DP: 30181 LOT No. 6 SITE AREA: 667.90MSQ. EXIST. GFA: 00.00MSQ. PROPOSED GFA: 00.00MSQ MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW KITCHEN EXTENSION
NEW DECK
NEW ROOF OVER DECK WITH SKY LIGHTS
NEW STEPS

SMOKE ALARMS TO COMPLY WITH AS 3786

LAWN

LEGEND:

NEW KITCHEN EXTENSION



NEW DECK WITH ROOF AND SKYLIGHTS OVER



NEW KITCHEN EXTENSION

NEW STEPS

MATERIALS AND FINISHES:

ROOF: COLORBOND ORB ROOFING – COLOURBOND COLOUR 'MONUMENT' – TO MATCH EXISTING ROOF

EXTERIOR WALLS: CLAD AND PAINTED DULUX 'CRÈME' 1/2
STRENGTH

EXTERIOR TRIM AND EAVES PAINTED DULUX 'SNOWY MOUNTAIN' HALF STENGTH TO MATCH EXISTING WOOD FINISH AND EAVES.

EXTERIOR CLADDING BELOW FLOOR LINE WILL BE PARALLEL WOOD SLATS 90MM PAINTED DULUX 'SNOWY MOUNTAIN' HALF TO MATCH EXISTING SCREENING UNDER THE DECK AT THE FRONT OF OUR HOUSE.

EXTERNAL WINDOWS AND DOORS ARE STEGBAR ALUMINIUM COLOUR: COLORBOND WHITE BIRCH TO MATCH EXISTING WINDOW COLOURS.

NEW KITCHEN EXTENSION



NEW ROOF WITH SKYLIGHTS

DISCLAIMER:

THE DRAWINGS PROVIDED HEREIN HAVE BEEN COMPILED BY A DRAFTING HELP PTY LTD BASED ON THE DESIGN SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE OWNER. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY, THE DRAFTSMAN DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN'S COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, OR SPECIFIC PROJECT REQUIREMENTS. IT IS RECOMMENDED THAT ALL DESIGNS BE REVIEWED BY A QUALIFIED PROFESSIONAL BEFORE IMPLEMENTATION.

DISCLAIMER:

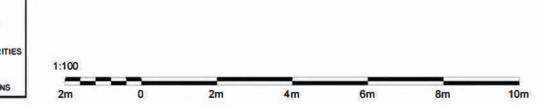
ALL IMAGES ARE REPRESENTATIONAL ONLY. PLEASE REFER TO THE DRAWINGS FOR ACTUAL DESIGN.

GENERAL NOTES

•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

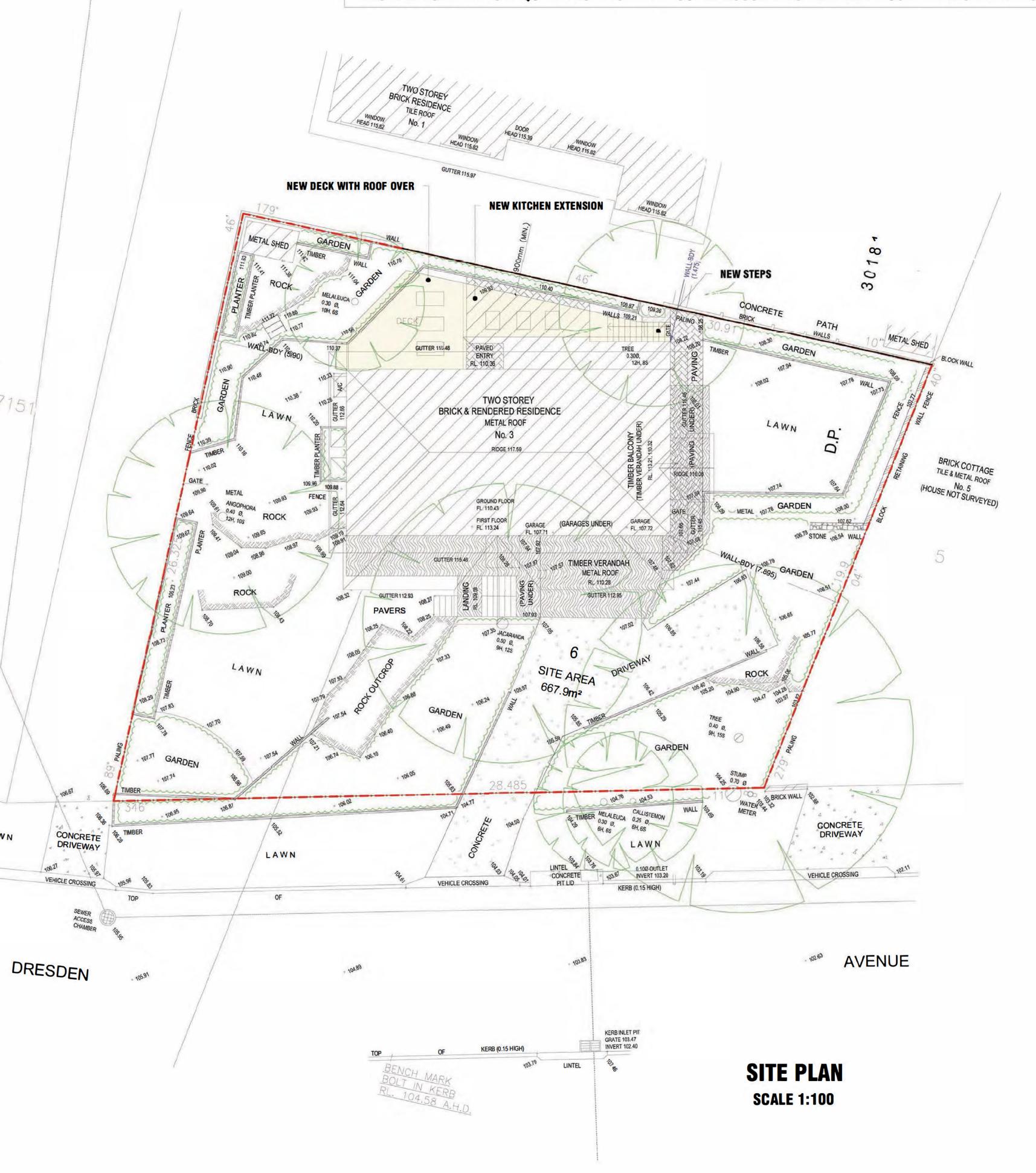
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIE REQUIREMENTS AND B.C.A. REQUIREMENTS.

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

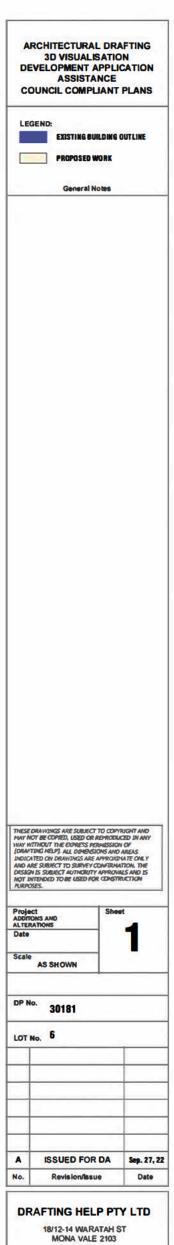


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THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



3 DRESDEN AVE. BEACON HILL 2100



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3 DRESDEN AVE.

