Sheet Number	Sheet Name
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026_DA_100	Cover Page
026_DA_101	Site Analysis
026_DA_102	Existing Site Photos
026_DA_103	Existing Ground Floor Plan
026_DA_104	Existing Lower Ground Floor Plan
026_DA_105	Existing Elevations
026_DA_106	Proposed Ground Floor Plan
026_DA_107	Proposed Lower Ground Floor Plan
026_DA_108	Proposed Roof Plan
026_DA_109	Proposed Street/South Elevation
026_DA_110	Proposed East Elevation
026_DA_111	Proposed North Elevation
026_DA_112	Proposed West Elevation
026_DA_113	Proposed Section
026_DA_114	External Materials & Finishes
026_DA_115	Sun Shadows - March 9am & 12pm
026_DA_116	Sun Shadows - March 3pm
026_DA_117	Landscape Areas
026_DA_118	Erosion & Sediment Control Plan

BASIX COMMITMENTS: CERTIFICATE NO A404566

Pool:

•	the applicant must install a rainwater tank of at least 1137L	
---	---	--

- the applicant must install a rainwater tank of at least 1137L the applicant must collect from at least 89.17sqm of roof area a rainwater tank must be connected to the pool & located within 10m pool must be outdoors maximum capacity of 45KL must have a cover must have a pool pump timer solar (electric boosted) heating

- •

Hot Water: •

Solar electric boosted

Lighting: the applicant must ensure >40\% new or altered light fittings are fitted with fluorescent, compact fluorescent, or LED.

Fittings:

- the applicant must ensure new showerheads have a flow rate <9L/min or a 3 star water
- the applicant must ensure new toilets have a flow rate <4L/flush or a 3 star water rating the applicant must ensure new taps have a flow rate <9L/min or a 3 star water rating

Insulation:

external brick veneer walls with R1.16 additional insulation raked ceiling, pitched/skillion roof: framed. ceiling R1.74(up). roof: foil backed blanket (55mm). medium roof colour (solar absorption 0.475-0.70)

Windows 8	Glazed Doors:
•	W1 - eave >=450mm. Timber. Single low-e
•	W2 - eave >=450mm. Timber. Single low-e
•	W3 - eave >=450mm. Timber. Single low-e
•	W4 - pergola/eave >=900mm. Timber. Single clear
•	W5 - pergola/eave >=900mm. Timber. Single clear
•	W6 - pergola/eave >=750mm. Timber. Single clear
•	W7 - pergola/eave >=750mm. Timber. Single clear
•	W8 - pergola/eave >=750mm. Timber. Single clear
•	W9 - pergola/eave >=750mm. Timber. Single clear
•	W10 - pergola/eave >=750mm. Timber. Single clear
•	W11 - no shading device. Timber. Single clear
Skylights:	6 6
•	S1 - Timber. Double low-e + clear external.
•	S2 - Timber. Double low-e + clear external.

VIEW 1: GOOGLE VIEW - SUBJECT SITE

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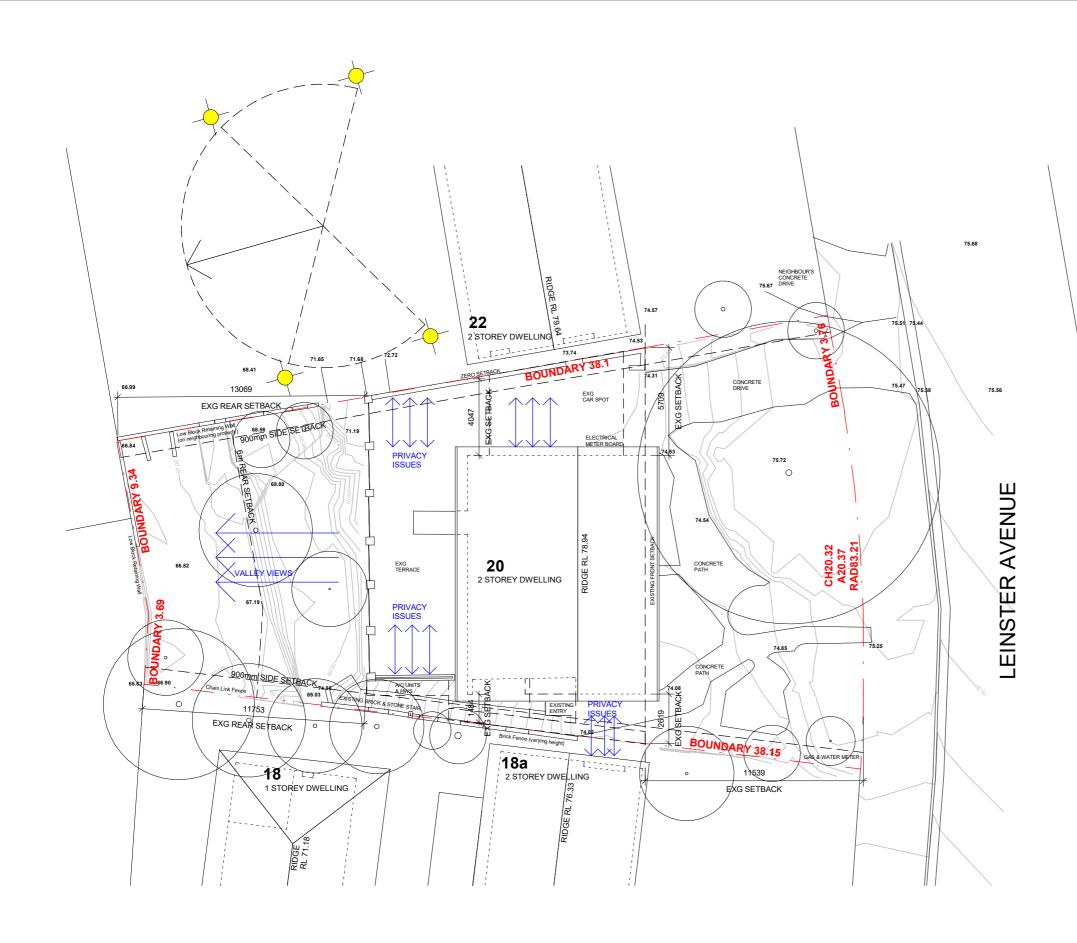
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Cover Page

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SITE ANALYSIS

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22 LEINSTER AVE: Street Elevation

20 LEINSTER AVE - SUBJECT SITE : Street Elevation

18a LEINSTER AVE : Street Elevation

Site Analysis

Killarney Heights 2087

Project number Date Drawn by Scale

026 June 2021 MG As indicated













Number 22 at eastern boundary

Existing approach to house.

Existing entry

Existing eastern setback/carspot



Ground floor terrace looking east.



Lower ground floor terrace.

Western side setback.



Rear garden from lowest level of garden looking south.



Rear garden, mid terrace level looking east.



