| Sheet<br>Number | Sheet Name                       |
|-----------------|----------------------------------|
| L               |                                  |
| 026_DA_100      | Cover Page                       |
| 026_DA_101      | Site Analysis                    |
| 026_DA_102      | Existing Site Photos             |
| 026_DA_103      | Existing Ground Floor Plan       |
| 026_DA_104      | Existing Lower Ground Floor Plan |
| 026_DA_105      | Existing Elevations              |
| 026_DA_106      | Proposed Ground Floor Plan       |
| 026_DA_107      | Proposed Lower Ground Floor Plan |
| 026_DA_108      | Proposed Roof Plan               |
| 026_DA_109      | Proposed Street/South Elevation  |
| 026_DA_110      | Proposed East Elevation          |
| 026_DA_111      | Proposed North Elevation         |
| 026_DA_112      | Proposed West Elevation          |
| 026_DA_113      | Proposed Section                 |
| 026_DA_114      | External Materials & Finishes    |
| 026_DA_115      | Sun Shadows - March 9am & 12pm   |
| 026_DA_116      | Sun Shadows - March 3pm          |
| 026_DA_117      | Landscape Areas                  |
| 026_DA_118      | Erosion & Sediment Control Plan  |

### BASIX COMMITMENTS: CERTIFICATE NO A404566

Pool:

| • | the applicant must install a rainwater tank of at least 1137L |  |
|---|---|--|
|---|---|--|

- the applicant must install a rainwater tank of at least 1137L the applicant must collect from at least 89.17sqm of roof area a rainwater tank must be connected to the pool & located within 10m pool must be outdoors maximum capacity of 45KL must have a cover must have a pool pump timer solar (electric boosted) heating

- •

Hot Water: •

Solar electric boosted

Lighting: the applicant must ensure >40\% new or altered light fittings are fitted with fluorescent, compact fluorescent, or LED.

Fittings:

- the applicant must ensure new showerheads have a flow rate <9L/min or a 3 star water
- the applicant must ensure new toilets have a flow rate <4L/flush or a 3 star water rating the applicant must ensure new taps have a flow rate <9L/min or a 3 star water rating

Insulation:

external brick veneer walls with R1.16 additional insulation raked ceiling, pitched/skillion roof: framed. ceiling R1.74(up). roof: foil backed blanket (55mm). medium roof colour (solar absorption 0.475-0.70)

| Windows 8  | Glazed Doors:                                    |
|------------|--|
| •          | W1 - eave >=450mm. Timber. Single low-e          |
| •          | W2 - eave >=450mm. Timber. Single low-e          |
| •          | W3 - eave >=450mm. Timber. Single low-e          |
| •          | W4 - pergola/eave >=900mm. Timber. Single clear  |
| •          | W5 - pergola/eave >=900mm. Timber. Single clear  |
| •          | W6 - pergola/eave >=750mm. Timber. Single clear  |
| •          | W7 - pergola/eave >=750mm. Timber. Single clear  |
| •          | W8 - pergola/eave >=750mm. Timber. Single clear  |
| •          | W9 - pergola/eave >=750mm. Timber. Single clear  |
| •          | W10 - pergola/eave >=750mm. Timber. Single clear |
| •          | W11 - no shading device. Timber. Single clear    |
| Skylights: | 6 6  |
| •          | S1 - Timber. Double low-e + clear external.      |
| •          | S2 - Timber. Double low-e + clear external.      |

VIEW 1: GOOGLE VIEW - SUBJECT SITE

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|--|---|-----|-----------------|----------|-------------------|
|  | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for         | A   | For Information | 22.11.21 | House Manı        |
|  | adjustments to suit discrepancies. Comply with relevant authorities requirements.   | В   | DA Issue        | 17.12.21 |                   |
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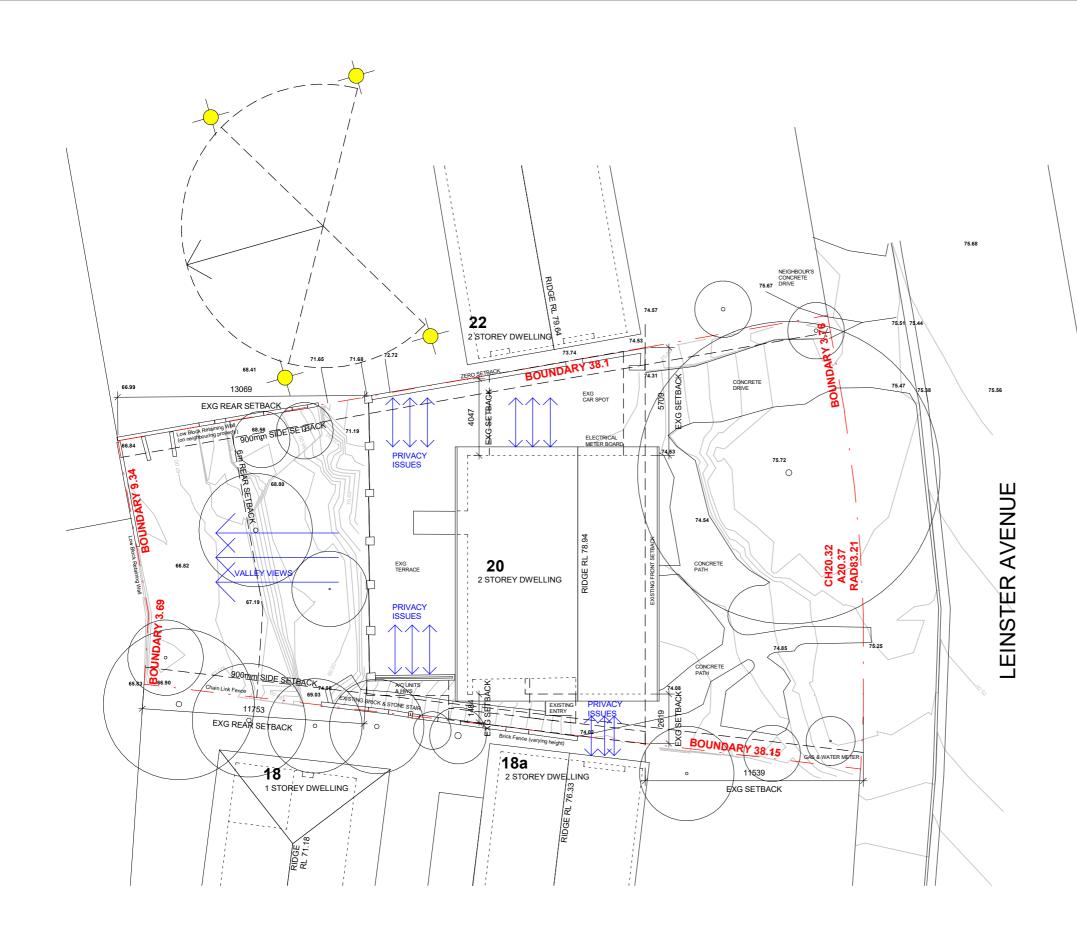
### nns

Cover Page

anns enue nts 2087

Project number Date Drawn by Scale

026 June 2021 MG



### SITE ANALYSIS

### This drawing is for DA purposes only. NOT FOR CONSTRUCTION DATE DESCRIPTION REV Atelier **M** BRICK TILE CARPET CERAMIC TILE DOWN PIPE FACE BRICKWC FACE BRICKWC 28.52 EXISTING LEVELS RETAINED Verify all dimensions on site prior to commencement of work. Check existing RL's on site. Advise Architect of any discrepancies before commencement. Allow for adjustments to suit discrepancies. Comply with relevant authorities requirements. Comply with the BCA/NCC requirements. Comply with relevant Australian Standards 22.11.21 For Information House Manns 28.54 EXISTING LEVELS MODIFIED DA Issue 17.12.21 ONCRETE 28.54 PROPOSED LEVELS 32/82 Myrtle Street Chippendale NSW 2008. GUTTER METAL DECK ROOF METAL SCREENMES Metal Balustrade/Pool PAVERS RENDERED MASONR STEEL BEAM STEEL COLUMM STEEL COLUMM STEEL PLATE TIMBER CLADDING TIMBER FLOOR BER - PAINTE for materials and construction practice. Comply with Basix Certificate. GU MDF MSC MBAL PAV RM SB SC SP ASONRY - FACE BRICK Do not scale drawings. Clare & Kim Manns **NSW ARB 8432** ROOF TILE - TO MATCH EXISTING 20 Leinster Avenue Copyright owned by Atelier M. Rights to this document are subject to paument in full of all Atelier M fees. This docuemnt may only be used for the express purpose for which it has been created and any unathorised use is at the user's sole risk and without limiting Atelier M's rights the user releases and indemnifies Atelier M from and anging the User a reliairer t: +61 417 655 056 \_\_\_\_ LINE OF PROPOSED BUILDING - - LINE OF EXISTING BUILDING TO BE DEMOLISHED m: miriam@atelier-m.com.au - - - - - - - ROOF LINE OVER www.atelier-m.com.au and against all loss so arising.







