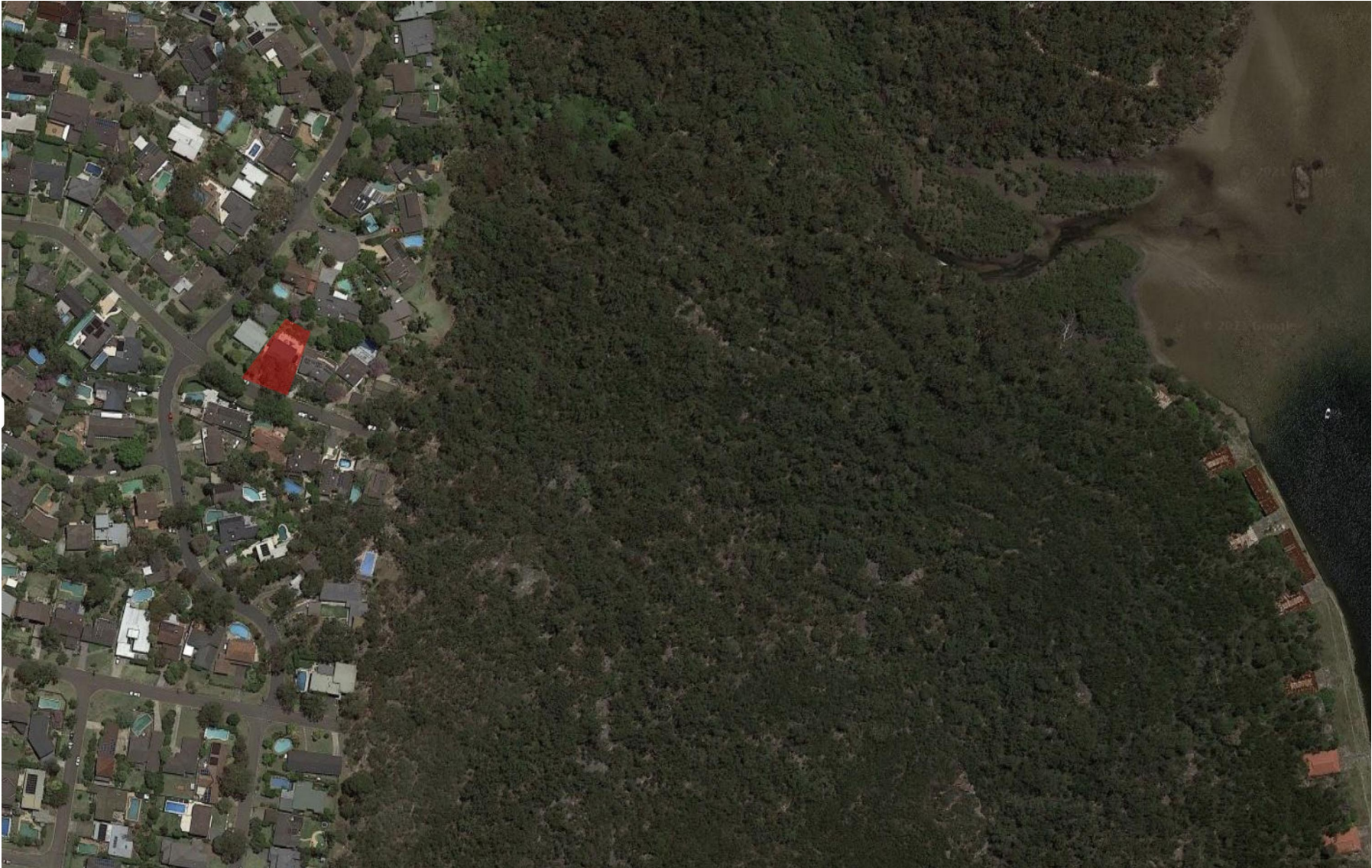


Sheet Number	Sheet Name
026_DA_100	Cover Page
026_DA_101	Site Analysis
026_DA_102	Existing Site Photos
026_DA_103	Existing Ground Floor Plan
026_DA_104	Existing Lower Ground Floor Plan
026_DA_105	Existing Elevations
026_DA_106	Proposed Ground Floor Plan
026_DA_107	Proposed Lower Ground Floor Plan
026_DA_108	Proposed Roof Plan
026_DA_109	Proposed Street/South Elevation
026_DA_110	Proposed East Elevation
026_DA_111	Proposed North Elevation
026_DA_112	Proposed West Elevation
026_DA_113	Proposed Section
026_DA_114	External Materials & Finishes
026_DA_115	Sun Shadows - March 9am & 12pm
026_DA_116	Sun Shadows - March 3pm
026_DA_117	Landscape Areas
026_DA_118	Erosion & Sediment Control Plan

BASIX COMMITMENTS: CERTIFICATE NO **A404566**

- Pool:
- the applicant must install a rainwater tank of at least 1137L
 - the applicant must collect from at least 89.17sqm of roof area
 - a rainwater tank must be connected to the pool & located within 10m
 - pool must be outdoors
 - maximum capacity of 45KL
 - must have a cover
 - must have a pool pump timer
 - solar (electric boosted) heating
- Hot Water:
- Solar electric boosted
- Lighting:
- the applicant must ensure >40% new or altered light fittings are fitted with fluorescent, compact fluorescent, or LED.
- Fittings:
- the applicant must ensure new showerheads have a flow rate <9L/min or a 3 star water rating
 - the applicant must ensure new toilets have a flow rate <4L/flush or a 3 star water rating
 - the applicant must ensure new taps have a flow rate <9L/min or a 3 star water rating
- Insulation:
- external brick veneer walls with R1.16 additional insulation
 - raked ceiling, pitched/skillion roof: framed, ceiling R1.74(up). roof: foil backed blanket (55mm). medium roof colour (solar absorption 0.475-0.70)
- Windows & Glazed Doors:
- W1 - eave >=450mm. Timber. Single low-e
 - W2 - eave >=450mm. Timber. Single low-e
 - W3 - eave >=450mm. Timber. Single low-e
 - W4 - pergola/eave >=900mm. Timber. Single clear
 - W5 - pergola/eave >=900mm. Timber. Single clear
 - W6 - pergola/eave >=750mm. Timber. Single clear
 - W7 - pergola/eave >=750mm. Timber. Single clear
 - W8 - pergola/eave >=750mm. Timber. Single clear
 - W9 - pergola/eave >=750mm. Timber. Single clear
 - W10 - pergola/eave >=750mm. Timber. Single clear
 - W11 - no shading device. Timber. Single clear
- Skylights:
- S1 - Timber. Double low-e + clear external.
 - S2 - Timber. Double low-e + clear external.



VIEW 1: GOOGLE VIEW - SUBJECT SITE

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REV	DESCRIPTION	DATE
A	For Information	22.11.21
B	DA Issue	17.12.21

House Manns

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Cover Page

Project number
Date
Drawn by
Scale

026
June 2021
MG

026_DA_100



Existing approach to house.



Existing entry



Existing eastern setback/carspot



Number 22 at eastern boundary



Ground floor terrace looking north. Valley view.



Ground floor terrace looking east.



Lower ground floor terrace.



Western side setback.



Rear garden from lowest level of garden looking south.



Rear garden, mid terrace level looking east.



Northern elevation from garden

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House Manns

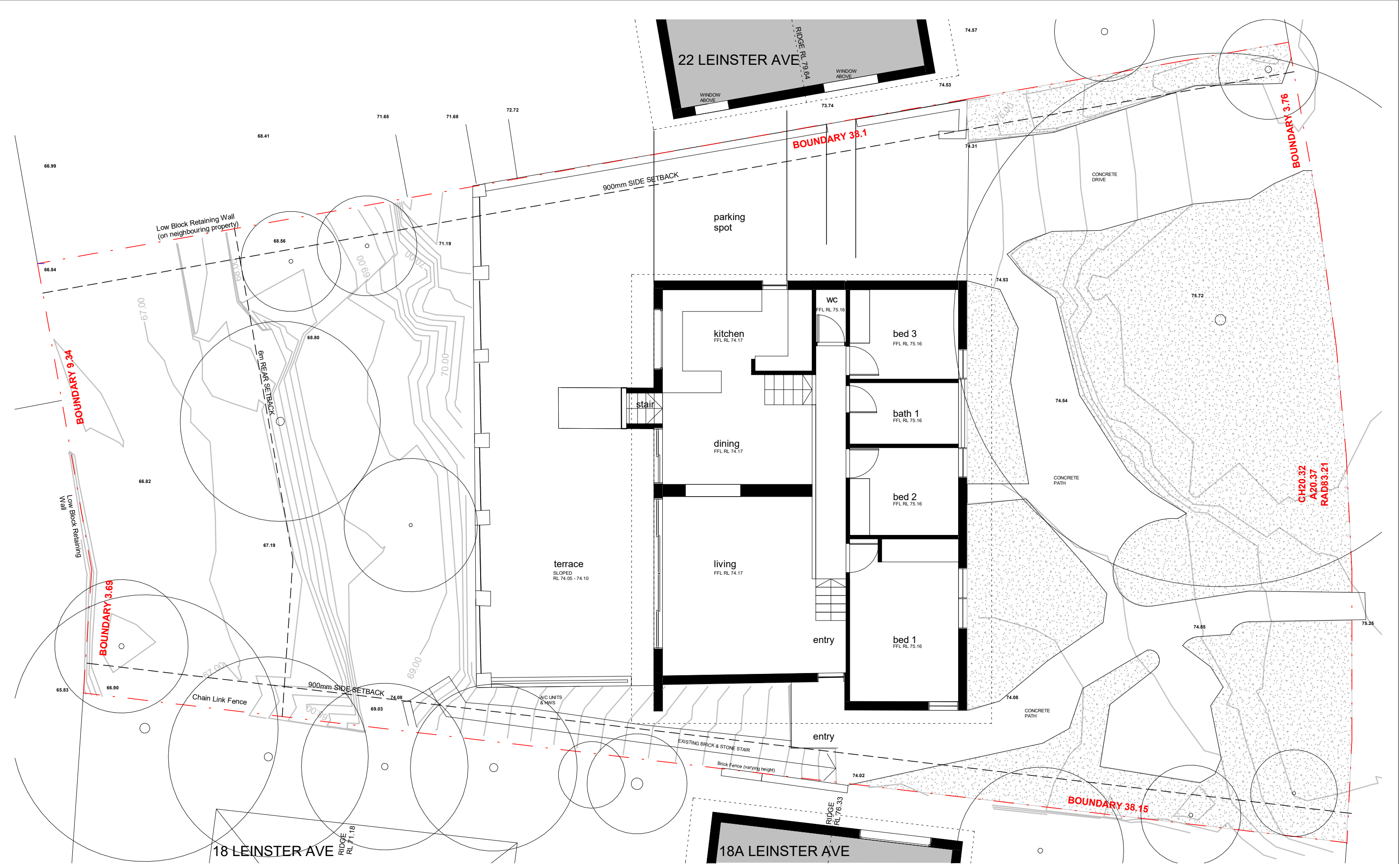
Clare & Kim Manns
20 Leinster Avenue
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Existing Site Photos