Northern elevation from garden

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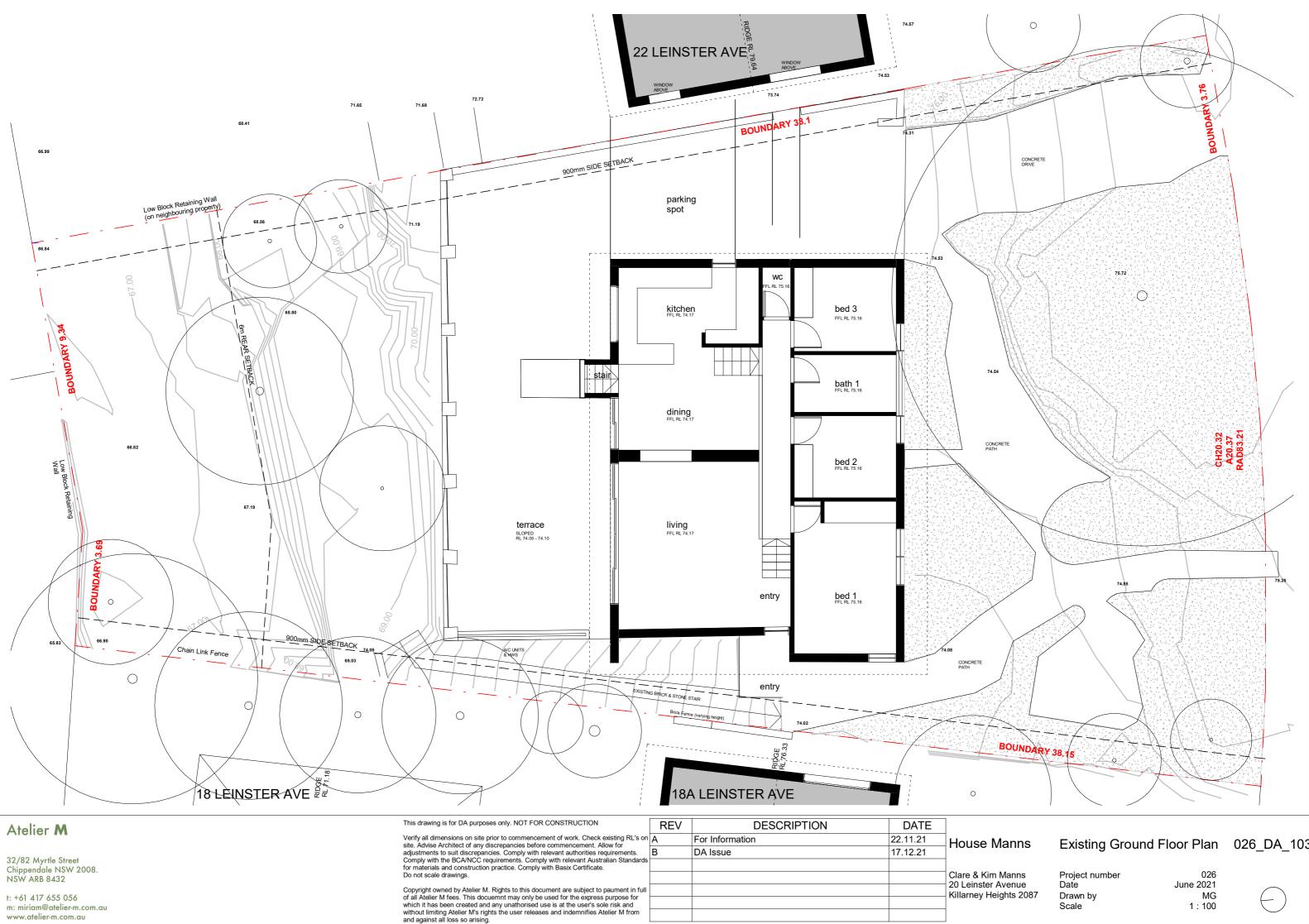


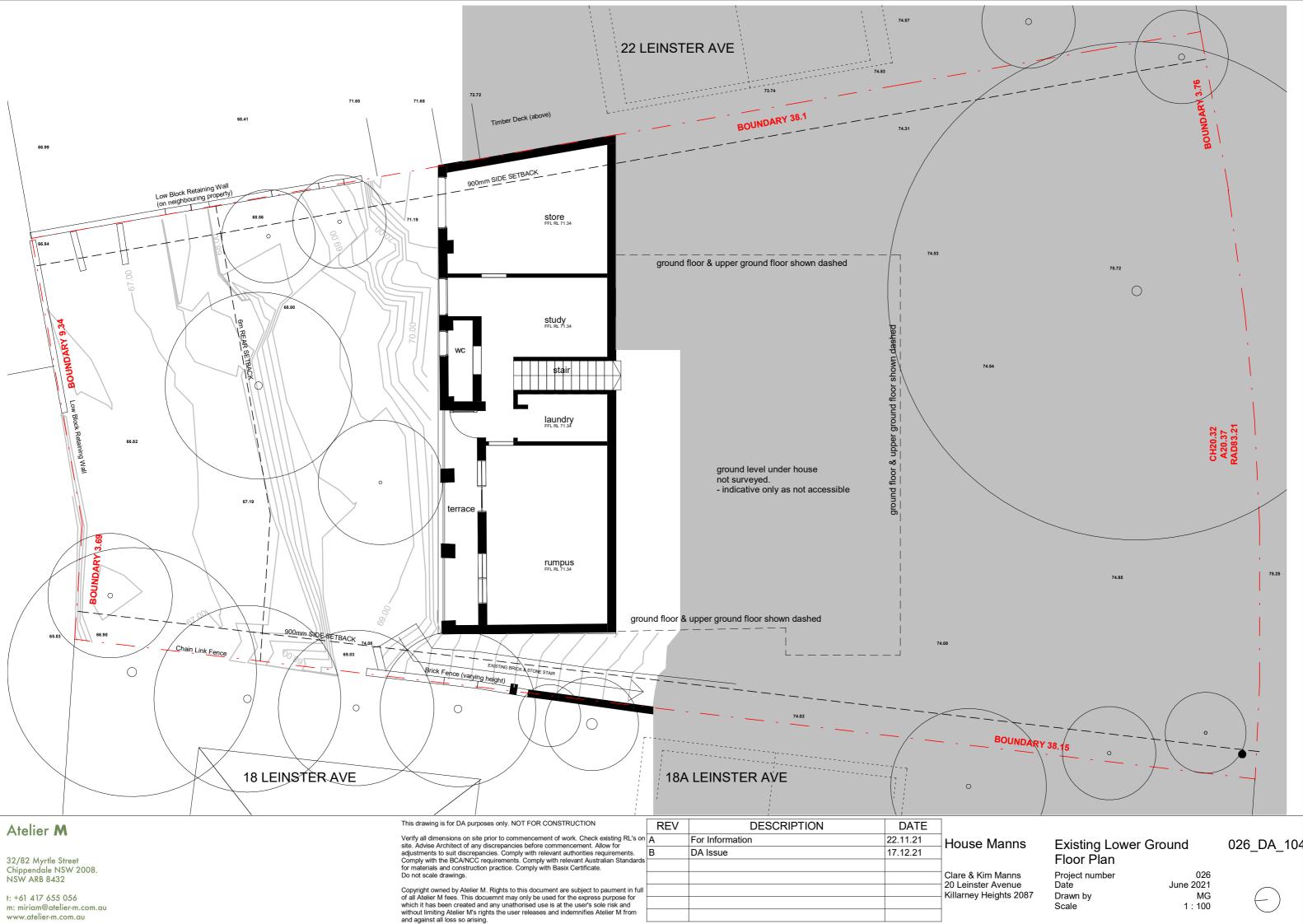
