1% AEP) POST DEVELOPMENT - DRAINS MODEL

ON-SITE DETENTION DRAINS DESIGN SUMMARY				
STORM EVENT	PRE-DEVELOPMENT (l/s)	OSD OUTFLOW + BYPASS (l/s)	OSD VOL. (m ³)	Top Water Level (m AHD)
5 YR ARI (20% AEP)	85	84	58.7	154.15
20 YR ARI (5% AEP)	152	106	90.5	154.72
100 YR ARI (1% AEP)	230	219	95.6	154.81

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STORMWATER DRAINAGE SECTIONS AND DETAILS SHEET 2	K.E.	K.E.	A
DRAWN	DATE		
N.E.	NOVEMBER 2019		

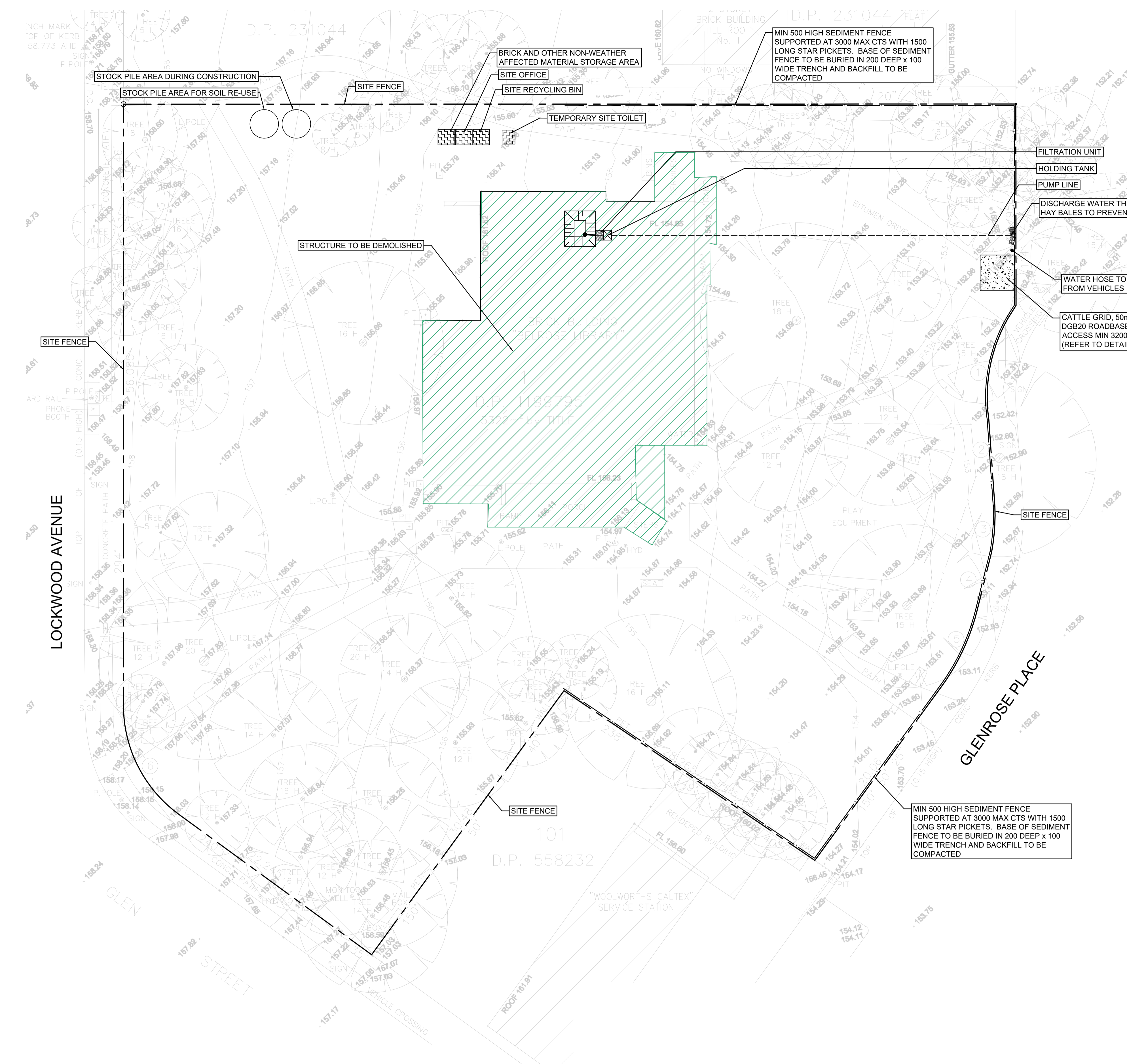
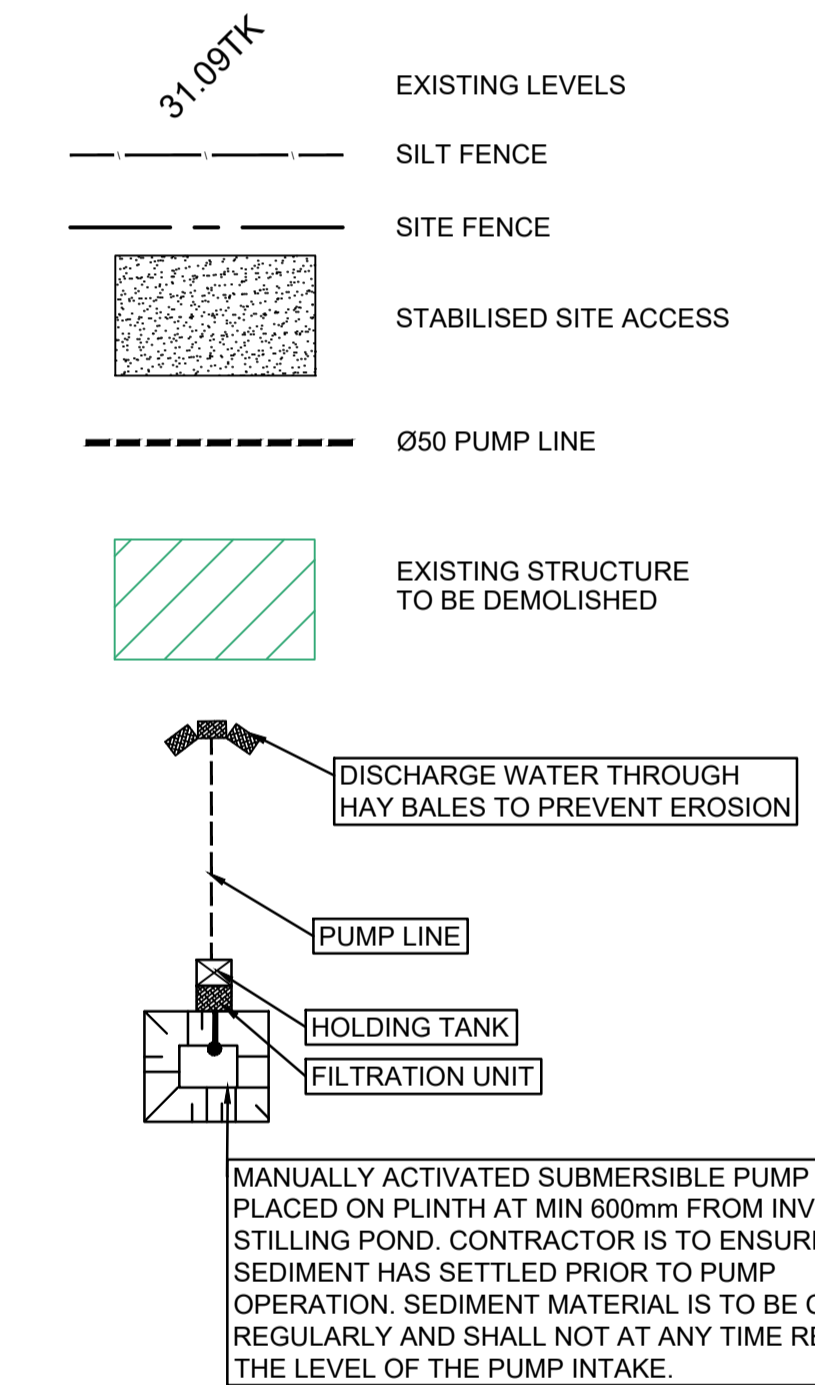
A1 DWG SHEET