Project number
Date
Drawn by
Scale

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026_DA_102



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B	DA Issue	17.12.21

House Manns

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20 Leinster Avenue
Killarney Heights 2087

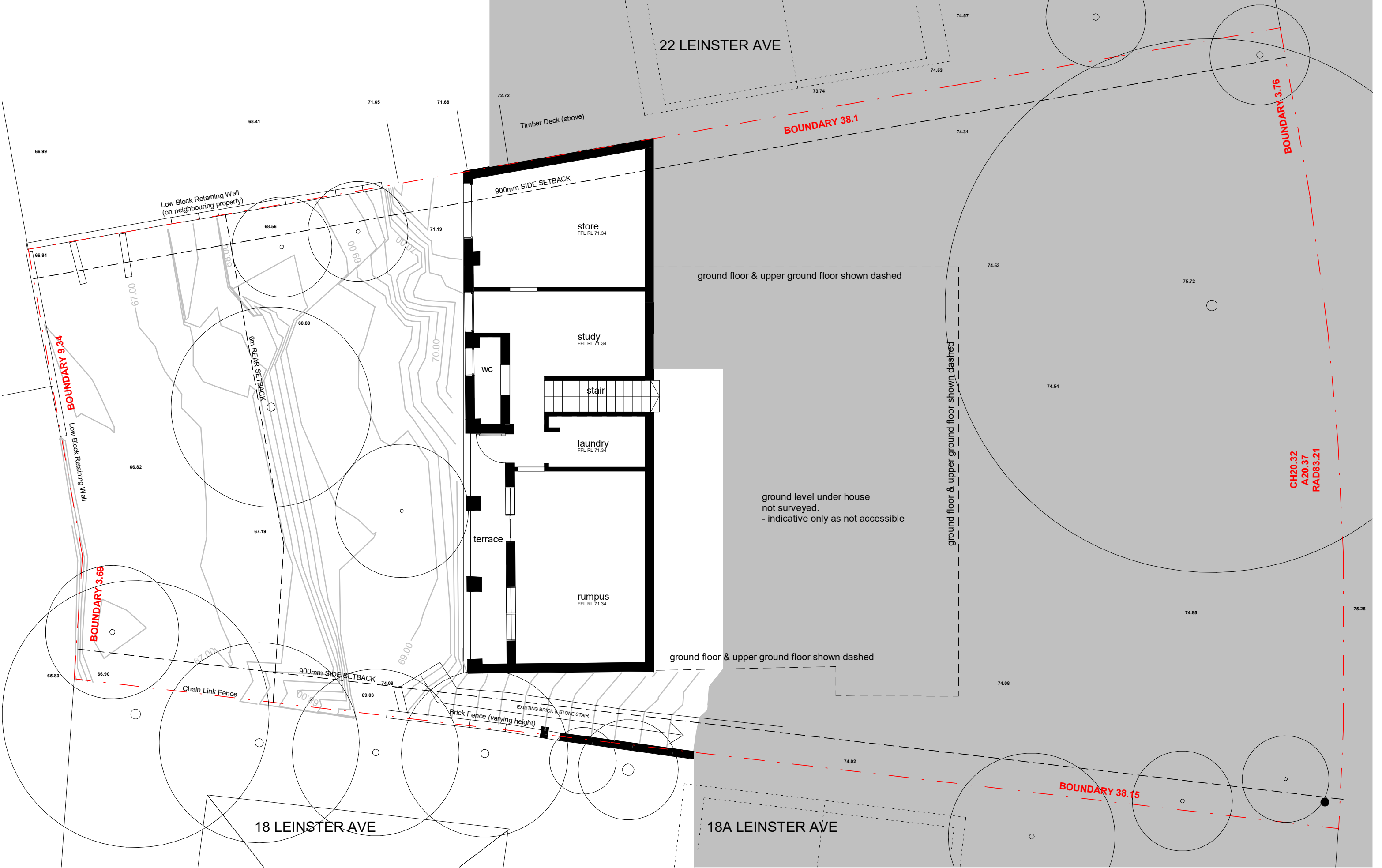
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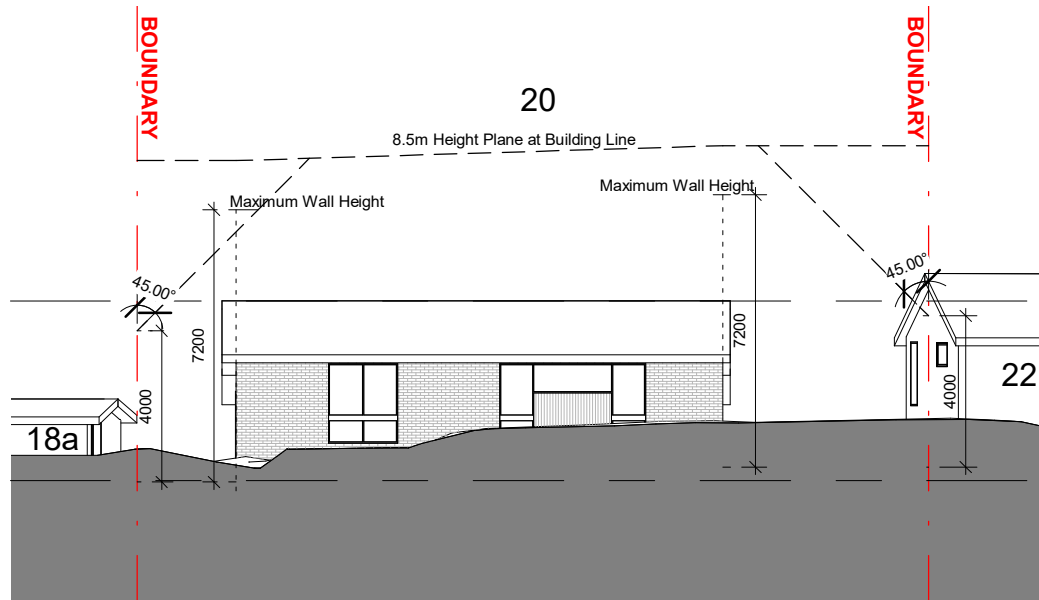
Project number
Date
Drawn by
Scale

026
June 2021
MG
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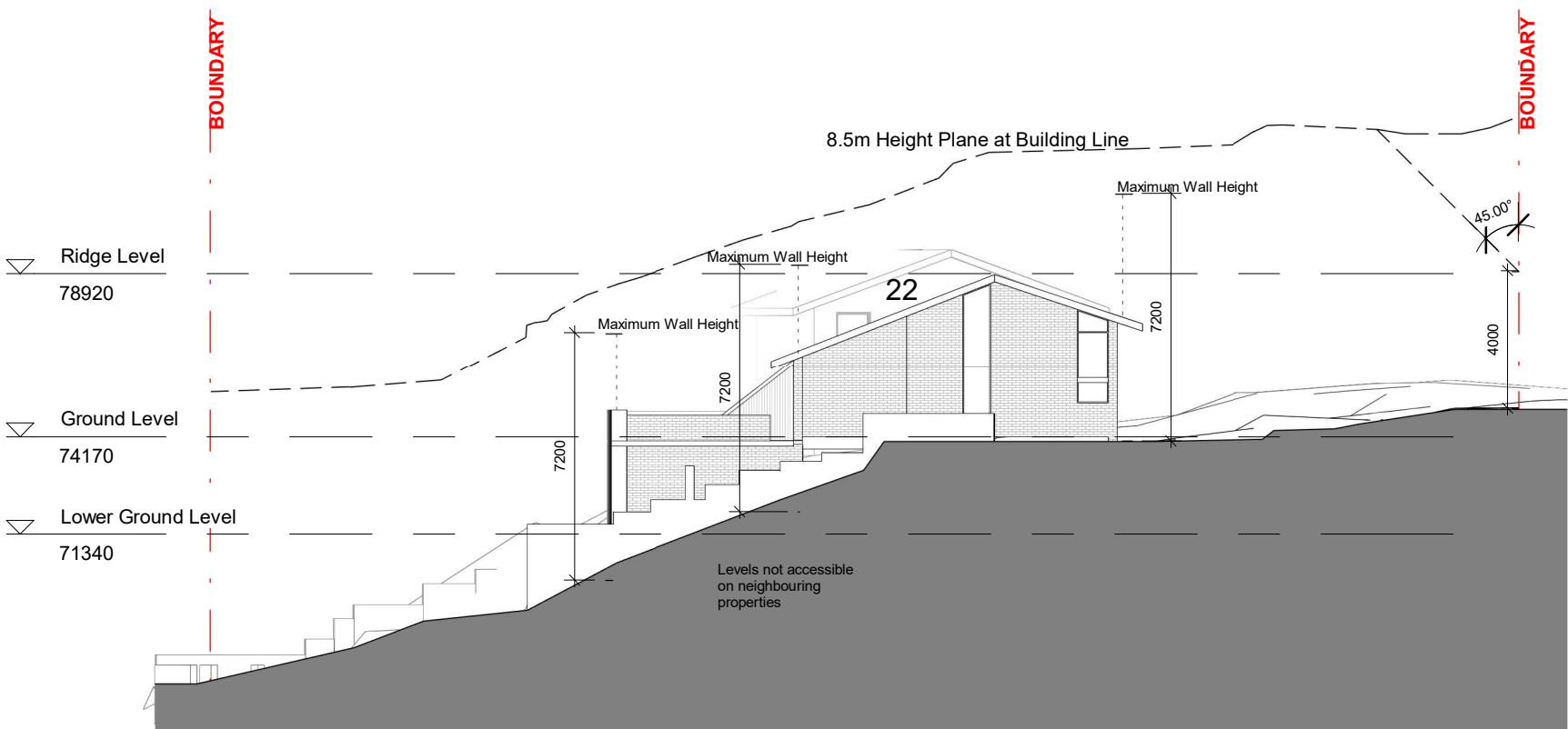
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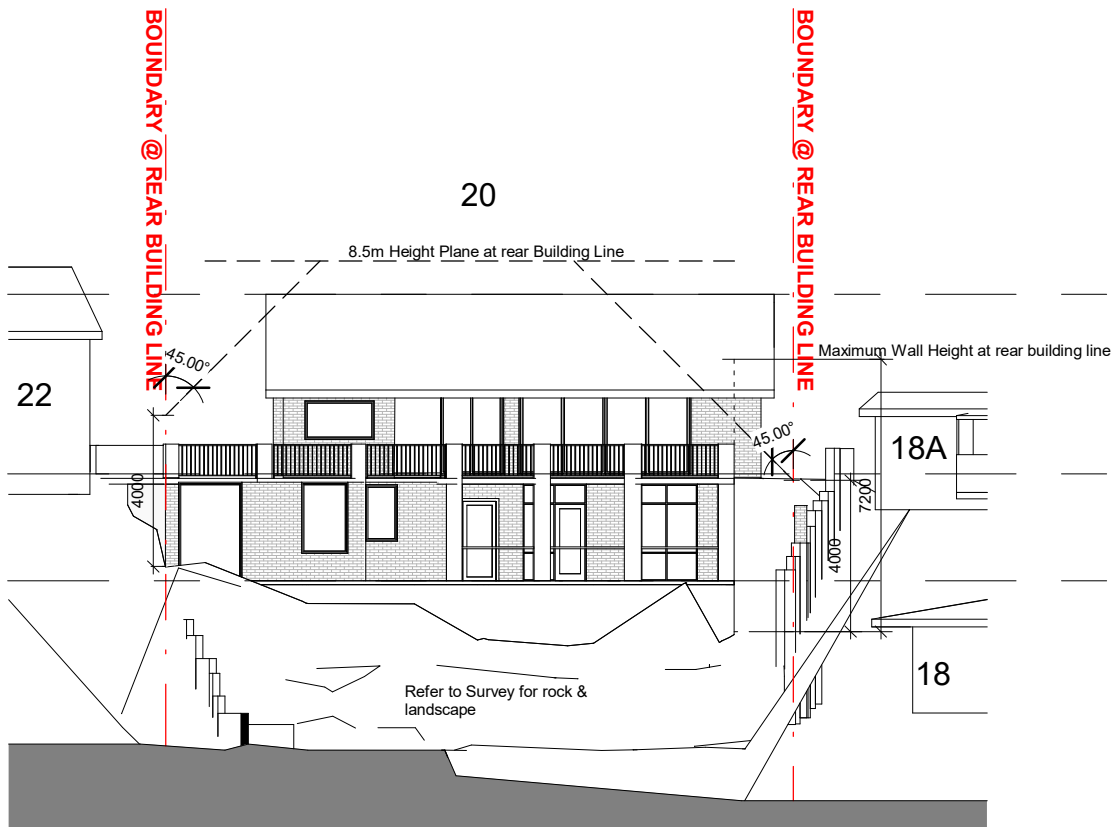




