

WINDOW SCHEDULE												
Mark	Description	Material	Frame Colour	Head Height	Height	Width	Manufacturer	Glazing	U-Value	SHGC	Room Location	Comments
W1	Aluminum Fixed Window	Aluminium	Surfmist	2400	1370	490	Stegbar	6.38mm Comforplus Neutral	4.9	0.41	Living/Kitchen	Sill height to be confirmed prior to installation
W2	Aluminum Fixed Window	Aluminium	Surfmist	1630	600	4100	Stegbar	6.38mm Comforplus Neutral	4.9	0.41	Living/Kitchen	Sill height to be confirmed prior to installation
W3	Aluminum Awning Window	Aluminium	Surfmist	2143	1200	610	Stegbar	6.38mm Obscure Laminate	6.44	0.75	Ensuite	
W4	Aluminum Fixed Window	Aluminium	Surfmist	2143	1370	850	Stegbar	6.38mm Obscure Laminate	6.44	0.75	Ensuite	Size to be confirmed on site prior to ordering

GROSS FLOOR AREA	
NAME	AREA
GRANNY FLAT GFA	60.00 m <sup>2</sup>

**NATHERS NOTES: Certificate No: 0005842968-01**

- N1. R2.5 INSULATION TO EXTERNAL WALLS**
- N2. R4.1 INSULATION TO GARAGE CEILING**
- N3. KINGSPAN METAL OUTER LAYER SANDWICH PANEL WITH MIN. R4.1 TOTAL R-VALUE**
- N4. R2.5 INSULATION TO ALL INTERNAL WALLS**
- N5. ALL DOWNLIGHTS INSTALLED ARE TO BE SEALED TO ENABLE INSULATION TO BE UNINTERRUPTED**
- N6. ALL EXHAUST FANS INSTALLED ARE TO BE FITTED WITH A DAMPER**
- N7. ENSURE U-VALUES AND SHGC VALUES FOR ALL WINDOWS AND DOORS ARE COMPLIANT WITH THE NATHERS CERTIFICATE**
- N8. ANY MODIFICATION OF WINDOW TYPES OR MANUFACTURER WILL REQUIRE THE NATHERS CERTIFICATE TO BE UPDATED**

**BASIX NOTES: Certificate No. A412632**

**LIGHTING:**

- A MINIMUM OF 40% OF NEW LIGHT FIXTURES TO BE LED OR FLUORO FITTINGS

**FIXTURES:**

- 3 STAR (<9.0L/min) SHOWERHEADS
- 4 STAR TOILETS
- 4 STAR KITCHEN TAPS
- 4 STAR BATHROOM TAPS

**WINDOWS & GLAZED DOORS:**

- ALL WINDOWS & GLAZED DOORS TO COMPLY WITH THE GLAZING SCHEDULE IN THE BASIX ASSESSMENT AND THE WINDOW & DOOR SCHEDULES



**5.5**  
NATIONWIDE  
**HOUSE**  
PROPERTY BUILDING AGENCY

**57.7**  
MJM

[www.nathaw.gps.au](http://www.nathaw.gps.au)

**0005842968-01 07 Apr 2021**

**Assessor**  
Reginald Hawkins  
20012

**Accreditation No.**  
Unit 6/Flat, 71 Alexandra  
Crescent, Bayview, NSW,  
2104

**www.hstar.com.au**





**NSW 1.1.4 Heat alarms**

(a) A heat alarm must be installed in a *private garage* that is not associated with and located below, a *garage top dwelling*.

(b) A heat alarm required by (a) must—

- (i) be located on or near the ceiling; and
- (ii) comply with AS 1603.3; and
- (iii) be connected to the consumer mains power supplying the *garage top dwelling* where consumer mains power is supplied to the building; and
- (iv) be interconnected to and activate the *garage top dwelling* smoke alarms required by 3.7.5.3.

(c) Notice must be permanently fixed to the *garage top dwelling* and non-associated *private garage* in prominent locations, indicating that—

- (i) a heat alarm is installed in the non-associated *private garage*; and
- (ii) the heat alarm is interconnected to the *garage top dwelling* smoke alarms.

**General Notes:**

1. LEVELS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE BEFORE WORK COMMENCES.
2. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING. IF UNSURE OR IF THE DIMENSION YOU ARE SEEKING CANNOT BE FOUND, PLEASE ASK.
3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED AND ARE TO BE VERIFIED BEFORE WORK COMMENCES.
4. FINAL DOOR & WINDOW SCHEDULES TO BE VERIFIED BY CLIENT AND BUILDER PRIOR TO ORDERING. IF ANSWERS NEED TO BE MODIFIED, PLEASE ADVISE ASAP AS THIS MAY IMPACT THE NATHERS RATING AND/OR BASIS ASSESSMENT.
5. HOME GUARD TERMITE BARRIER TO BE USED UNLESS OTHERWISE STATED.
6. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT AUSTRALIAN STANDARDS.
7. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT NATHERS HOME ENERGY RATING AND BASIS ASSESSMENT.
8. ALL PLANS ARE SUBJECT TO COPYRIGHT AND ARE NOT TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF REGGIE'S RESIDENTIAL DESIGN & DRAFTING.

[illegible]

Client: MR & MRS WAKEFORD

Project:  
PROPOSED ALTERATIONS,  
GRANNY FLAT & POOL

Address:  
71 ALEXANDRA CRESCENT BAYVIEW NSW  
2104

Lot:	Sec:	DP:	Area:
20	-	DP11186	1201 m <sup>2</sup>

LGA: NORTHERN BEACHES COUNCIL

Sheet No: **A101**


Sheet Name:  
PROPOSED GARAGE FLOOR PLAN &  
LOWER FLOOR PLAN

Scale: 1 : 100	Drawn: RH	Issue: F
Job No: 2752	Size: A1	Date: 6/10/2020

# REGGIE'S

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ABN: 39 260 639 299



northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/0416**



- WEATHER SEALS TO ALL EXTERNAL DOORS & WINDOWS AS WELL AS ANY DOORS WHICH CONNECT TO A PORCH OR TERRACE AREA
- ANY DOWNPPIPE LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE BEFORE WORK COMMENCES
- ANY ARTICULATION JOINTS SHOWN ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON DOORS OR WINDOWS WHERE POSSIBLE
- REFER TO NATHERS AND BASIX NOTES WHERE APPLICABLE AND ENSURE COMPLIANCE CAN BE ACHIEVED BEFORE WORK COMMENCES
- IT IS RECOMMENDED THAT ALL ROOM WALLS BE FITTED WITH NOGGINGS TO ALLOW FUTURE INSTALLATION OF HANDRAILS & TOWEL RAILS

1. R2.5 INSULATION TO EXTERNAL WALLS
2. R4.1 INSULATION TO GARAGE CEILING
3. SHGC PAN METAL EXTERIOR LAYER SANDWICH PANEL WITH MIN. R4.1 TOTAL R-VALUE
4. R2.5 INSULATION TO ALL INTERNAL WALLS
5. ALL DOWNLIGHTS INSTALLED ARE TO BE SEALED TO ENABLE INSULATION TO BE UNINTERRUPTED
6. ALL EXHAUST FANS INSTALLED ARE TO BE FITTED WITH A DAMPER
7. ENSURE U-VALUES AND SHGC VALUES FOR ALL WINDOWS AND DOORS ARE COMPLIANT WITH THE NATHERS CERTIFICATE OF EFFICIENCY. IF THE WINDOW OR MANUFACTURER WILL REQUIRE THE NATHERS CERTIFICATE TO BE UPDATED

LANDSCAPE:  
• A MINIMUM OF 90m<sup>2</sup> OF INDIGENOUS OR LOW WATER USE VEGETATION SPECIES MUST BE PLANTED ACROSS THE SITE

FIXTURES:  
• 3 STAR (+9.0L/min) SHOWERHEADS  
• 4 STAR TOILETS  
• 4 STAR KITCHEN TAPS  
• 4 STAR BATHROOM TAPS

ALTERNATIVE WATER:  
• MIN. 2000L RAIN WATER TANK WITH A MINIMUM OF 30m<sup>2</sup> OF ROOF AREA DIVERTED TO IT  
• WATER TANK TO BE CONNECTED TO ALL TOILETS PLUS AT LEAST ONE OUTDOOR TAP

POOL & SPA:  
• NO POOL GREATER THAN 40KL IS TO BE INSTALLED

HERMAL COMFORT:  
• SEE NATHERS CERTIFICATE 0005842968-01

ENERGY:  
HOT WATER:  
• MIN. 5-STAR GAS INSTANTANEOUS HOT WATER SYSTEM  
HEATING & COOLING:  
• 1 PHASE AIR CONDITIONING TO ALL LIVING ROOMS AND BEDROOMS (MIN. 3.0 STAR ENERGY RATING - OLD SYSTEM)  
• CEILING FANS TO BE INSTALLED TO BEDROOM & KITCHEN/LIVING