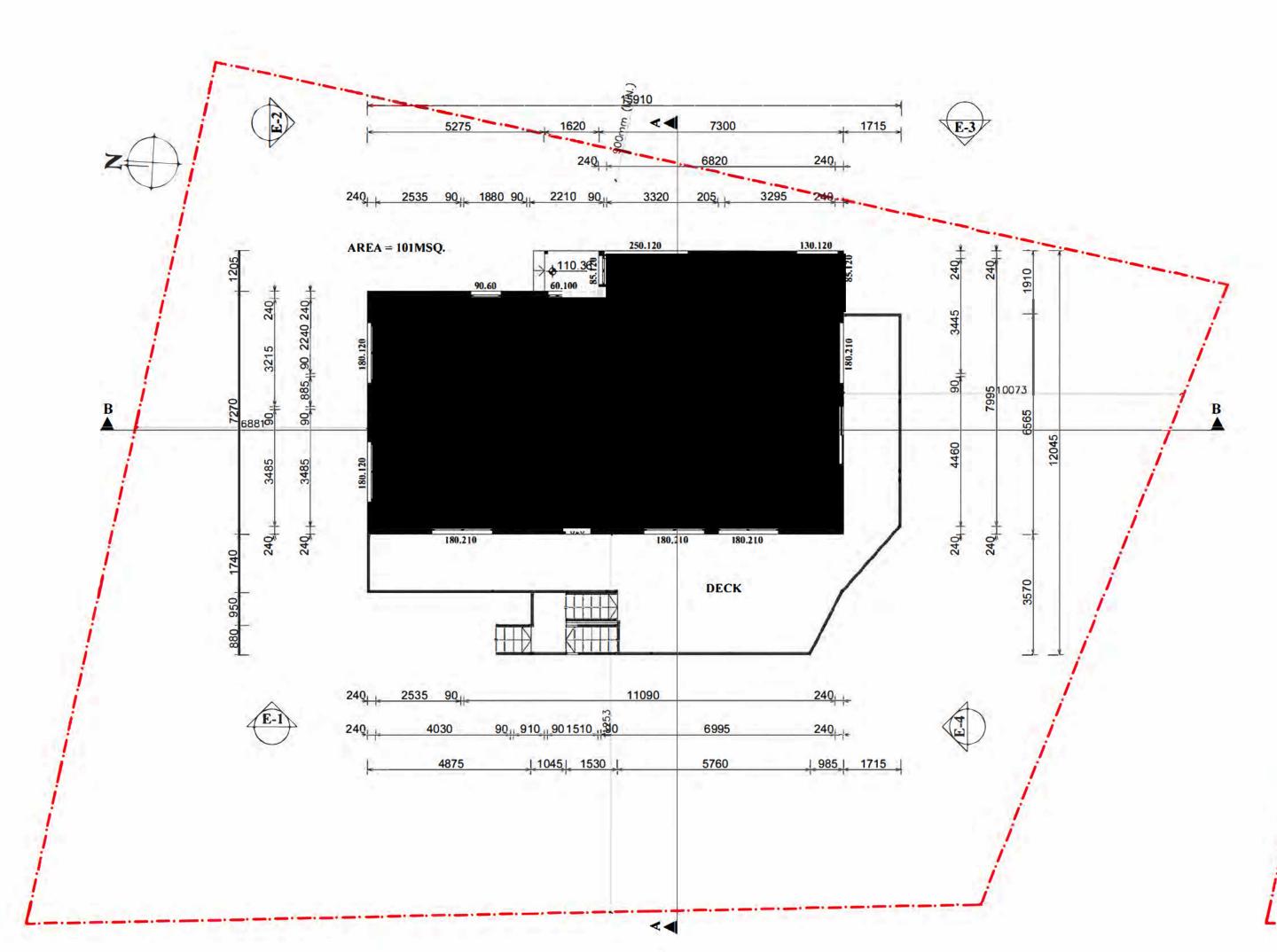
BEACON HILL 2100

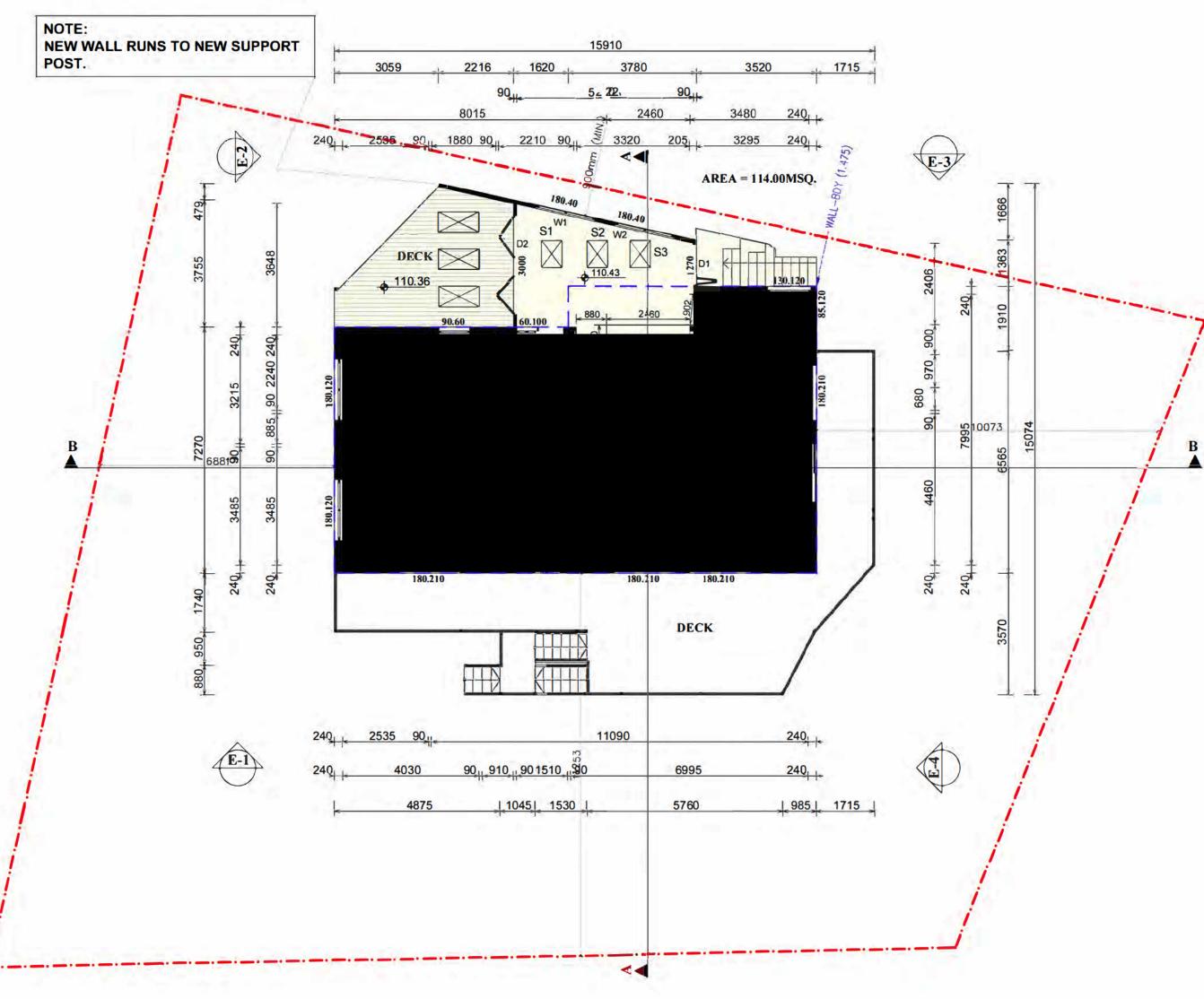
DP: 30181 LOT No. 6 SITE AREA: 667.90MSQ. EXIST. GFA: 00.00MSQ. PROPOSED GFA: 00.00MSQ MAX. BUILDING HEIGHT: 8.5M