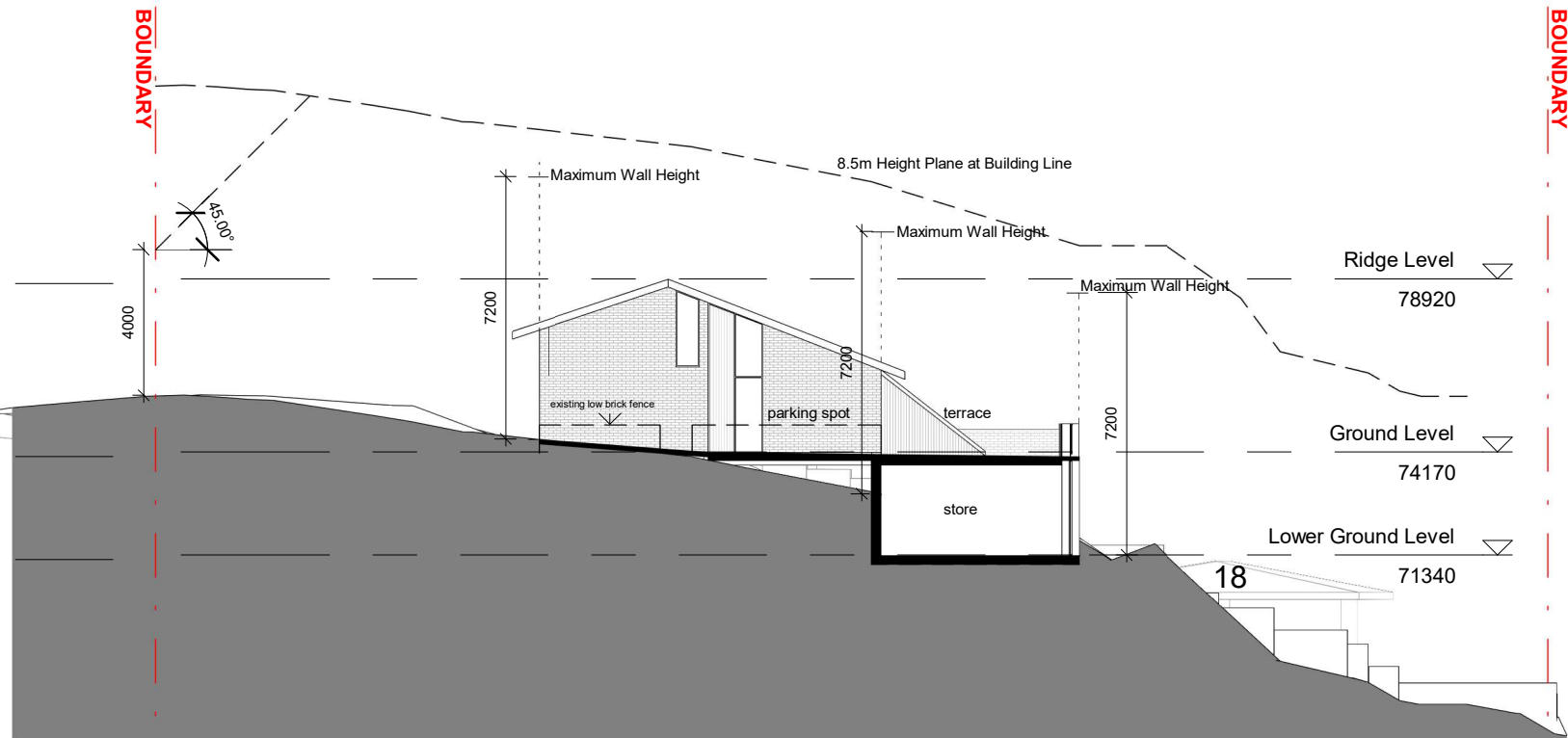
SOUTH/STREET ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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House Manns

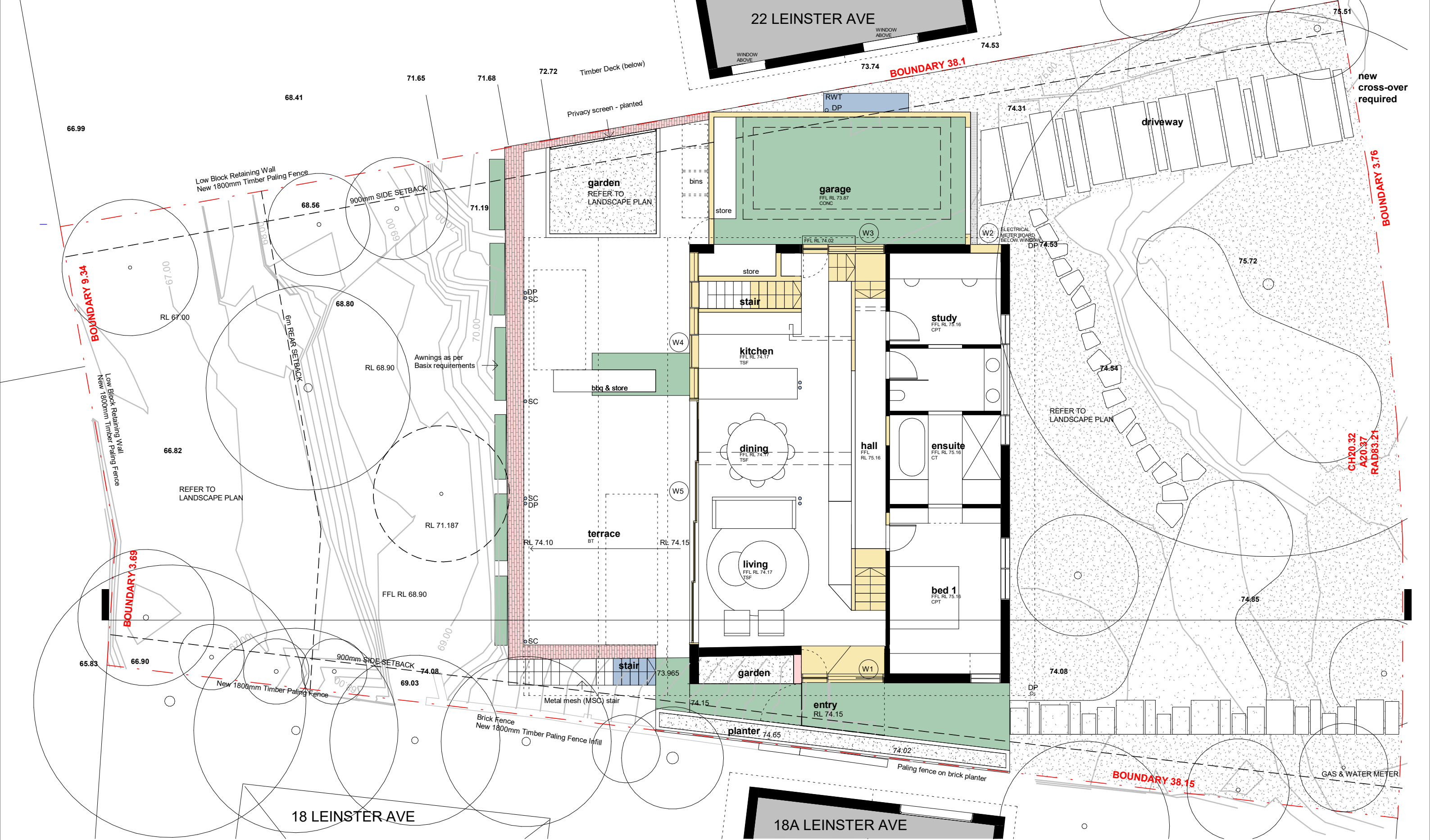
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Existing Elevations

Project number
Date
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Scale

026
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MG
1 : 200

026_DA_105



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GLASS

METAL

CONCRETE

TIMBER - PAINTED

MASONRY - FACE BRICK

ROOF TILE - TO MATCH EXISTING

— LINE OF PROPOSED BUILDING

— LINE OF EXISTING BUILDING TO BE DEMOLISHED

----- ROOF LINE OVER

28.52

28.54

28.54

EXISTING LEVELS RETAINED

EXISTING LEVELS MODIFIED

PROPOSED LEVELS

BT

CPT

CT

DP

FB

FBSC

GL

GU

MDF

MSC

MBAL

PAV

RM

SB

SC

SP

TC

TSF

BRICK TILE

CARPET

CERAMIC TILE

DOWN PIPE

FACE BRICKWORK

FACE BRICKWORK SCREEN

GUTTER

METAL DECK ROOF

METAL SCREEN/MESH

Metal Balustrade/Pool Fence

PAVERS

RENDERED MASONRY

STEEL BEAM

STEEL COLUMN

STEEL PLATE

TIMBER CLADDING

TIMBER DOOR

TIMBER FLOOR

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REV	DESCRIPTION	DATE
D	For Information	20.09.21
E	For Information	27.09.21
F	For Information	22.11.21
G	DA Issue	17.12.21
H	Additional Information	30.03.22
I	Client Issue	31.03.22
J	Council Issue	07.04.22