VENTILATION:  
• BATHROOM EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH  
• NO TOILETS/BATHROOMS NEED TO BE NATURALLY LIT BY EITHER A WINDOW OR SKYLIGHT  
• LAUNDRY EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH

LIGHTING:  
• WINDOW AND/OR SKYLIGHT TO BE INSTALLED TO KITCHEN  
• NO TOILETS/BATHROOMS NEED TO BE NATURALLY LIT BY EITHER A WINDOW OR SKYLIGHT  
• ALL ROOMS IN ALL UNITS TO BE PRIMARILY LIT (MINIMUM 80% OF LIGHT FIXTURES BY FLUORESCENT OR LED LAMPS)

POOL & SPA:  
• NO POOL GREATER THAN 40KL IS TO BE INSTALLED  
ALTERNATIVE ENERGY:  
• A MINIMUM 1.5KW PV SYSTEM TO BE INSTALLED

OTHER:  
• GAS COOKTOP & ELECTRIC OVEN  
• WELL VENTILATED FRIDGE SPACE IS NOT REQUIRED  
• AN OUTDOOR CLOTHESLINE IS NOT REQUIRED  
• AN INDOOR/SHELTERED CLOTHESLINE IS NOT REQUIRED

- LIGHTING:**
  - A MINIMUM OF 40% OF NEW LIGHT FIXTURES TO BE LED OR FLUORO FITTINGS
- FIXTURES:**
  - 3 STAR (<9.0L/min) SHOWERHEADS
  - 4 STAR TOILETS
  - 4 STAR KITCHEN TAPS
  - 4 STAR BATHROOM TAPS
- WINDOWS & GLAZED DOORS:**
  - ALL WINDOWS & GLAZED DOORS TO COMPLY WITH THE GLAZING SCHEDULE IN THE BASIX ASSESSMENT AND THE WINDOW & DOOR SCHEDULES



1. LEVELS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE BEFORE WORK COMMENCES.
2. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING, IF UNSURE OR IF THE DIMENSION YOU ARE SEEKING CANNOT BE FOUND, PLEASE ASK.
3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED AND ARE TO BE VERIFIED BEFORE WORK COMMENCES.
4. FINAL DOOR & WINDOW SCHEDULES TO BE PROVIDED BY CLIENT PRIOR TO ORDERING. IF WINDOWS NEED TO BE MODIFIED, PLEASE ADVISE ASAP AS THIS MAY IMPACT THE NATHERS RATING AND/OR BASIX ASSESSMENT.
5. HOMEGUARD TERMITE BARRIER TO BE USED UNLESS OTHERWISE STATED.
6. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT AUSTRALIAN STANDARDS.
7. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT NATHERS HOUSE ENERGY RATING AND/OR BASIX ASSESSMENT.
8. ALL DOCUMENTS ARE SUBJECT TO COPYRIGHT AND ARE NOT TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF REGGIE'S RESIDENTIAL DESIGN & DRAFTING.

Client: MR & MRS WAKEFORD

LGA: NORTHERN BEACHES COUNCIL

Sheet Name:  
PROPOSED MIDDLE FLOOR PLAN &  
UPPER FLOOR PLAN

**REGGIE'S**  
**RESIDENTIAL DESIGN & DRAFTING**  
*"SPECIALISING IN EXCLUSIVE LUXURY HOMES"*

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**THIS PLAN IS TO BE READ IN  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/0416**





**General Notes:**

1. LEVELS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE BEFORE WORK COMMENCES.
2. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING. IF UNSURE OR IF THE DIMENSION YOU ARE SEEKING CANNOT BE FOUND, PLEASE ASK.
3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED AND ARE TO BE VERIFIED BEFORE WORK COMMENCES.
4. FINAL DOOR & WINDOW SCHEDULES TO BE VERIFIED BY CLIENT AND BUILDER PRIOR TO ORDERING. IF WINDOWS NEED TO BE MODIFIED, PLEASE ADVISE ASAP AS THIS MAY IMPACT THE WINDOWS RATING AND/OR BASIS ASSESSMENT.
5. HALF BARD TERMINATE BARRIER TO BE USED UNLESS OTHERWISE STATED.
6. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT AUSTRALIAN STANDARDS.
7. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT WINDOWS HOUSE ENERGY RATING BASIS ASSESSMENT.
8. ALL PLANS ARE SUBJECT TO COPYRIGHT AND ARE NOT BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF REGGIE'S RESIDENTIAL DESIGN & DRAFTING.

Client: MR & MRS WAKEFORD

Address:  
71 ALEXANDRA CRESCENT BAYVIEW NSW  
2104

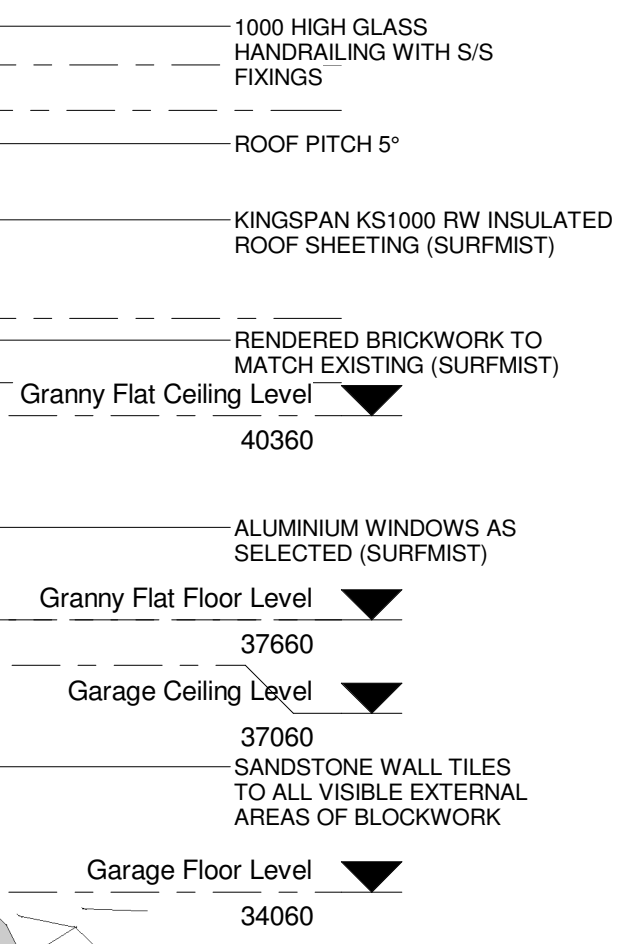
LGA: NORTHERN BEACHES COUNCIL

Sheet Name:  
PROPOSED ELEVATIONS

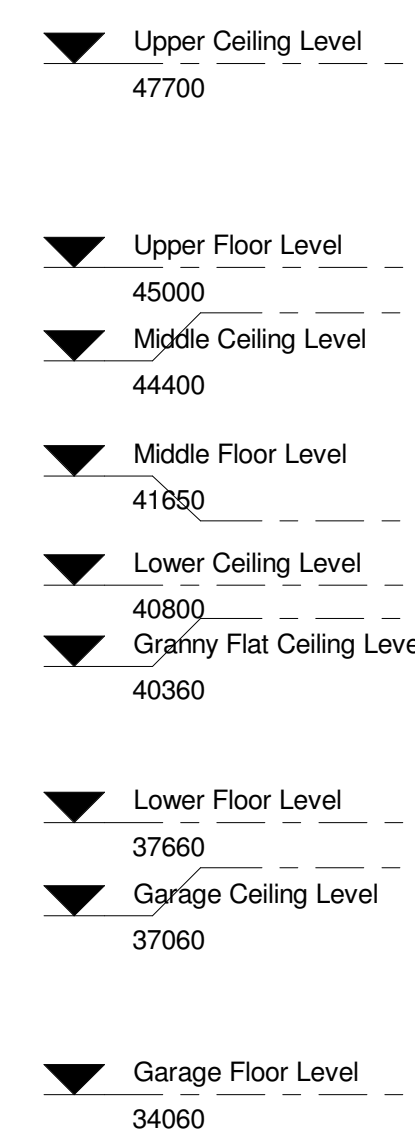
Scale: 1 : 100	Drawn: RH	Issue: F
Job No: 2752	Size: A1	Date: 6/10/2020

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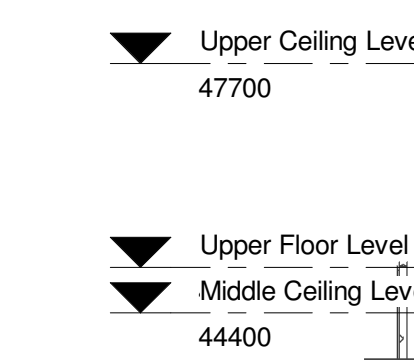
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1 : 100



1



2 PROBLEM 1 : 100





- NATHERS NOTES:** Certificate No. 0005842968-01
- 1. R2.5 INSULATION TO EXTERNAL WALLS
  - 2. R4.1 INSULATION TO GARAGE CEILING
  - 3. KINGSPAN METAL OUTER LAYER SANDWICH PANEL WITH MIN. R4.81 TOTAL R-VALUE
  - 4. R2.5 INSULATION TO R.1 INTERNAL WALLS
  - 5. ALL DOWNLIGHTS INSTALLED ARE TO BE SEALED TO ENABLE INSULATION TO BE UNINTERRUPTED
  - 6. ALL EXHAUST FANS INSTALLED ARE TO BE FITTED WITH A DAMPER
  - 7. ENSURE U-VALUES AND SHGC VALUES FOR ALL WINDOWS AND DOORS ARE IN COMPLIANCE WITH THE NATHERS CERTIFICATE
- ANY MODIFICATION OF WINDOW TYPE OR MANUFACTURER WILL REQUIRE THE NATHERS CERTIFICATE TO BE UPDATED.