22 LEINSTER AVE: Street Elevation

20 LEINSTER AVE - SUBJECT SITE : Street Elevation

18a LEINSTER AVE : Street Elevation

### Site Analysis

Killarney Heights 2087

Project number Date Drawn by Scale

026 June 2021 MG As indicated













Number 22 at eastern boundary

Existing approach to house.

Existing entry

Existing eastern setback/carspot

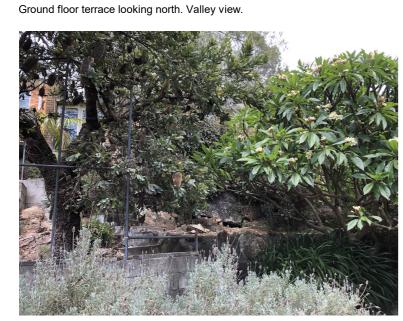


Ground floor terrace looking east.



Lower ground floor terrace.

Western side setback.



Rear garden from lowest level of garden looking south.



Rear garden, mid terrace level looking east.



Northern elevation from garden

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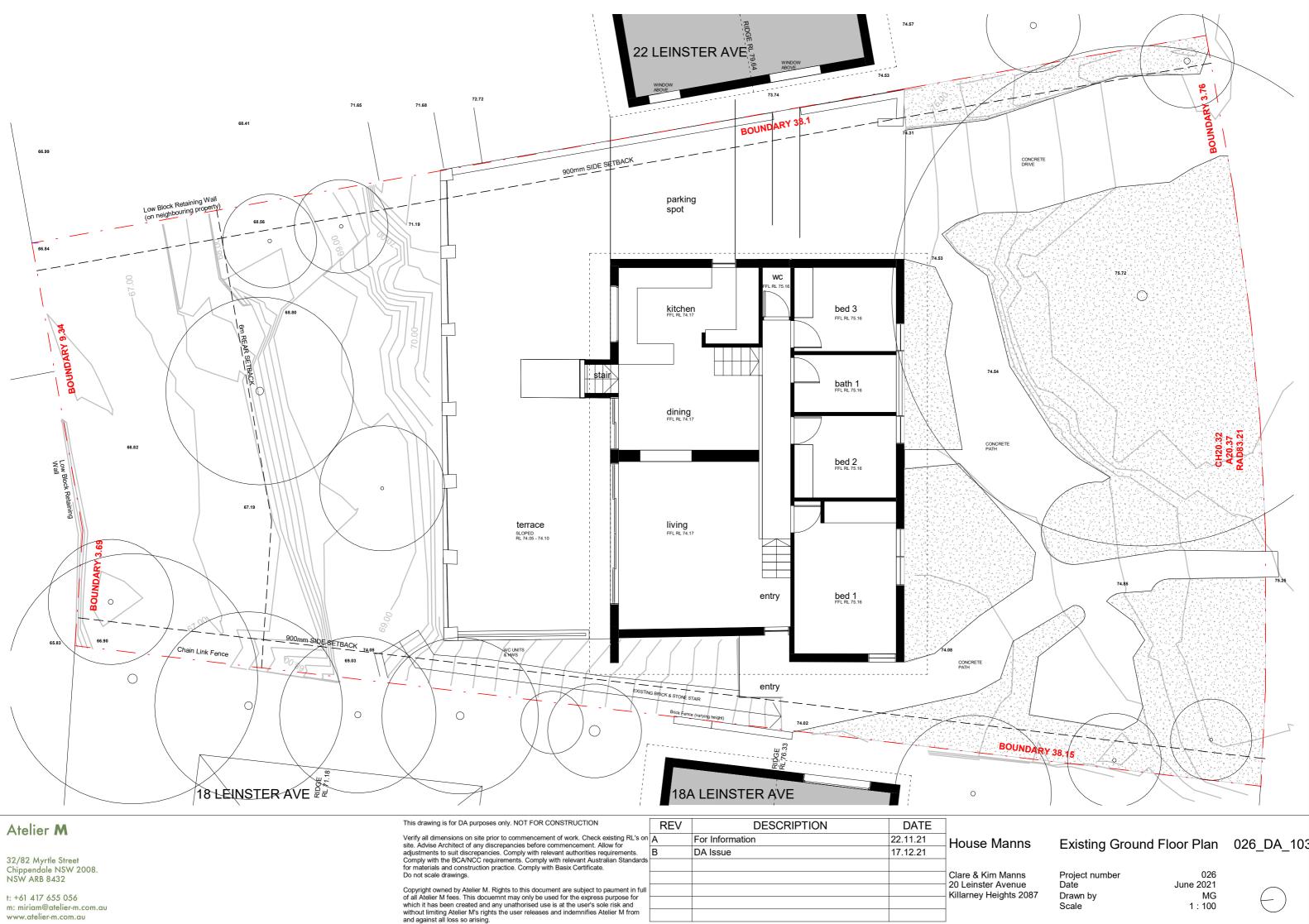


