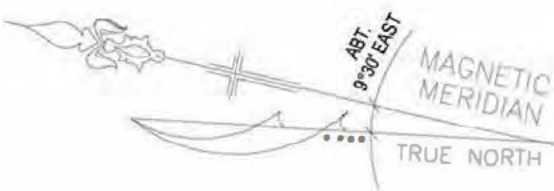


DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE  
  
SMOKE ALARMS TO COMPLY WITH AS 3786  
☆☆



THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



NEW DECK WITH ROOF AND SKYLIGHTS OVER



NEW KITCHEN EXTENSION  
NEW STEPS



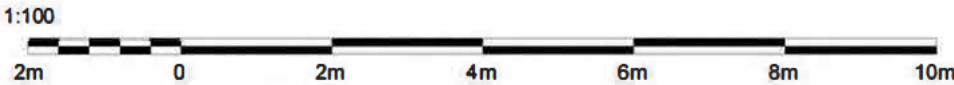
NEW ROOF WITH SKYLIGHTS

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#ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.  
#CONNECT DP'S TO EXISTING STORMWATER SYSTEM.  
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

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Project Address and Alterations  
Date  
Scale AS SHOWN

Sheet 1

DP No. 30181  
LOT No. 6

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02 8776 3474

Project Name and Address  
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3 DRESDEN AVE.  
BEACON HILL  
2100



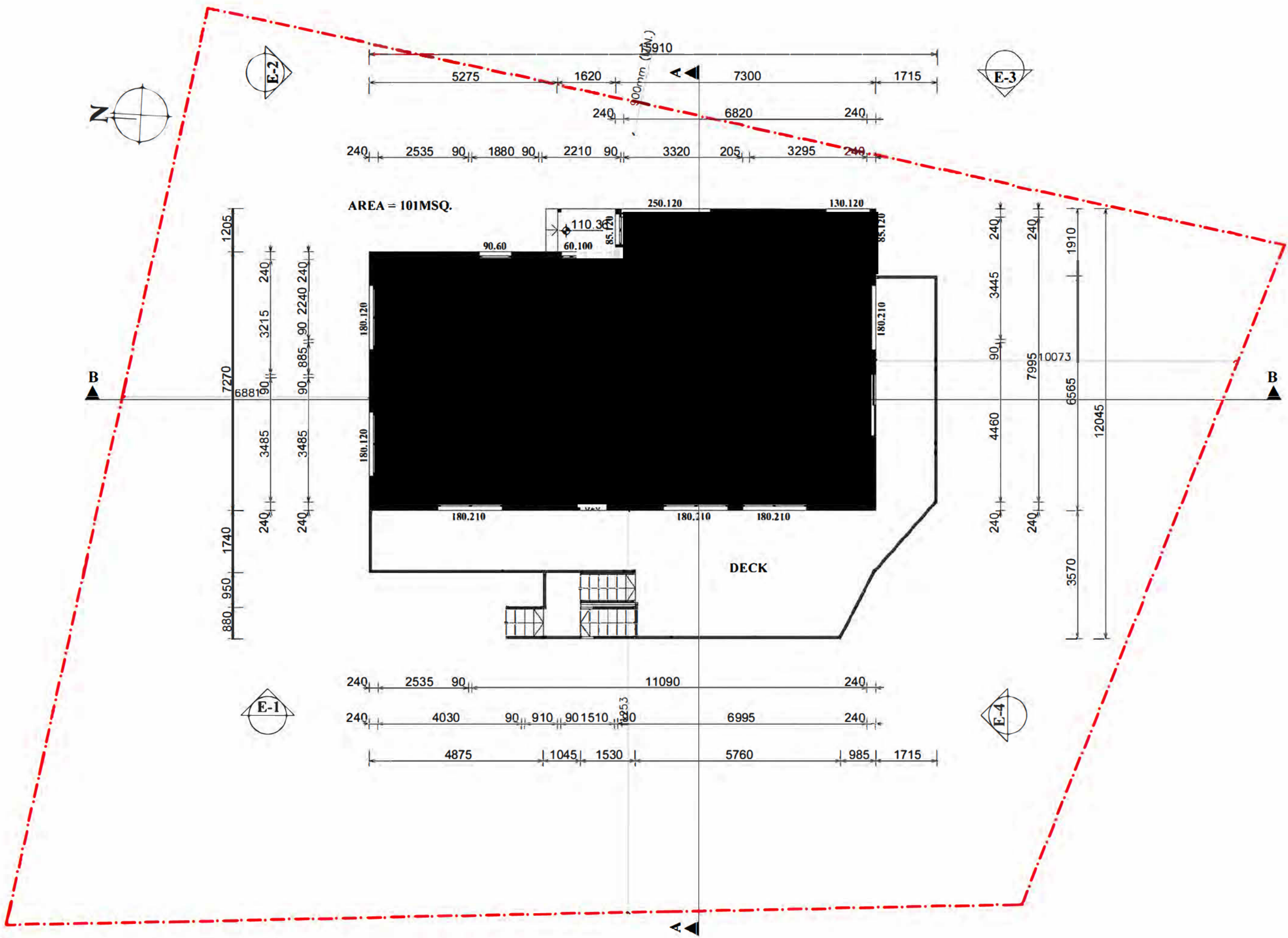
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

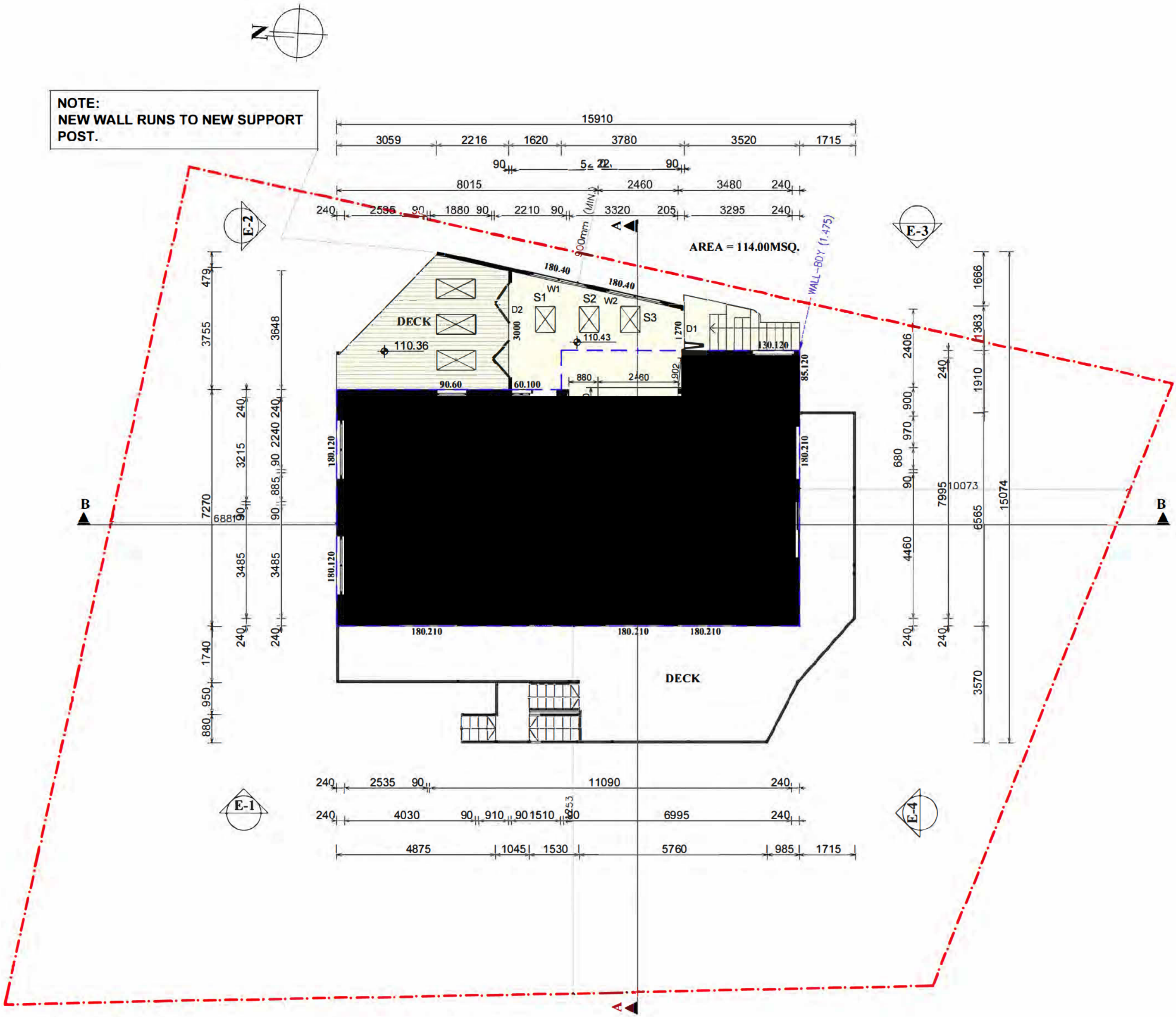
NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