- BASIX NOTES: Certificate No: A412632**
- LIGHTING:**
- A MINIMUM OF 40% OF NEW LIGHT FIXTURES TO BE LED OR FLUORO FITTINGS
- FIXTURES:**
- 3 STAR (<9.0L/min) SHOWERHEADS
  - 4 STAR TOILETS
  - 4 STAR KITCHEN TAPS
  - 4 STAR BATHROOM TAPS
- WINDOWS & GLAZED DOORS:**
- ALL WINDOWS & GLAZED DOORS TO COMPLY WITH THE GLAZING SCHEDULE IN THE BASIX ASSESSMENT AND THE WINDOW & DOOR SCHEDULES

- BASIC NOTES: Certificate No: 1191672S\_02**
- WATER:**
- LANDSCAPE:**
- \* A MINIMUM OF 30m² OF INDIGENOUS OR LOW WATER USE VEGETATION SPECIES
- MUST BE PLANTED ACROSS THE SITE**
- FIXTURES:**
- \* 3 STAR (<9.0L/min) SHOWERHEADS
  - \* 4 STAR TOILETS
  - \* 4 STAR KITCHEN TAPS
  - \* 4 STAR BATHROOM TAPS
- ALTERNATIVE WATER:**
- \* MIN. 2000L RAIN WATER TANK WITH A MINIMUM OF 30m² OF ROOF AREA
  - \* DIVERTED TO IT
  - \* WATER TANK TO BE CONNECTED TO ALL TOILETS PLUS AT LEAST ONE OUTDOOR TAP
- POOL & SPA:**
- \* NO POOL GREATER THAN 40KL IS TO BE INSTALLED
- THERMAL COMFORT:**
- \* SEE NATHERS CERTIFICATE 0005842968-01
- ENERGY:**
- HOT WATER:**
- \* MIN. 5 STAR GAS INSTANTANEOUS HOT WATER SYSTEM
- HEATING & COOLING:**
- \* 1 PHASE AIR CONDITIONING TO ALL LIVING ROOMS AND BEDROOMS (MIN. 3.0
  - \* STAR ENERGY RATING - OLD SYSTEM)
  - \* CEILING FANS TO BE INSTALLED TO BEDROOM & KITCHEN/LIVING
- VENTILATION:**
- \* BATHROOM EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH
  - \* BATHROOM EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH
  - \* LAUNDRY EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH
- LIGHTING:**
- \* WINDOW AND/OR SKYLIGHT TO BE INSTALLED TO KITCHEN
  - \* NO TOILETS/BATHROOMS NEED TO BE NATURALLY LIT BY EITHER A WINDOW OR SKYLIGHT
  - \* ALL ROOMS IN ALL UNITS TO BE PRIMARILY LIT (MINIMUM 80% OF LIGHT FIXTURES BY FLUORESCENT OR LED LAMPS
- POOL & SPA:**
- \* NO POOL GREATER THAN 40KL IS TO BE INSTALLED
- ALTERNATIVE ENERGY:**
- \* A MINIMUM 1.5KW PV SYSTEM TO BE INSTALLED
- OTHER:**
- \* GAS COOKTOP & ELECTRIC OVEN
  - \* WELL VENTILATED FRIDGE SPACE IS NOT REQUIRED
  - \* AN OUTDOOR CLOTHESLINE IS NOT REQUIRED
  - \* AN UNCOVERED/HELTFED CLOTHESLINE IS NOT REQUIRED

- 1. FALLS, SLIPS & TRIPS**  
**a) WORKING AT HEIGHTS**  
**DURING CONSTRUCTION**  
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than two meters. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two meters is a possibility.  
**DURING OPERATION OR MAINTENANCE**  
For houses or other low-rise buildings where scaffolding is appropriate:  
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislations.  
For buildings where scaffold, ladders, trestles are not appropriate:  
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.
- b) SLIPPERY OR UNEVEN SURFACES**  
**FLOOR FINISHES** - Specified  
If finishes have been specified by designer, these have been selected to minimize the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.  
**FLOOR FINISHES** - By Owner  
If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586:2004.  
**STEPS, LOOSE OBJECTS AND UNEVEN SURFACES**  
Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.  
Building owners and occupiers should monitor the pedestrian access ways in particular access to areas where maintenance is routinely carried out. If a loose object or material is found on the floor, it should be removed so that they become uneven and present a trip hazard. Spills, loose material stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.  
Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

- ## 2. FALLING OBJECTS
- ### LOOSE MATERIALS OR SMALL OBJECTS
- Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:
1. Prevent or restrict access to areas below where the work is being carried out.
  2. Provide toe boards to scaffolding or work platforms.
  3. Provide Protective structure below the work area.
  4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

- BUILDING COMPONENTS**  
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting and support and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

- 3. TRAFFIC MANAGEMENT**  
For building on a major road, narrow road or steeply sloping road:  
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.  
For building where on-site loading/unloading is restricted:  
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

- For all building:  
 Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

- 4. SERVICES**  
GENERAL  
Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

- Locations with underground power:  
Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.  
Locations with overhead power lines:  
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, clearly marked with warning signs. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

- 5. MANUAL TASKS**  
Components within the design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimizes bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturers specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufactures specification.

6. HAZARDOUS SUBSTANCE  
ASBESTOS  
 For alterations to a building constructed prior to 1990:  
 If this existing building was constructed prior to:  
 1990 - it therefore may contain asbestos.  
 1986 - it there fore is most likely to contain asbestos.  
 Either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolition, cutting, sanding, drilling or otherwise disturbing the existed structure.

- POWERED MATERIALS**  
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation, cutting or otherwise disturbing or creating powdered material.

- TREATED TIMBER**
- The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

- VOLATILE ORGANIC COMPOUNDS**
- Many types of glue, solvents, spray paints, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.
- SYNTHETIC MINERAL FIBER**
- Fiberglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fiber which may be inhaled if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

- TIMBER FLOORS**  
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.

- 7. CONFINED SPACES**
- EXCAVATION**
- Construction of this building and some maintenance on the building will require excavation and installation of items within excavation. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorized access to all excavations should be provided.

- ENCLOSED SPACES**  
For buildings with enclosed spaces where maintenance or other access may be required:  
Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorized access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.
- SMALL SPACES**

- For buildings with small spaces where maintenance or other access may be required:  
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorized access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

- 8. PUBLIC ACCESS**  
Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorized access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

- 9. OPERATIONAL USE OF BUILDING**  
**RESIDENTIAL BUILDINGS**  
This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

- 10. OTHER HIGH-RISK ACTIVITY**  
 All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing required.  
 All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.  
 All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.  
 Due to the high risk incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete Placement. All the above applies.