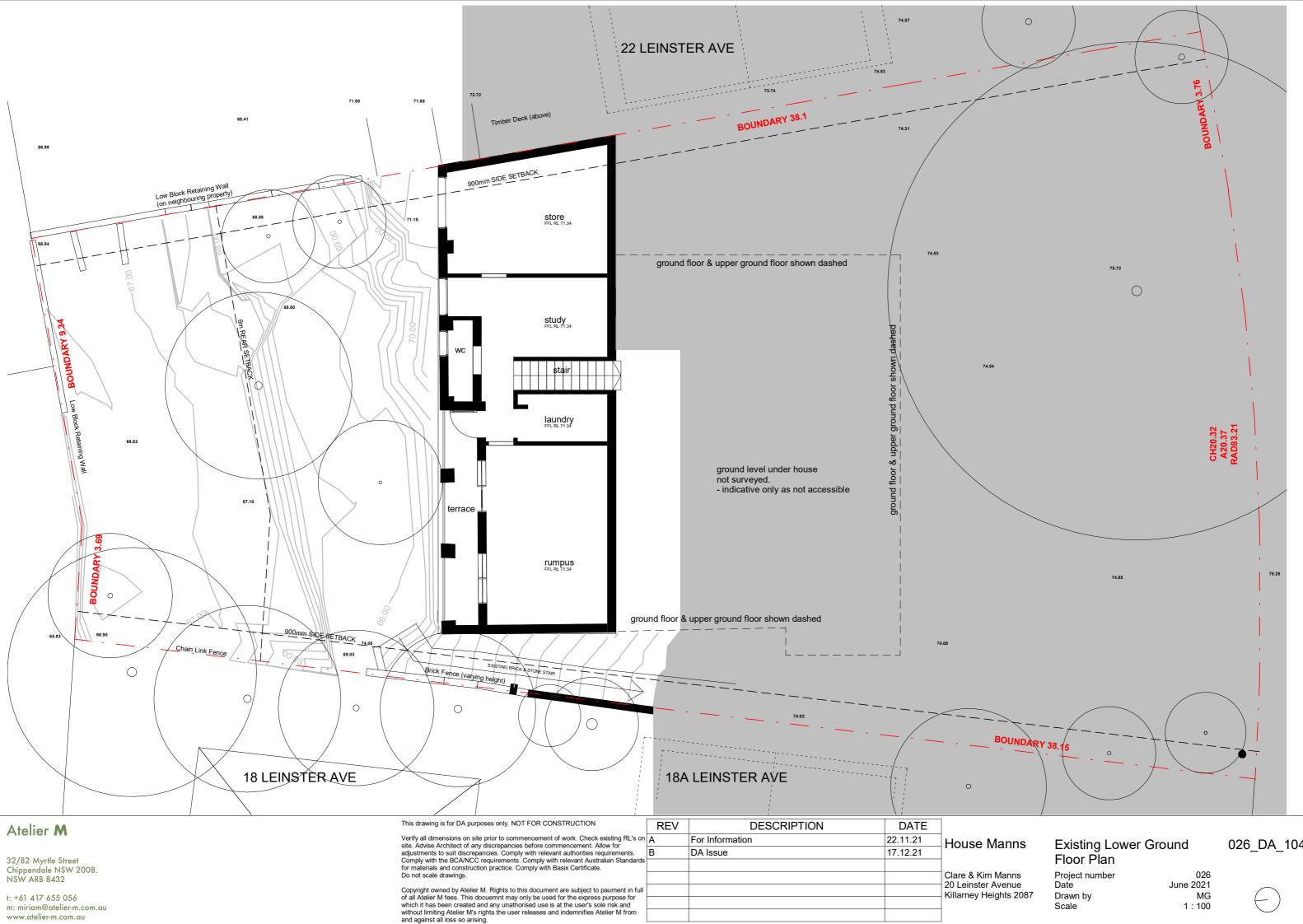
## **Existing Site Photos**

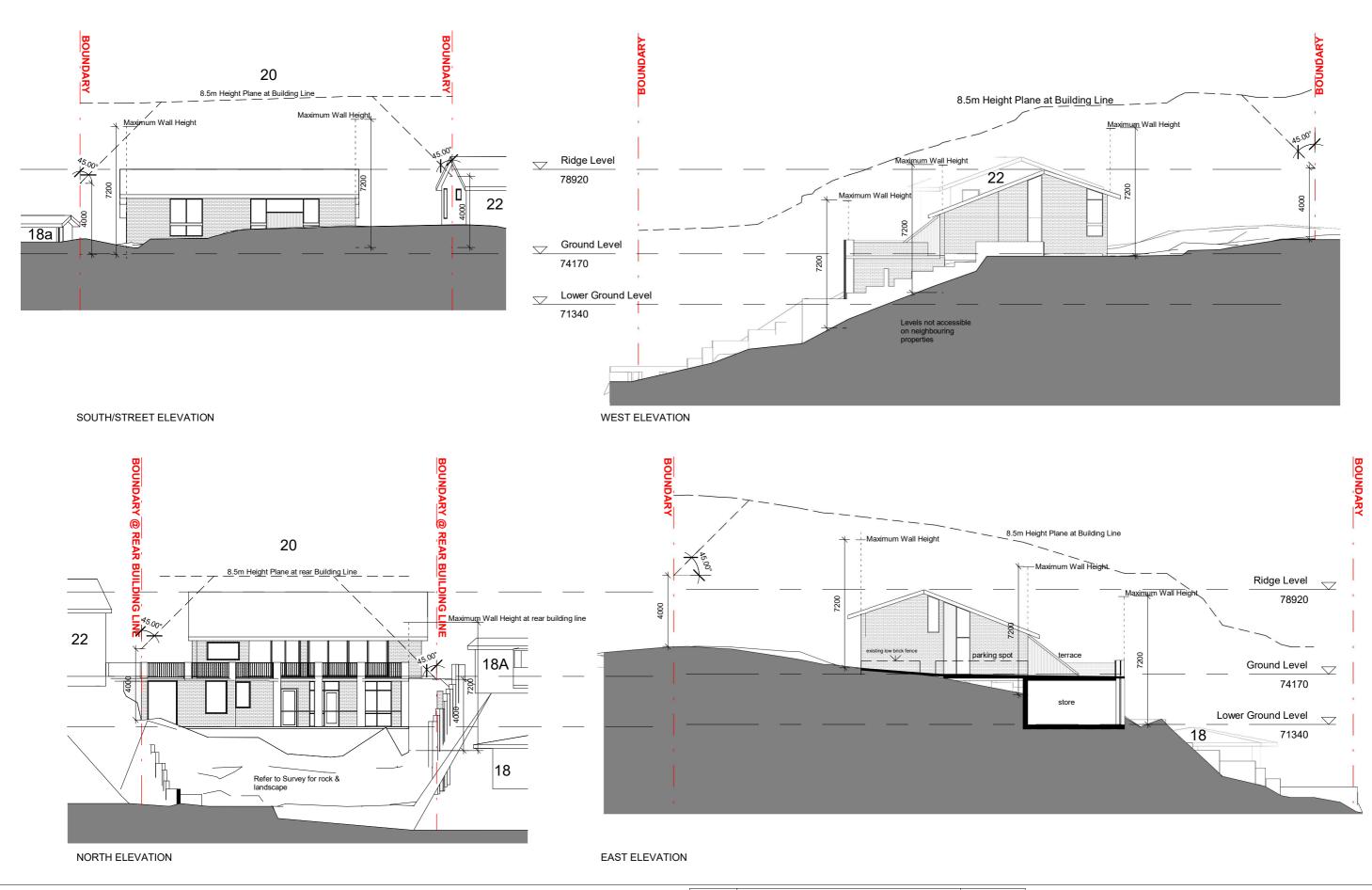
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Project number Date Drawn by Scale

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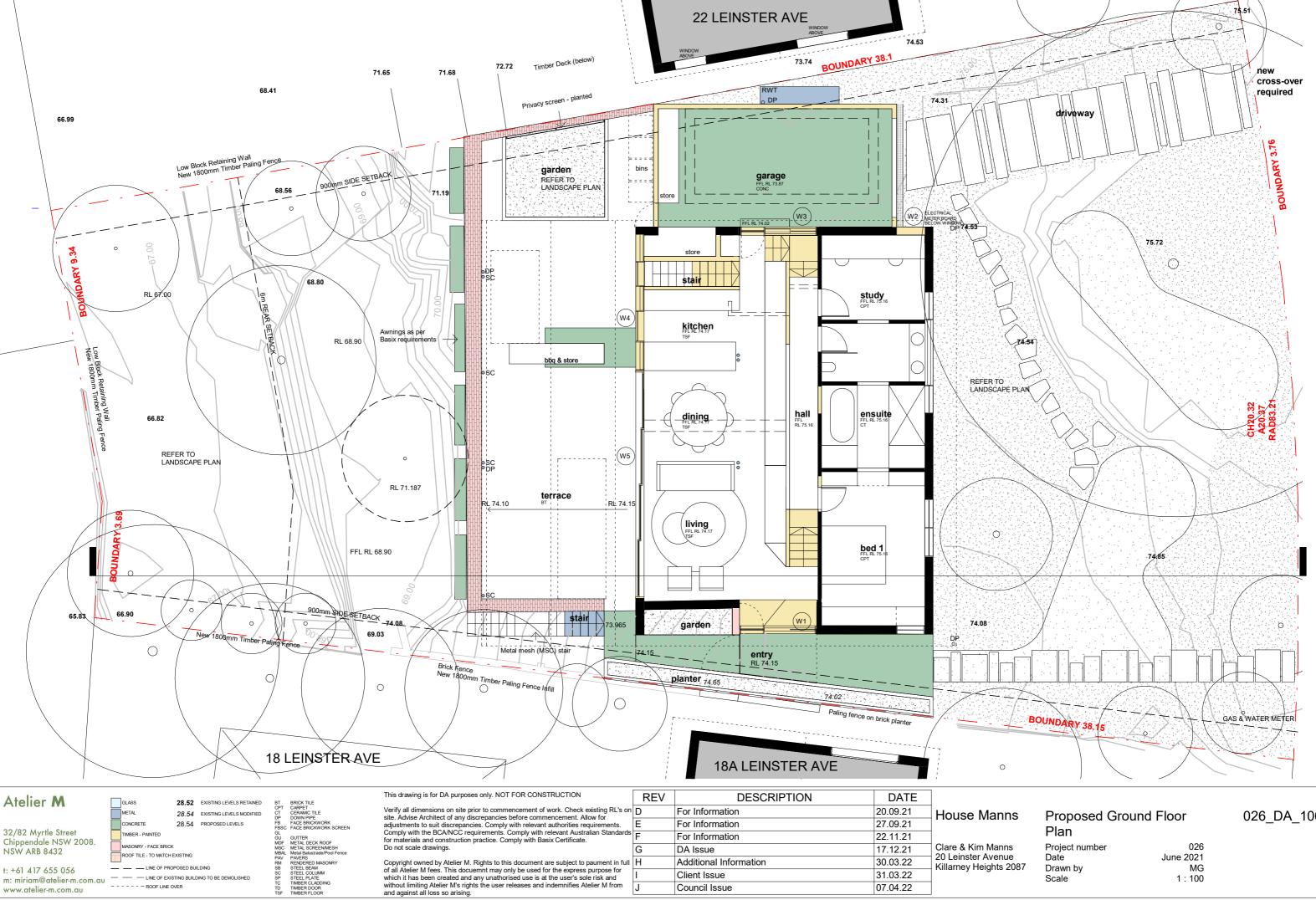