House Manns

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Proposed Ground Floor Plan

Project number
Date
Drawn by
Scale

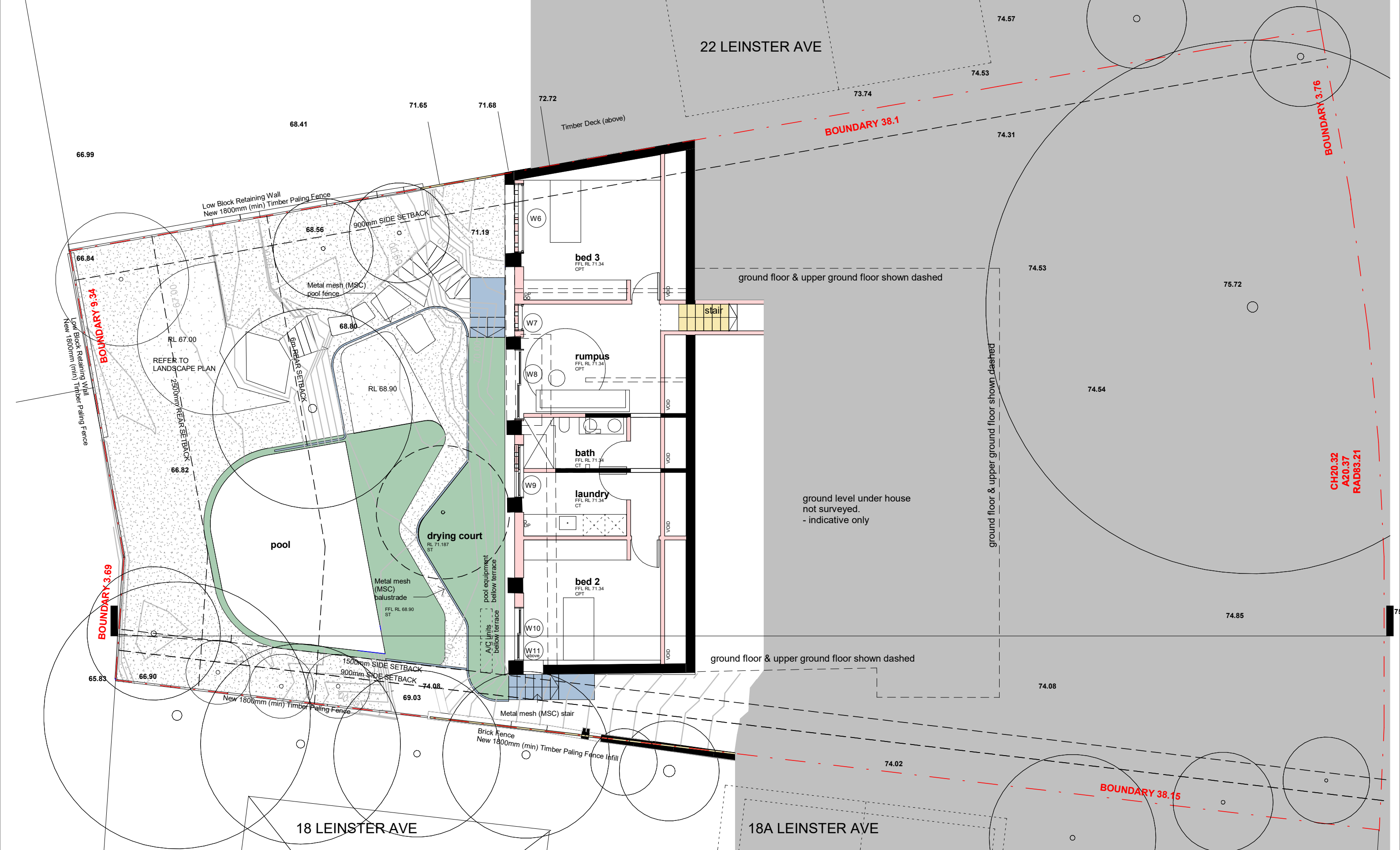
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GLASS

METAL

CONCRETE

TIMBER - PAINTED

MASONRY - FACE BRICK

ROOF TILE - TO MATCH EXISTING

LINE OF PROPOSED BUILDING

LINE OF EXISTING BUILDING TO BE DEMOLISHED

ROOF LINE OVER

28.52

28.54

28.54

EXISTING LEVELS RETAINED

EXISTING LEVELS MODIFIED

PROPOSED LEVELS

BT

CPT

CT

DP

FB

FBSC

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MDR

MSC

MBAL

PAV

RM

SB

SC

SP

TC

TD

TSF

BRICK TILE

CARPET

CERAMIC TILE

DOWN PIPE

FACE BRICKWORK

FACE BRICKWORK SCREEN

GUTTER

METAL DECK ROOF

METAL SCREENMESH

Metal Balustrade/Pool Fence

PAVERS

RENDERED MASONRY

STEEL BEAM

STEEL COLUMN

STEEL PLATE

TIMBER CLADDING

TIMBER DOOR

TIMBER FLOOR

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REV	DESCRIPTION	DATE
B	For Information	27.07.21
C	For Information	08.09.21
D	For Information	20.09.21
E	For Information	27.09.21
F	For Information	22.11.21
G	DA Issue	17.12.21
H	Council Issue	07.04.22

House Manns

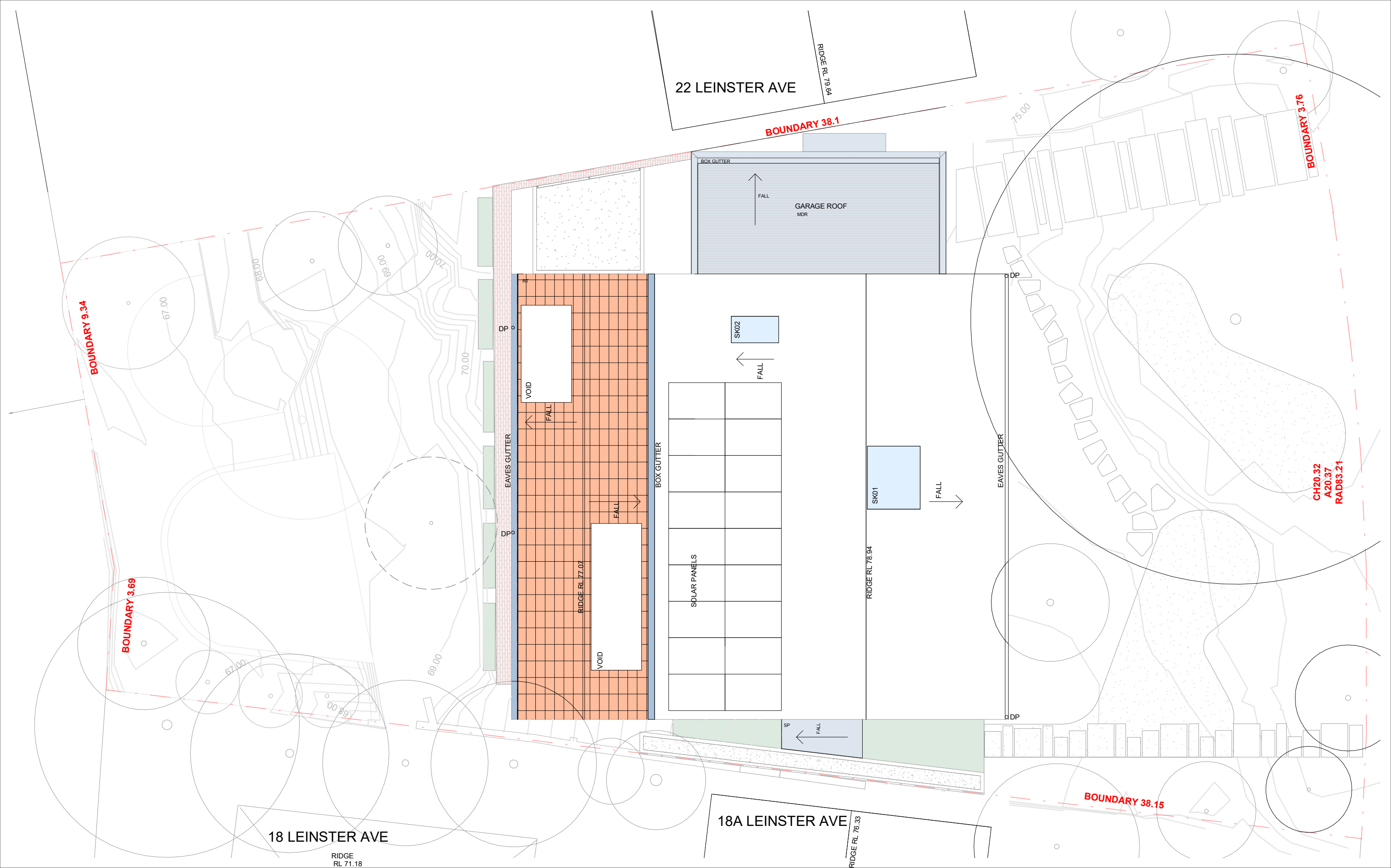
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Proposed Lower
Ground Floor Plan

Project number
Date
Drawn by
Scale

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GLASS

METAL

CONCRETE

TIMBER - PAINTED

MASONRY - FACE BRICK

ROOF TILE - TO MATCH EXISTING

LINE OF PROPOSED BUILDING

LINE OF EXISTING BUILDING TO BE DEMOLISHED

ROOF LINE OVER

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EXISTING LEVELS RETAINED

EXISTING LEVELS MODIFIED

PROPOSED LEVELS

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FBSC

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MDF

MSC

MBAL

PAV

RM

SB

SC

SP

TC

TD

TSF

BRICK TILE

CARPET

CERAMIC TILE

DOWN PIPE

FACE BRICKWORK

FACE BRICKWORK SCREEN

GUTTER

METAL DECK ROOF

METAL SCREEN/MESH

Metal Balustrade/Pool Fence

PAVERS

RENDERED MASONRY

STEEL BEAM

STEEL COLUMN

STEEL PLATE

TIMBER CLADDING

TIMBER DOOR

TIMBER FLOOR

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D	DA Issue	17.12.21
E	Council Issue	07.04.22