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[illegible]

Client: MR & MRS WAKEFORD

Project:  
PROPOSED ALTERATIONS,  
GRANNY FLAT & POOL

Address:  
71 ALEXANDRA CRESCENT BAYVIEW NSW  
2104

Lot:	Sec:	DP:	Area:
20	-	DP11186	1201 m <sup>2</sup>

LGA: NORTHERN BEACHES COUNCIL

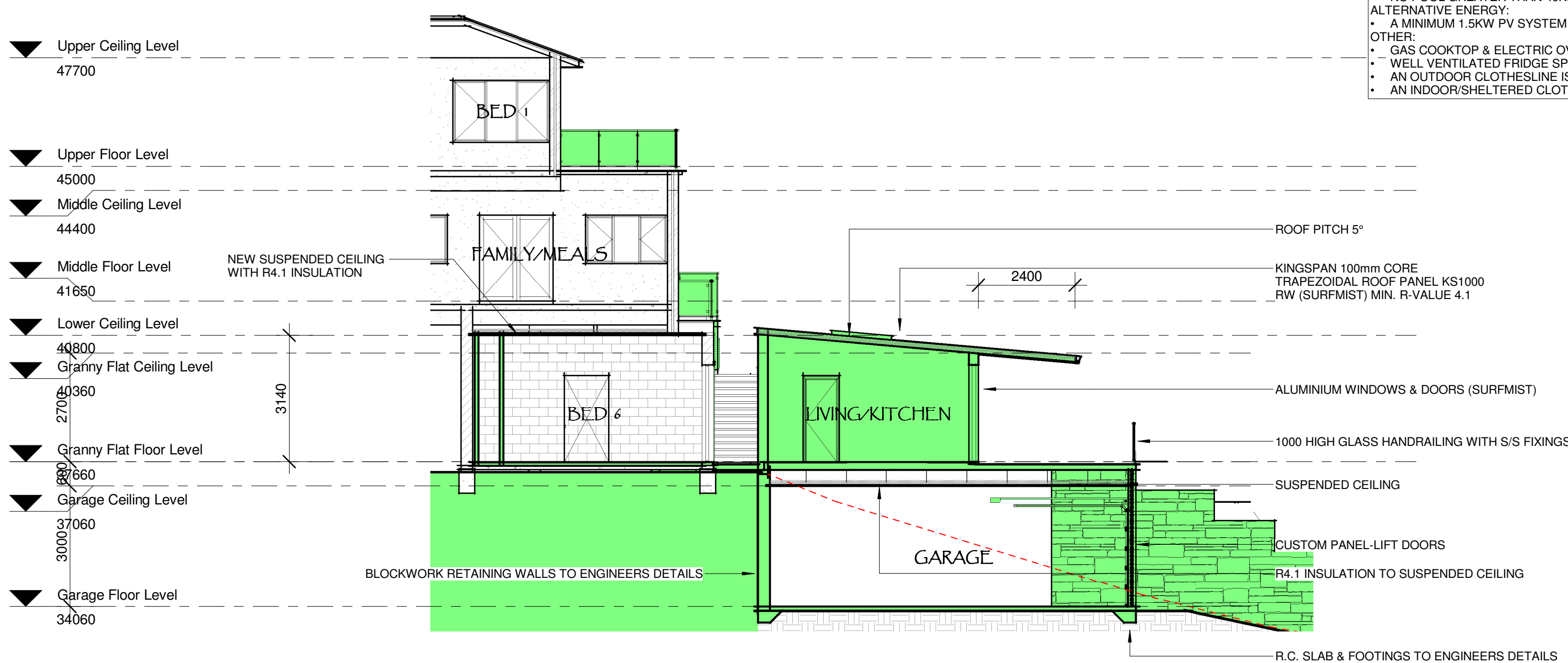
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Sheet Name:  
SECTIONS & BUILDING DESIGN SAFETY  
NOTES

Scale: 1 : 100	Drawn: RH	Issue: F
Job No: 2752	Size: A1	Date: 6/10/2020

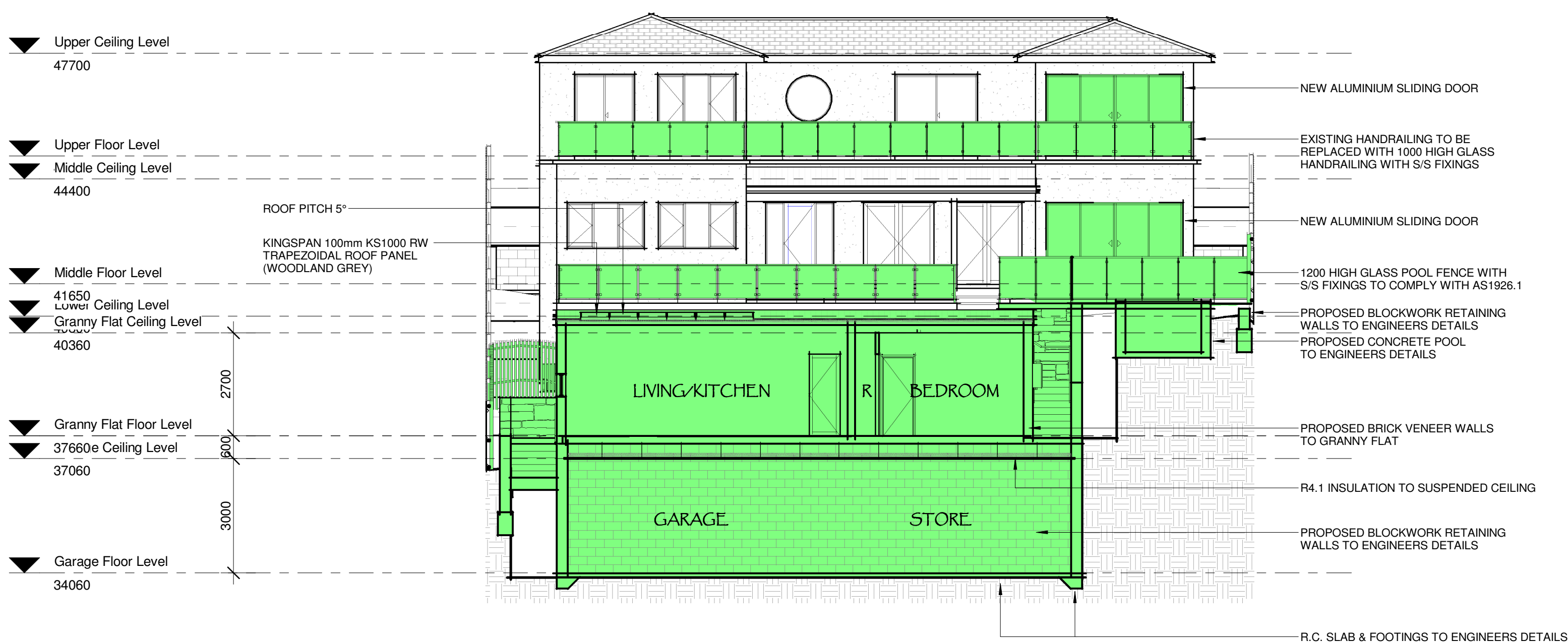
# REGGIE'S

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Web: [www.reggiesdesign.com.au](http://www.reggiesdesign.com.au) |  [reggiesdesign](https://www.facebook.com/reggiesdesign)  
ABN: 39 260 639 299



## SECTION B

1 : 100



## SECTION A

1 : 100

## BUILDING DESIGN SAFETY NOTES

1 : 100





**BASIX NOTES: Certificate No: 1191672S\_02**

**WATER:**

**LANDSCAPE:**

- A MINIMUM OF 90m<sup>2</sup> OF INDIGENOUS OR LOW WATER USE VEGETATION SPECIES MUST BE PLANTED ACROSS THE SITE

**FIXTURES:**

- 3 STAR (<9.0L/min) SHOWERHEADS
- 4 STAR TOILETS
- 4 STAR KITCHEN TAPS
- 4 STAR BATHROOM TAPS

**ALTERNATIVE WATER:**

- MIN. 2000L RAIN WATER TANK WITH A MINIMUM OF 30m<sup>2</sup> OF ROOF AREA
- DIVERTED TO IT
- WATER TANK TO BE CONNECTED TO ALL TOILETS PLUS AT LEAST ONE OUTDOOR TAP

**POOL & SPA:**

- NO POOL GREATER THAN 40KL IS TO BE INSTALLED

**THERMAL COMFORT:**

- SEE NATHERS CERTIFICATE 0005842968-01

**ENERGY:**

**HOT WATER:**

- MIN. 5 STAR GAS INSTANTANEOUS HOT WATER SYSTEM

**HEATING & COOLING:**

- 1 PHASE AIR CONDITIONING TO ALL LIVING ROOMS AND BEDROOMS (MIN. 3.0 STAR ENERGY RATING) - OLD SYSTEM
- CEILING FANS TO BE INSTALLED TO BEDROOM & KITCHEN/LIVING

**VENTILATION:**

- BATHROOM EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH
- BATHROOM EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH
- LAUNDRY EXHAUST DUCTED TO FACADE/ROOF WITH MANUAL ON/OFF SWITCH

**LIGHTING:**

- WINDOW AND/OR SKYLIGHT TO BE INSTALLED TO KITCHEN
- NO TOILETS/BATHROOMS NEED TO BE NATURALLY LIT BY EITHER A WINDOW OR SKYLIGHT
- ALL ROOMS IN ALL UNITS TO BE PRIMARILY LIT (MINIMUM 80% OF LIGHT FIXTURES) BY FLUORESCENT OR LED LAMPS