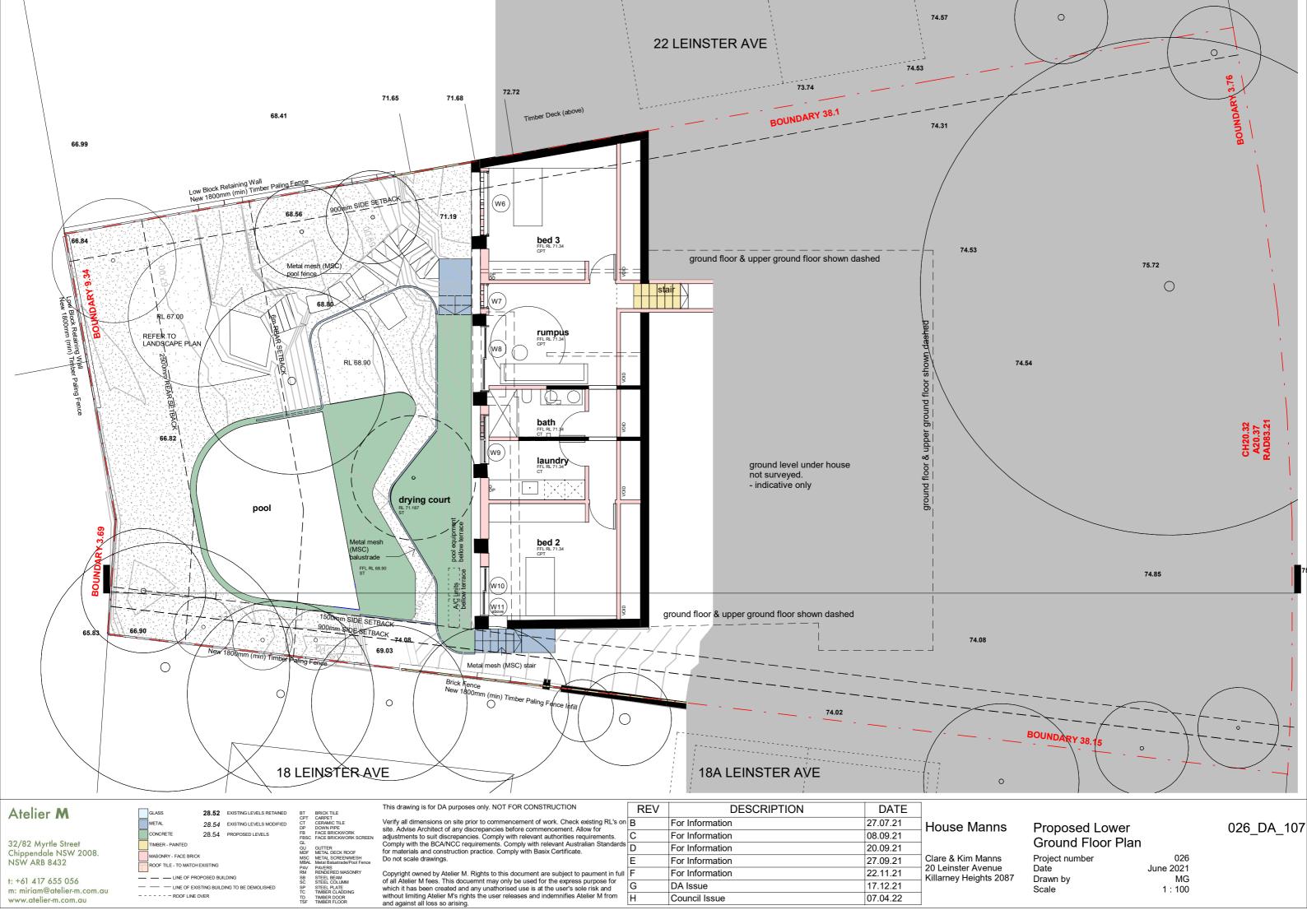


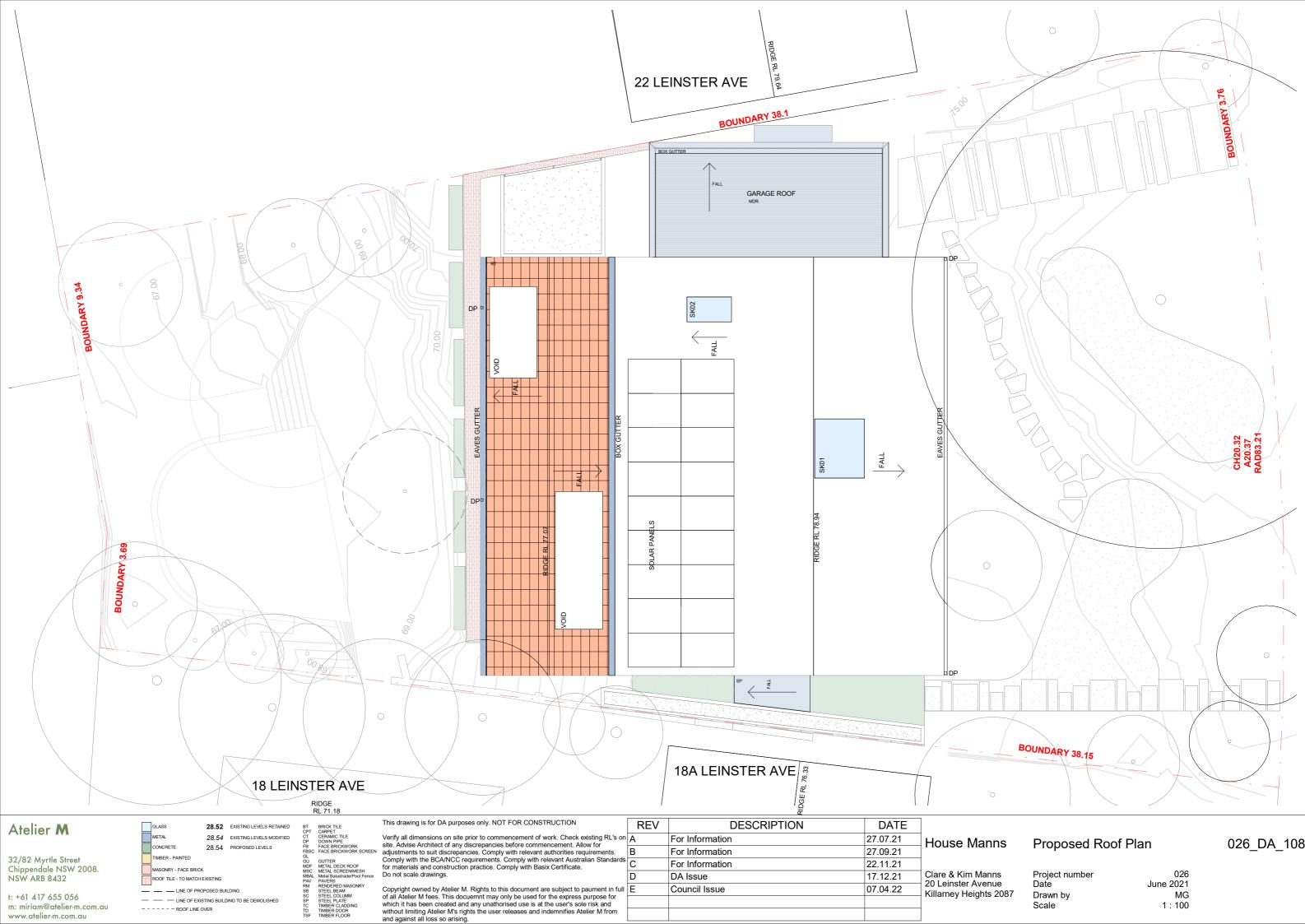
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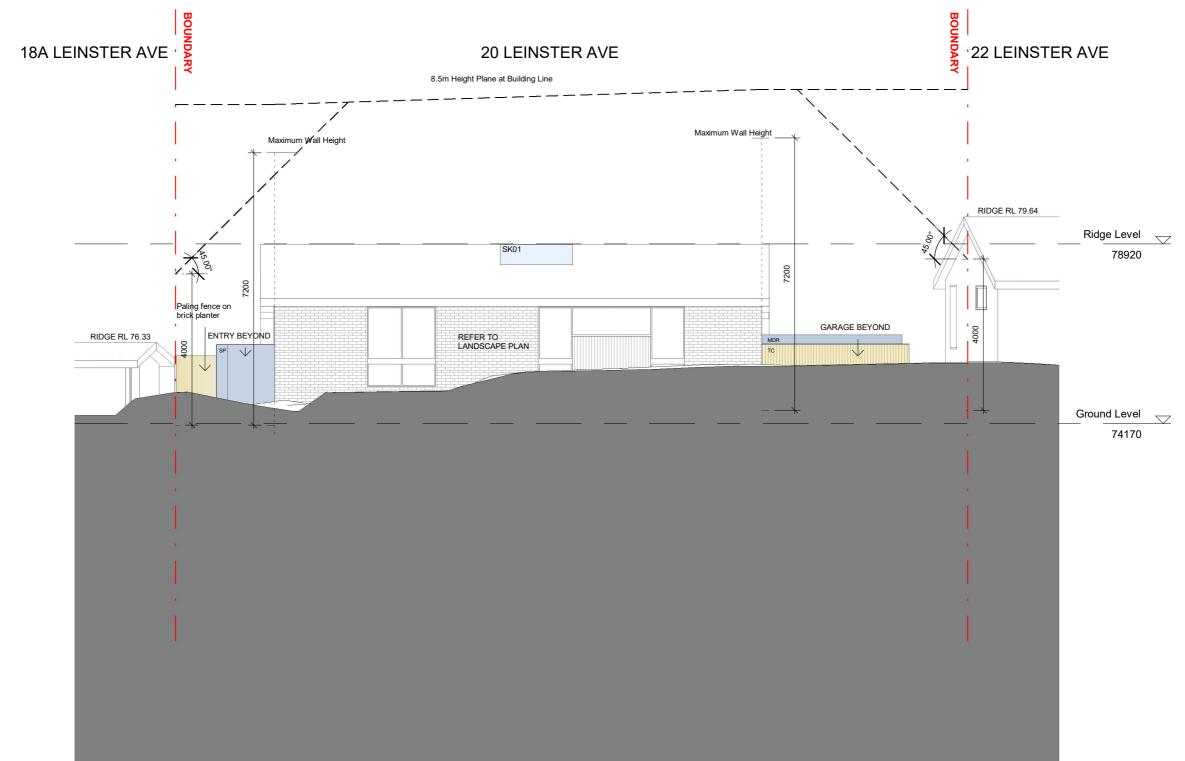
026 June 2021 MG 1:200