House Manns

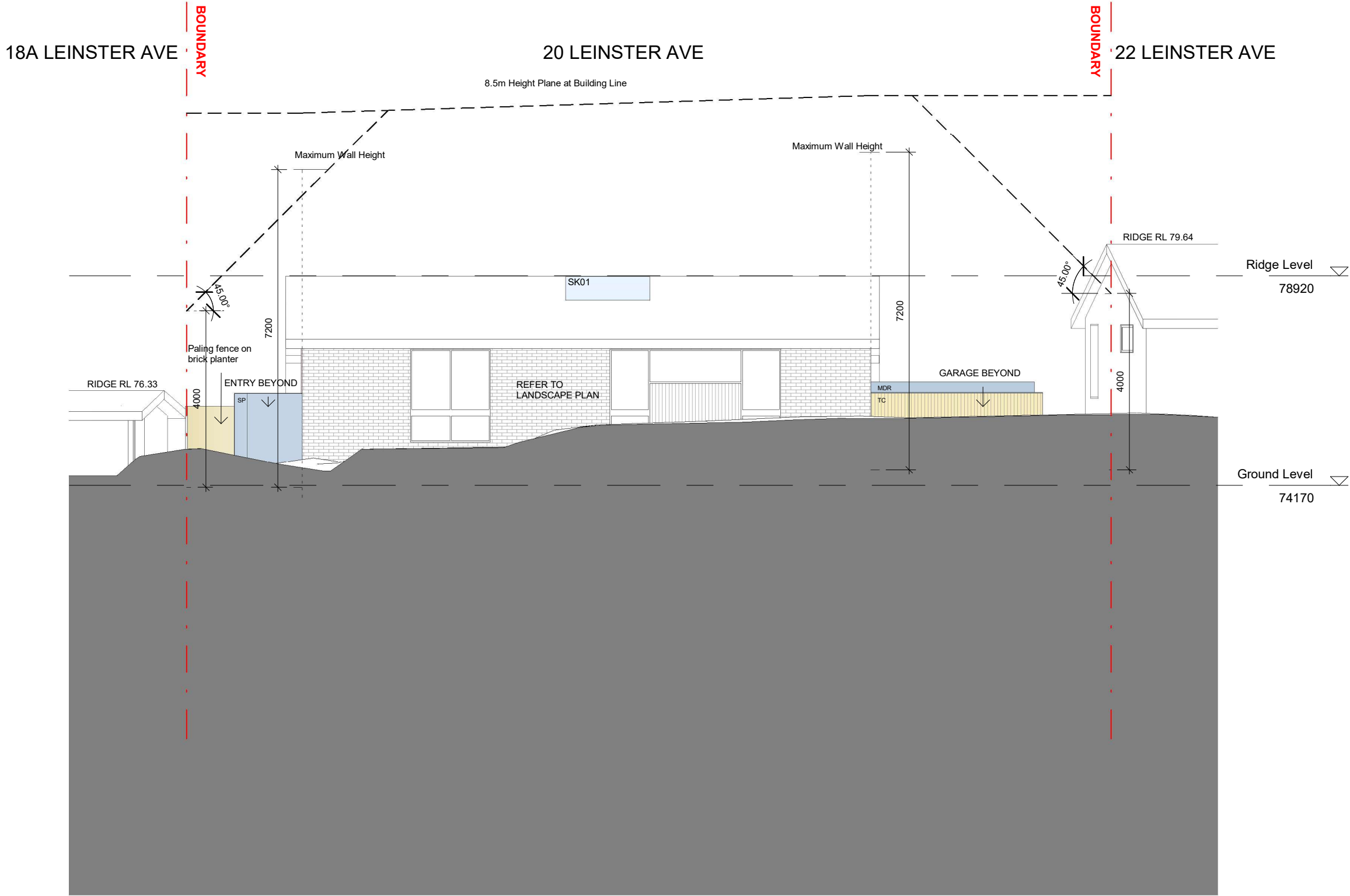
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Proposed Roof Plan

Project number
Date
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<div></div> METAL	28.54	EXISTING LEVELS MODIFIED	CPT	CARPET
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<div></div> TIMBER - PAINTED			DP	DOWN PIPE
<div></div> MASONRY - FACE BRICK			FB	FACE BRICKWORK
<div></div> ROOF TILE - TO MATCH EXISTING			FBSC	FACE BRICKWORK SCREEN
<div></div> LINE OF PROPOSED BUILDING			GL	GUTTER
<div></div> LINE OF EXISTING BUILDING TO BE DEMOLISHED			GU	GUTTER
<div></div> ROOF LINE OVER			MDF	METAL DECK ROOF
			MSC	METAL SCREEN/MESH
			MBAL	Metal Balustrade/Pool Fence
			PAV	PAVERS
			RM	RENDERED MASONRY
			SB	STEEL BEAM
			SC	STEEL COLUMN
			SP	STEEL PLATE
			TC	TIMBER CLADDING
			TD	TIMBER DOOR
			TSF	TIMBER FLOOR

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C	Council Issue	07.04.22

House Manns

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Proposed Street/South
Elevation

Project number
Date
Drawn by
Scale

026
June 2021
MG
1 : 100

026_DA_109

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<div></div> MASONRY - FACE BRICK			FB	FACE BRICKWORK
<div></div> ROOF TILE - TO MATCH EXISTING			FBSC	FACE BRICKWORK SCREEN
<div></div> LINE OF PROPOSED BUILDING			GL	GUTTER
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<div></div> ROOF LINE OVER			MSC	METAL SCREEN/MESH
			MBAL	Metal Balustrade/Pool Fence
			PAV	PAVERS
			RM	RENDERED MASONRY
			SB	STEEL BEAM
			SC	STEEL COLUMN
			SP	STEEL PLATE
			TC	TIMBER CLADDING
			TD	TIMBER DOOR
			TSF	TIMBER FLOOR

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House Manns

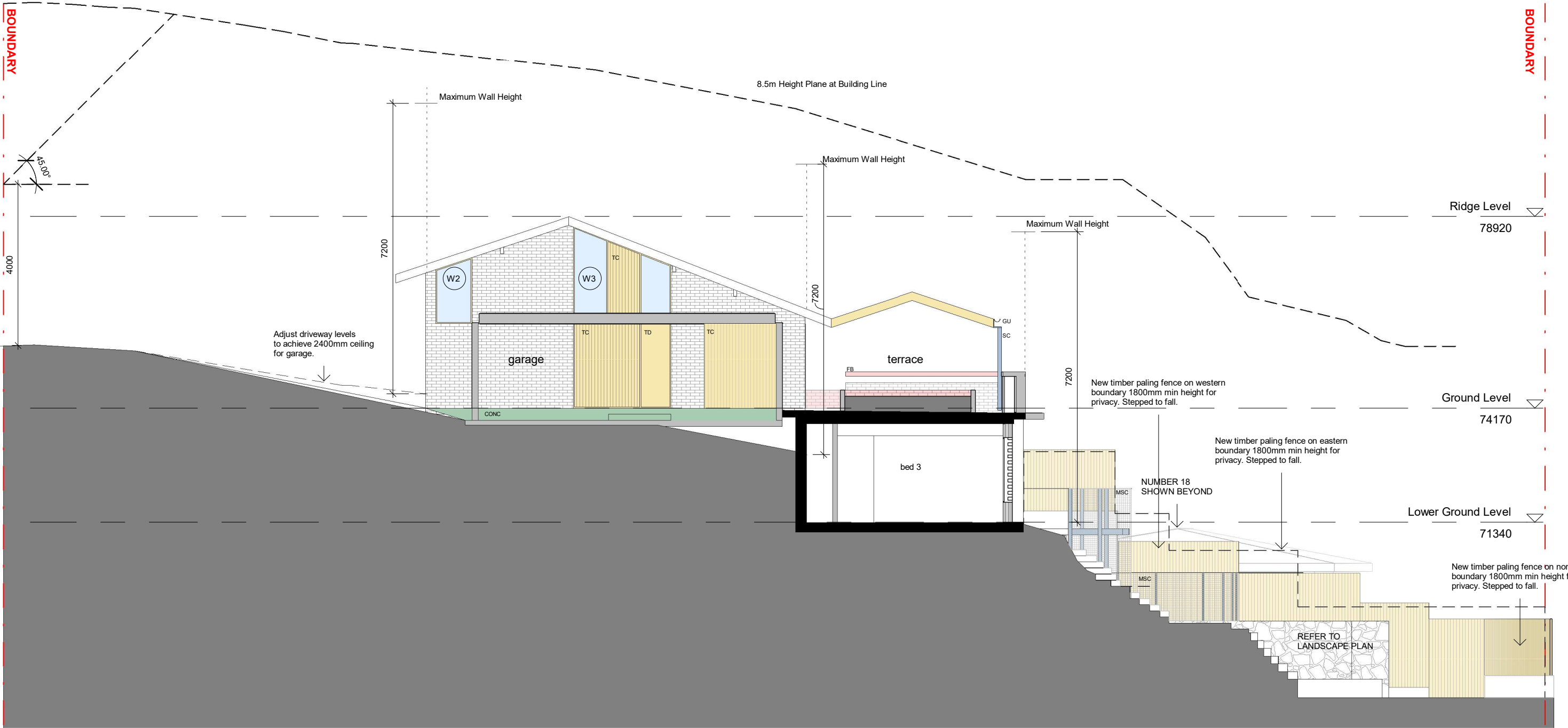
Clare & Kim Manns
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Proposed East
Elevation

Project number
Date
Drawn by
Scale

026
June 2021
MG
1 : 100

026_DA_110



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<div><div></div><div>ROOF TILE - TO MATCH EXISTING</div></div>			FBSC	FACE BRICKWORK SCREEN
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<div><div></div><div>LINE OF EXISTING BUILDING TO BE DEMOLISHED</div></div>			GU	GUTTER
<div><div></div><div>ROOF LINE OVER</div></div>			MDF	METAL DECK ROOF
			MSC	METAL SCREEN/MESH
			MBAL	Metal Balustrade/Pool Fence
			PAV	PAVERS
			RM	RENDERED MASONRY
			SB	STEEL BEAM
			SC	STEEL COLUMN
			SP	STEEL PLATE
			TC	TIMBER CLADDING
			TD	TIMBER DOOR
			TSF	TIMBER FLOOR