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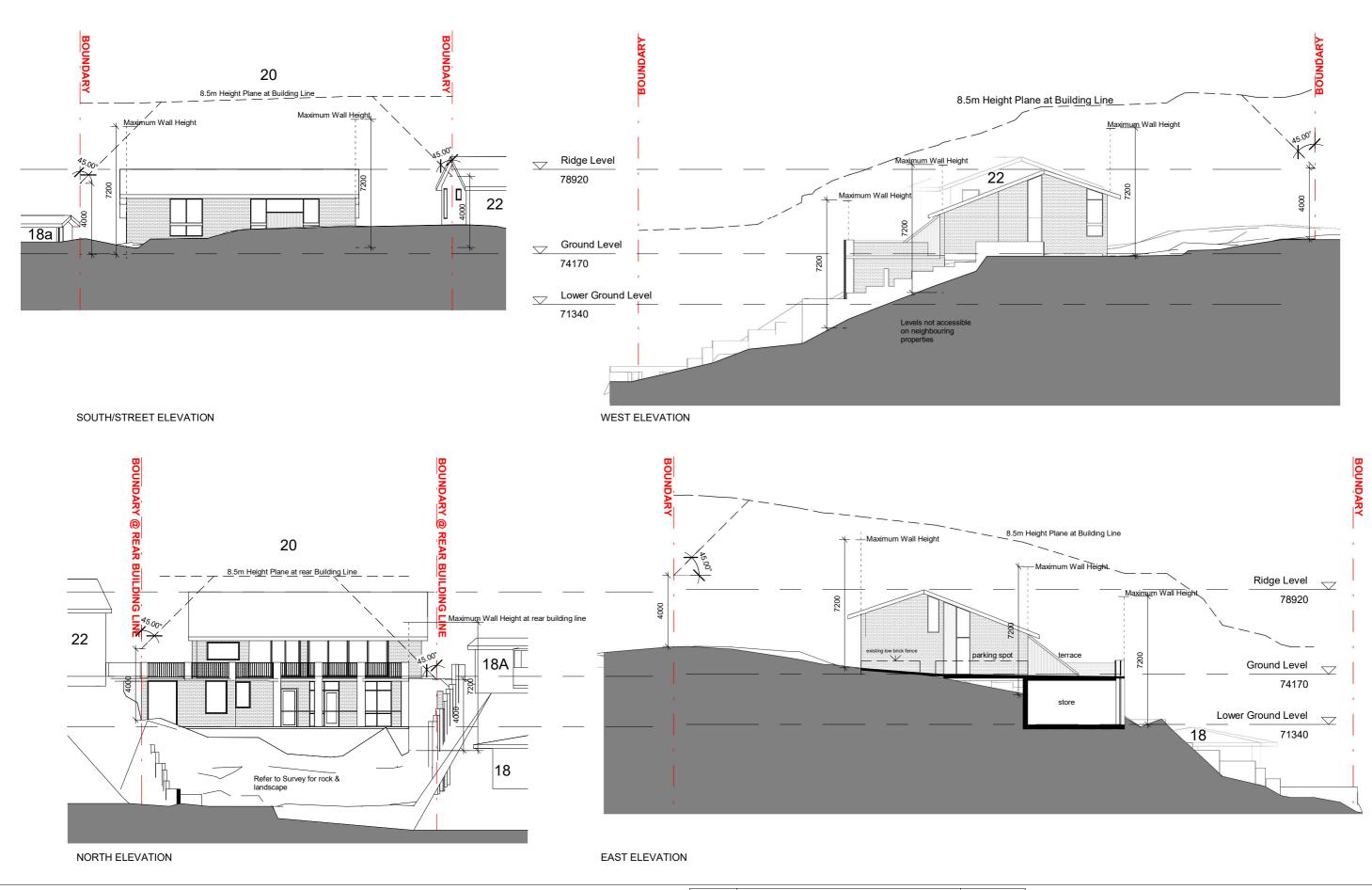
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Project number Date Drawn by Scale