**POOL & SPA:**

- NO POOL GREATER THAN 40KL IS TO BE INSTALLED

**ALTERNATIVE ENERGY:**

- A MINIMUM 1.5KW PV SYSTEM TO BE INSTALLED
- OTHER:
- GAS COOKTOP & ELECTRIC OVEN
- WELL VENTILATED FRIDGE SPACE IS NOT REQUIRED
- AN OUTDOOR CLOTHESLINE IS NOT REQUIRED
- AN INDOOR SHELTERED CLOTHESLINE IS NOT REQUIRED

**NATHERS NOTES: Certificate No. 0005423668-01**

1. R2.5 INSULATION TO EXTERNAL WALLS
2. R4.1 INSULATION TO GARAGE CEILING
3. KINGSPAN METAL OUTER LAYER SANDWICH PANEL WITH MIN. R4.81 TOTAL R-VALUE
4. R2.5 INSULATION TO ALL INTERNAL WALLS
5. ALL DOWNLIGHTS TO BE INSTALLED ARE TO BE SEALED TO ENABLE INSULATION TO BE UNINTERRUPTED
6. ALL EXHAUST FANS INSTALLED ARE TO BE FITTED WITH A DAMPER
7. ENSURE U-VALUES AND SHGC VALUES FOR ALL WINDOWS AND DOORS ARE COMPLIANT WITH THE NATHERS CERTIFICATE.

**\*RECOMMENDATION OF WINDOW TYPES OR MANUFACTURER NOT REQUIRED BY THE NATHERS CERTIFICATE TO BE MET\***

- **SITE PLAN NOTES:**
  - APPROVED SEDIMENT CONTROL MEASURES TO BE IMPLEMENTED ON SITE BEFORE CONSTRUCTION COMMENCES
  - SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED DURING CONSTRUCTION AND RETAINED UNTIL CONSTRUCTION IS COMPLETE
  - LOCATION OF WATER TANK IS APPROXIMATE ONLY AND IS TO BE VERIFIED ON SITE
  - ALL SETBACKS AND BOUNDARIES TO BE CONFIRMED BY A SURVEYOR BEFORE CONSTRUCTION COMMENCES
  - AREAS TO BE MAINTAINED/REMOVED ARE MARKED ON THE LANDSCAPE PLAN

**BASIS NOTES: Certificate No. A412632**

**LIGHTING:**

- A MINIMUM OF 40% OF NEW LIGHT FIXTURES TO BE LED OR FLUORO FITTINGS

**FIXTURES:**

- 3 STAR (<9.0L/min) SHOWERHEADS
- 4 STAR TOILETS
- 4 STAR KITCHEN TAPS
- 4 STAR BATHROOM TAPS

**WINDOWS & GLAZED DOORS:**

• WINDOWS, WINDOWS & GLAZED DOORS TO COMPLY WITH THE GLAZING SCHEDULE IN THE BASIS ASSESSMENT AND THE WINDOW & DOOR SCHEDULES

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[illegible]

Client: **MR & MRS WAKEFORD**

Project:  
**PROPOSED ALTERATIONS,  
GRANNY FLAT & POOL**

Address:  
71 ALEXANDRA CRESCENT BAYVIEW NSW  
2104

Lot:	Sec:	DP:	Area:
20	-	DP11186	1201 m²

LGA: NORTHERN BEACHES COUNCIL

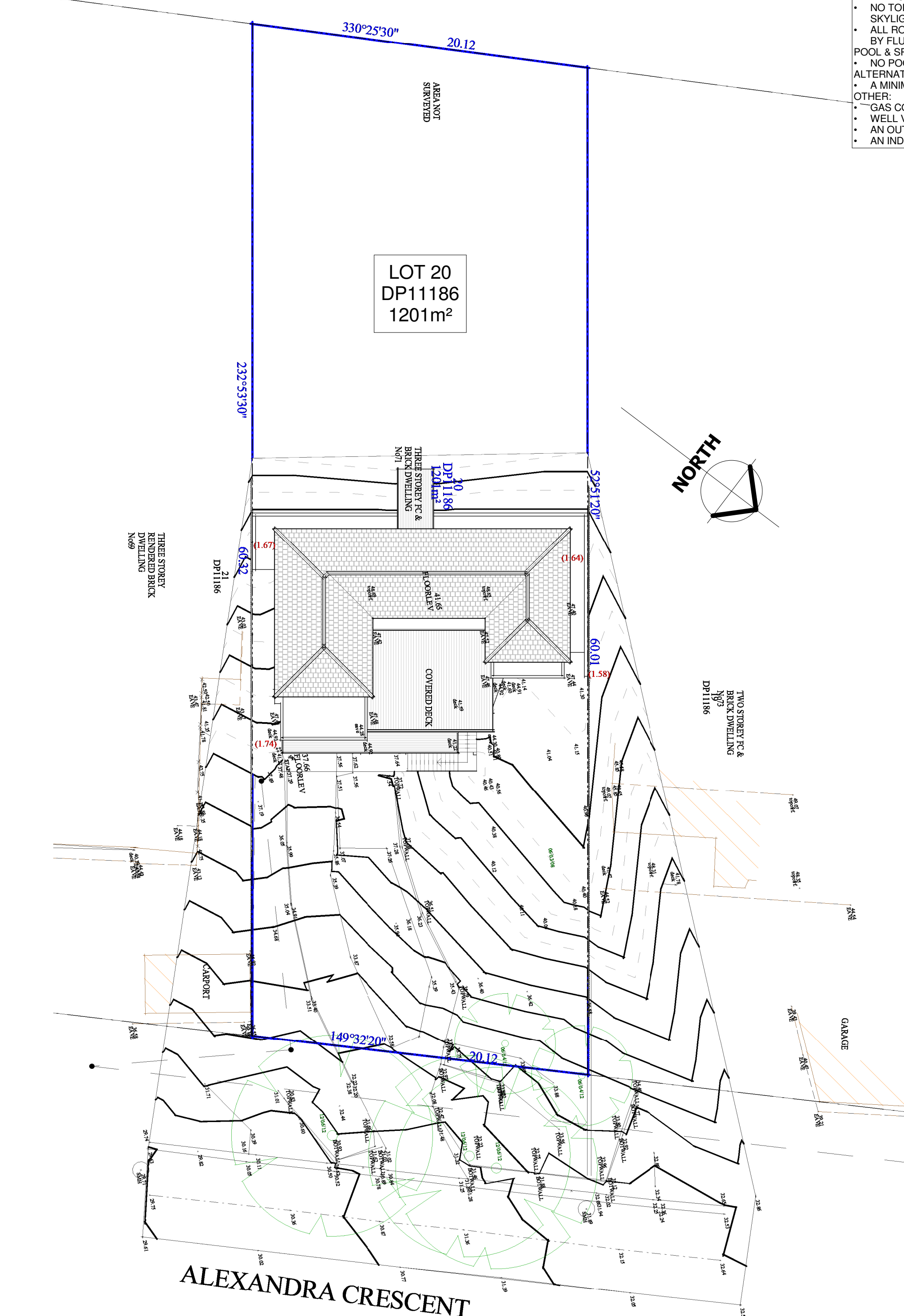
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Sheet Name:  
EXISTING & PROPOSED SITE PLAN