SMOKE ALARMS TO COMPLY WITH AS 3786  
★



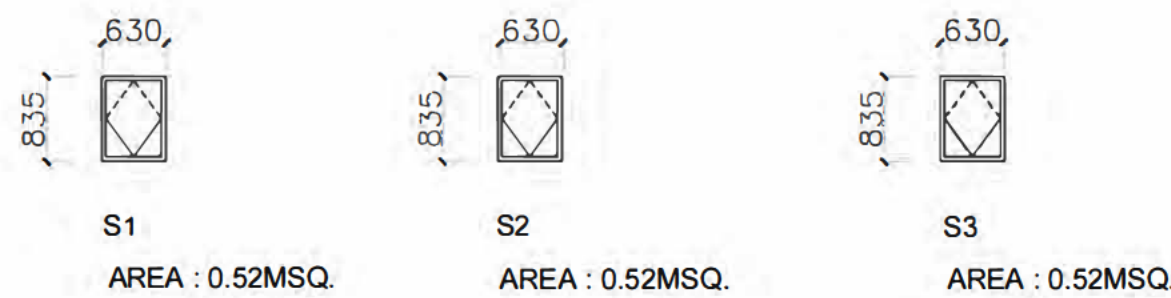
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SCALE 1:100



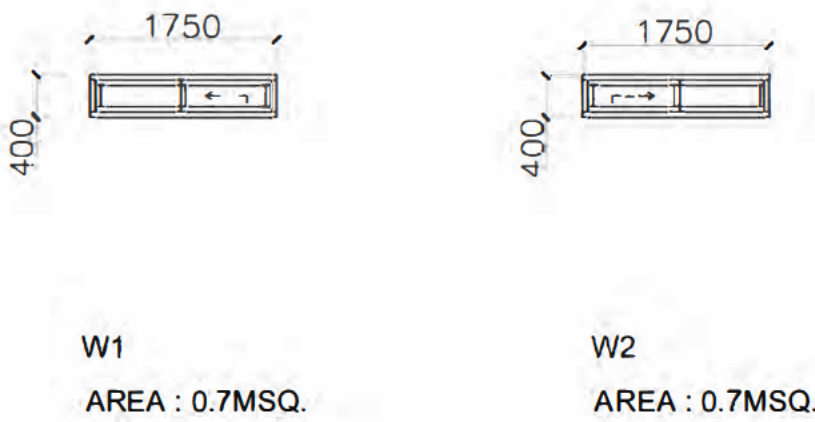
GROUND FLOOR PLAN - PROPOSED  
SCALE 1:100

NEW WINDOWS AND DOORS FOR BASIX

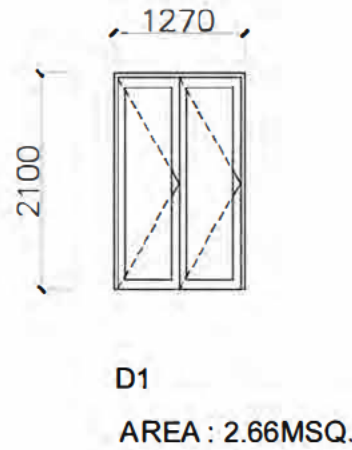
SKYLIGHTS



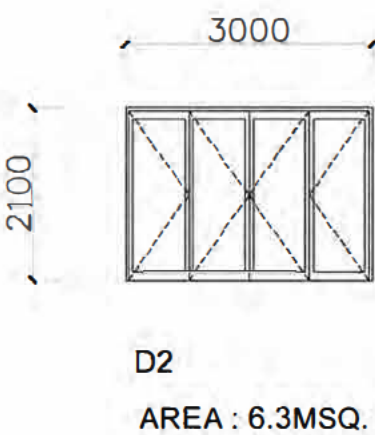
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

GENERAL NOTES  
\*BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS  
\*ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS  
\*CONNECT DPS TO EXISTING STORMWATER SYSTEM  
\*ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK  
General Notes

Project  
Revisions and  
Alterations  
Date  
Scale  
AS SHOWN

Sheet  
2

DP No. 30181  
LOT No. 6

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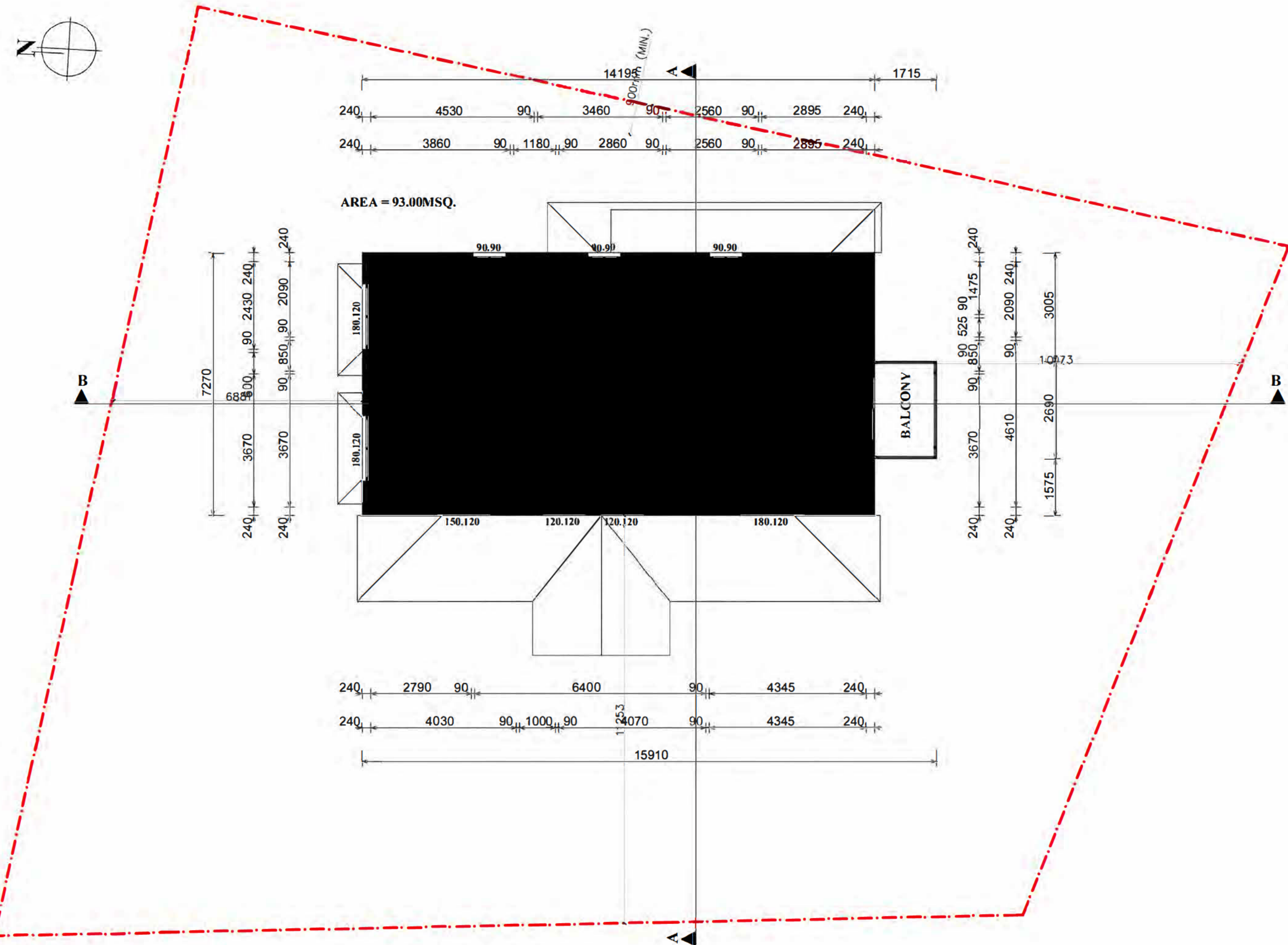
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