026 June 2021 MG

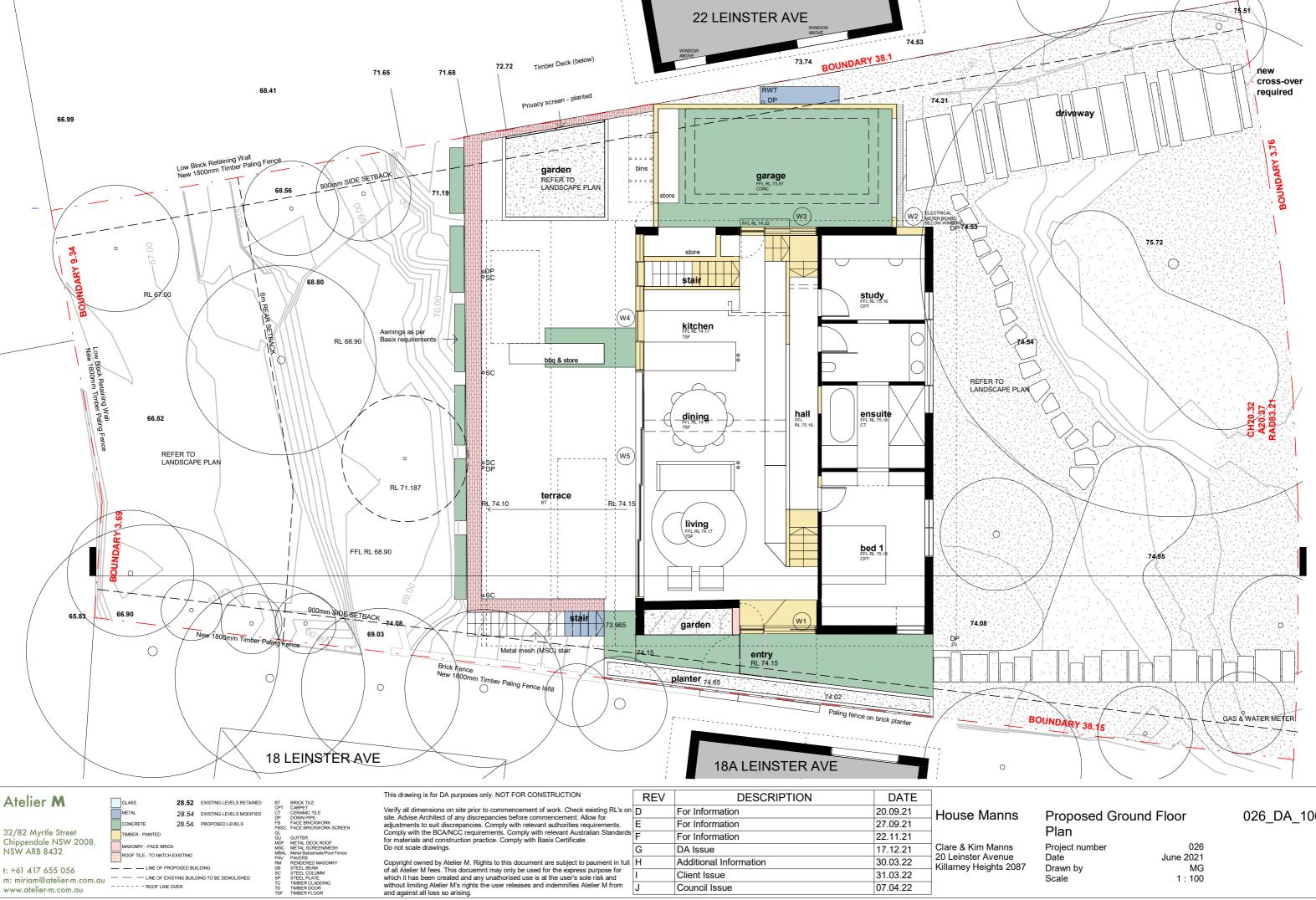




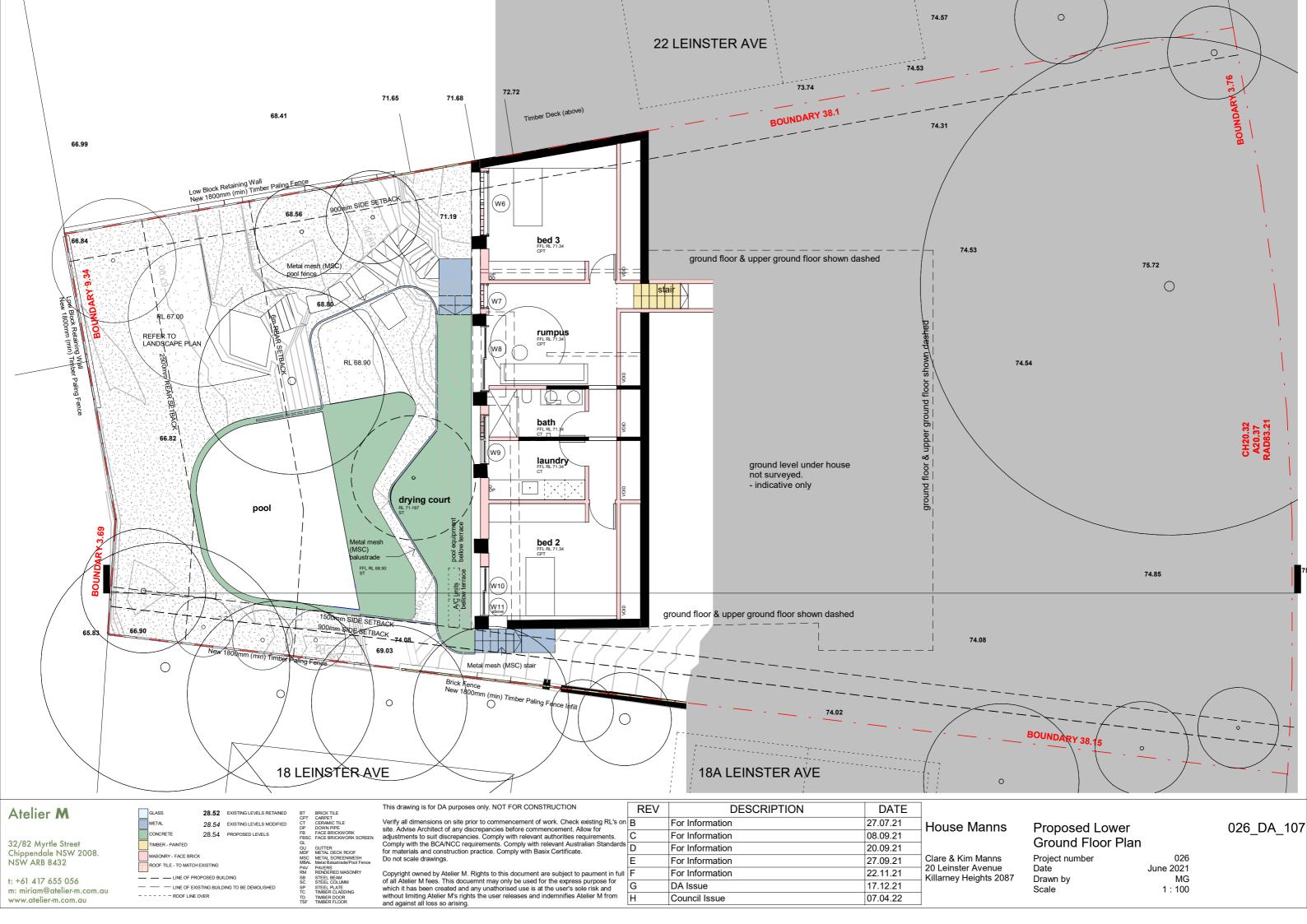


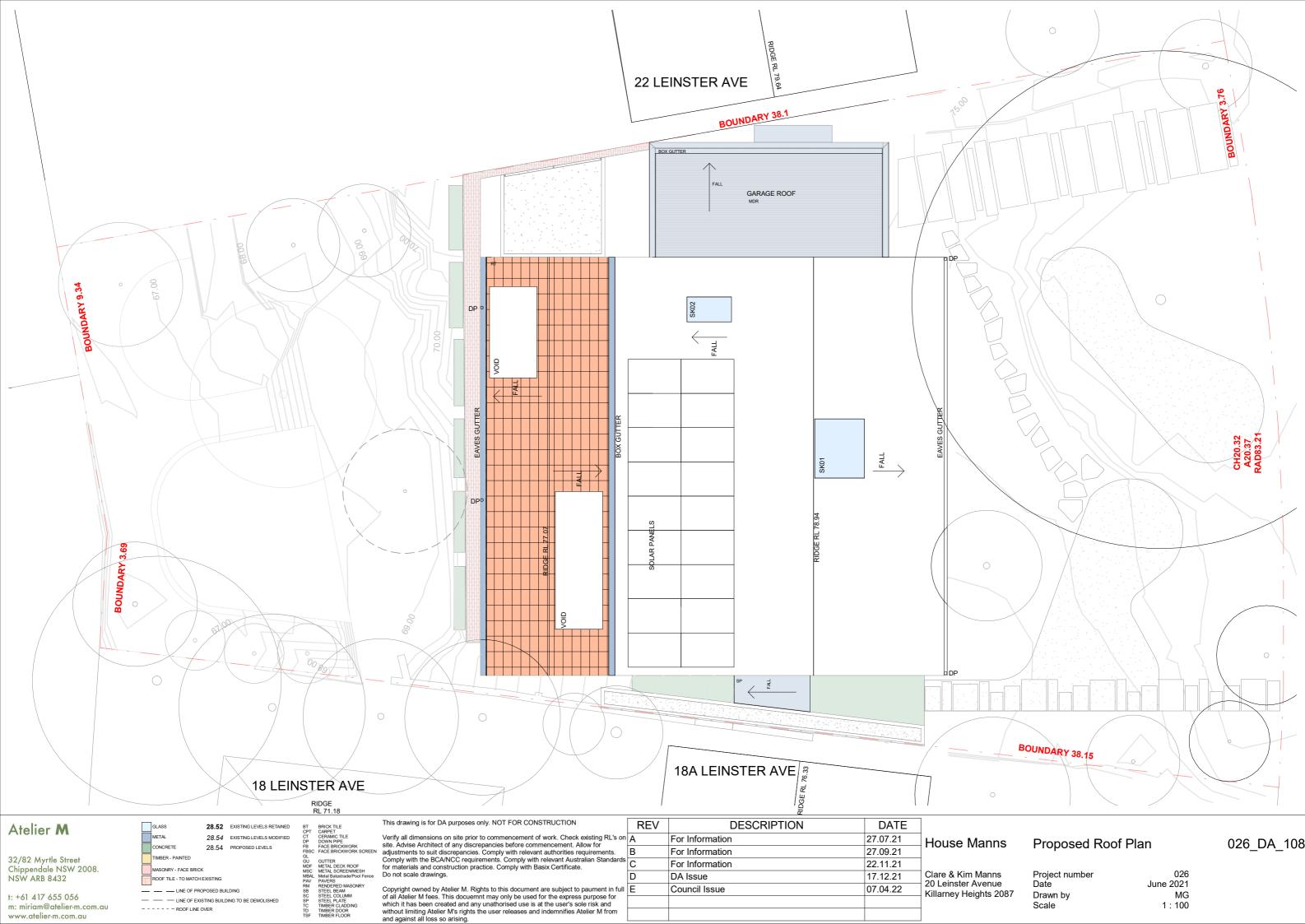
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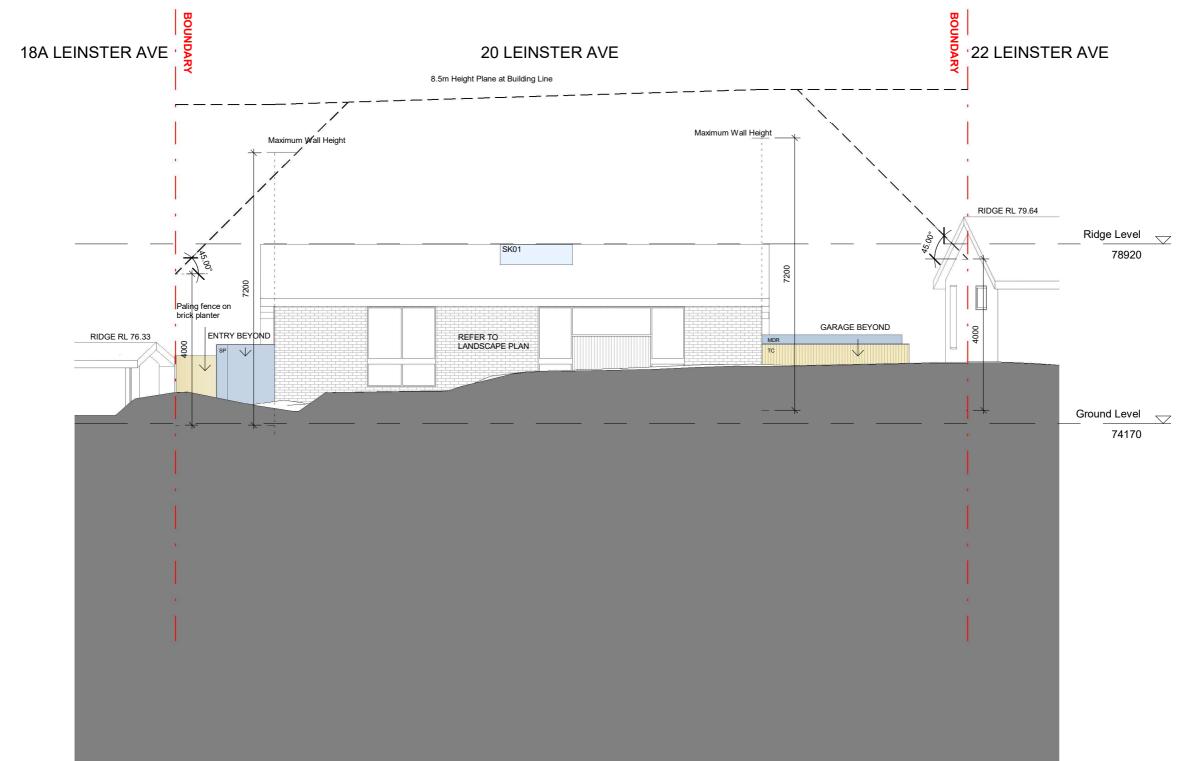
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	CONCRETE 28.54 PROPOSED LEVELS	DP DOWN PIPE FB FACE BRICKWORK	site. Advise Architect of any discrepancies before commencement. Allow for adjustments to suit discrepancies. Comply with relevant authorities requirements.	В	DA Issue	17.12.21	
32/82 Myrtle Street Chippendale NSW 2008.	TIMBER - PAINTED	FBSC FACE BRICKWORK SCREEN GL GU GUTTER MDF METAL DECK ROOF	Comply with the BCA/NCC requirements. Comply with relevant Australian Standards for materials and construction practice. Comply with Basix Certificate.	