EROSION CONTROL NOTES

- ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER, 3RD EDITION' PRODUCED BY THE NSW DEPARTMENT OF HOUSING.
- ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND REMOVED REGULARLY DURING CONSTRUCTION
- ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS ETC- CONTRACTOR TO MINIMISE DISTURBED AREAS.
- INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDED WATER
- NOT WITHSTANDING DETAILS SHOWN, IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.
- ALL DISTURBED AREAS AND STOCKPILES TO BE STABILISED WITHIN 14 DAYS. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- TOPSOIL TO BE STRIPPED, STOCKPILED AND RE-SPREAD ON COMPLETION OF EARTHWORKS. NONE TO BE REMOVED.
- NO DISTURBANCE OF SITE PERMITTED OTHER THAN IMMEDIATE AREA OF THE WORKS.
- DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.

NON-COMPLIANCE MAY RESULT IN A \$1500 FINE

SYMBOLS



EROSION AND SEDIMENT CONTROL PLAN
SCALE 1:200

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EROSION AND SEDIMENT CONTROL PLAN SHEET 1	K.E.	K.E.	A

General Instructions:

SWM01
These plans present a conceptual soil and water management plan (SWMP) only and shows a possible way of managing soil and erosion. The contractor shall be responsible for the establishment and management of the site and preparing a detailed plan and obtaining approval from the relevant authority prior to the commencement of any works.