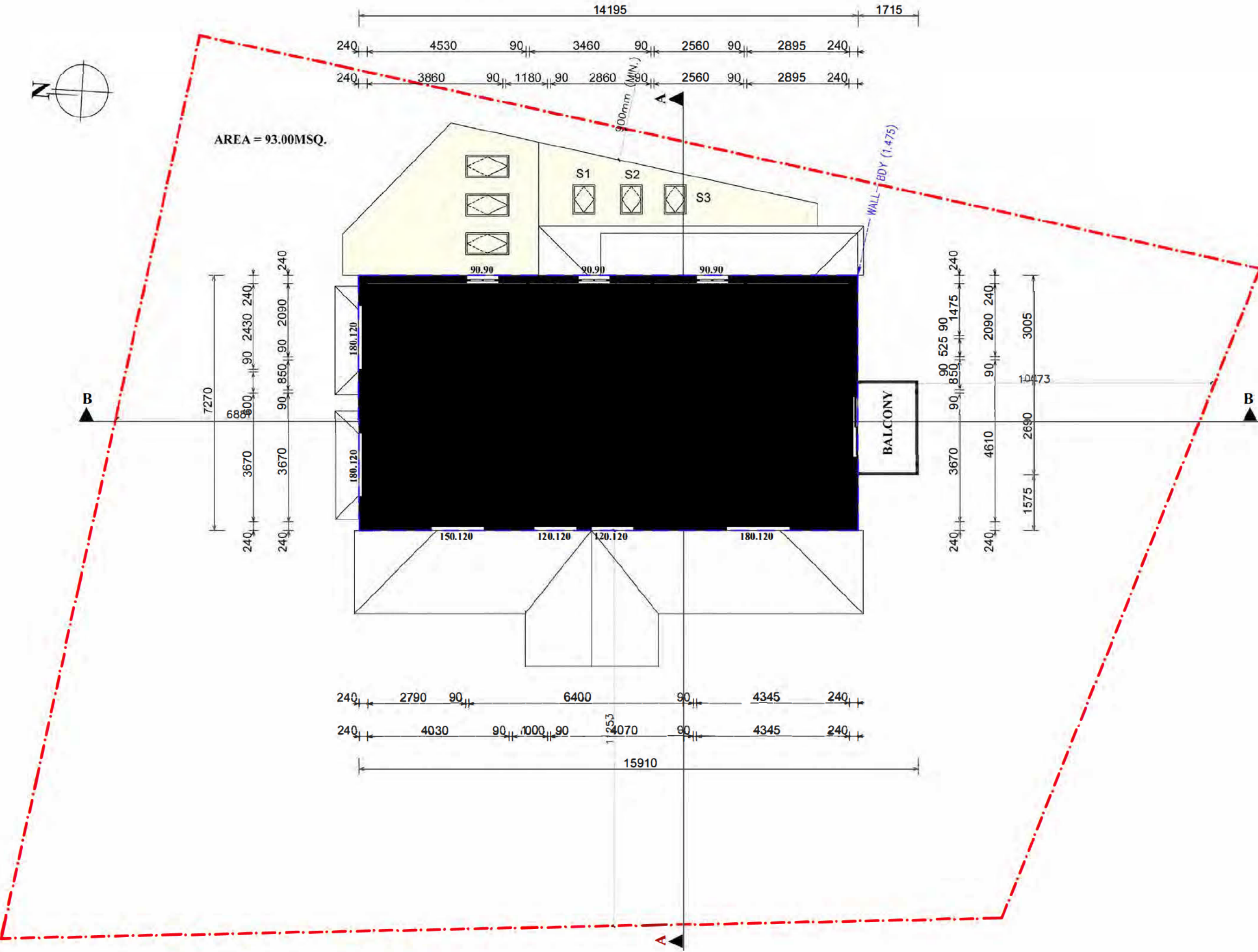
NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE  
NEW WORK

SMOKE ALARMS TO COMPLY WITH AS 3786  
★



1st FLOOR PLAN - EXISTING  
SCALE 1:100



1st FLOOR PLAN - PROPOSED  
SCALE 1:100

GENERAL NOTES  
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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
NEW WORK  
General Notes