С	Council Issue	07.04.22	
NSW ARB 8432	MASONRY - FACE BRICK	MDF METAL DECK ROOF MSC METAL SCREEN/MESH MBAL Metal Balustrade/Pool Fence	Do not scale drawings.				Clare & Kim Manns
	ROOF TILE - TO MATCH EXISTING	PAV PAVERS RM RENDERED MASONRY	Copyright owned by Atelier M. Rights to this document are subject to paument in full				20 Leinster Avenue Killarney Heights 20
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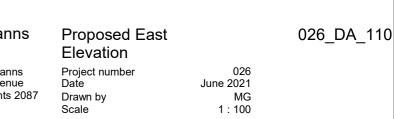
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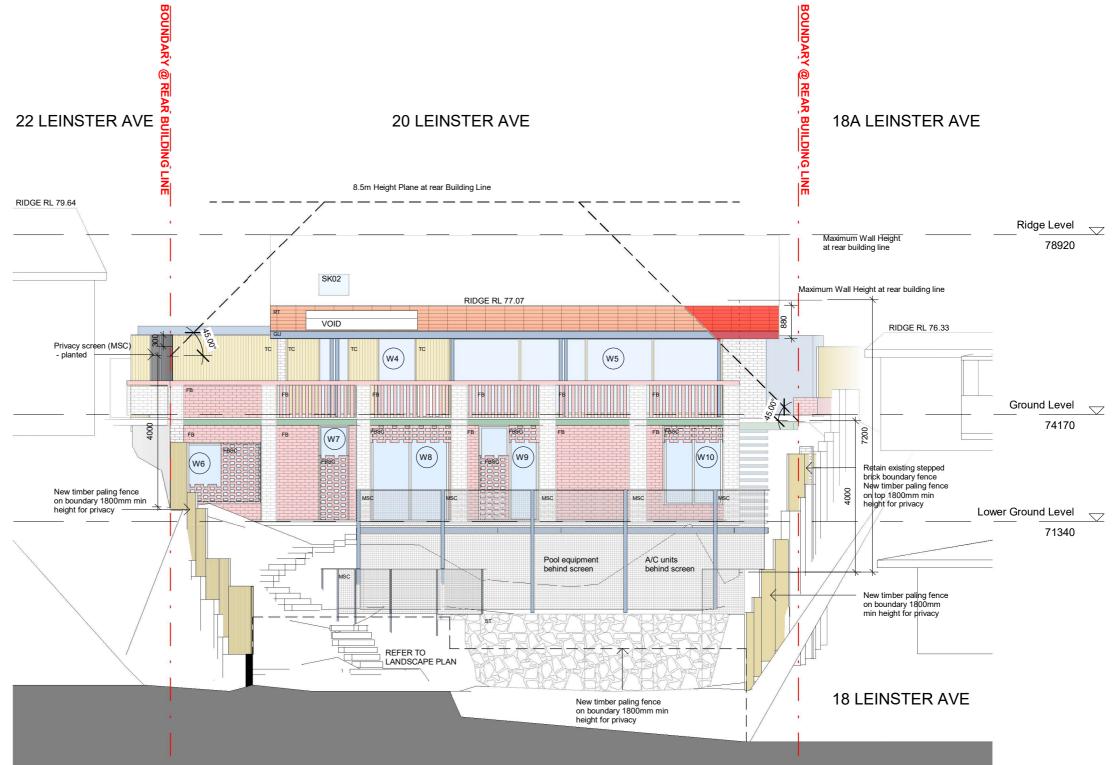
Proposed Street/South Elevation Project number Date