NEW WORKS: NEW KITCHEN EXTENSION NEW DECK NEW ROOF OVER DECK WITH SKY LIGHTS NEW STEPS

LEGEND:

EXISTING BUILDING OUTINE COMPLY WITH AS 3786





GROUND FLOOR PLAN - EXISTING SCALE 1:100

GROUND FLOOR PLAN - PROPOSED SCALE 1:100



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3 DRESDEN BEACON HILL 2100

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS AS SHOWN

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DP: 30181 LOT No. 6 SITE AREA: 667.90MSQ. EXIST. GFA: 00.00MSQ. PROPOSED GFA: 00.00MSQ MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW KITCHEN EXTENSION

NEW DECK

NEW ROOF OVER DECK WITH SKY LIGHTS

NEW STEPS

LEGEND:

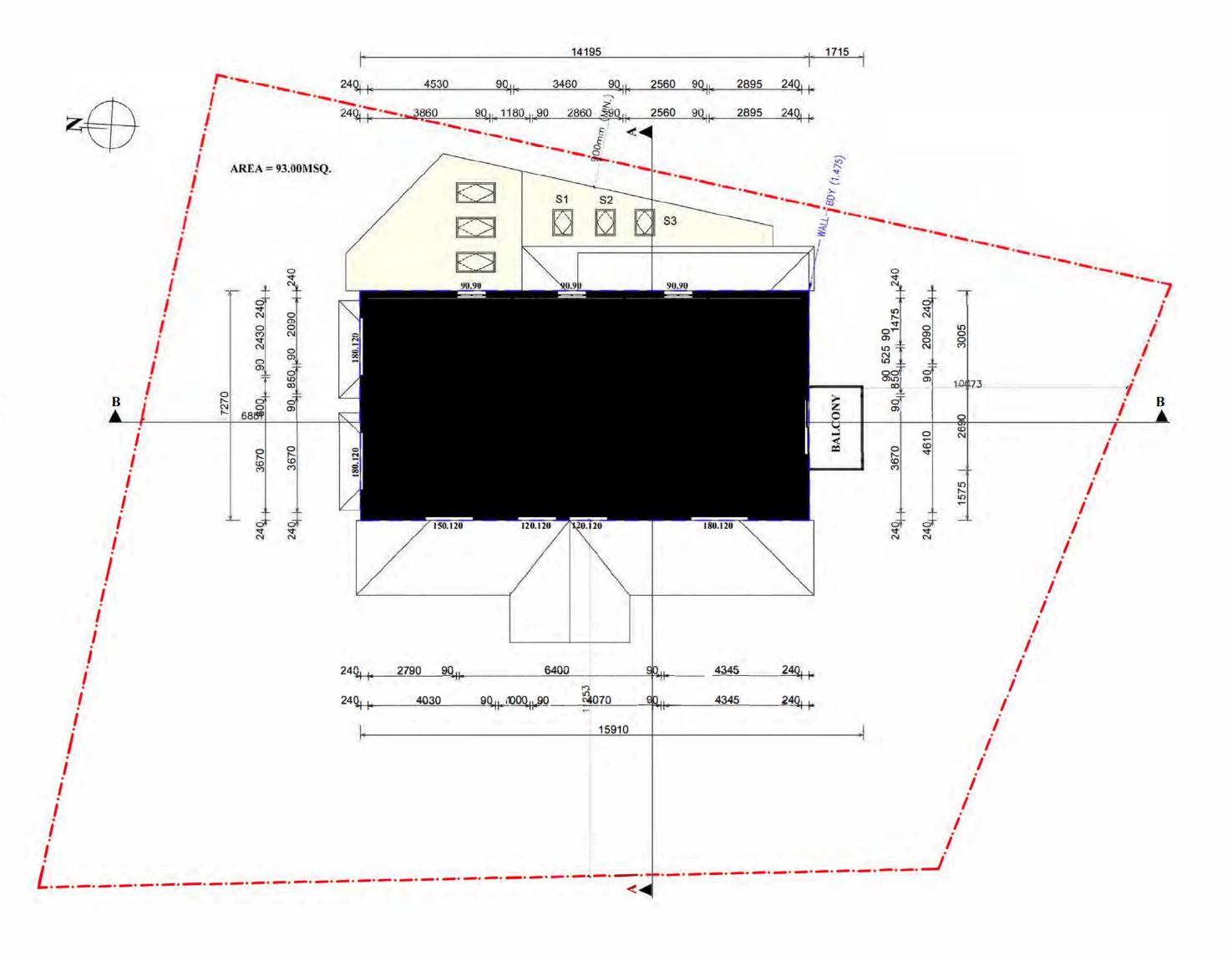
EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786

14156

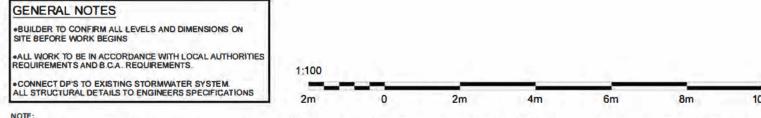
240, 4530 90, 3460 90, 2550 90, 2550 90, 2550 240, 4

240, 5860 90, 1180, 50 2880 90, 2550 90,



1st FLOOR PLAN - EXISTING
SCALE 1:100

1st FLOOR PLAN - PROPOSED SCALE 1:100



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3 DRESDEN AVE. BEACON HILL 2100

| | OPMENT APPLICATION ASSISTANCE CIL COMPLIANT PLANS |
|-----------------|---|
| LEGEND | EXISTING BUILDING OUTLINE |
| | PROPOSED WORK |
| | General Notes |
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DP: 30181
LOT No. 6
SITE AREA: 667.90MSQ.
EXIST. GFA: 00.00MSQ.
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MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW KITCHEN EXTENSION
NEW DECK
NEW ROOF OVER DECK WITH SKY LIGHTS
NEW STEPS

LEGEND:

EXISTING BUILDING OUTINE

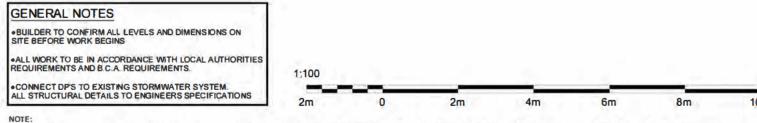
SMOKE ALARMS TO COMPLY WITH AS 3786

-

315 306 232 2488 150 300 2230 1140 3500 1140 3500 350 115

ROOF PLAN - EXISTING
SCALE 1:100

ROOF PLAN - PROPOSED
SCALE 1:100



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| 3 | ITECTURAL DRAFTING ID VISUALISATION OPMENT APPLICATION ASSISTANCE |
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| LEGEND |): |
| | EXISTING BUILDING OUTLINE |
| | PROPOSED WORK |
| | General Notes |



A ISSUED FOR DA Sep. 27.