Project  
Name and  
Alterations  
Date  
Scale  
AS SHOWN

Sheet  
3

DP No. 30181  
LOT No. 6

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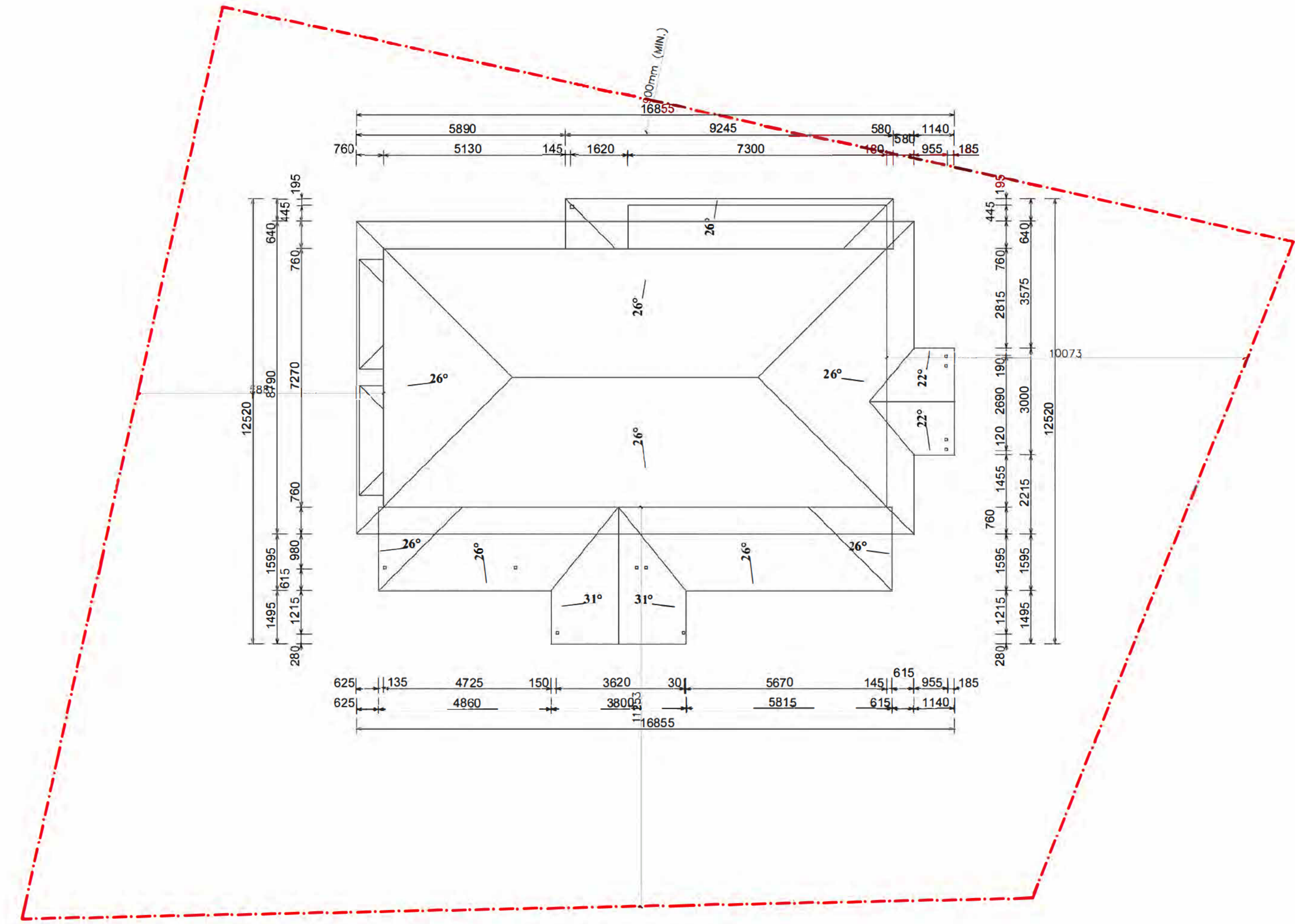
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

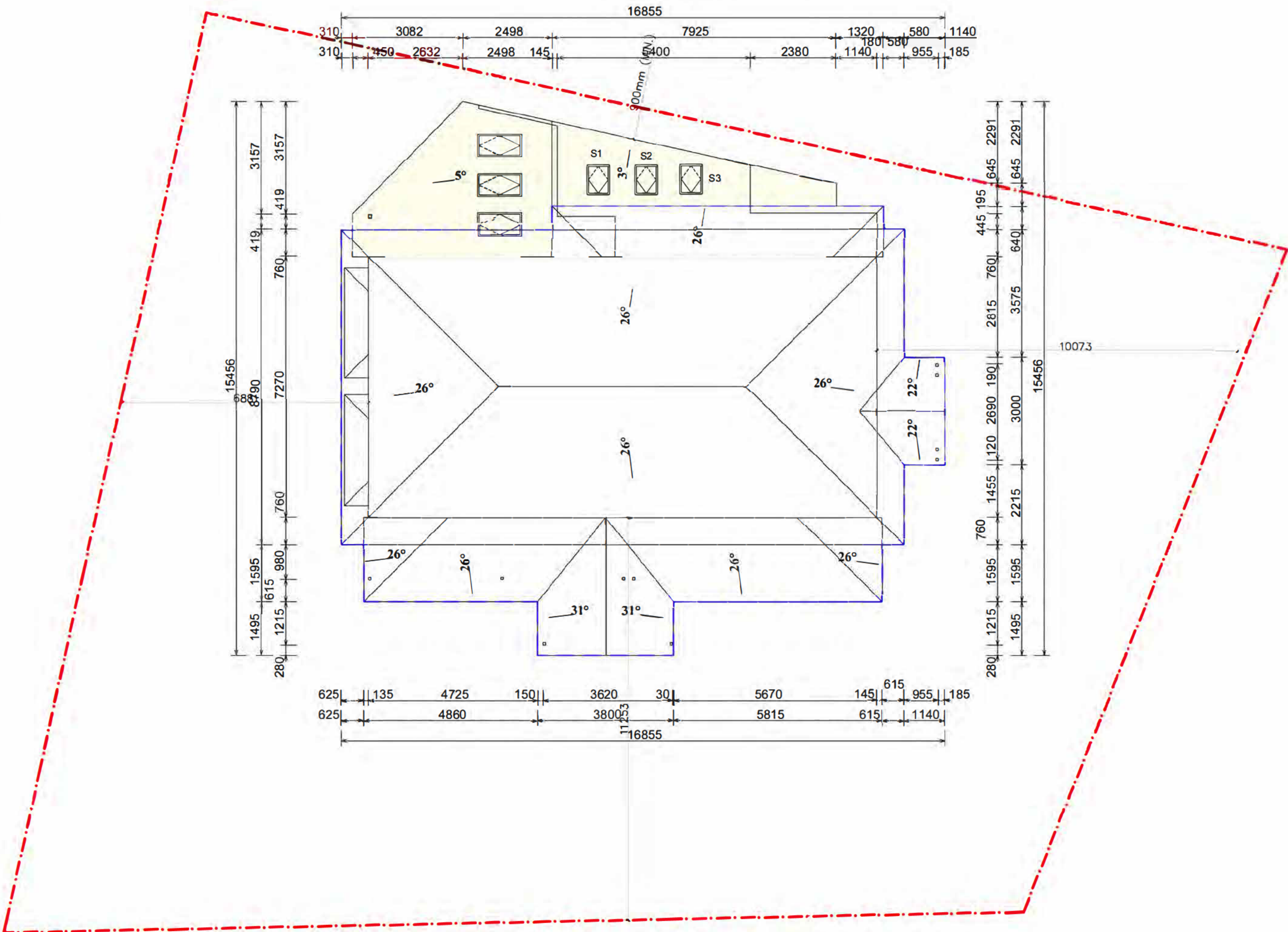
NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE  

SMOKE ALARMS TO COMPLY WITH AS 3786  
☆

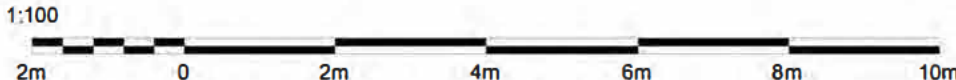


ROOF PLAN - EXISTING  
SCALE 1:100



ROOF PLAN - PROPOSED  
SCALE 1:100

GENERAL NOTES  
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ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK  
General Notes

Project:  
30181  
Date:  
Scale:  
AS SHOWN

Sheet:  
4

DP No. 30181  
LOT No. 6

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DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
★



WEST ELEVATION - EXISTING  
SCALE 1:100



NORTH ELEVATION - EXISTING  
SCALE 1:100



WEST ELEVATION - PROPOSED  
SCALE 1:100



NORTH ELEVATION - PROPOSED  
SCALE 1:100

GENERAL NOTES  
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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK  
Cancel all Floors