SWM02
This plan is to be read in conjunction with the engineering plans and any other plans, written instructions, specification or documentation that may be issued and relating to development of the subject site.

SWM03
The contractor will ensure that all soil and water management works are consistent with 'Managing Urban Stormwater - Soils and Construction' - also known as 'The Blue Book'.

SWM04
All builders and sub-contractors shall be informed of their responsibilities in minimising the potential for soil erosion and pollution to downslope lands and waterways.

Erosion Control:

SWM05
Water shall be prevented from entering the permanent drainage system until sediment concentration is less than or equal to 50mg/L, ie the catchment area has been permanently landscaped and/or any likely sediment has been filtered through and approved structure.

SWM06
Any sand used in the concrete curing process (spread the surface will be removed as soon as possible and within 10 working days from placement).

SWM07
Acceptable receptors will be constructed for concrete and mortar slurries, paints, acid washings, light-weight waste materials and litter.

SWM08
'Sediment' fencing will be installed as indicated on the plans and at the direction of site superintendent to ensure containment of sediment. The sediment fencing will outlet or overflow under stabilised conditions into the sediment basin, to safely convey water into a suitable filtering system should the pores in the fabric block.

SWM09
The sediment basins will be constructed with the minimum wet sediment capacity of CUM cubic meters and designed to remain stable in at least the 1 in CDSE year critical duration storm event. Artificial flocculation of the finer particles may not be necessary in this instance.

SWM10
Stockpiles should not be located within 5m of trees and hazard areas, including likely areas of concentrated or high velocity flows such as waterways, drainage lines, paved areas and driveways. Where they are within 5m from such areas, special sediment control measures should be taken to minimise possible pollution to downstream waters. Measure should also be applied to prevent the erosion of the stockpile.

SWM11
All cut and fill batters are to be seeded and mulched within 14 days of completion of formation.

SWM12
Any existing trees which form part of the final landscaping plan will be protected from construction activities by -
a. Protecting them with barrier fencing or similar materials installed outside the drip line,
b. Ensuring that nothing is nailed to them,
c. Prohibiting paving grading sediment wash or placing of stockpiles within the drip line except under the following conditions:
1. Encroachment only occurs on one side and no closer to the trunk than either 1.5 metres or half the distance between the outer edge of the drip line and the trunk, whichever ever is the greater.
2. A drainage system that allows air and water to circulate through the root zone (e.g. a gravel bed) is placed under all fill layers of more than 300 millimetres depth,
3. Care is taken.

SWM13
During windy weather, large disturbed unprotected areas should be kept moist (not wet) by sprinkling with water to keep dust under control.

SWM14
Temporary protection from erosive forces will be undertaken on lands where final shaping has not been completed but works are unlikely to proceed for periods of two months or more (eg. on top soil stockpiles). This may be achieved with a vegetative cover. A recommended listing of plant species for Soil and Water Management Notes:
temporary cover is -
i) autumn/winter sowing -oats/ryecorn at 20kg/ha
-japanese millet at 10kg/ha
ii) spring/summer sowing -japanese millet at 20kg/ha
-oats/ryecorn at 10 kg/ha

SWM15
Diversion banks/ channels will be rehabilitated as soon as possible and within 5 working days from their final shaping. Other than in the winter months, suitable materials include turf grasses such as Couch or kikuyu. During winter, or at other times when temporary rehabilitation (more than 3 months) is required, it is suggested that hessian cloth is used but only if laced with appropriate pegs and an anionic bitumen emulsion. Foot and vehicular traffic should be kept away from these areas.

SWM16
Undertake site development works in accordance with the engineering plans. Where possible, phase development so that land disturbance is confined to areas of workable size.

Construction Sequence

SWM17
Where practical, the soil erosion hazard on the site should be kept as low as possible. To this end, works should be undertaken in the FOLLOWING SEQUENCE -

- i) Install inlet sediment traps to all gully pits fronting the site,
- ii) Install a 1.8m chain wire fence around the boundaries and attach hessian cloth or similar to it on the windward side (ties at the top, centre and bottom and at 1m intervals or as instructed by the superintendent),
- iii) Install geofabric sediment fence and sediment traps around all permanent stormwater reticulation structures as shown on the plan,
- iv) Construct stabilised construction entrance as shown on the plan or to location as determined by superintendent,
- v) Install diversion banks along the boundary where required, rehabilitate disturbed lands downslope from the basins within 20 working days,
- vi) Ensure that the sediment basin is directed onto a turfed area and drains to a suitable location. A temporary stormwater line may be necessary to convey the flows to this location. Construct diversion channels at the boundary to drain into the sediment basin as shown on plans.
- vii) At completion stabilise site and decommission sediment basin and all erosion control devices.