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House Manns

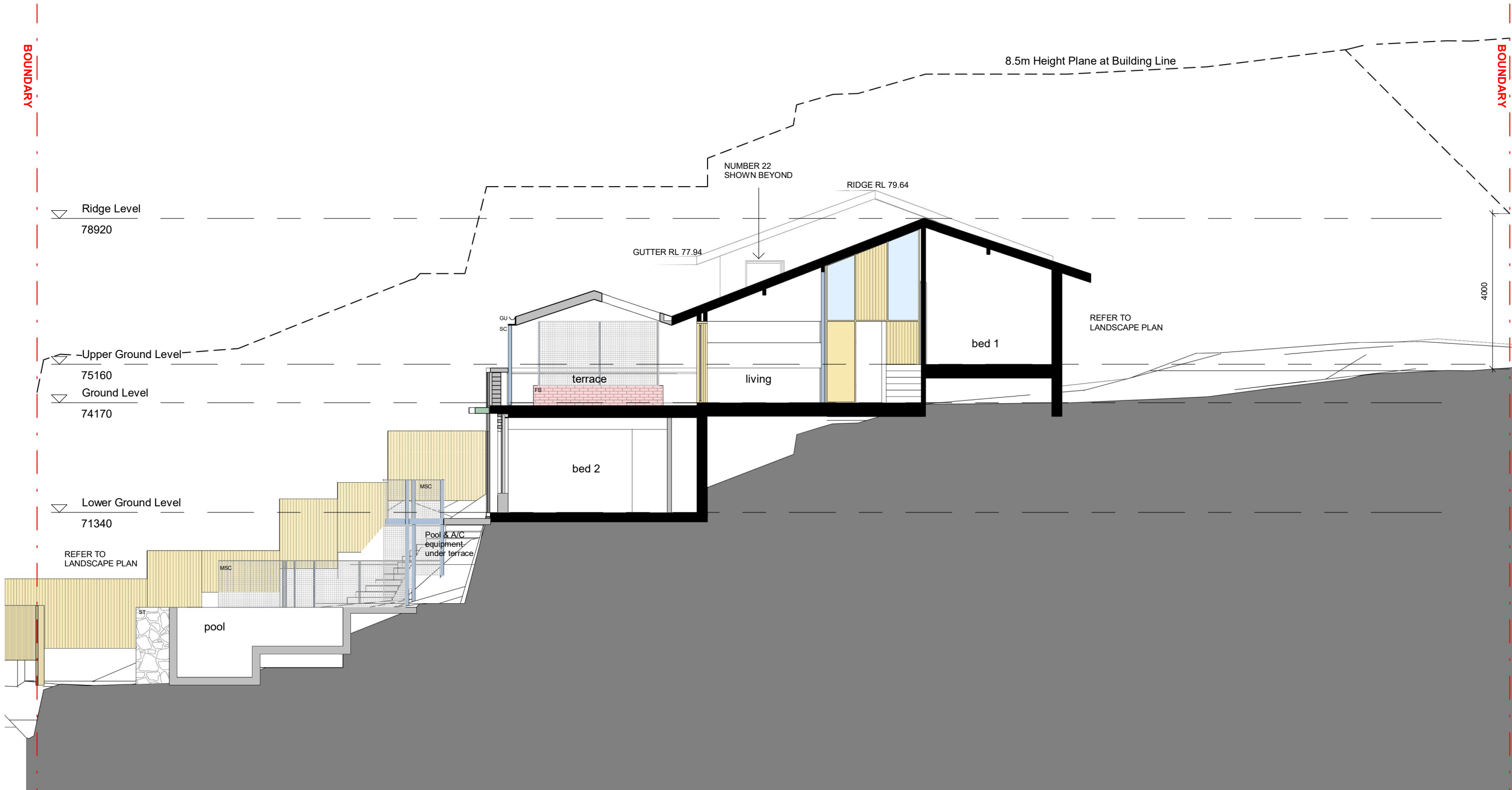
Clare & Kim Manns
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Proposed West
Elevation

Project number
Date
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Scale

026
June 2021
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026_DA_112



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GLASS	28.52	EXISTING LEVELS RETAINED	BT	BRICK TILE
METAL	28.54	EXISTING LEVELS MODIFIED	CPT	CARPET
CONCRETE	28.54	PROPOSED LEVELS	CT	CERAMIC TILE
TIMBER - PAINTED			DP	DOWN PIPE
MASONRY - FACE BRICK			FB	FACE BRICKWORK
ROOF TILE - TO MATCH EXISTING			FBSC	FACE BRICKWORK SCREEN
---			GL	GUTTER
---			GU	GUTTER
---			SC	STEEL COLUMN
---			SP	STEEL PLATE
---			TD	TIMBER DOOR
---			TSF	TIMBER FLOOR
---			MBAL	Metal Balustrade/Pool Fence
---			PAV	PAVERS
---			RM	RENDERED MASONRY
---			SB	STEEL BEAM
---			SC	STEEL COLUMN
---			SP	STEEL PLATE
---			TD	TIMBER DOOR
---			TSF	TIMBER FLOOR

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REV	DESCRIPTION	DATE
A	For Information	27.07.21
B	For Information	22.11.21
C	DA Issue	17.12.21
D	Council Issue	07.04.22

House Manns

Proposed Section

026_DA_113

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Project number
Date
Drawn by
Scale

026
June 2021
MG
1 : 100



Existing: Face brickwork (FB).



Existing: Timber cladding painted. New to match. Colour below (TC)



Existing: Mid tone grey roof tiles. New to match (RT)



Existing: Timber windows & doors painted. New to match. (photo not from subject site)



Precedent: Brick hit & miss screen (FBSC).



Precedent: Quilt of brick & tile infill of new into old (FB)



Precedent: Steel mesh balustrade & pool fence. To comply with AS3959-2009 & AS1932-2012 (MSC)



Colour: Painted timber & steel. Pale Green

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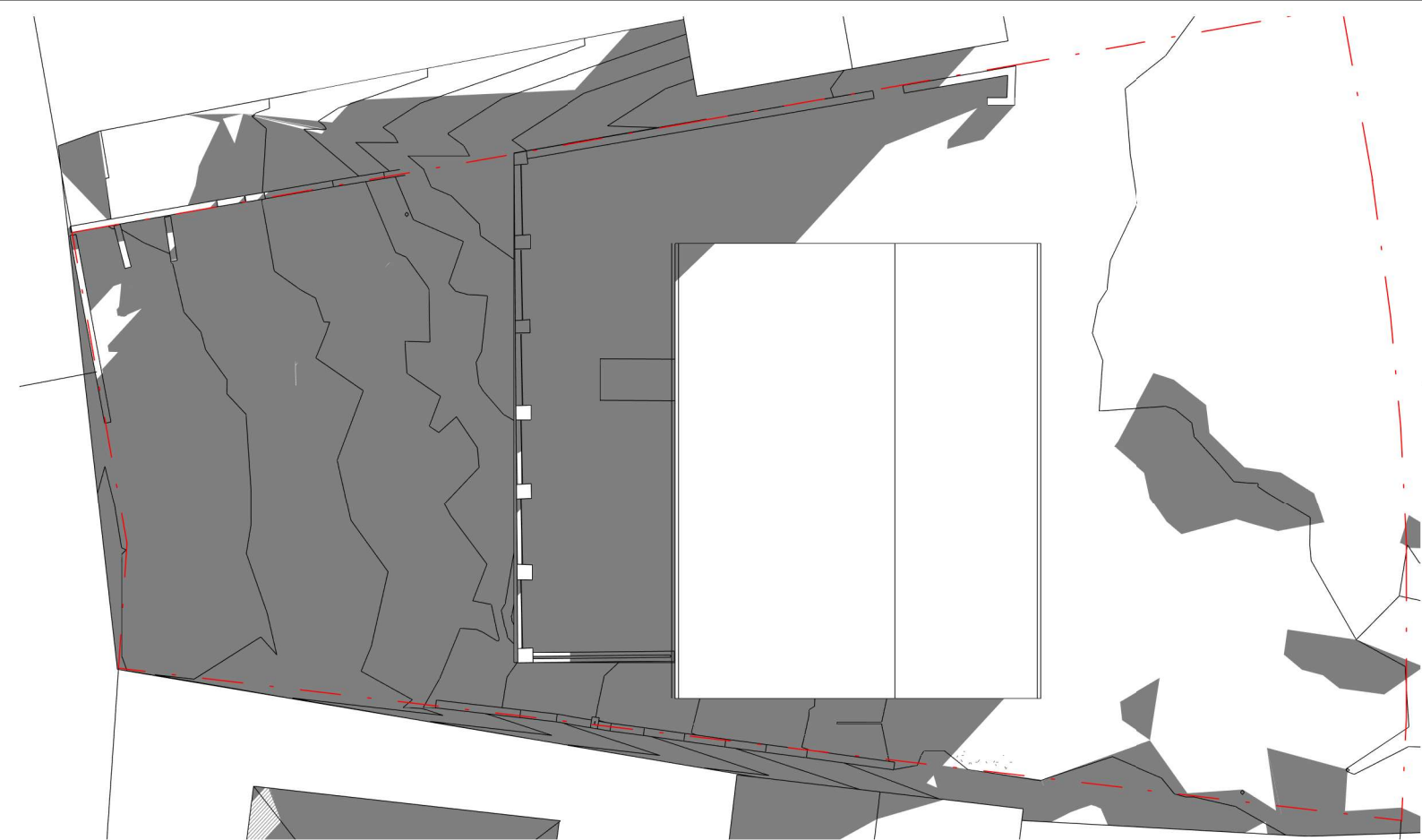
REV	DESCRIPTION	DATE
A	For Information	22.11.21
B	DA Issue	17.12.21

House Manns

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

External Materials & Finishes

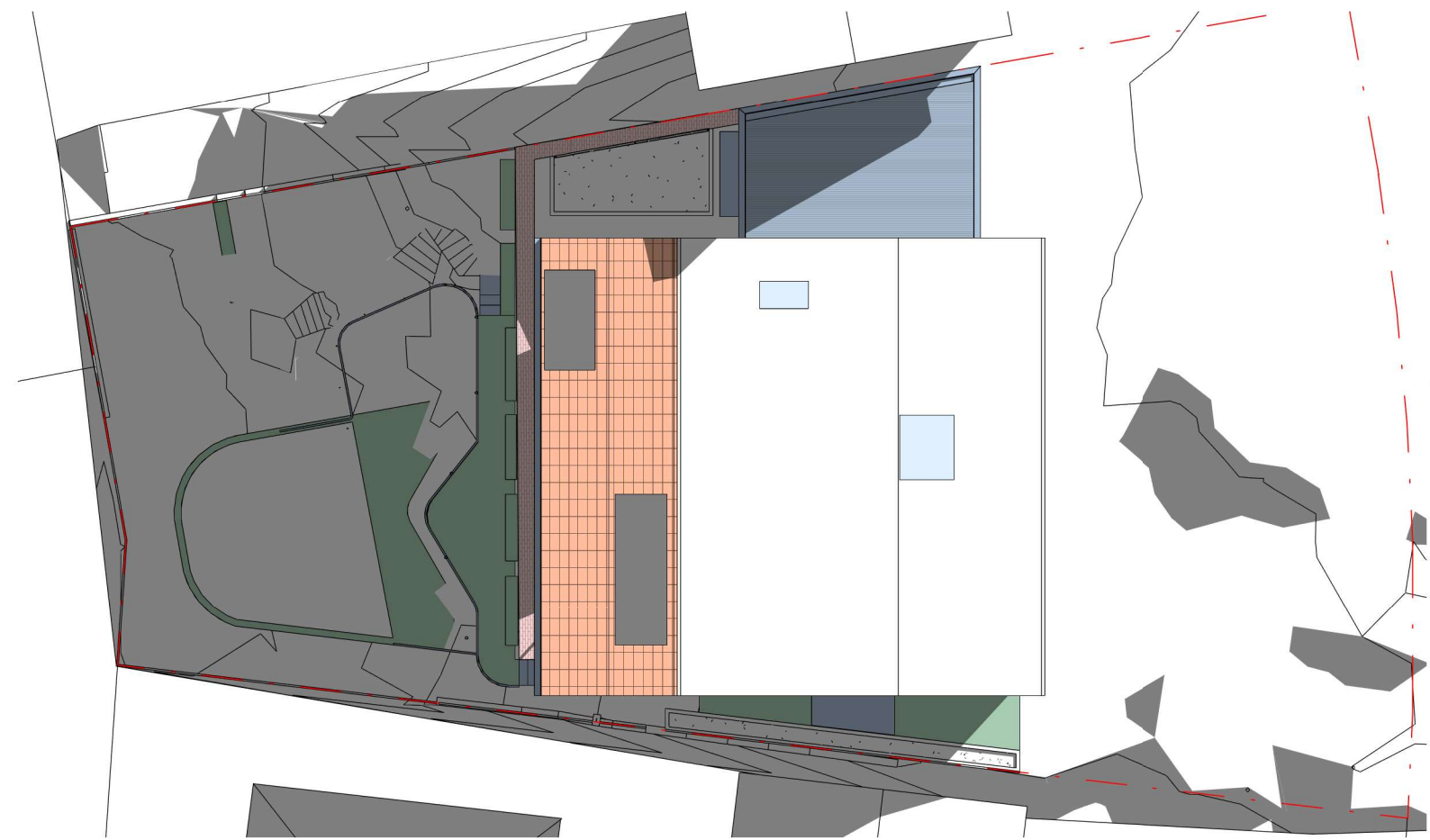
Project number	026
Date	June 2021
Drawn by	MG
Scale	