026 June 2021 MG 1 : 100



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	TIMBER - PAINTED	20.04	FBSC GL GU	FACE BRICKWORK SCREEN GUTTER	adjustments to suit discrepancies. Comply with relevant authorities requirements.	В	DA Issue	17.12.21	
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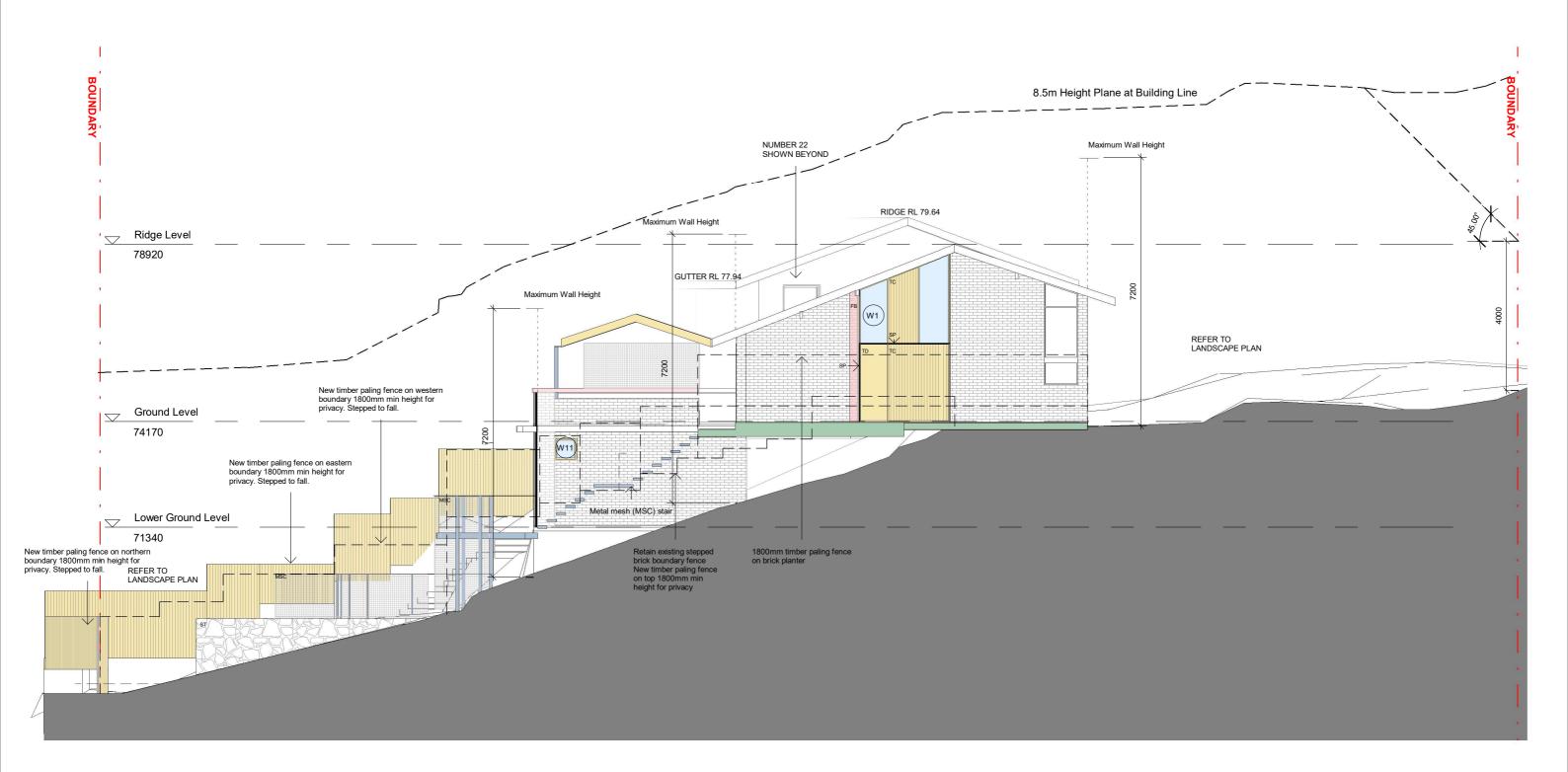
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Elevation Project number Date Drawn by Scale

Proposed North

026 June 2021 MG 1:100



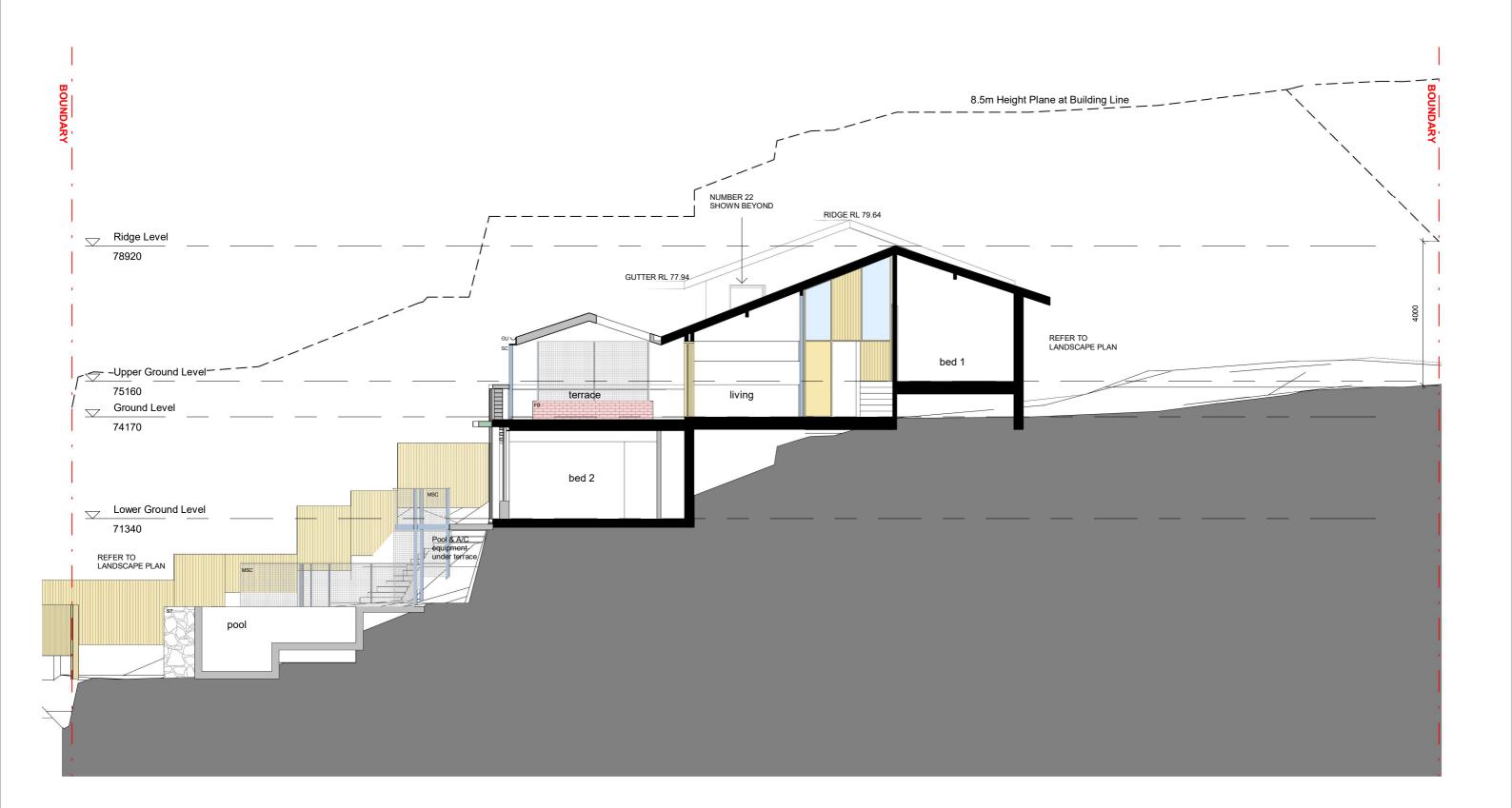
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	METAL	28.54 EXISTING LEVELS MODIFIED	CPT CARPET CT CERAMIC TILE	Verify all dimensions on site prior to commencement of work. Check existing RL's on site. Advise Architect of any discrepancies before commencement. Allow for	A	For Information	22.11.21	House Man
	CONCRETE	28.54 PROPOSED LEVELS	DP DOWN PIPE FB FACE BRICKWORK FBSC FACE BRICKWORK SCREEN	adjustments to suit discrepancies. Comply with relevant authorities requirements.	В	DA Issue	17.12.21	
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Proposed West Elevation