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|  | CONCRETE 28.54 PROPOSED LEVELS               | DP DOWN PIPE<br>FB FACE BRICKWORK  | site. Advise Architect of any discrepancies before commencement. Allow for<br>adjustments to suit discrepancies. Comply with relevant authorities requirements.       | В   | DA Issue        | 17.12.21 |  |
| 32/82 Myrtle Street<br>Chippendale NSW 2008. | TIMBER - PAINTED                             | FBSC FACE BRICKWORK SCREEN<br>GL<br>GU GUTTER<br>MDF METAL DECK ROOF             | Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.            | С   | Council Issue   | 07.04.22 |  |
| NSW ARB 8432                                 | MASONRY - FACE BRICK                         | MDF METAL DECK ROOF<br>MSC METAL SCREEN/MESH<br>MBAL Metal Balustrade/Pool Fence | Do not scale drawings.  |     |                 |          | Clare & Kim Manns                          |
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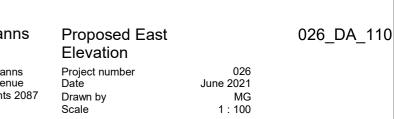
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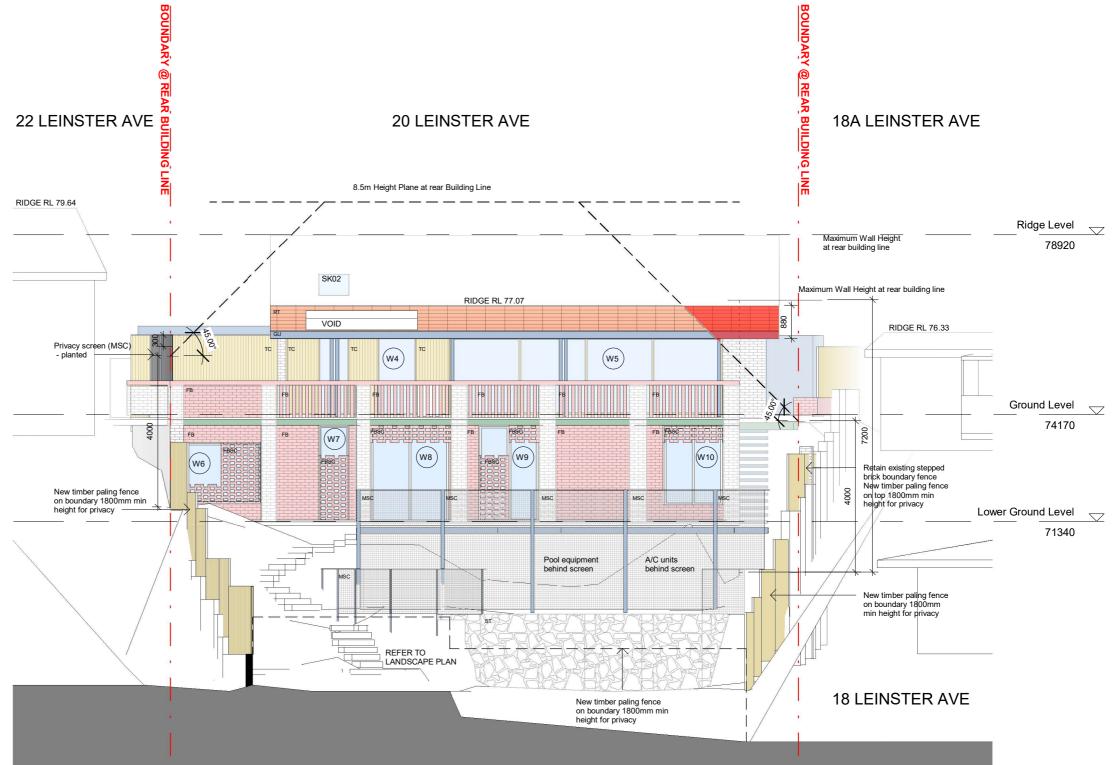
## Proposed Street/South Elevation Project number Date