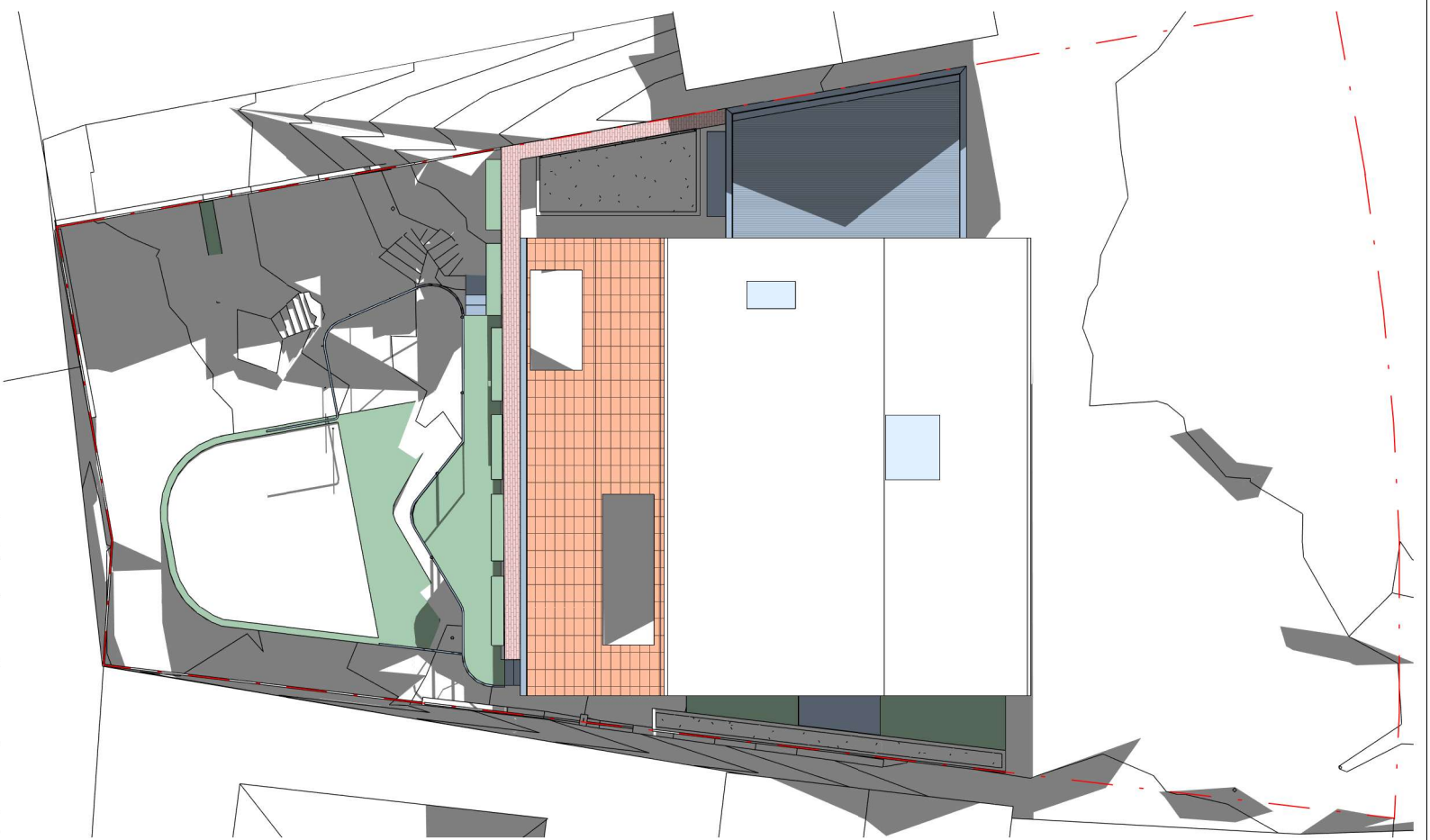
EXISTING JUNE 9AM



EXISTING JUNE 12PM



PROPOSED JUNE 9AM



PROPOSED JUNE 12PM

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REV	DESCRIPTION	DATE
A	For Information	22.11.21
B	DA Issue	17.12.21

House Manns

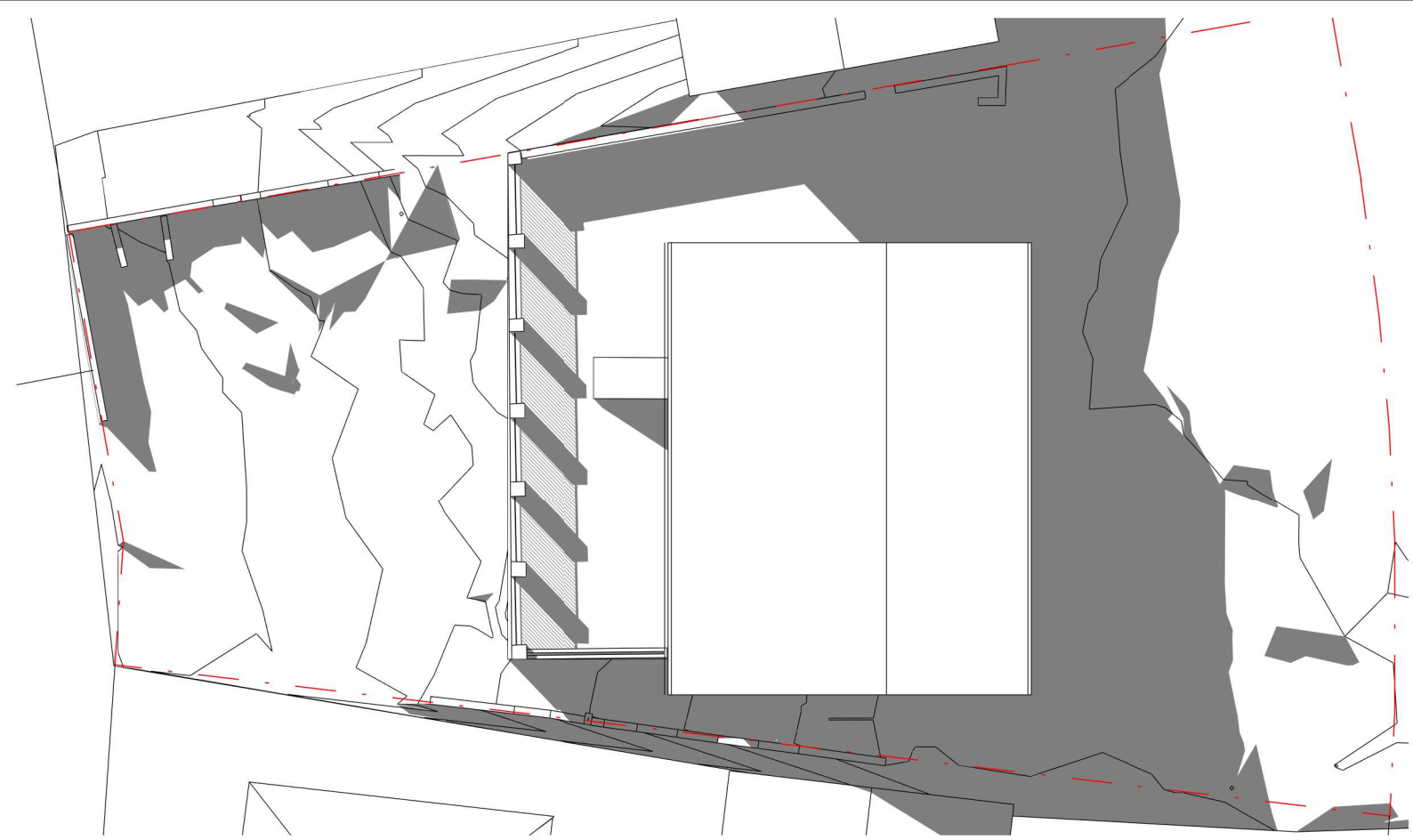
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Sun Shadows - March 9am & 12pm 026_DA_115