Project  
Name and  
Address  
Date  
Scale  
AS SHOWN

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5

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LOT No. 6

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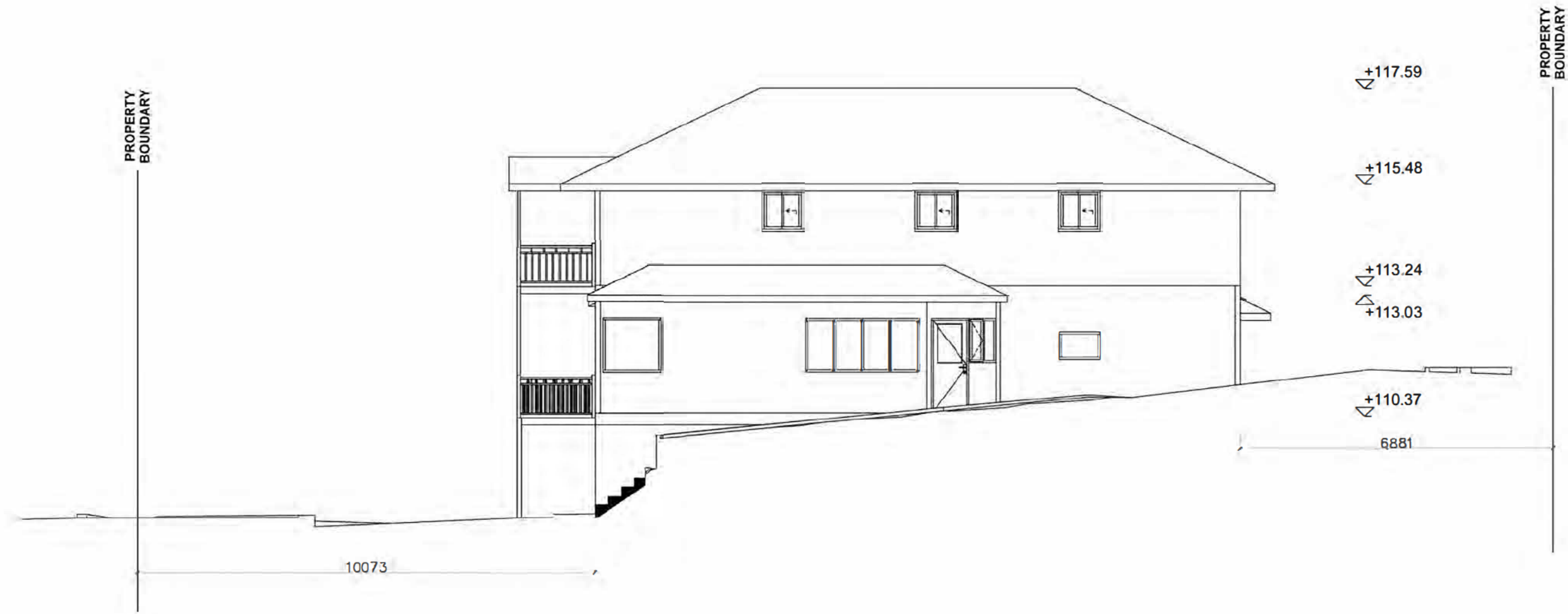


DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

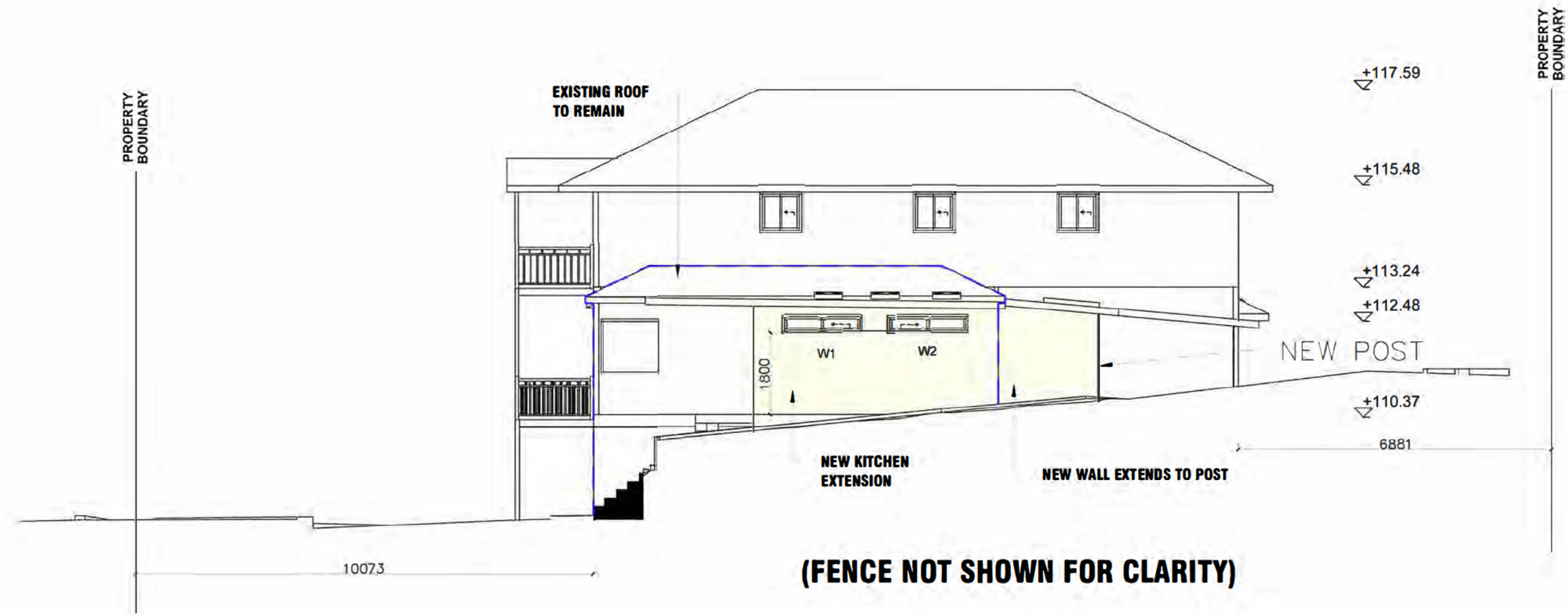
LEGEND:  
EXISTING BUILDING OUTLINE  
  
SMOKE ALARMS TO COMPLY WITH AS 3786  
★



EAST ELEVATION - EXISTING  
SCALE 1:100



SOUTH ELEVATION - EXISTING  
SCALE 1:100



EAST ELEVATION - PROPOSED  
SCALE 1:100



SOUTH ELEVATION - PROPOSED  
SCALE 1:100

GENERAL NOTES  
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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK  
General Notes

Project  
Name  
30181  
Date  
Sep. 27, 22  
Scale  
AS SHOWN

Sheet  
6

DP No.  
30181  
LOT No.  
6

A  
ISSUED FOR DA  
N/A  
Date  
Sep. 27, 22

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Project Name and Address  
SUE HATCHER  
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BEACON HILL  
2100