SWM18
Temporary soil and water management structures will be removed only after the lands they are protecting are rehabilitated.

SWM19
Final site landscaping will be undertaken as soon as possible and within 20 working days from completion of construction activities.

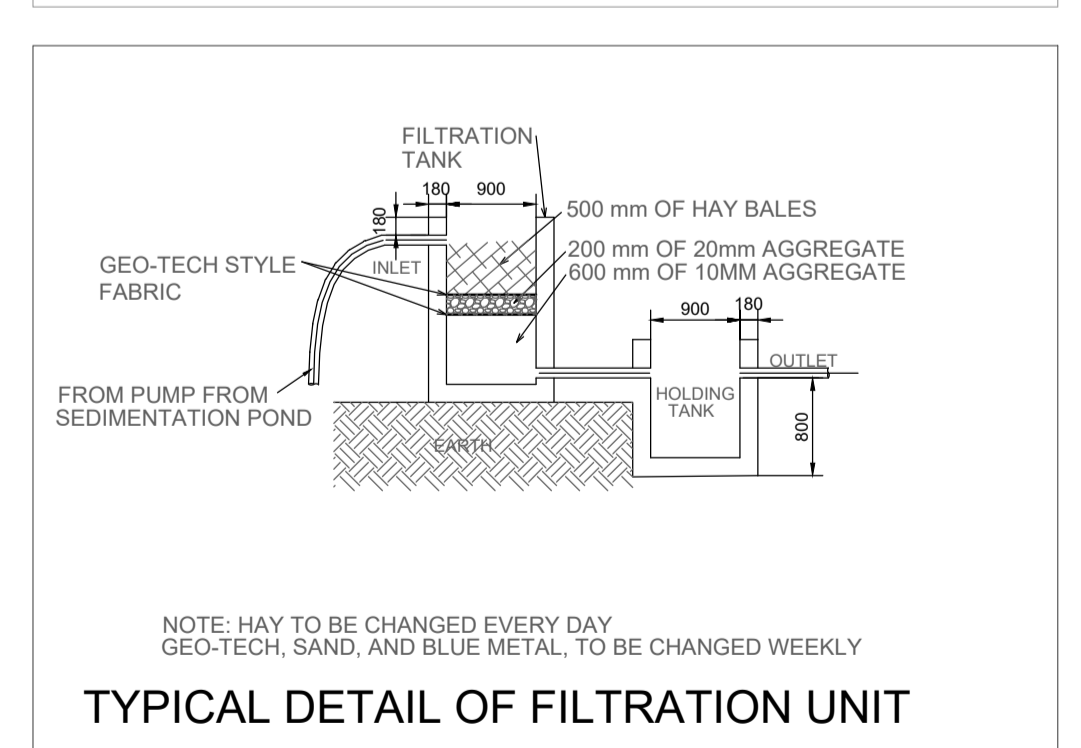
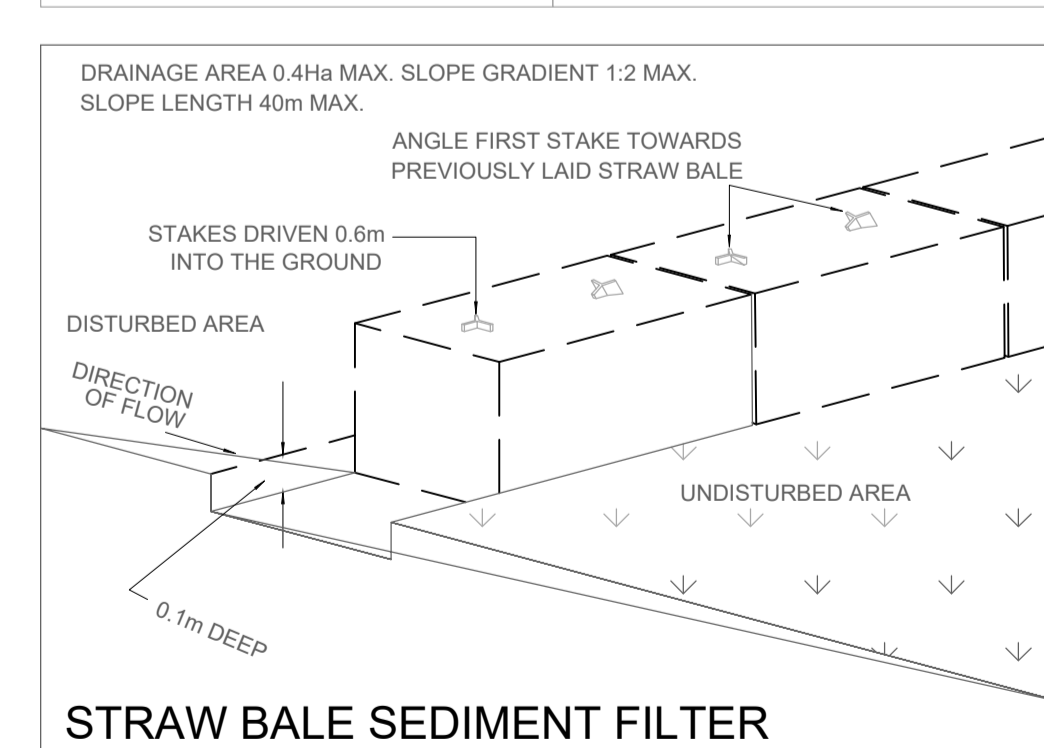