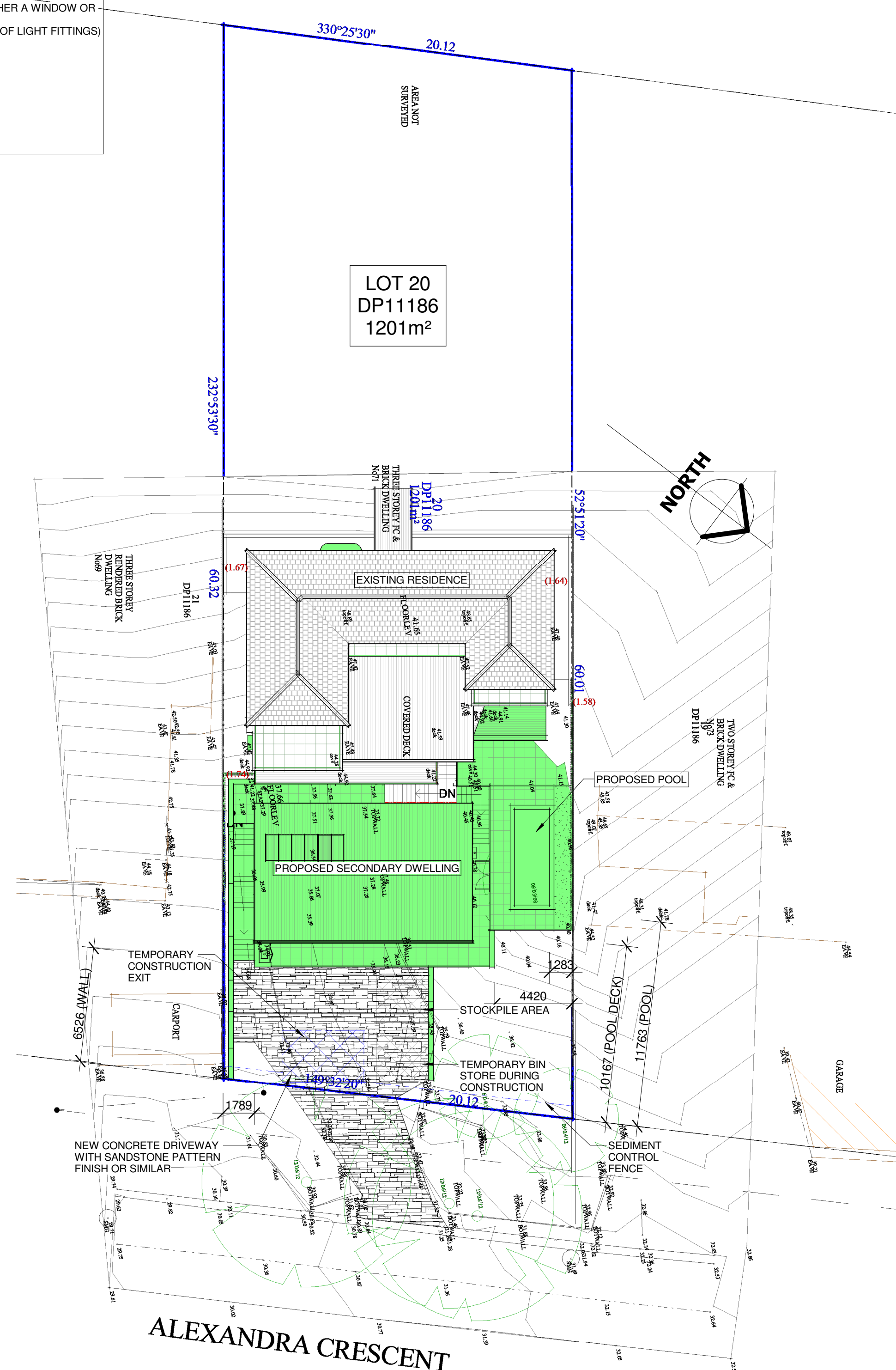
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Job No: 2752	Size: A1	Date: 6/10/2020

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ABN: 93 260 639 299



2 EXISTING SITE PLAN  
1 : 200



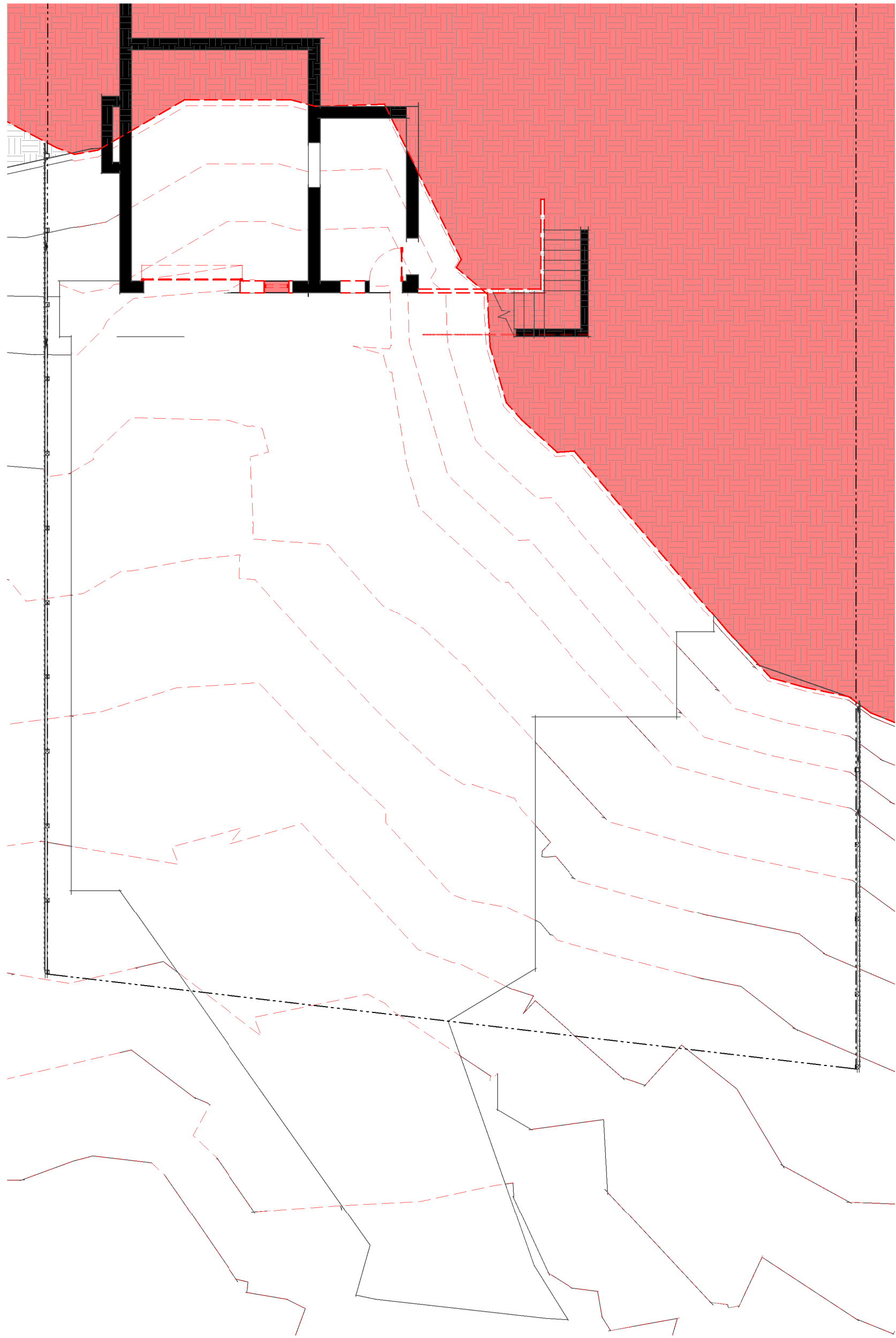
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1 : 200

 northern  
beaches  
council

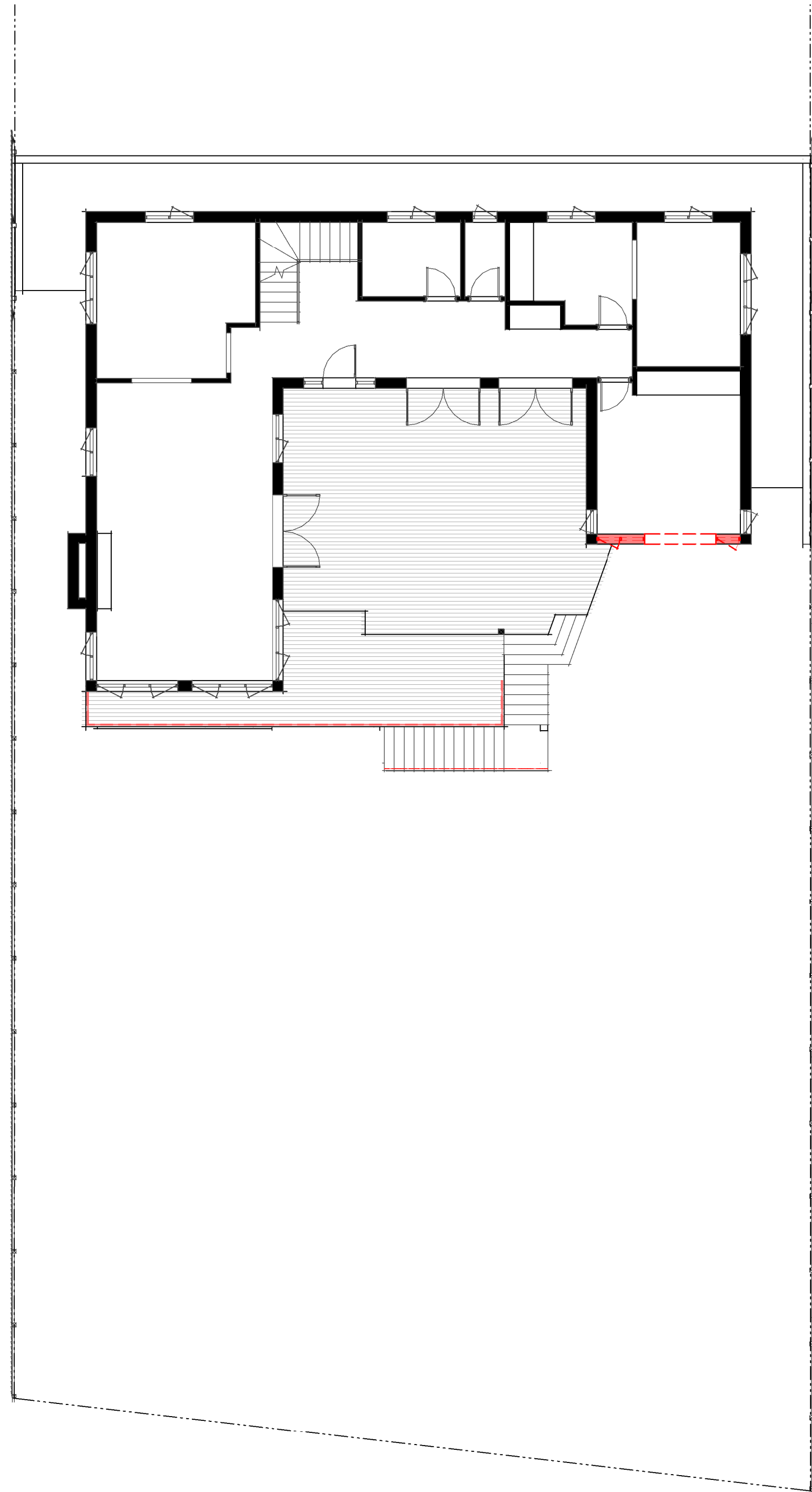
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CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/0416**