026 June 2021 MG 1 : 100



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|--|--------------------|---|------------------|---|---|-----|-----------------|----------|-------------------------------------|
|  |                    | 28.54 EXISTING LEVELS MODIFIED<br>28.54 PROPOSED LEVELS | DP<br>FB         | CERAMIC TILE<br>DOWN PIPE<br>FACE BRICKWORK               | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for     | A   | For Information | 22.11.21 | House Mar                           |
|  | TIMBER - PAINTED   | 20.04   | FBSC<br>GL<br>GU | FACE BRICKWORK SCREEN<br>GUTTER                           | adjustments to suit discrepancies. Comply with relevant authorities requirements.   | В   | DA Issue        | 17.12.21 |                                     |
| 32/82 Myrtle Street<br>Chippendale NSW 2008.     | MASONRY - FACE BR  | RICK  | MSC              | METAL DECK ROOF<br>METAL SCREEN/MESH                      | Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.            | С   | Council Issue   | 07.04.22 |                                     |
| NSW ARB 8432                                     | ROOF TILE - TO MAT | CHEXISTING  | PAV              | Metal Balustrade/Pool Fence<br>PAVERS<br>RENDERED MASONRY | Do not scale drawings.  |     |                 |          | Clare & Kim Mar<br>20 Leinster Aver |
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|  | CONCRETE            |       | XISTING LEVELS MODIFIED | DP DOWN PIPE<br>FB FACE BRICKWORK                                     | site. Advise Architect of any discrepancies before commencement. Allow for<br>adjustments to suit discrepancies. Comply with relevant authorities requirements.    | В   | DA Issue        | 17.12.21 |   |
| 32/82 Myrtle Street<br>Chippendale NSW 2008.     | TIMBER - PAINTED    | 20.01 |                         | FBSC FACE BRICKWORK SCREEN<br>GL<br>GU GUTTER                         | Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.         | С   | Council Issue   | 07.04.22 |   |
| NSW ARB 8432                                     | MASONRY - FACE BRI  | ICK   |                         | MDF METAL DECK ROOF<br>MSC METAL SCREEN/MESH                          | Do not scale drawings.   |     |                 |          | Clare & Kim Manns<br>20 Leinster Avenue |
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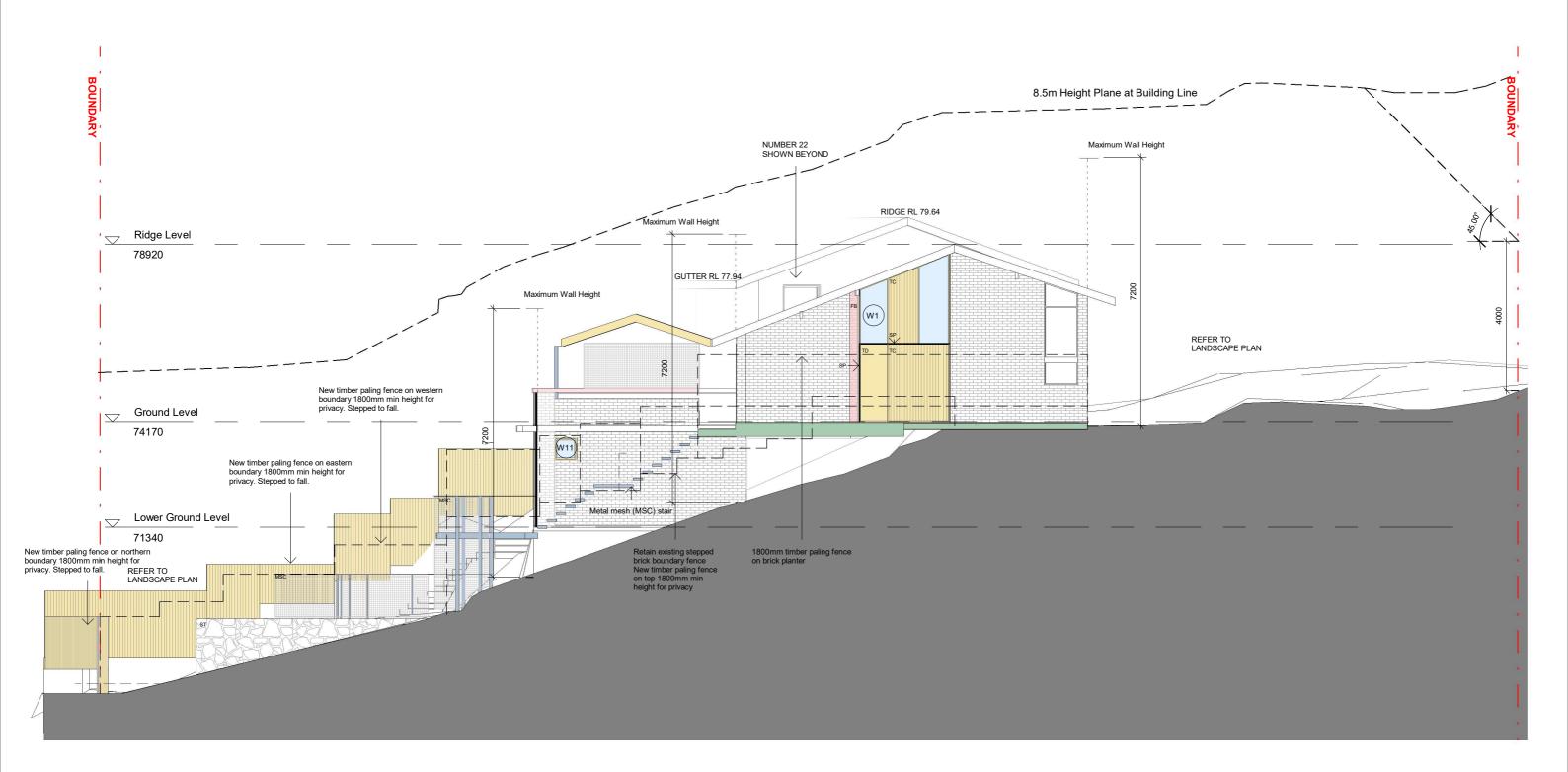
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Elevation Project number Date Drawn by Scale

Proposed North

### 026 June 2021 MG 1:100



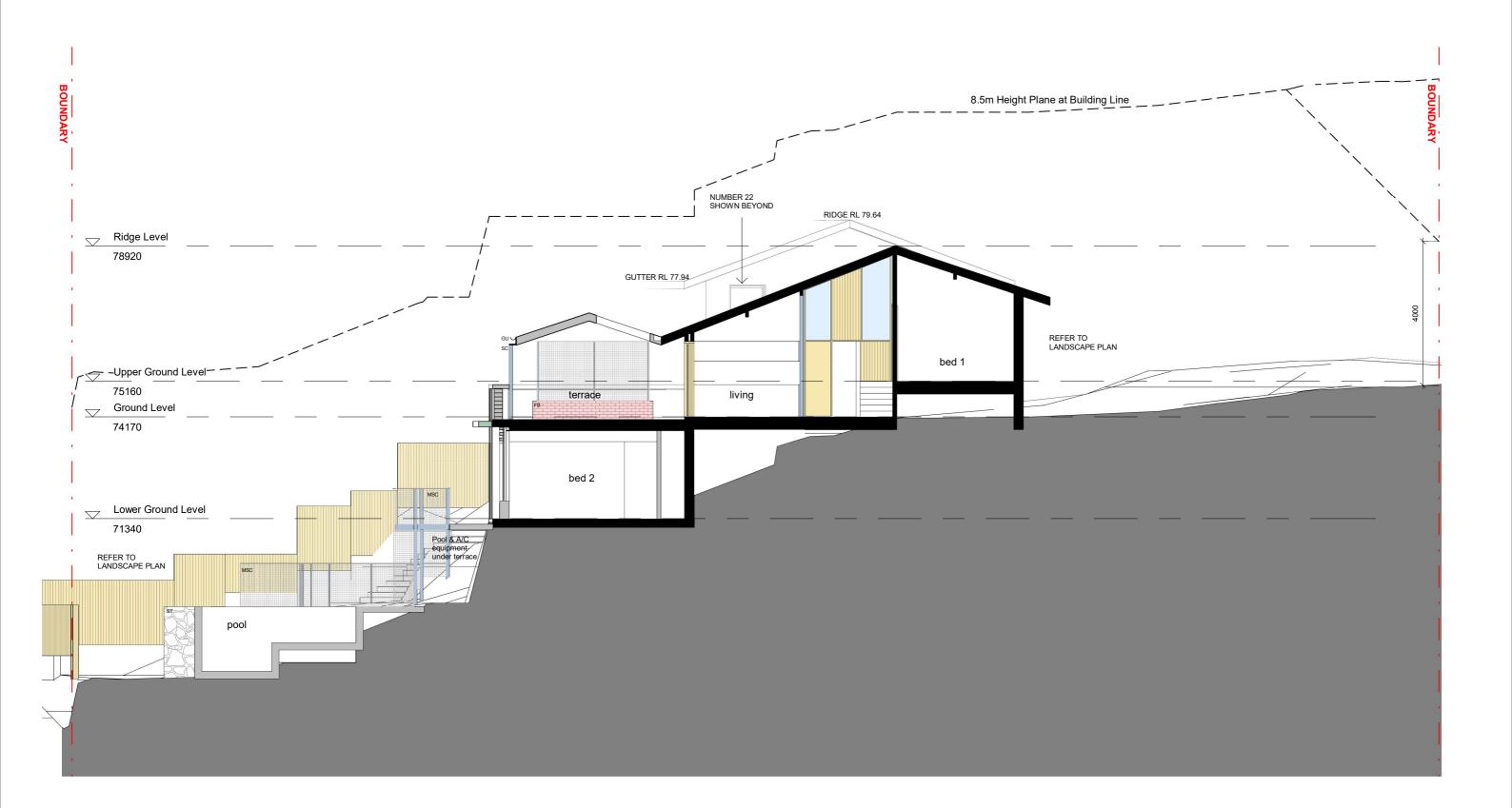
| Atelier <b>M</b>                                 | GLASS               | 28.52 EXISTING LEVELS RETAINED | BT BRICK TILE  | This drawing is for DA purposes only. NOT FOR CONSTRUCTION  | REV | DESCRIPTION     | DATE     | ]                                      |
|--|---------------------|--------------------------------|--|---|-----|-----------------|----------|--|
|  | METAL               | 28.54 EXISTING LEVELS MODIFIED | CPT CARPET<br>CT CERAMIC TILE  | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for     | A   | For Information | 22.11.21 | House Man                              |
|  | CONCRETE            | 28.54 PROPOSED LEVELS          | DP DOWN PIPE<br>FB FACE BRICKWORK<br>FBSC FACE BRICKWORK SCREEN                  | adjustments to suit discrepancies. Comply with relevant authorities requirements.   | В   | DA Issue        | 17.12.21 |  |
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### anns