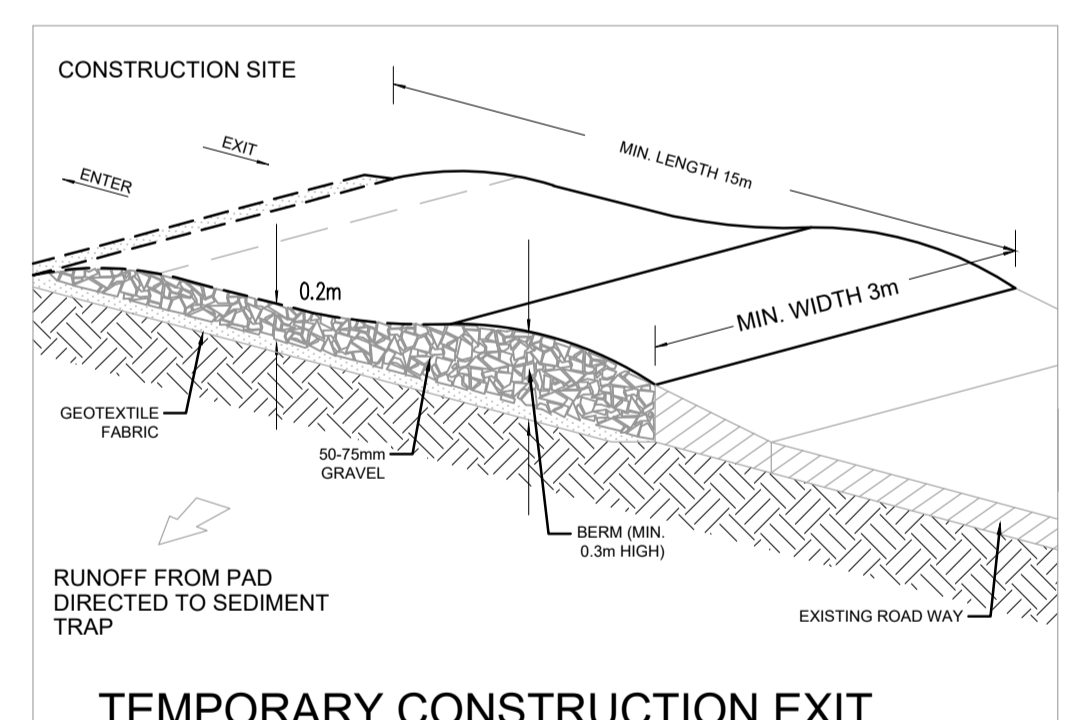
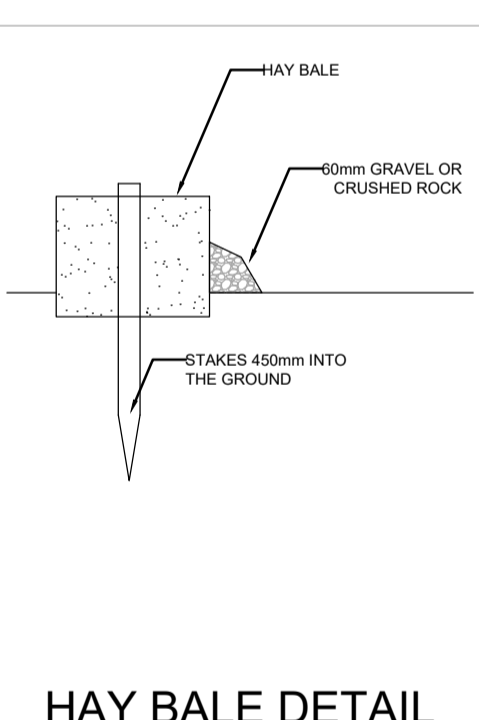
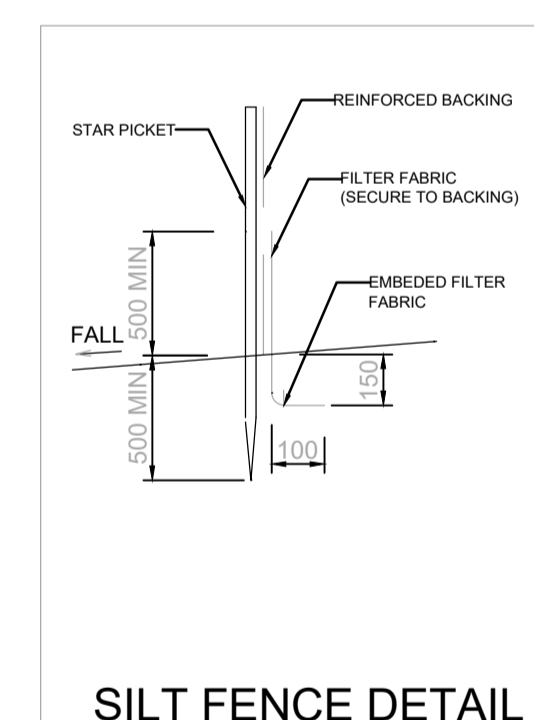
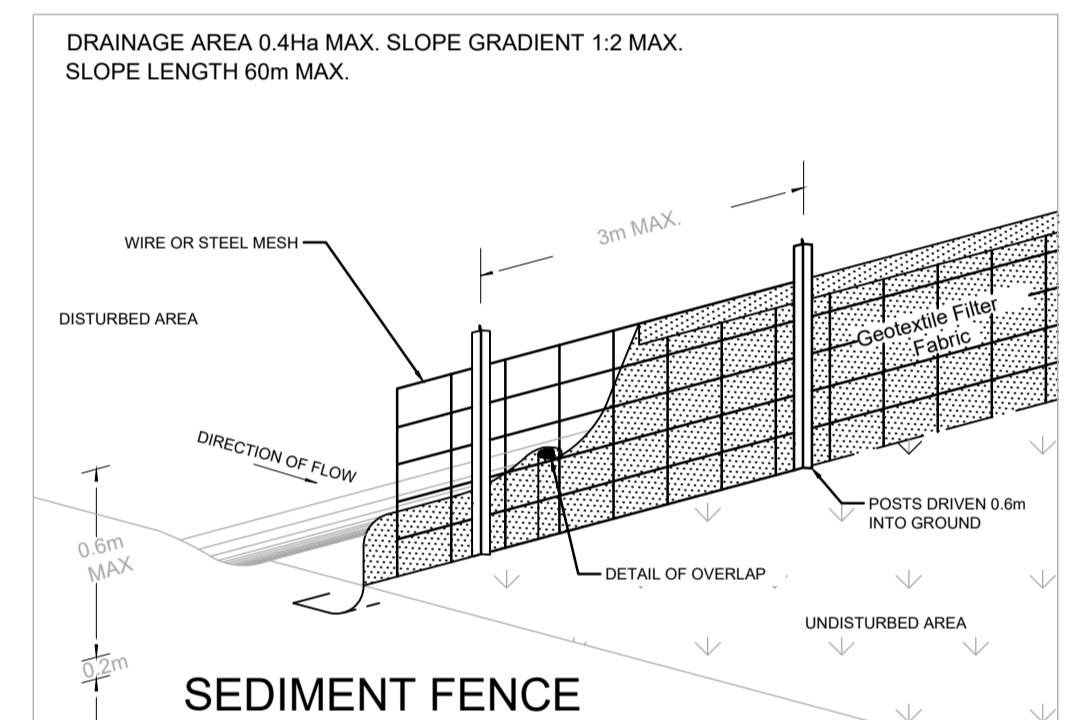