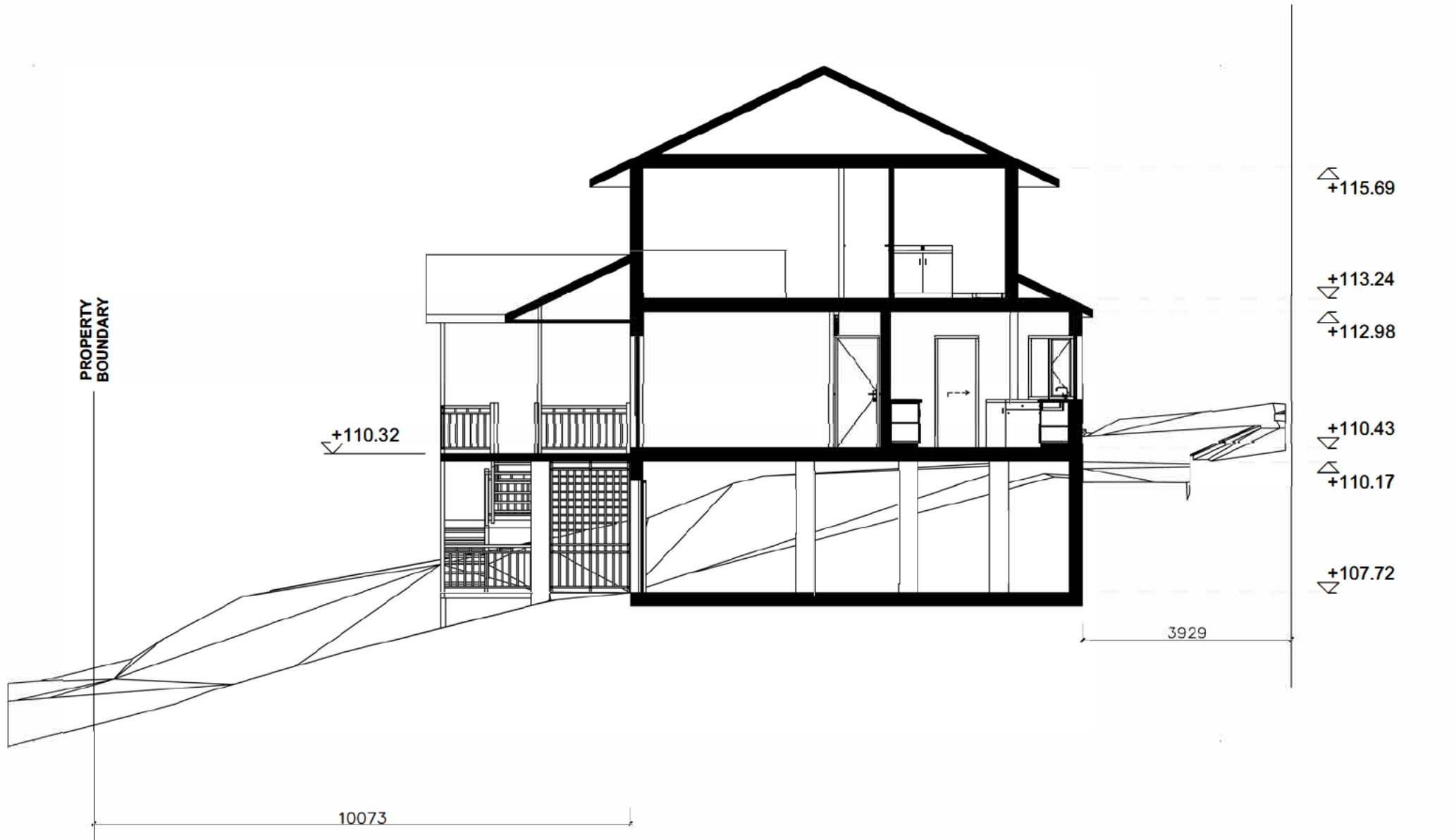
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

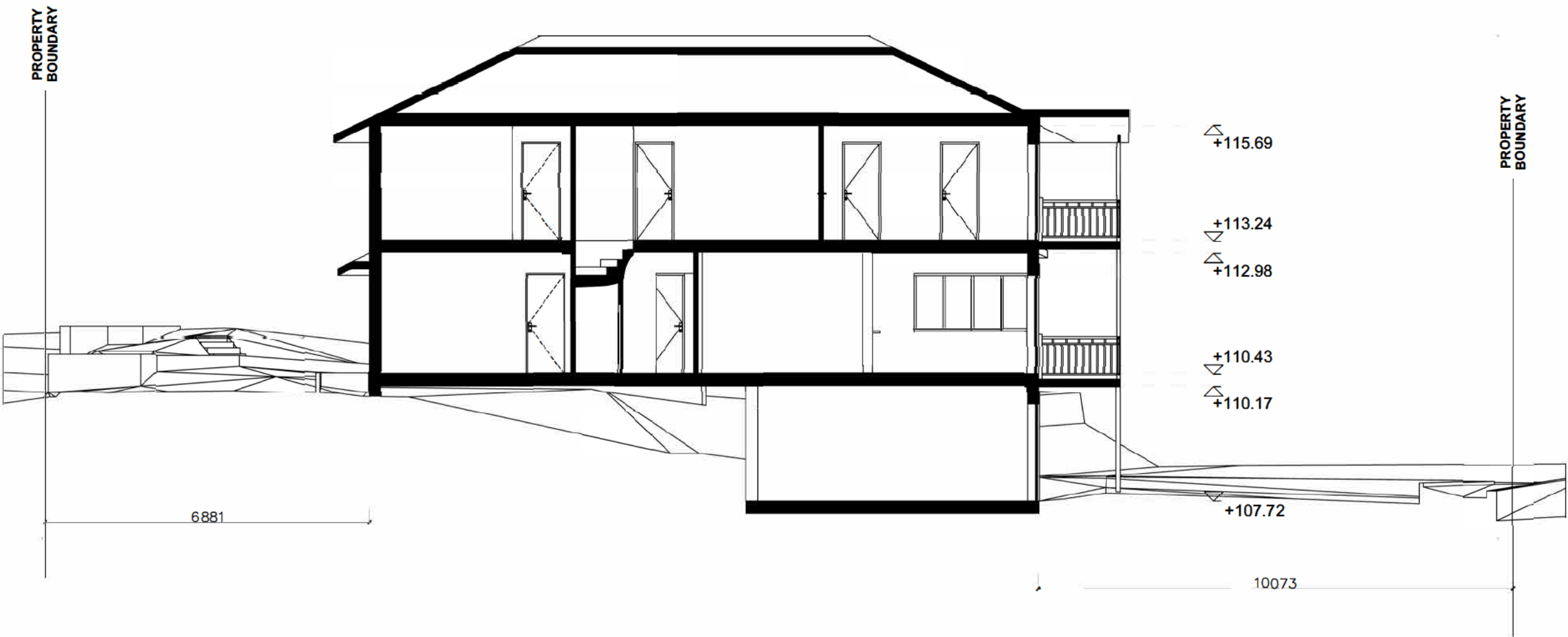
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NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE

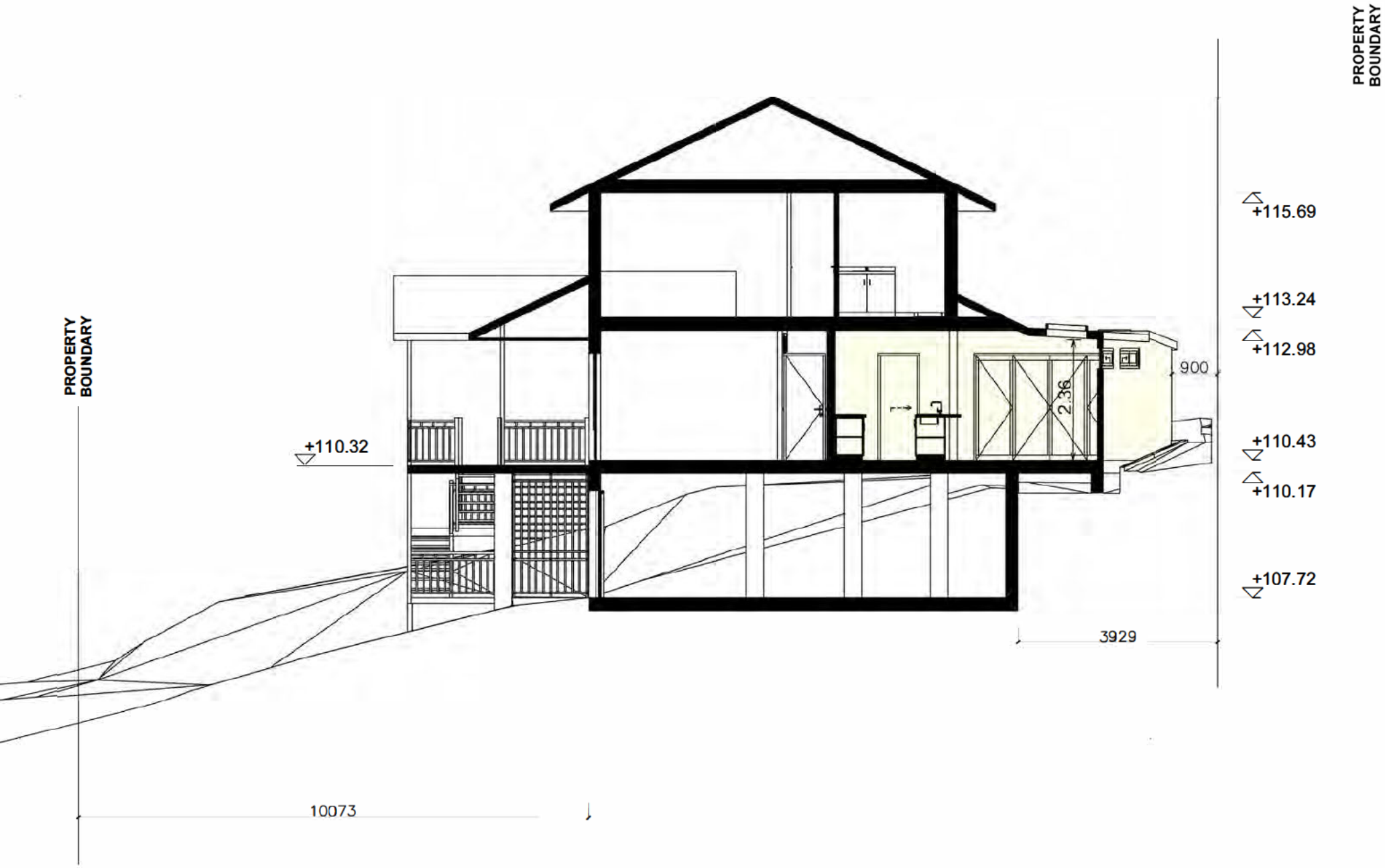
SMOKE ALARMS TO COMPLY WITH AS 3786  
✱



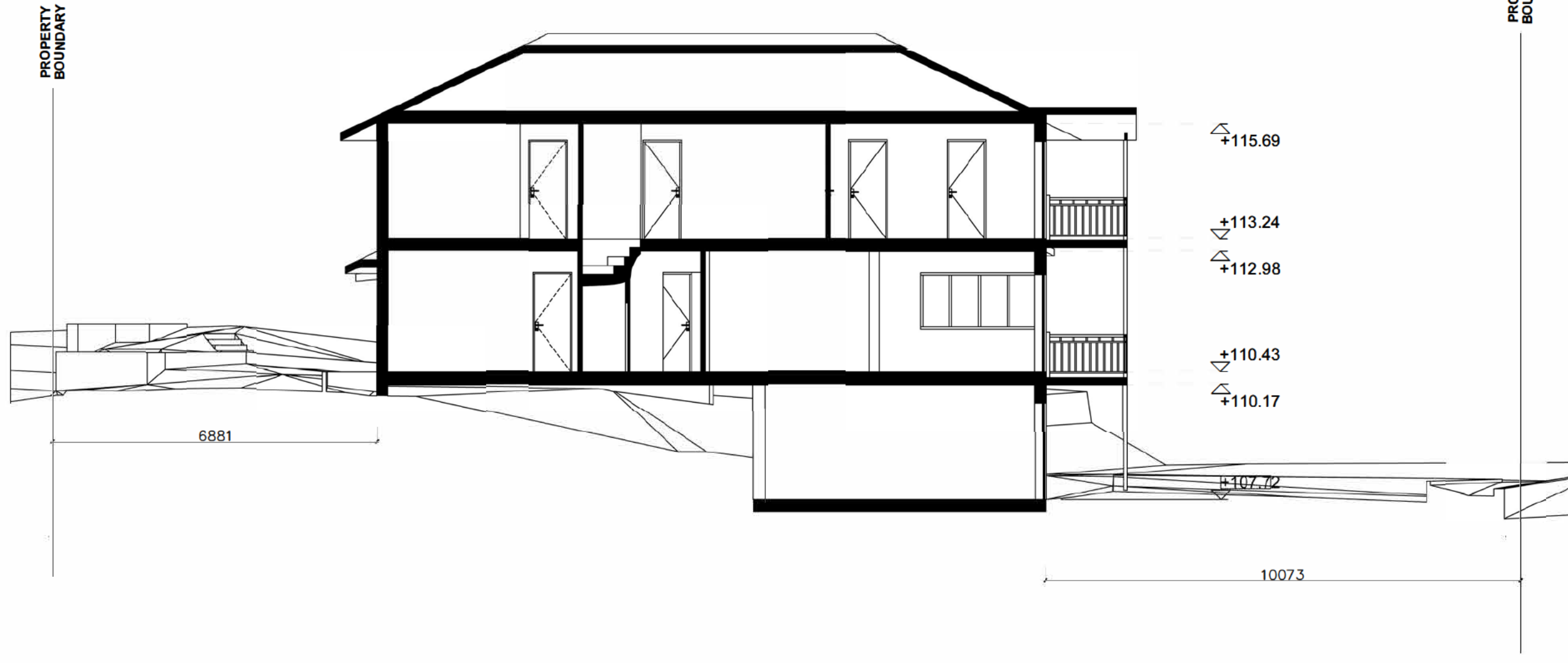
SECTION A - EXISTING  
SCALE 1:100



SECTION B - EXISTING  
SCALE 1:100



SECTION A - PROPOSED  
SCALE 1:100

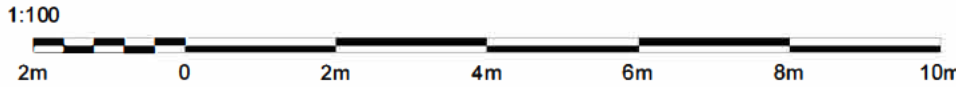


SECTION B - PROPOSED  
SCALE 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS
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BEACON HILL  
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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

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Project  
ADDITIONS AND  
ALTERATIONS  
Date