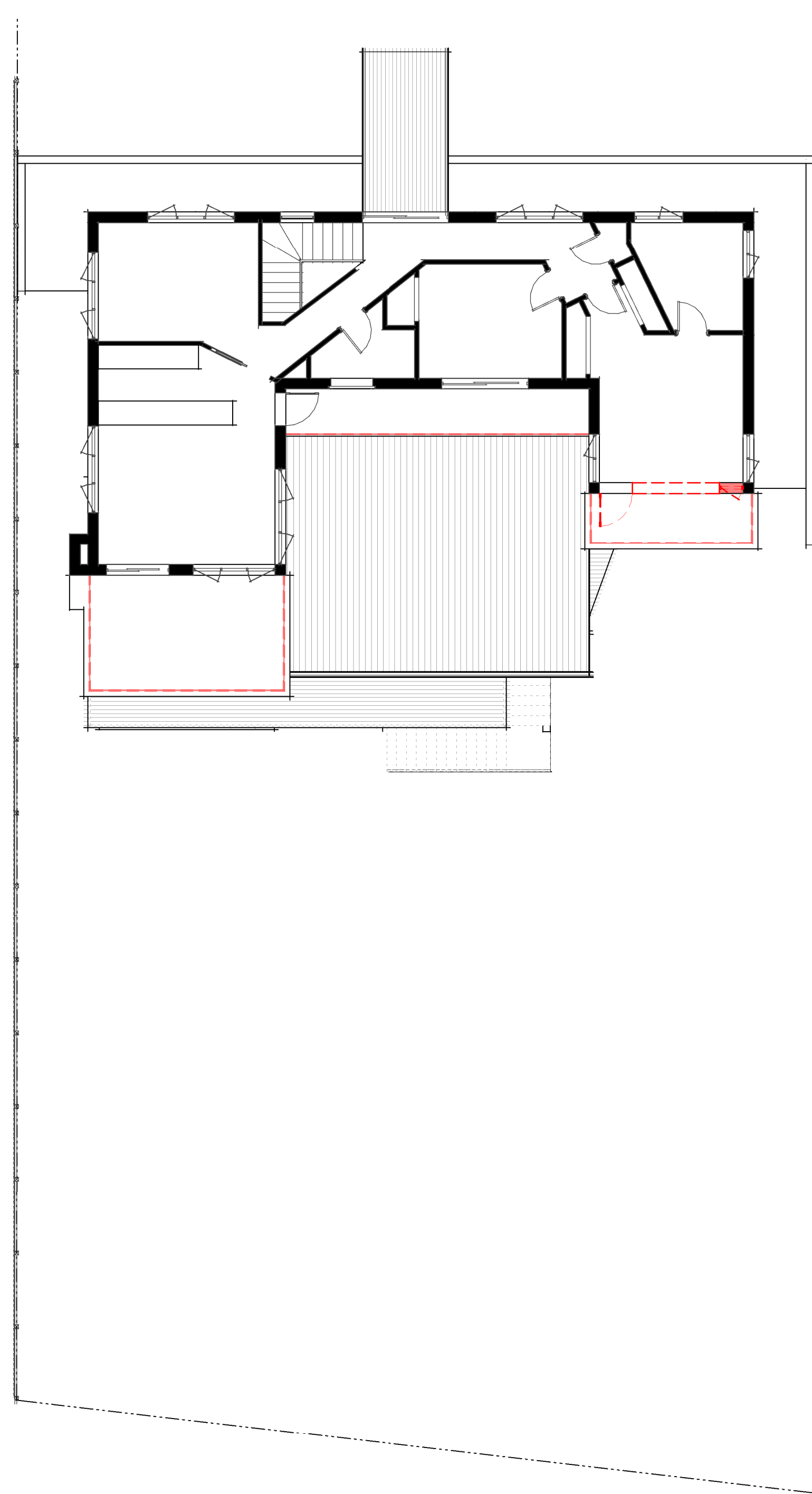




1 DEMOLITION PLAN - LOWER FLOOR  
1 : 100



2 DEMOLITION PLAN - MIDDLE FLOOR  
1 : 100



3 DEMOLITION PLAN - UPPER FLOOR  
1 : 100

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ISSUE	DESCRIPTION	DATE
A	Initial Design Concept	7/10/20
B	Revised Design - Carport added & balcony increased. Path added to south eastern side of garage.	19/10/20
C	Revised Design - Pool added, setbacks increased, stairs altered	8/12/20
D	Working Drawings Issue	30/03/21
E	Nathers & BASIX notes added.	7/04/21
F	Roof slope to granny flat reversed. Only tree 1 to be removed now - other previously nominated to be removed are to remain. Garden bed added to northern side of pool.	1/06/21

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MR & MRS WAKEFORD

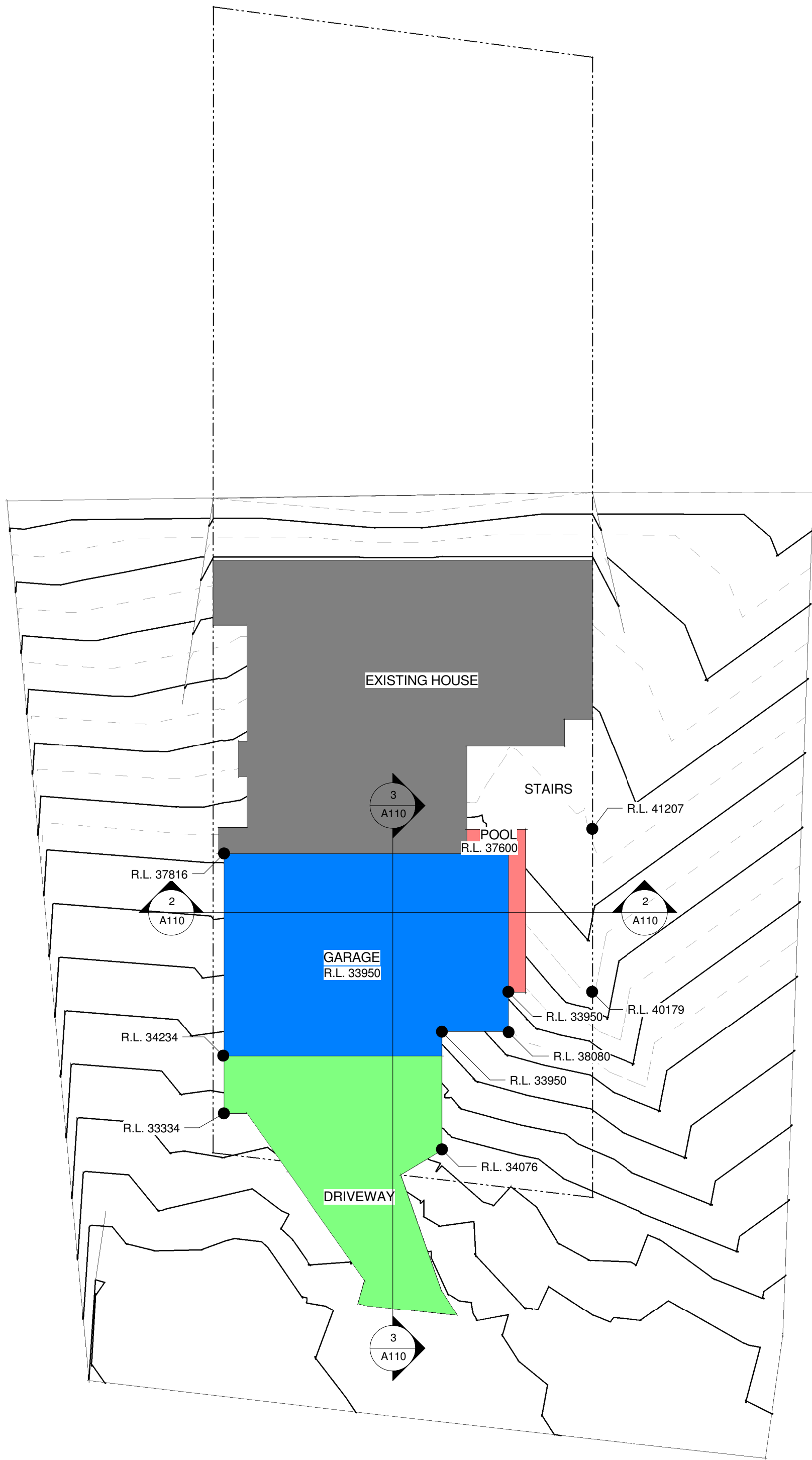
Project:  
PROPOSED ALTERATIONS,  
GRANNY FLAT & POOL