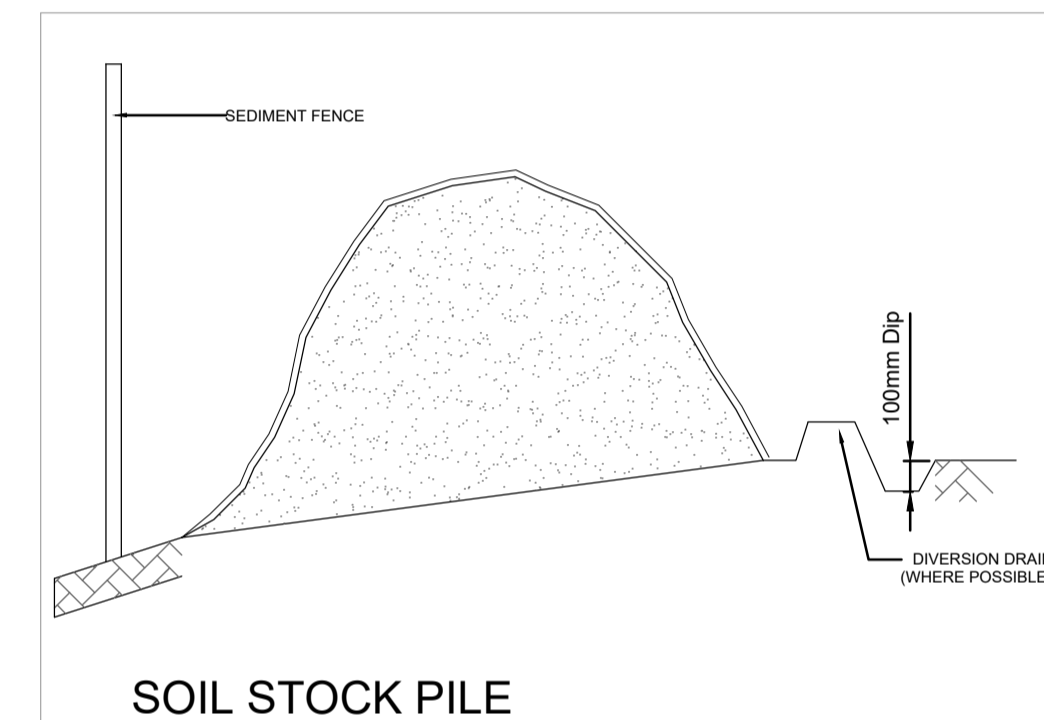
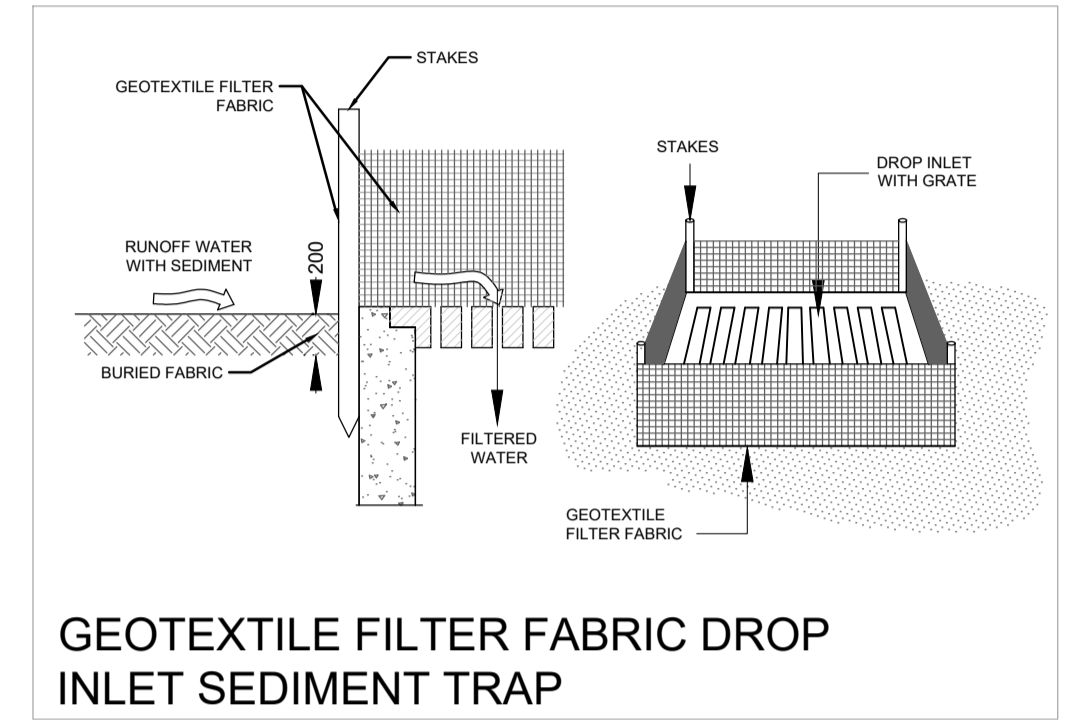
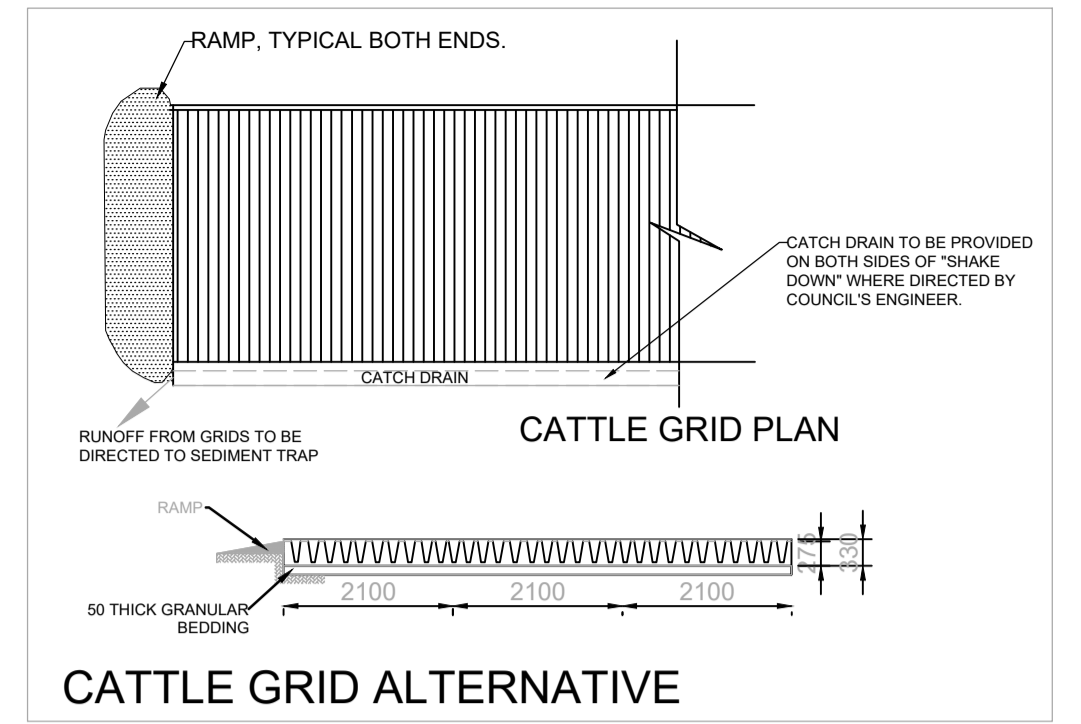
Site Inspection and Maintenance