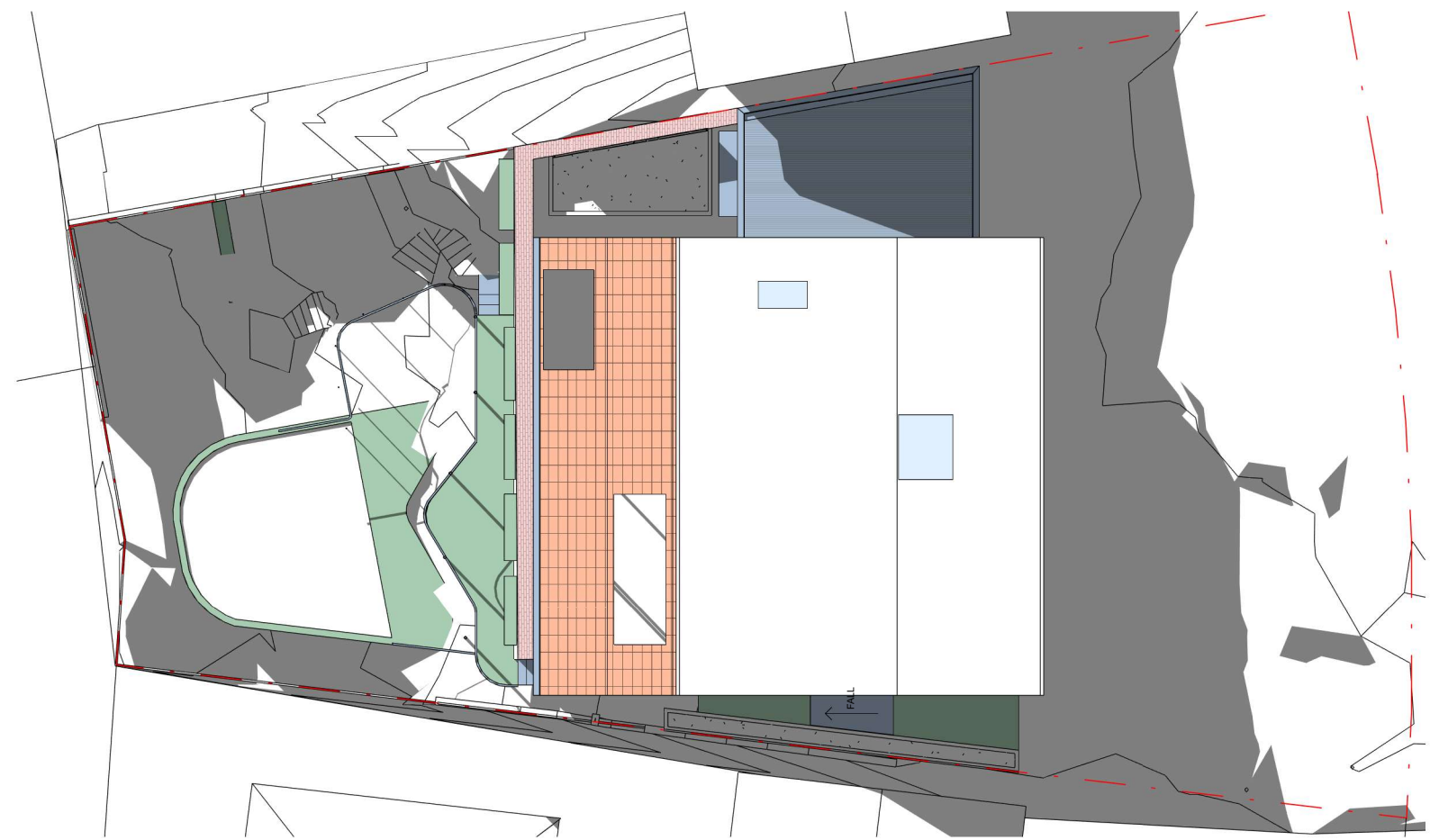
Project number
Date
Drawn by
Scale

026
June 2021
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EXISTING JUNE 3PM



PROPOSED JUNE 3PM

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REV	DESCRIPTION	DATE
A	For Information	22.11.21
B	DA Issue	17.12.21

House Manns

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Sun Shadows - March 3pm

Project number
Date
Drawn by
Scale

026
June 2021
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1 : 200

026_DA_116





EXISTING LANDSCAPE AREA



PROPOSED LANDSCAPE AREA

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REV	DESCRIPTION	DATE
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B	DA Issue	17.12.21

House Manns

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20 Leinster Avenue
Killarney Heights 2087

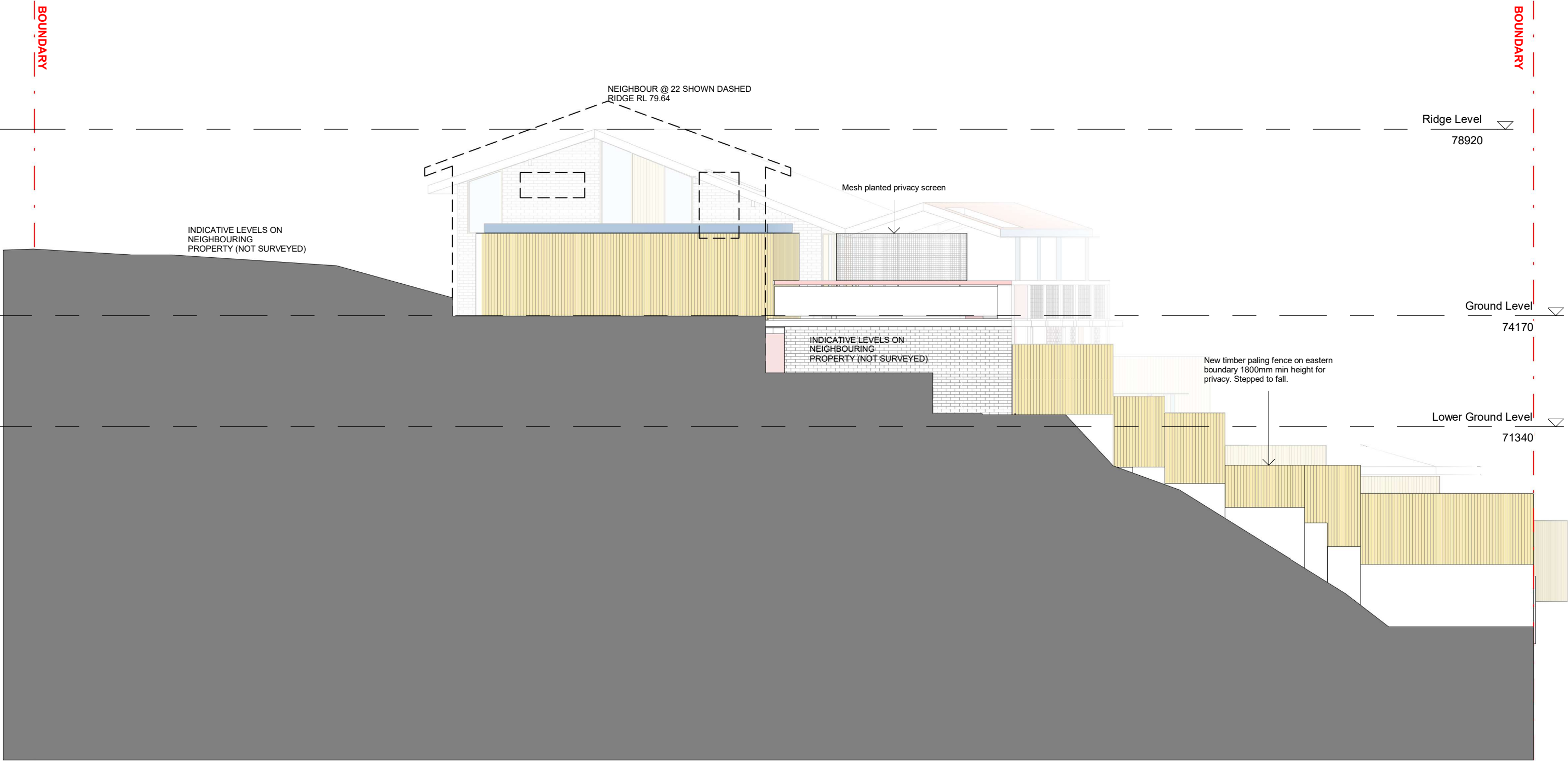
Landscape Areas

Project number
Date
Drawn by
Scale

026
June 2021
MG
1 : 200

026_DA_117





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REV	DESCRIPTION	DATE
A	Council Site Visit	08.03.22
B	Council Issue	07.04.22

House Manns

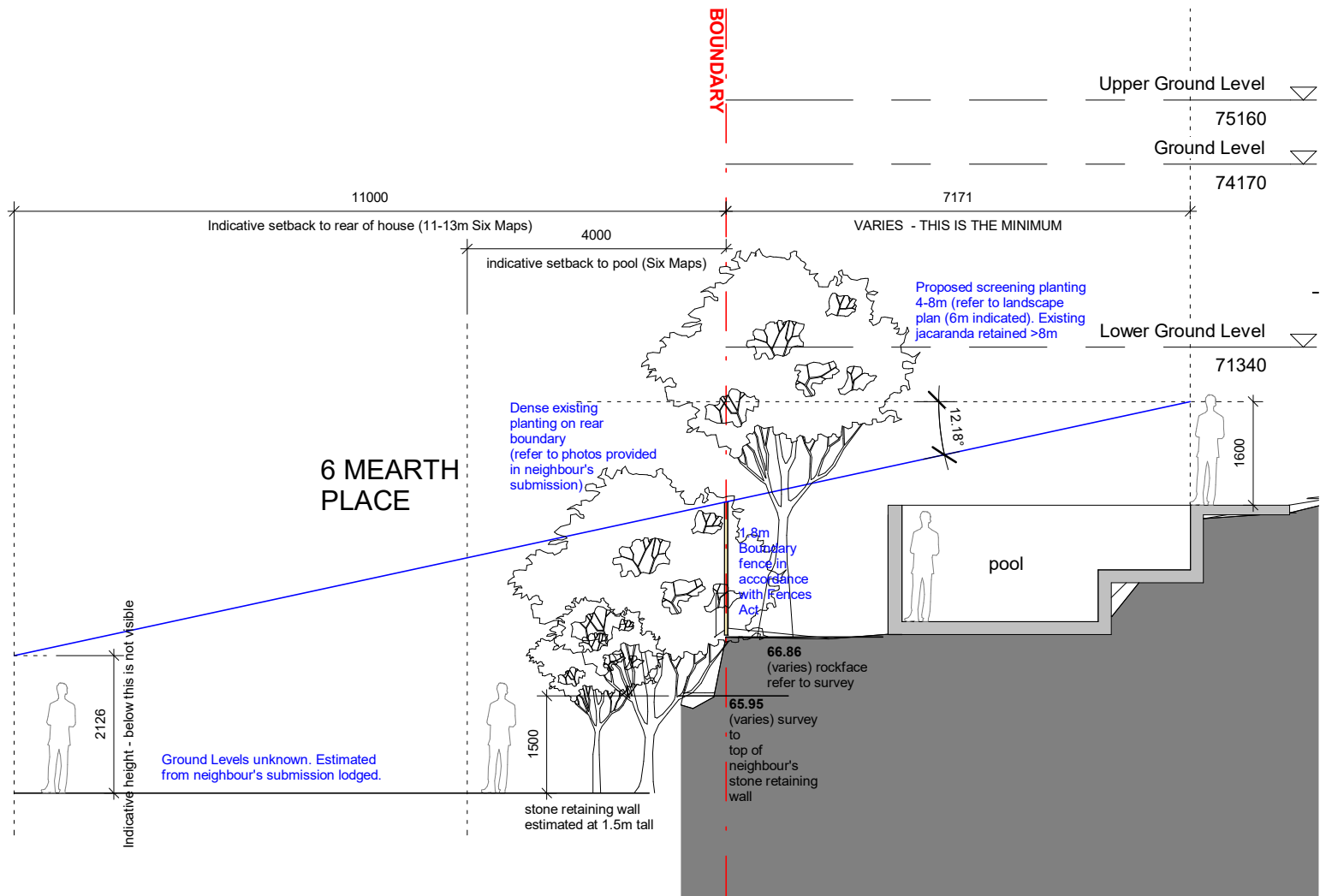
Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Eastern Boundary
Elevation

Project number
Date
Drawn by
Scale

026
June 2021
MG
1 : 100

026_DA_119



SECTION: VIEW ANALYSIS OF PROPOSED POOL



6 MEATH PLACE: PHOTO SUBMITTED AS PART OF SUBMISSION PREPARED BY PLANNING PROGRESS



PLAN: INDICATIVE SETBACKS RELATING TO POOL

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REV	DESCRIPTION	DATE
A	Additional Information	25.03.22
B	Council Issue	07.04.22

House Manns

Clare & Kim Manns
20 Leinster Avenue
Killarney Heights 2087

Pool view analysis

Project number
Date
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026_DA_120