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## Proposed West Elevation

Project number Date Drawn by Scale 026 June 2021 MG 1 : 100

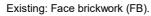


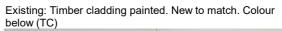
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|  | CONCRETE             | 28.54 PROPOSED LEVELS             | FB FACE BRICKWORK<br>FBSC FACE BRICKWORK SCREE                          | adjustments to suit discrepancies. Comply with relevant authorities requirements.  | В   | For Information | 22.11.21 |   |
| 32/82 Myrtle Street<br>Chippendale NSW 2008. | TIMBER - PAINTED     |                                   | GL<br>GU GUTTER<br>MDF METAL DECK ROOF                                  | Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.                 | С   | DA Issue        | 17.12.21 |   |
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## nns Proposed Section

anns enue nts 2087 Project number Date Drawn by Scale 026 June 2021 MG 1 : 100









Existing: Timber windows & doors painted. New to match. Precedent: Brick hit & miss screen (FBSC). (photo not from subject site)



Precedent: Steel mesh balustrade & pool fence. To comply with AS3959-2009 & AS1932-2012 (MSC)

Colour: Painted timber & steel. Pale Green

|  | (MSC)  |     |                 |          |                   |
|--|--|-----|-----------------|----------|-------------------|
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|  | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for          | A   | For Information | 22.11.21 | House Man         |
|  | adjustments to suit discrepancies. Comply with relevant authorities requirements.  | В   | DA Issue        | 17.12.21 |                   |
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Existing: Mid tone grey roof tiles. New to match (RT)



Precedent: Quilt of brick & tile infill of new into old (FB)

### anns

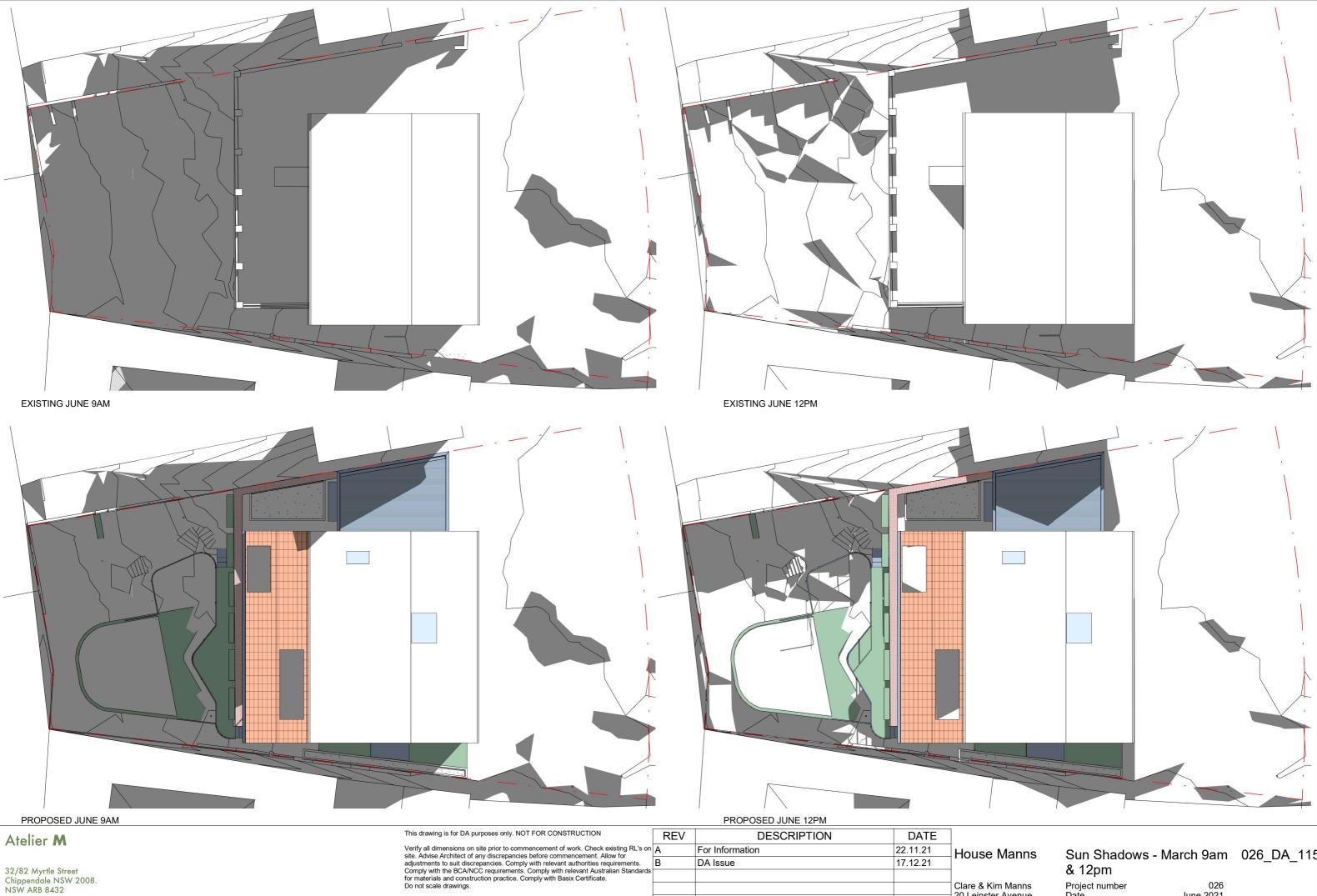
lanns enue hts 2087

## External Materials & Finishes

026\_DA\_114

Project number Date Drawn by Scale

026 June 2021 MG



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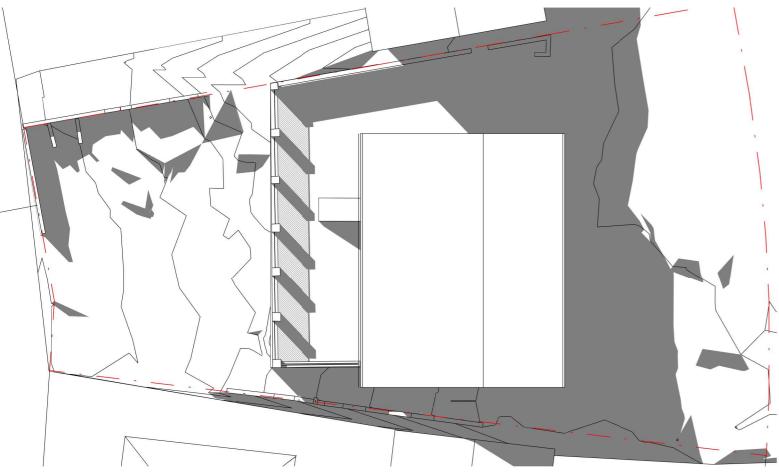
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Clare & Kim Manns 20 Leinster Avenue Killarney Heights 2087

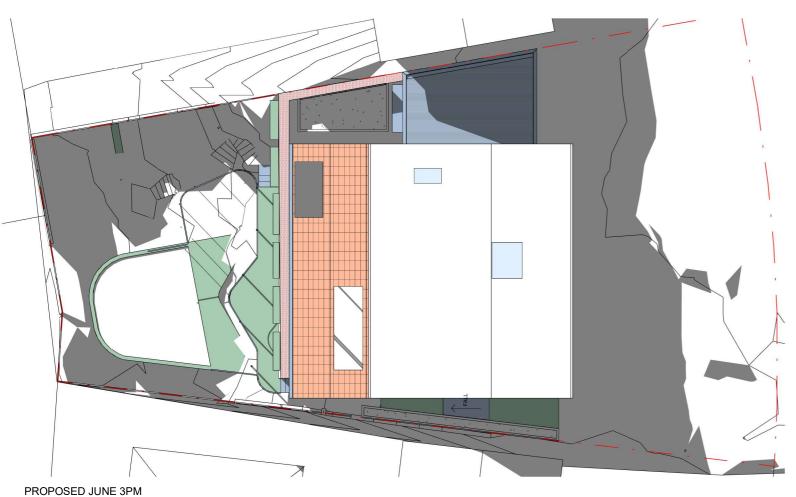
Project number Date Drawn by Scale

026 June 2021 MG 1:200





EXISTING JUNE 3PM



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|  | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for         | A   | For Information | 22.11.21 | House N                    |
|  | adjustments to suit discrepancies. Comply with relevant authorities requirements.   | В   | DA Issue        | 17.12.21 |                            |
| 32/82 Myrtle Street<br>Chippendale NSW 2008. | Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.                |     |                 |          |                            |
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## e Manns