- SWM 20**
At least weekly and after every rain fall event, the contractor will inspect the site and ensure that -
- i) Drains and all sediment control devices operate effectively and initiate repair or maintenance as required,
 - ii) Receptors for concrete and mortar slurries, paints, acid washings, light-weight waste materials and litter are to be emptied as necessary. Disposal of waste shall be in a manner approved by the superintendent,
 - iii) Spill sand (or other materials) is removed from hazard areas, including likely areas of concentrated or high velocity flows such as waterways, gutters, paved areas and driveways,
 - iv) Sediment is removed from basins and / or traps when less than 20m³ of trapping capacity remain per 1000m² of distributed lands, and or less than 500 depth remains in the settling zone. Any collected sediment will be disposed in areas where further pollution to down slope lands and waterways is unlikely,
 - v) Rehabilitated lands have effectively reduced the erosion hazard and initiate upgrading or repair as appropriate.

SWM 21
The contractor shall provide all monitoring control and testing.

NOTES THIS DRAWING

1. ALL DOCUMENTS WILL BE SUBMITTED TO COUNCIL FOR APPROVAL.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE.
3. INSTALLATION OF SILT FENCING, SEDIMENTATION BARRIERS AROUND DRAINS.
4. FENCING IS TO BE 1.8m(min) HEIGHT, PLACED AROUND THE SITE UNTIL THE WORK COMPLETE.
5. THE SITE GATES WILL BE LOCATED AT PARKVIEW DRIVE.
6. THE HARDSTAND AREAS OR CATTLE GRIDS WILL BE PLACED AT THE SITE ENTRANCES AND EXITS. TO REMOVE THE BULK OF DIRT AND MUD THAT MAY ACCUMULATE ON TRUCK TYRES.
7. CONTRACTOR WILL CONDUCT REGULAR STREET SWEEPS ALONG THE ACCESS ROUTE TO ENSURE THE ROADS ADJACENT TO THE SITE ENTRANCES ARE KEPT CLEAN OF ANY DIRT AND DEBRIS.
8. REGULAR ENVIRONMENTAL INSPECTIONS WILL BE CARRIED OUT BY CONTRACTOR'S PERSONNEL TO ENSURE COMPLIANCE WITH THIS PLAN.





PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2020/283826
DATED: 8 November 2021

ISSUE	NOTES	DATE	ISSUED BY	CHECKED BY
A	ISSUED FOR DA	27.11.19	N.E.	K.E.

SCALES 1:1
 10 20 30 40 50 60 70 80
 1:2
 20 40 60 80 100 120 140 160
 1:5
 100 200 300 400

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CLIENT
PLATINUM PROPERTY GROUP

PROJECT
28 LOCKWOOD AVE, BELROSE
 DRAWING TITLE
EROSION AND SEDIMENT CONTROL PLAN SHEET 2

NUMBER IN SET	JOB NO
AS SHOWN	190390
DESIGN	SHEET NUMBER
K.E.	D21
DRAWN	CHECK
N.E.	K.E.
	REV.
	A
	DATE
	NOVEMBER 2019

DUE TO LIMITS OF PRINTING EQUIPMENT
 DO NOT SCALE OFF DRAWINGS
 FIGURED DIMENSIONS TO BE USED, ALL DIMENSIONS TO BE CHECKED ON SITE