Project number Date Drawn by Scale 026 June 2021 MG 1 : 100

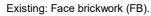


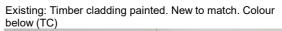
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Alchel M	METAL	28.54 EXISTING LEVELS MODIFIED	CPT CARPET CT CERAMIC TILE DP DOWN PIPE	Verify all dimensions on site prior to commencement of work. Check existing RL's on site. Advise Architect of any discrepancies before commencement. Allow for	A	For Information	27.07.21	House Mann
	CONCRETE	28.54 PROPOSED LEVELS	FB FACE BRICKWORK FBSC FACE BRICKWORK SCREE	adjustments to suit discrepancies. Comply with relevant authorities requirements.	В	For Information	22.11.21	
32/82 Myrtle Street Chippendale NSW 2008.	TIMBER - PAINTED		GL GU GUTTER MDF METAL DECK ROOF	Comply with the BCA/NCC requirements. Comply with relevant Australian Standards for materials and construction practice. Comply with Basix Certificate.	С	DA Issue	17.12.21	
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nns Proposed Section

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Existing: Timber windows & doors painted. New to match. Precedent: Brick hit & miss screen (FBSC). (photo not from subject site)



Precedent: Steel mesh balustrade & pool fence. To comply with AS3959-2009 & AS1932-2012 (MSC)

Colour: Painted timber & steel. Pale Green

	(MSC)				
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	adjustments to suit discrepancies. Comply with relevant authorities requirements.	В	DA Issue	17.12.21	
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Existing: Mid tone grey roof tiles. New to match (RT)



Precedent: Quilt of brick & tile infill of new into old (FB)

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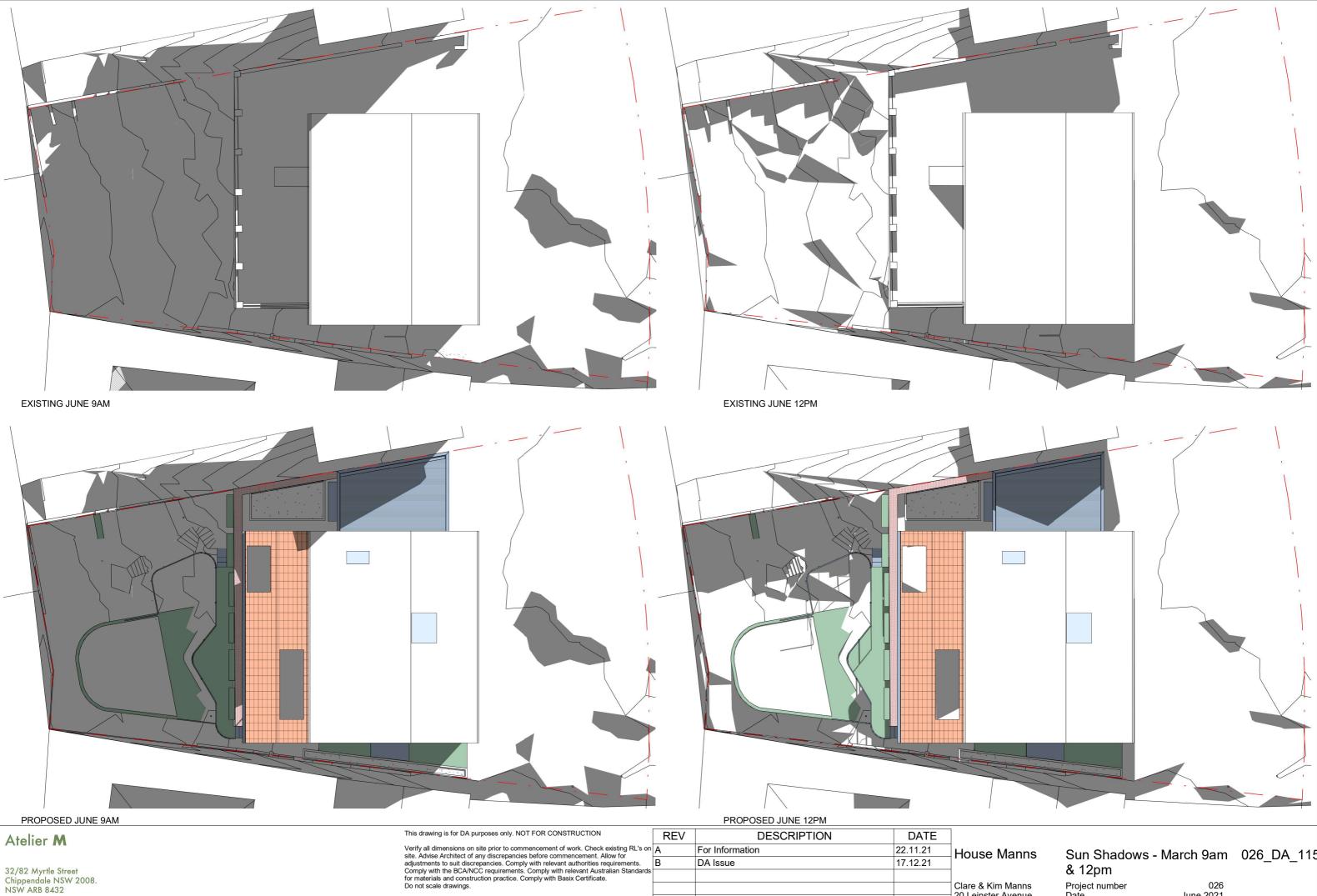
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External Materials & Finishes

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Project number Date Drawn by Scale

026 June 2021 MG



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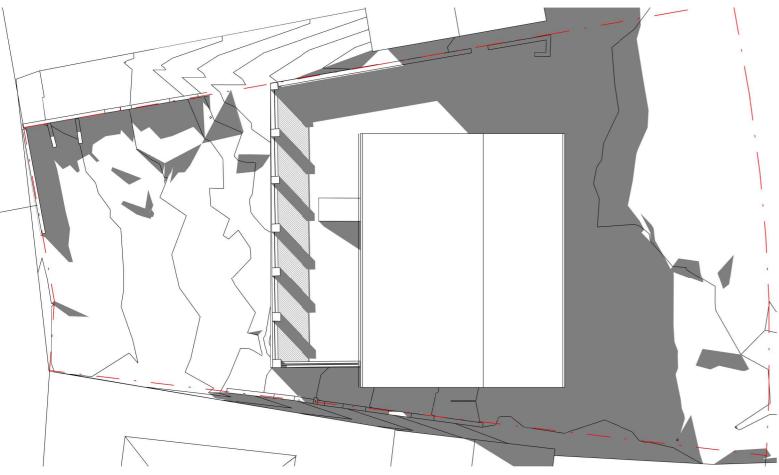
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Clare & Kim Manns 20 Leinster Avenue Killarney Heights 2087

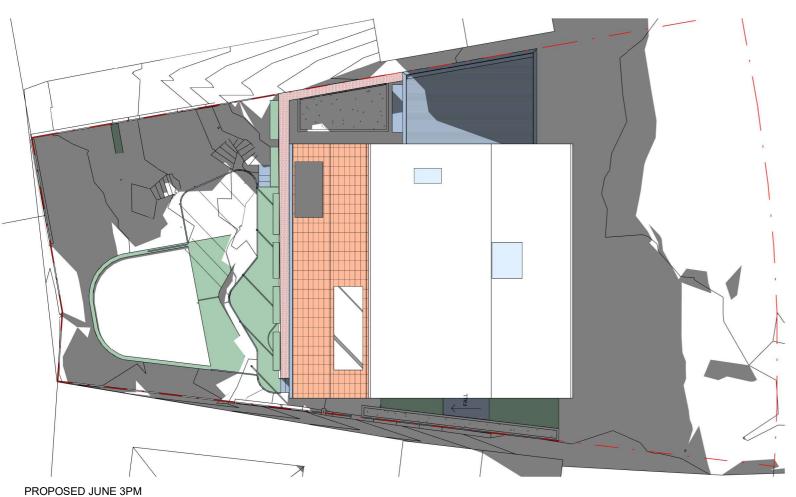
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026 June 2021 MG 1:200