No. Revision/issue Date

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DP: 30181 LOT No. 6 SITE AREA: 667.90MSQ. EXIST. GFA: 00.00MSQ. PROPOSED GFA: 00.00MSQ MAX. BUILDING HEIGHT: 8.5M

GENERAL NOTES

NEW WORKS: NEW KITCHEN EXTENSION **NEW DECK NEW ROOF OVER DECK WITH SKY LIGHTS NEW STEPS**

LEGEND: EXISTING BUILDING OUTINE SMOKE ALARMS TO COMPLY WITH AS 3786



WEST ELEVATION - EXISTING SCALE 1:100



WEST ELEVATION - PROPOSED

SCALE 1:100

 BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS •ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS. •CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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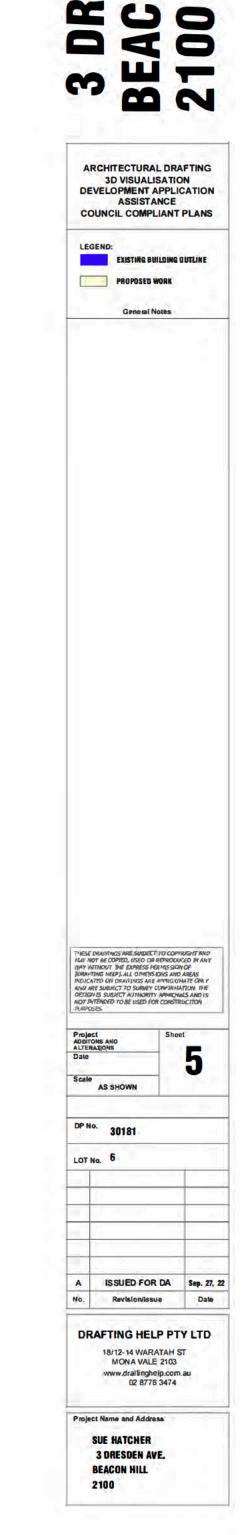


NORTH ELEVATION - EXISTING SCALE 1:100



NORTH ELEVATION - PROPOSED SCALE 1:100

DRESDEN EACON HILL



DP: 30181
LOT No. 6
SITE AREA: 667.90MSQ.
EXIST. GFA: 00.00MSQ.
PROPOSED GFA: 00.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW KITCHEN EXTENSION