Address:  
71 ALEXANDRA CRESCENT BAYVIEW NSW  
2104  
Lot: 20 Sec: - DP: DP11186 Area: 1201 m<sup>2</sup>  
LGA:  
NORTHERN BEACHES COUNCIL

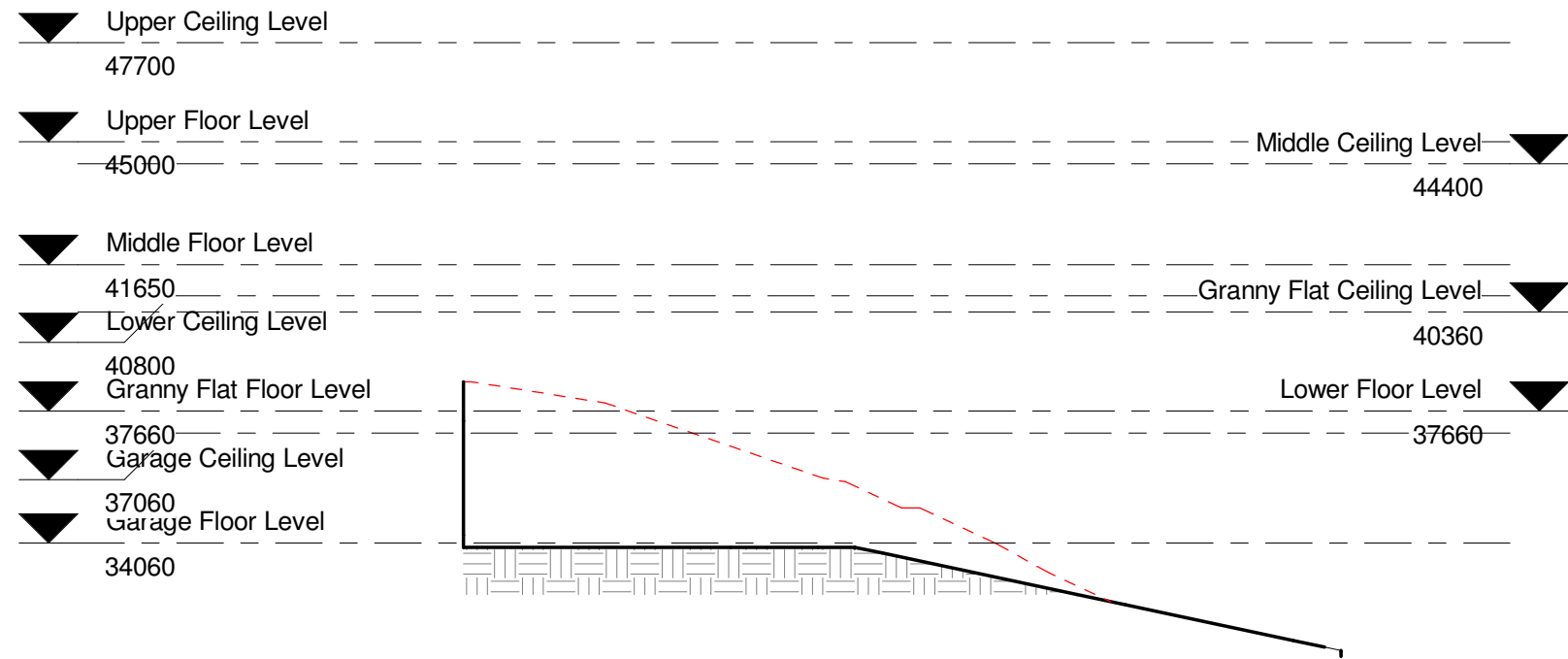
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A109  
Sheet Name:  
DEMOLITION PLANS

Scale:	1 : 100	Drawn:	RH	Issue:	F
Job No:	2752	Size:	A1	Date:	6/10/2020

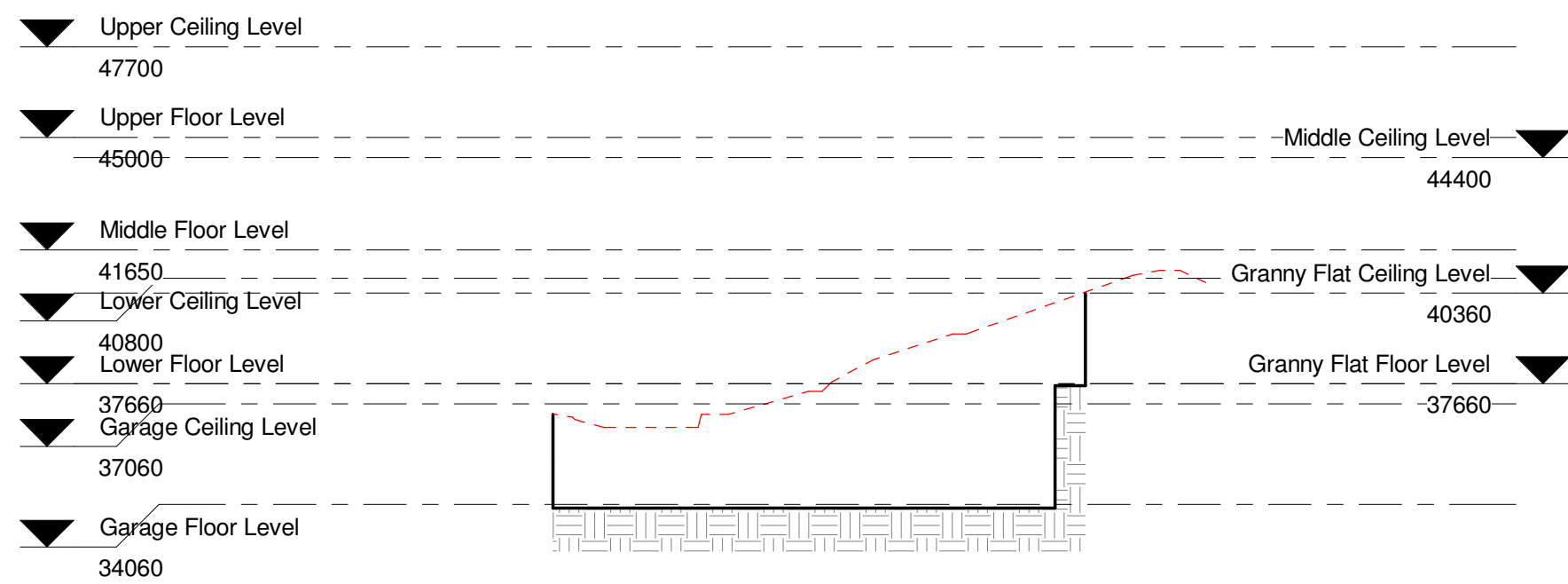
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Web: www.reggiesdesign.com.au | reggiesdesign  
ABN: 39 260 639 299



1 CUT & FILL PLAN  
1 : 200



3 CUT & FILL SECTION 2  
1 : 200



2 CUT & FILL SECTION 1  
1 : 200

CUT & FILL TABLE		
AREA	CUT	FILL
DRIVEWAY	0.00 m³	0.00 m³
GARAGE	0.00 m³	0.00 m³
POOL	0.00 m³	0.00 m³
TOTAL	0.00 m³	0.00 m³

 **northern beaches council**

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DA2021/0416

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**A110**

Sheet Name:  
**CUT & FILL PLAN**

Scale:	Drawn:	Issue:
1 : 200	RH	F

Job No:	Size:	Date:
2752	A1	6/10/2020

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