EXISTING JUNE 3PM



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Sun Shadows - March 3pm 026_DA_116

Kim Manns ter Avenue Heights 2087 Project number Date Drawn by Scale 026 June 2021 MG 1 : 200





EXISTING LANDSCAPE AREA

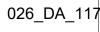
PROPOSED LANDSCAPE AREA

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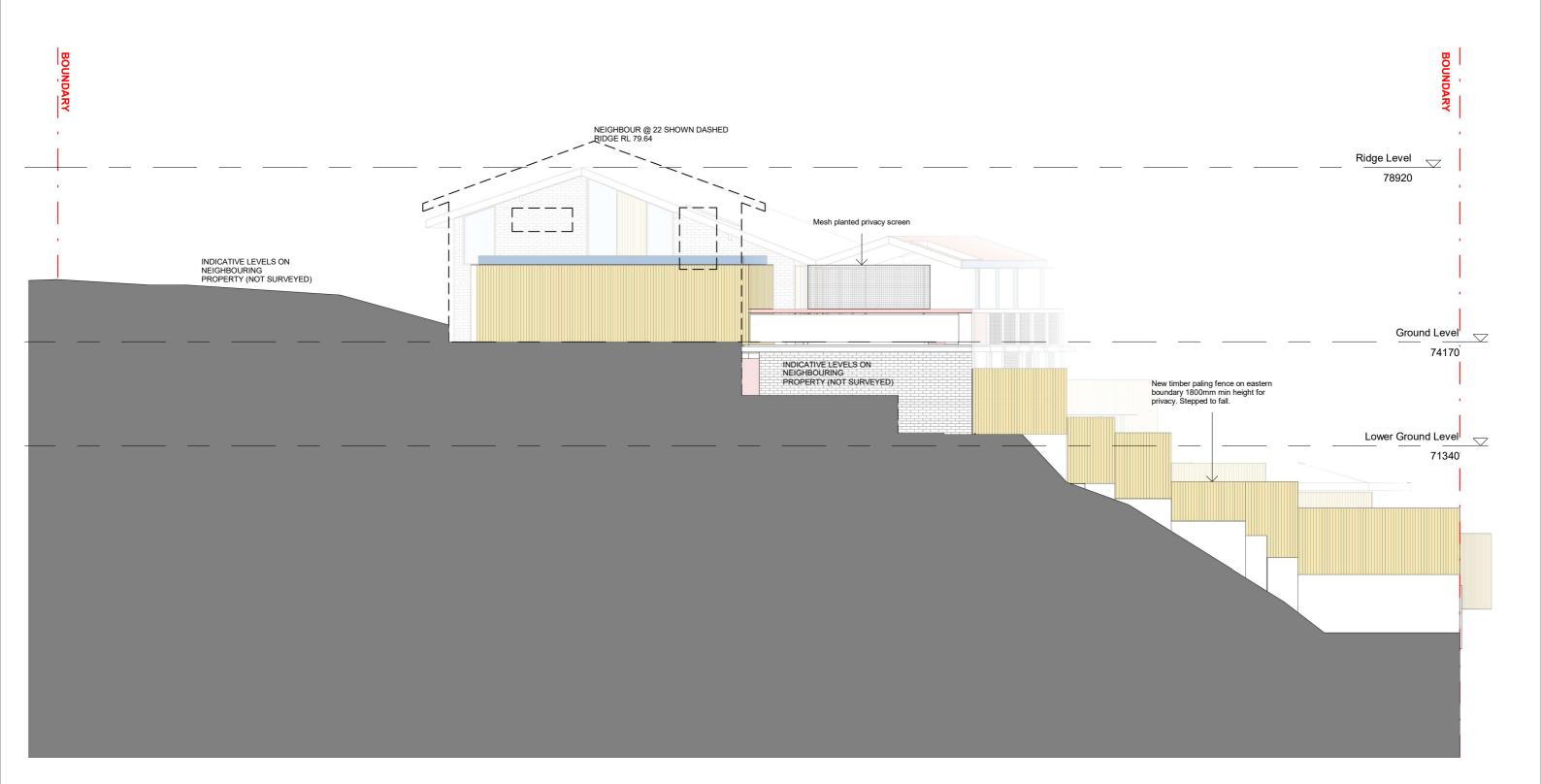
Manns

Landscape Areas

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	Verify all dimensions on site prior to commencement of work. Check existing RL's on site. Advise Architect of any discrepancies before commencement. Allow for		Council Site Visit	08.03.22	House Mann	
	adjustments to suit discrepancies. Comply with relevant authorities requirements. Comply with the BCA/NCC requirements. Comply with relevant Australian Standards for materials and construction practice. Comply with Basix Certificate. Do not scale drawings.		Council Issue	07.04.22		
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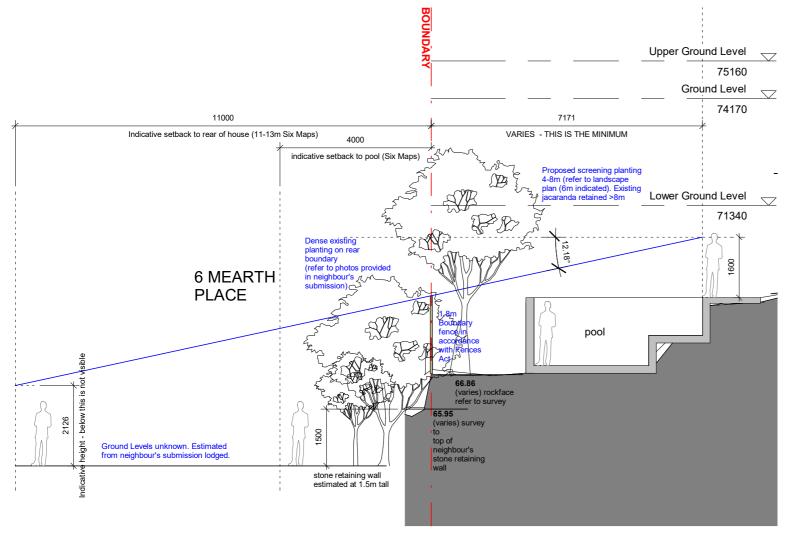
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Eastern Boundary Elevation

Project number Date Drawn by Scale

026 June 2021 MG 1 : 100



SECTION: VIEW ANALYSIS OF PROPOSED POOL



6 MEATH PLACE: PHOTO SUBMITTED AS PART OF SUBMISSION PREPARED BY PLANNING PROGRESS

2500 MAREAR BACK 66.82 69 പ് BOUN ČΟ, 65.83 66,90 \bigcirc

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PLAN: INDICATIVE SETBACKS RELATING TO POOL

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	Verify all dimensions on site prior to commencement of work. Check existing RL's on A site. Advise Architect of any discrepancies before commencement. Allow for		Additional Information	25.03.22	House Manns	Pool view analysis	
	adjustments to suit discrepancies. Comply with relevant authorities requirements.	В	Council Issue	07.04.22		1 con view analysis	
32/82 Myrtle Street Chippendale NSW 2008.	Comply with the BCA/NCC requirements. Comply with relevant Australian Standards for materials and construction practice. Comply with Basix Certificate.						
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