NEW DECK

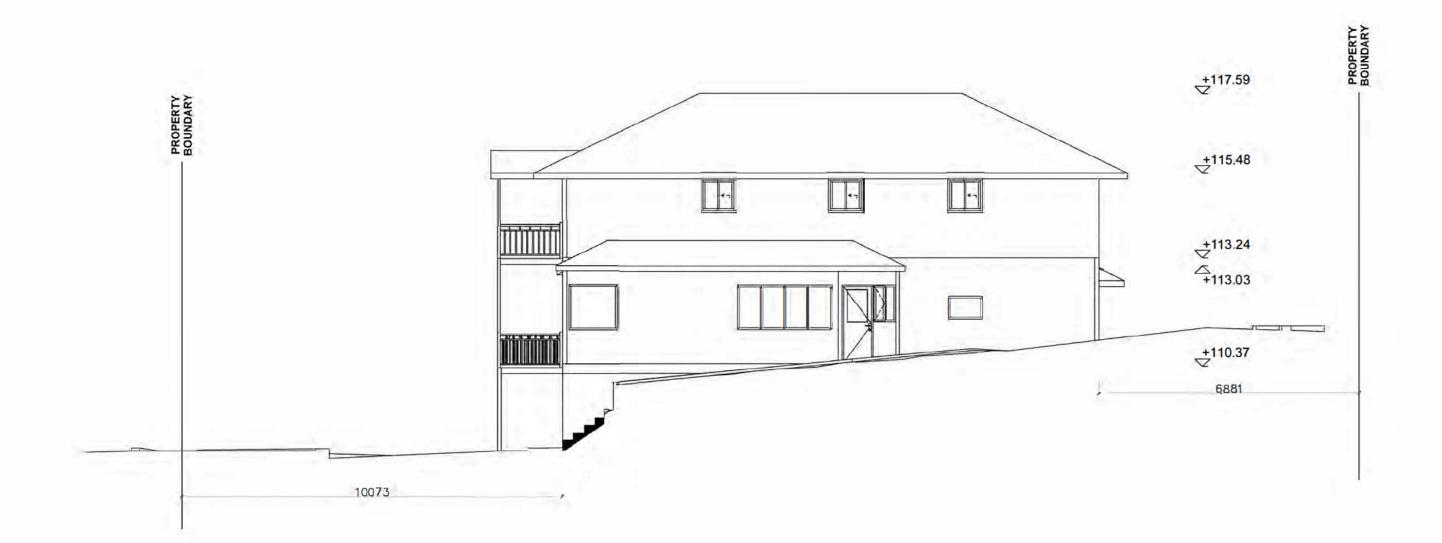
NEW ROOF OVER DECK WITH SKY LIGHTS

NEW STEPS

EXISTING BUILDING OUTINE

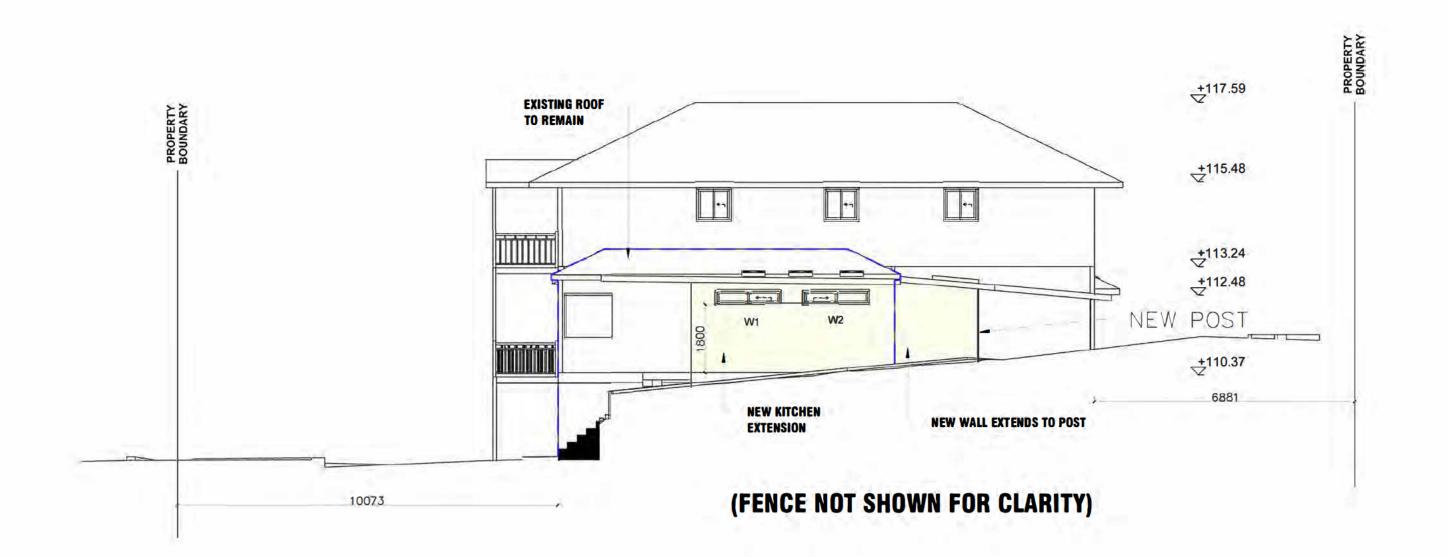
SMOKE ALARMS TO COMPLY WITH AS 3786

SMOKE ALARMS
COMPLY WITH AS



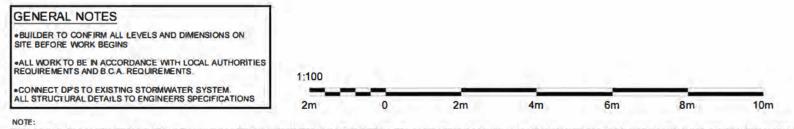
EAST ELEVATION - EXISTING

SCALE 1:100



EAST ELEVATION - PROPOSED

SCALE 1:100



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SOUTH ELEVATION - EXISTING

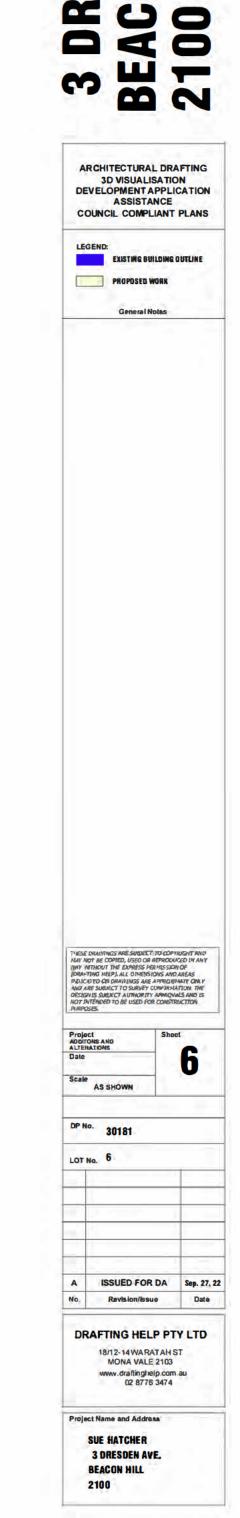
SCALE 1:100



SOUTH ELEVATION - PROPOSED

SCALE 1:100





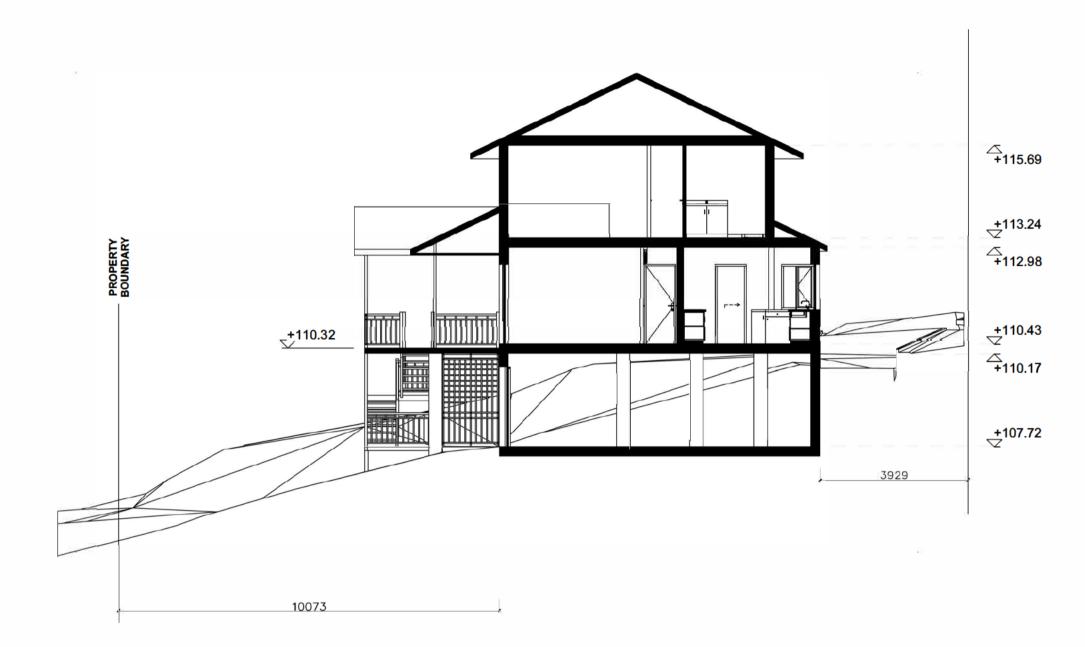
DP: 30181 LOT No. 6 SITE AREA: 667.90MSQ. EXIST. GFA: 00.00MSQ. PROPOSED GFA: 00.00MSQ MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW KITCHEN EXTENSION
NEW DECK
NEW ROOF OVER DECK WITH SKY LIGHTS
NEW STEPS

LEGEND:

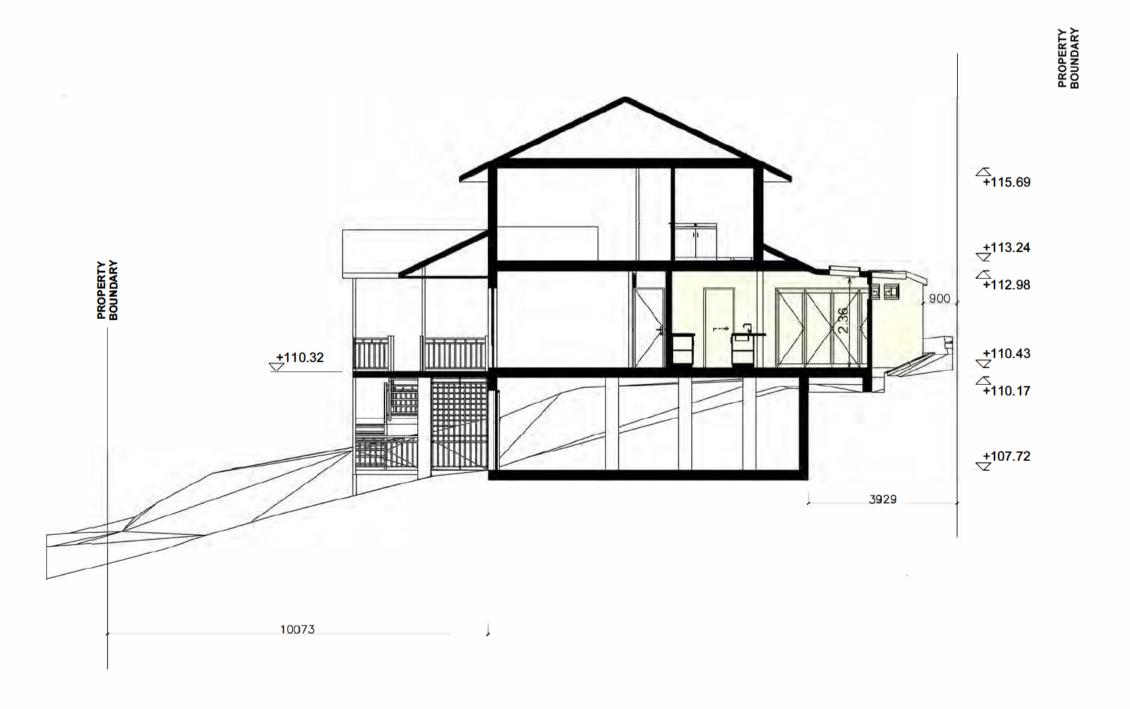
EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786



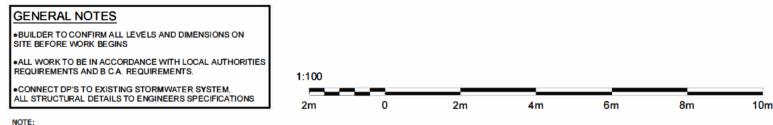
SECTION A - EXISTING

SCALE 1:100

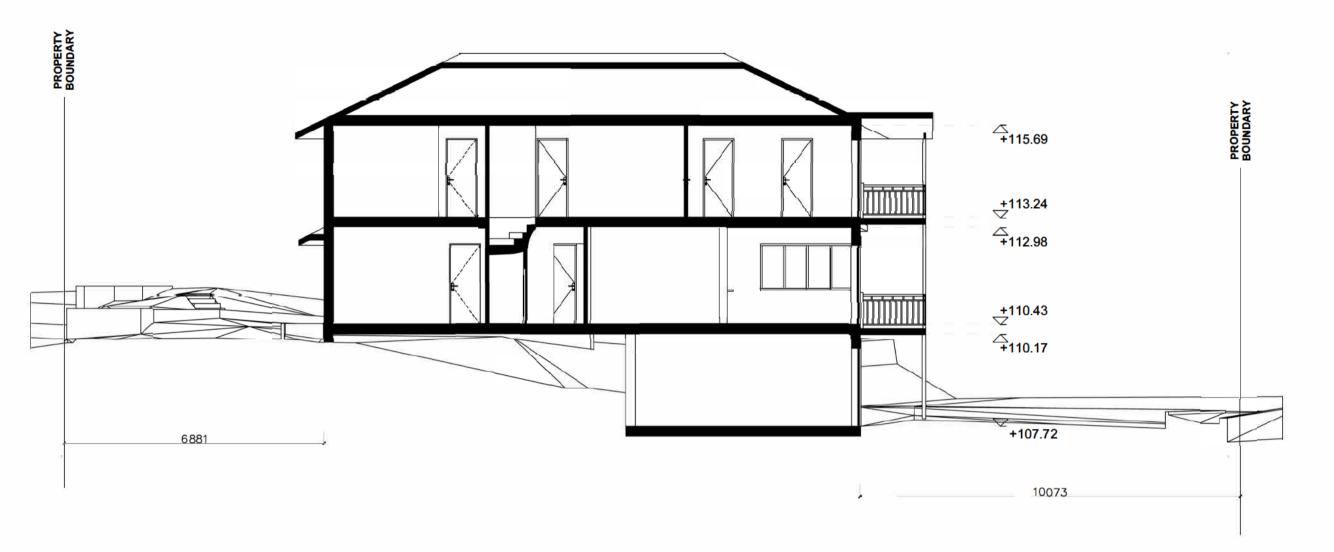


SECTION A - PROPOSED

SCALE 1:100

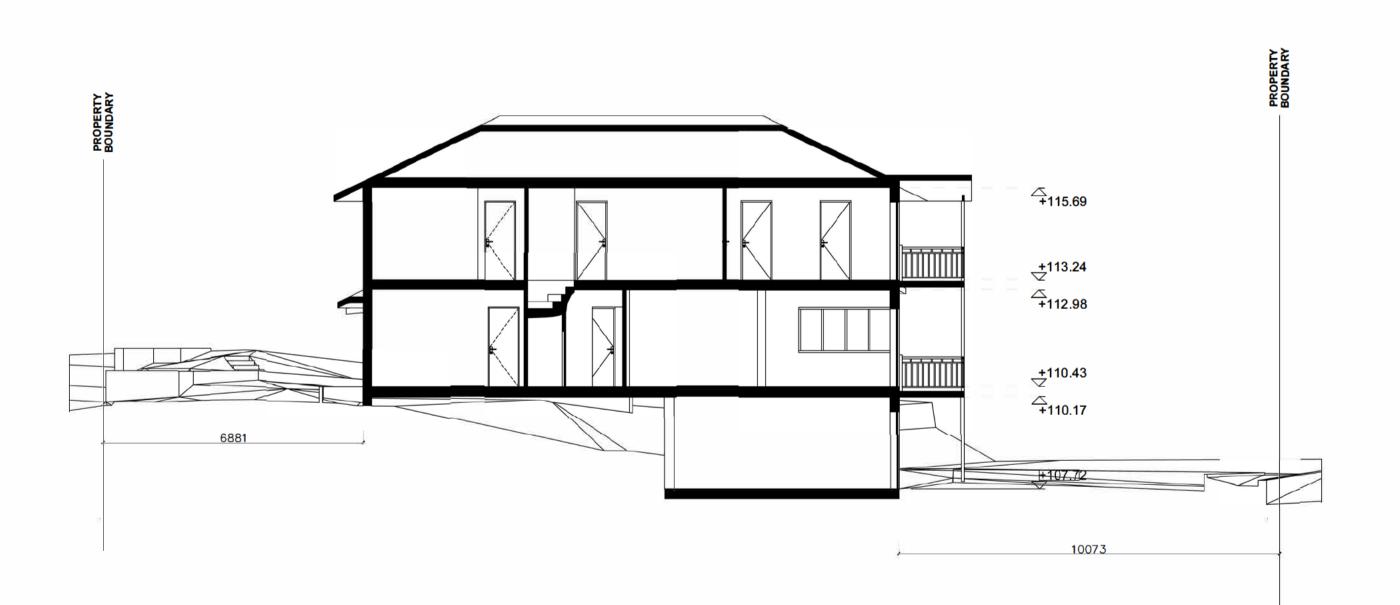


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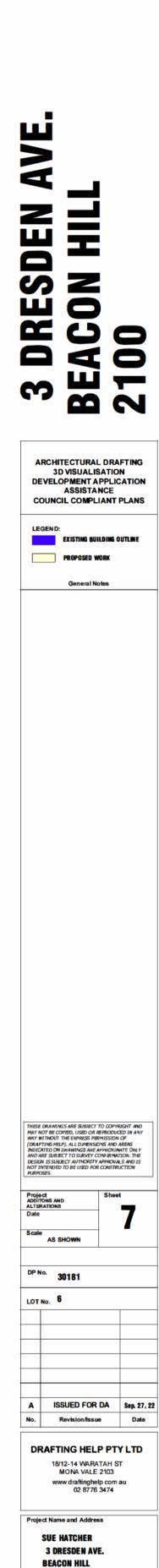
SECTION B - EXISTING