Sun Shadows - March 3pm 026\_DA\_116

Kim Manns ter Avenue Heights 2087 Project number Date Drawn by Scale 026 June 2021 MG 1 : 200





EXISTING LANDSCAPE AREA

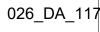
PROPOSED LANDSCAPE AREA

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|--|---|-----|-----------------|----------|--------------------------------|
| Alctici M  | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for         | A   | For Information | 22.11.21 | House M                        |
|  | adjustments to suit discrepancies. Comply with relevant authorities requirements.   | В   | DA Issue        | 17.12.21 |                                |
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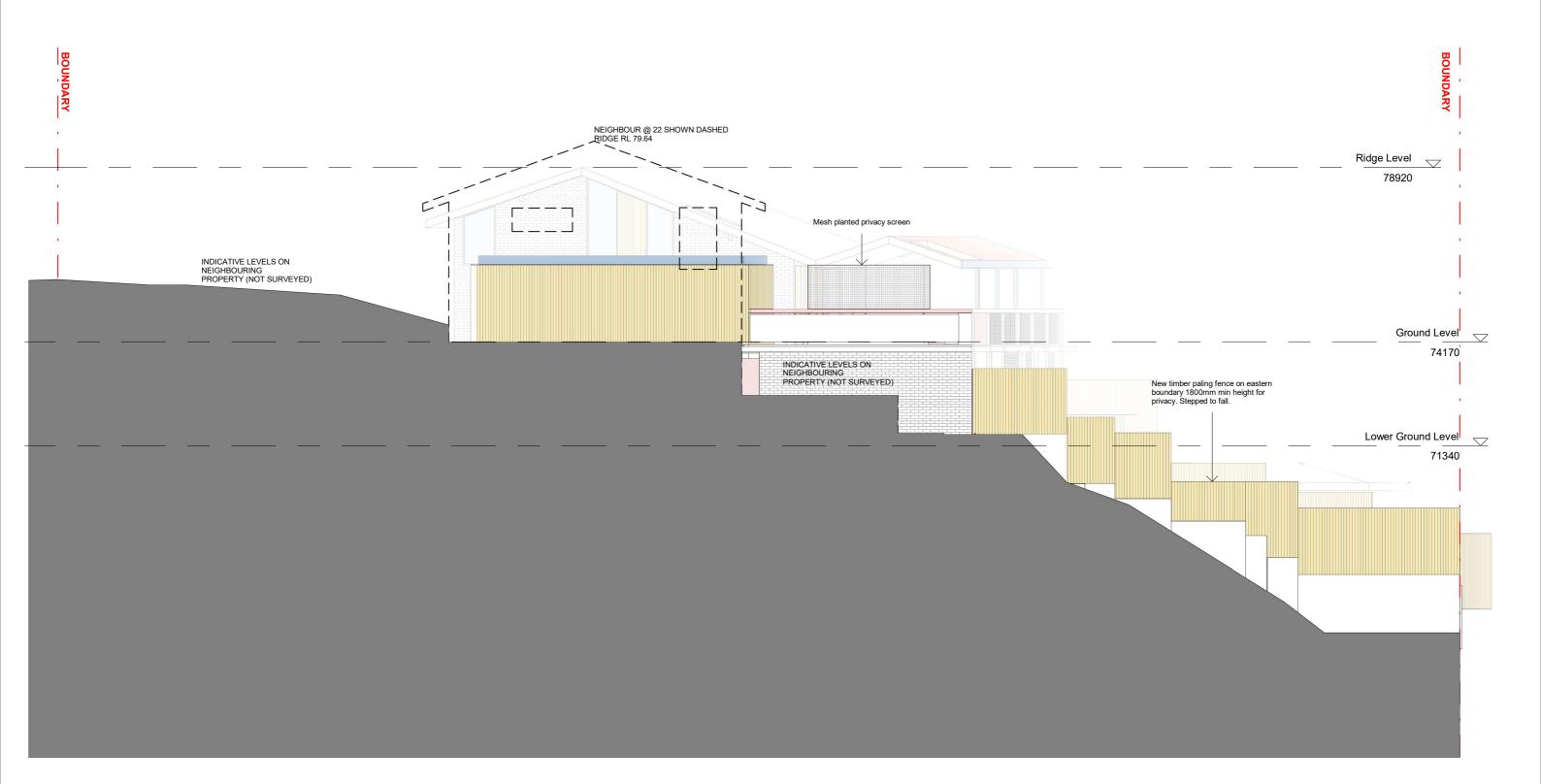
## Manns

## Landscape Areas

im Manns er Avenue Heights 2087 Project number Date Drawn by Scale 026 June 2021 MG 1 : 200



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|--|---|-----|--------------------|----------|---|--|
|  | Verify all dimensions on site prior to commencement of work. Check existing RL's on<br>site. Advise Architect of any discrepancies before commencement. Allow for   |     | Council Site Visit | 08.03.22 | House Mann                              |  |
|  | adjustments to suit discrepancies. Comply with relevant authorities requirements.<br>Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.<br>Do not scale drawings. |     | Council Issue      | 07.04.22 |   |  |
| 32/82 Myrtle Street<br>Chippendale NSW 2008. |   |     |                    |          |   |  |
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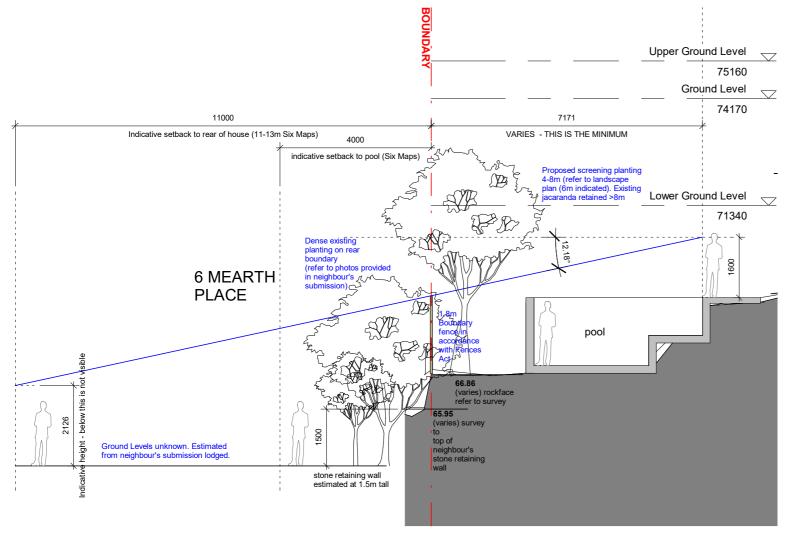
### nns

### nns nue s 2087

## Eastern Boundary Elevation

Project number Date Drawn by Scale

### 026 June 2021 MG 1 : 100



SECTION: VIEW ANALYSIS OF PROPOSED POOL



6 MEATH PLACE: PHOTO SUBMITTED AS PART OF SUBMISSION PREPARED BY PLANNING PROGRESS

# 2500 MAREAR BACK 66.82 69 പ് BOUN ČΟ, 65.83 66,90 $\bigcirc$

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### PLAN: INDICATIVE SETBACKS RELATING TO POOL

| Atelier M  | This drawing is for DA purposes only. NOT FOR CONSTRUCTION  | REV | DESCRIPTION            | DATE     | ]                      |                        |                  |
|--|---|-----|------------------------|----------|------------------------|------------------------|------------------|
|  | Verify all dimensions on site prior to commencement of work. Check existing RL's on A site. Advise Architect of any discrepancies before commencement. Allow for      |     | Additional Information | 25.03.22 | House Manns            | Pool view analysis     |                  |
|  | adjustments to suit discrepancies. Comply with relevant authorities requirements.   | В   | Council Issue          | 07.04.22 |                        | 1 con view analysis    |                  |
| 32/82 Myrtle Street<br>Chippendale NSW 2008.     | Comply with the BCA/NCC requirements. Comply with relevant Australian Standards<br>for materials and construction practice. Comply with Basix Certificate.            |     |                        |          |                        |                        |                  |
| NSW ARB 8432                                     | Do not scale drawings.  |     |                        |          | Clare & Kim Manns      | Project number<br>Date | 026<br>June 2021 |
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