SCALE 1:100



SECTION B - PROPOSED

SCALE 1:100



DP: 30181
LOT No. 6
SITE AREA: 667.90MSQ.
EXIST. GFA: 00.00MSQ.
PROPOSED GFA: 00.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW KITCHEN EXTENSION
NEW DECK
NEW ROOF OVER DECK WITH SKY LIGHTS
NEW STEPS

LEGEND:

EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786

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180.210

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LEGEND:

EXISTING WORKS TO BE REMOVED

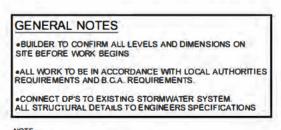
DEMO PLAN - GROUND FLOOR

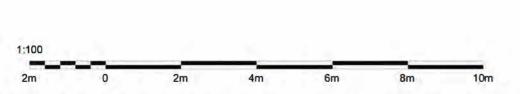
SCALE 1:100

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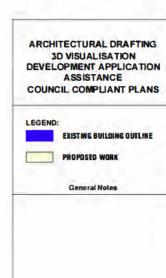
DEMO PLAN - 1ST FLOOR

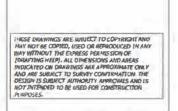
SCALE 1:100





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DP: 30181
LOT No. 6
SITE AREA: 667.90MSQ.
EXIST. GFA: 00.00MSQ.
PROPOSED GFA: 00.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW KITCHEN EXTENSION
NEW DECK
NEW ROOF OVER DECK WITH SKY LIGHTS
NEW STEPS

LEGEND:

EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786

SITE AREA - 667.90 m²

HARD SURFACE - 307.90 m² / 44%

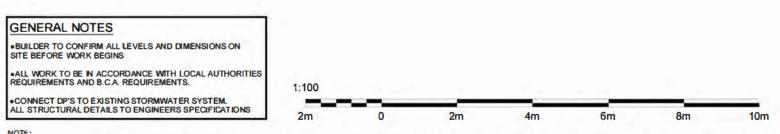
SOFT SURFACE - 360.00 m² / 54%

O.P. 2715

DRESDEN

AVENUE

LANDUSE PLAN - EXISTING
SCALE 1:100



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LANDUSE PLAN - PROPOSED
SCALE 1:100



| LEGEND: | IL COMPLIANT | . 14140 |
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| | PROPOSED WORK | |
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NEW WORKS: NEW KITCHEN EXTENSION NEW DECK NEW ROOF OVER DECK WITH SKY LIGHTS NEW STEPS

LEGEND: EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786

TYPICAL TREE PROTECTION TYPICAL DIVERSION CHANNEL SCALE MTS TYPICAL SEDIMENT FENCE Erosion & Sediment Controls
APPROPRIATE CHOSON AND SEDMENT CONTROLS MUST BE APPLEMENTED
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OF ALLS STEED THAT WORLD'S DE ASSTRICANCE OF MODE.

APPROPRIATE CHOSON AND SEDMENT OF MODE.

APPROPRIATE WORLD'S DESCRIPTION OF MODELS

APPROPRIATE CHOSON OF THE MODELS

APPROPRIATE WORLD'S DESCRIPTION OF THE MODELS

Topsoil Management
ANDER TO THE STEPPING OF TOPSOIL THE VECETATIVE COVER
WAST BE REDUCCED BY EITHER SLASHING OR WOMANG ALL TOPSOL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOL STOCKNESS WIST HOT BE LOCATED ON MATURE STIPPS, FOOTPAHIS, ROUGHN'S, RESPS, ADDESSIVATS, WITHEN DRAWAGE LOSS, ROUGHN'S, RESPS, ADDESSIVATS, WITHEN DRAWAGE LOSS, ROUGH, PATHS OR ADDISON OF AGAINST TIPES "SOURCES, SEDMONT CONTROL MEASURES WHIST BE WICONPORTED WITH MY SOURCE AND ADDISON OF THE WITH MY WINDOWN AND ANTOPIAL, BE CONTANCINCE WITH THE STELLAND OF A SEDMONT FONCE ARROWS AND ADDISON OF A SEDMONT FONCE ARROWS AND ADDISON. Building Material Stockpilling SHIPDOPT-REA WIST BE ALLOCATED WITHOUT RE STE FOR SUCH STORAGE OF BILLDING WARRASS, DENOLITION WASTE, MASTE CONTAINERS, CTC. AS WILL BE RECORDED. A SEDWIDHT FENCE SHOULD BE LOCAED ALONG THE DOWNSLOPE BOUND NETSON THE STILL ON THE CONSTRUCTION BOLD OF THE TLANT TRATES STREET ON HATME MICETATION , AND MOUND ALL STOOPHLES OF MATIGNAL OF THE STREET.

GEOTEXTILE STORMWATER INLET FILTER STABILISED SITE ACCESS GRAVEL SOCK CHECK DAM 20 METRES MAX. SEDIMENT FENCE PLAN STORMWATER NLET FILTER

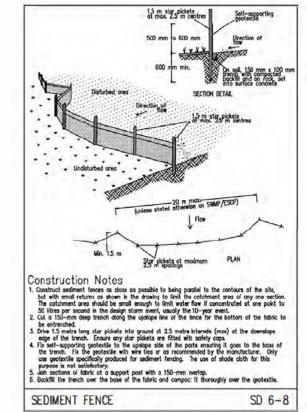
Construction Notes

1. Fobricute a sastment barrier made from gentextile or strow balles.

2. Folies Standard Graving 6-7 and Standard Drawing 6-8 for installation procedures for the stray balles or geotiatric. Reduce the picket specing to 1 metre centres.

3. In returning, artificial seg points can be created with standards or earth banks as shown in the direction.

4. Do not cover the inject with geotextile unless the design is adequate to allow for all waters to bigons it. GEOTEXTILE INLET FILTER SD 6-12



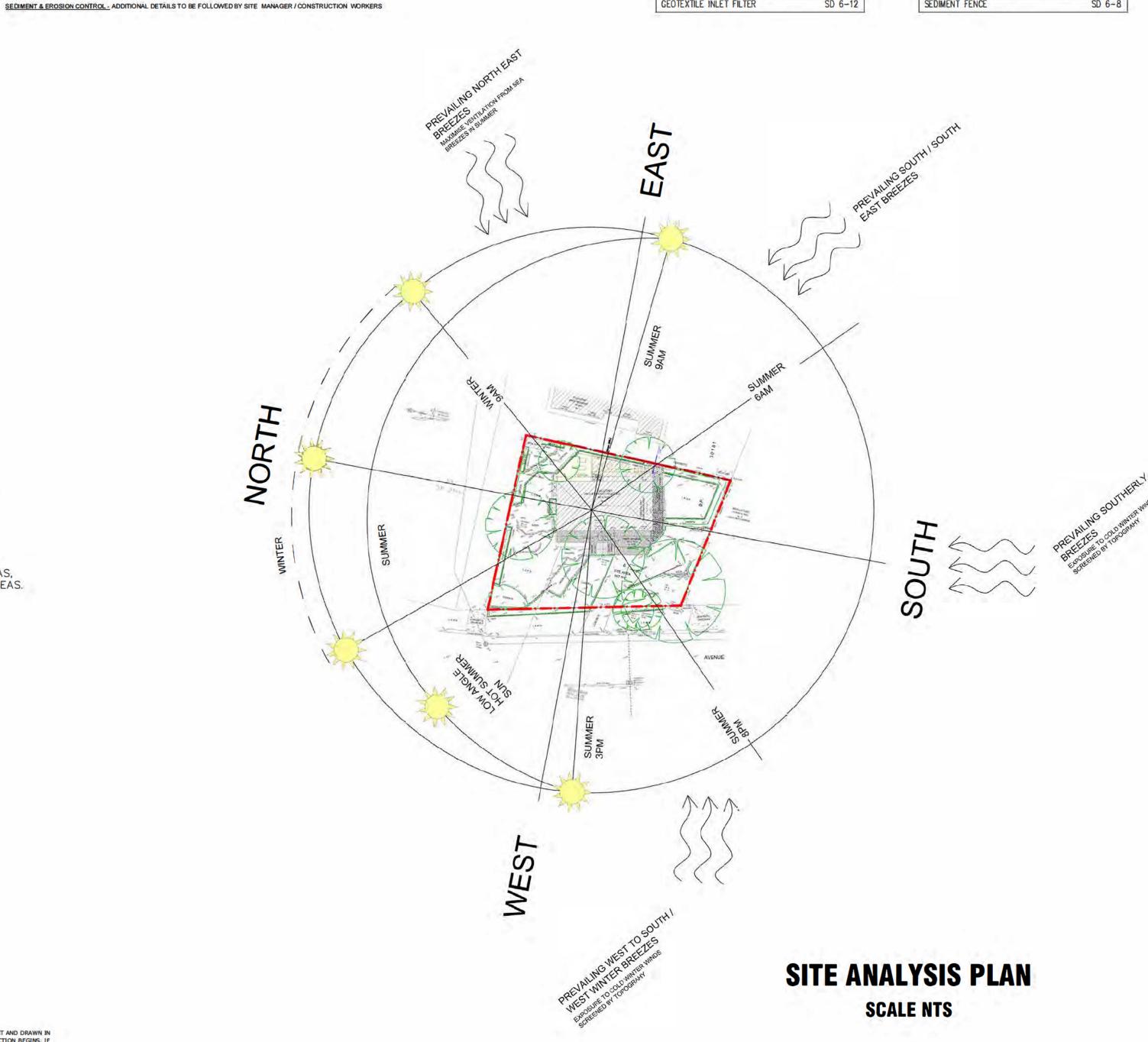
WHERE DUST IS DISEASED AS A RESULT MODES AND/OR SOLL DEPOSARS, THE BASE SOR AREAS MINT BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. Diversion Channels
A BYERSON CHANNEL IS AN EXCLUSED EARTH BITCH OF PATH, THESE STRUCTURES ARE LISED TO INTERCEPT AND OPECT RUN-OFF TO A DESPED LOCATION WHERE POSSIBLE. EARTH WOYONG ACTIVITIES SHOULD BE AVOIDED WHERE WARDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST. NO VEHICLE ASSIGNATED WITH THE WORK IS TO BE PARKED ON A FOO PATH! OR PUBLIC RESIRVE ALL VEHICLES VEHICLE THE SHE DURING DEMOLITION, EXCAVATION AND/OR EXCENSIONATION WORKS, WIE TO COMPLY WITH THE PARKING REQUIREMENTS IN TAIN AREA.

MATERIAL STORAGE AREA SAND SOIL STOCK PILES SEDIMENT FENCE. TO BE PROPOERLY INSTALLED DOWN-SLOPE OF EXPOSED AREAS, STOCKPILES AND WASH-OUT AREAS. SOURCE SEPERATION OF WASTE MATERIALS FOR RECYCLING COMPLIANCE SIGN TO BE DISPLAYED AVENUE

SEDIMENT & EROSION PLAN SCALE 1:200

GENERAL NOTES •BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CUIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES, NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS, IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.





DP: 30181
LOT No. 6
SITE AREA: 667.90MSQ.
EXIST. GFA: 00.00MSQ.
PROPOSED GFA: 00.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW KITCHEN EXTENSION

NEW DECK

NEW ROOF OVER DECK WITH SKY LIGHTS

NEW STEPS

LEGEND:

EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786



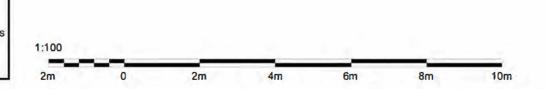


GENERAL NOTES

**BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

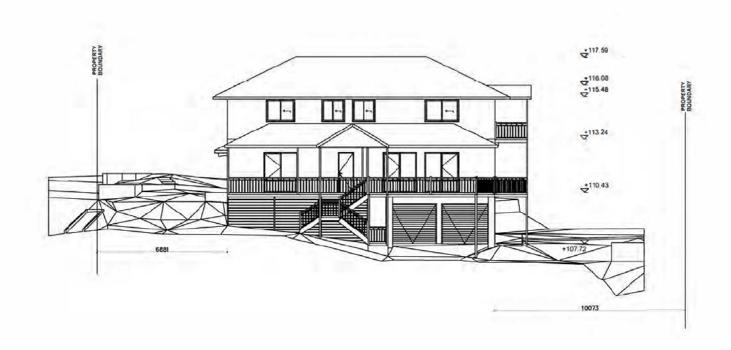
**ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

**CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

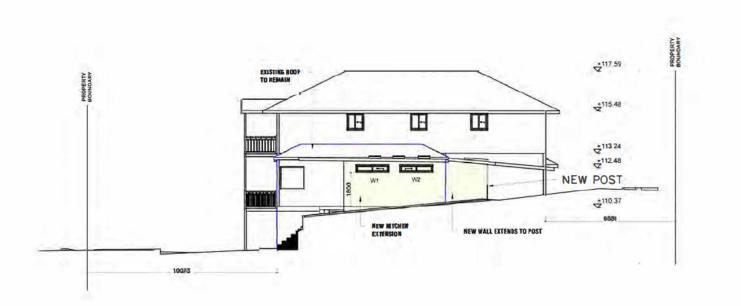


NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

NOTIFICATION PLAN







3 DRESDEN AVE. BEACON HILL 2100