Scale  
AS SHOWN

Sheet  
7

DP No.  
30181

LOT No.  
6

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BEACON HILL  
2100



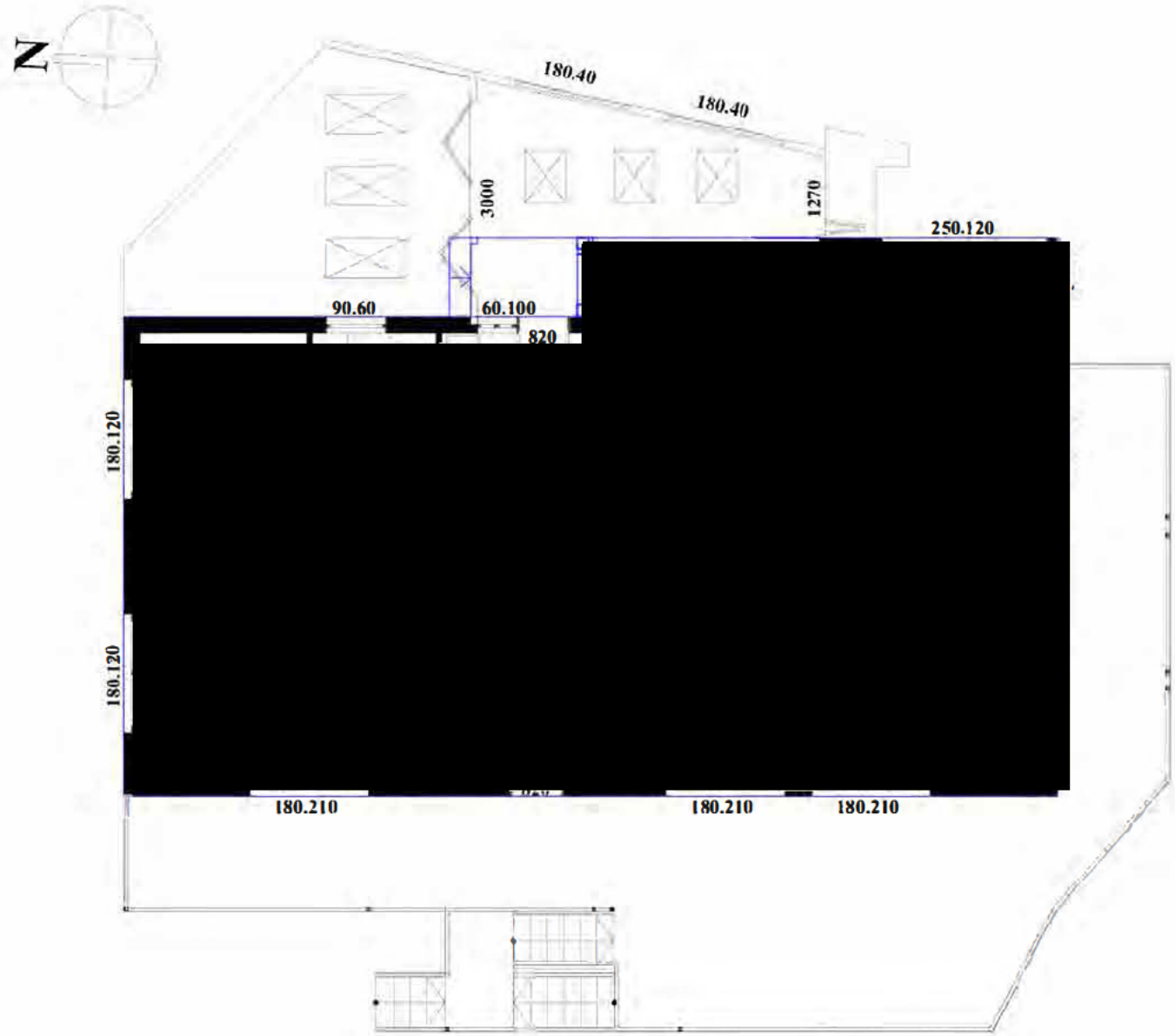
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE

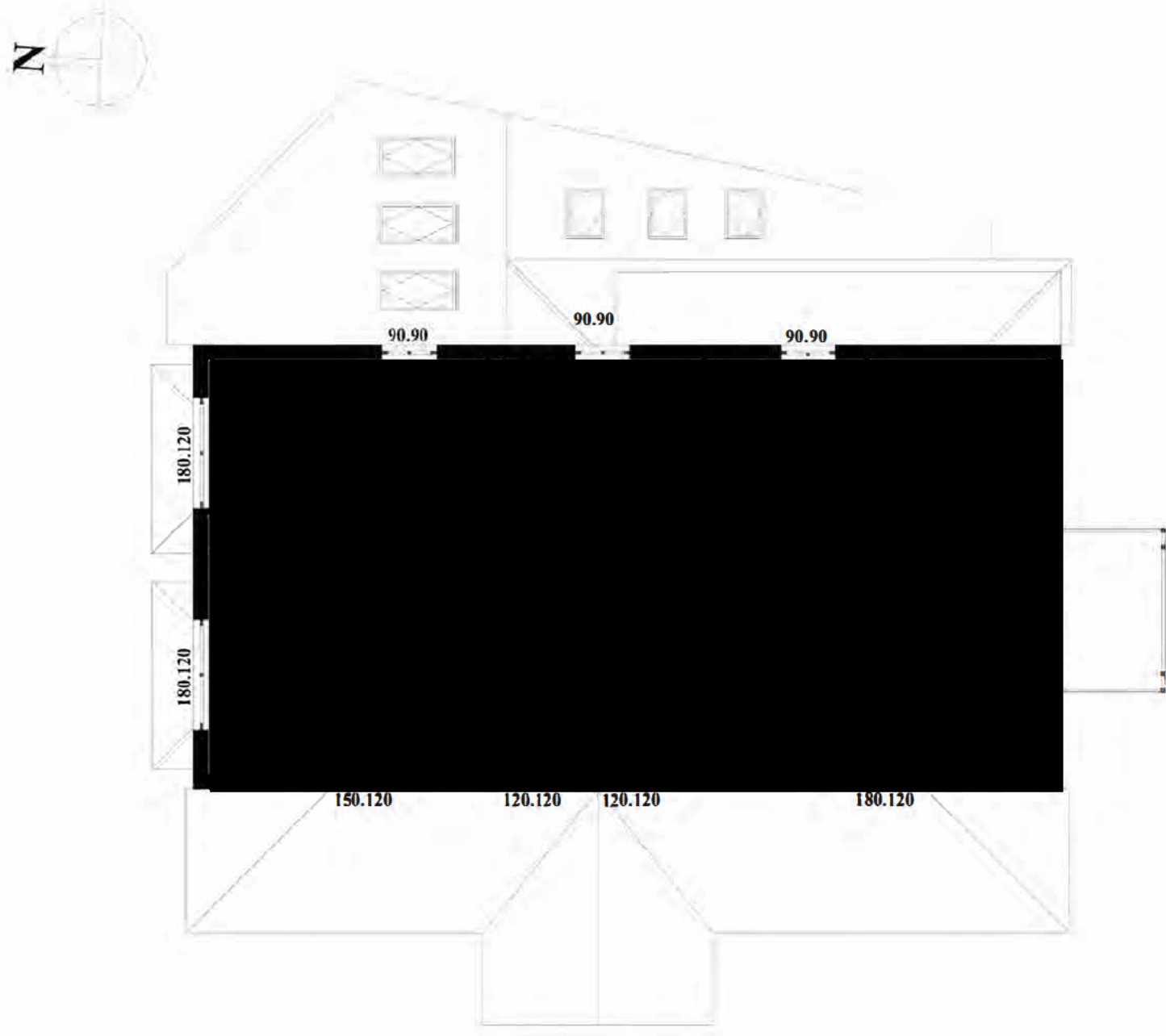
SMOKE ALARMS TO COMPLY WITH AS 3786  
★



LEGEND:

EXISTING WORKS TO BE REMOVED

DEMO PLAN - GROUND FLOOR  
SCALE 1:100



DEMO PLAN - 1ST FLOOR  
SCALE 1:100

GENERAL NOTES  
+BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS  
+ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.  
+CONNECT DPS TO EXISTING STORMWATER SYSTEM ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:  
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3 DRESDEN AVE.  
BEACON HILL  
2100

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK  
General Notes

Project Name and Address  
ALTERATIONS  
Date  
Scale  
AS SHOWN

Sheet  
8

DP No.  
30181

LOT No.  
6

A  
ISSUED FOR DA  
No.  
Revised/Issued  
Date  
Sep. 27, 22

DRAFTING HELP PTY LTD  
19/12-14 PARAKATAH ST  
MCKINNA VILLE 2153  
www.draftinghelp.com.au  
02 8776 3474

Project Name and Address  
SUE HATCHER  
3 DRESDEN AVE.  
BEACON HILL  
2100



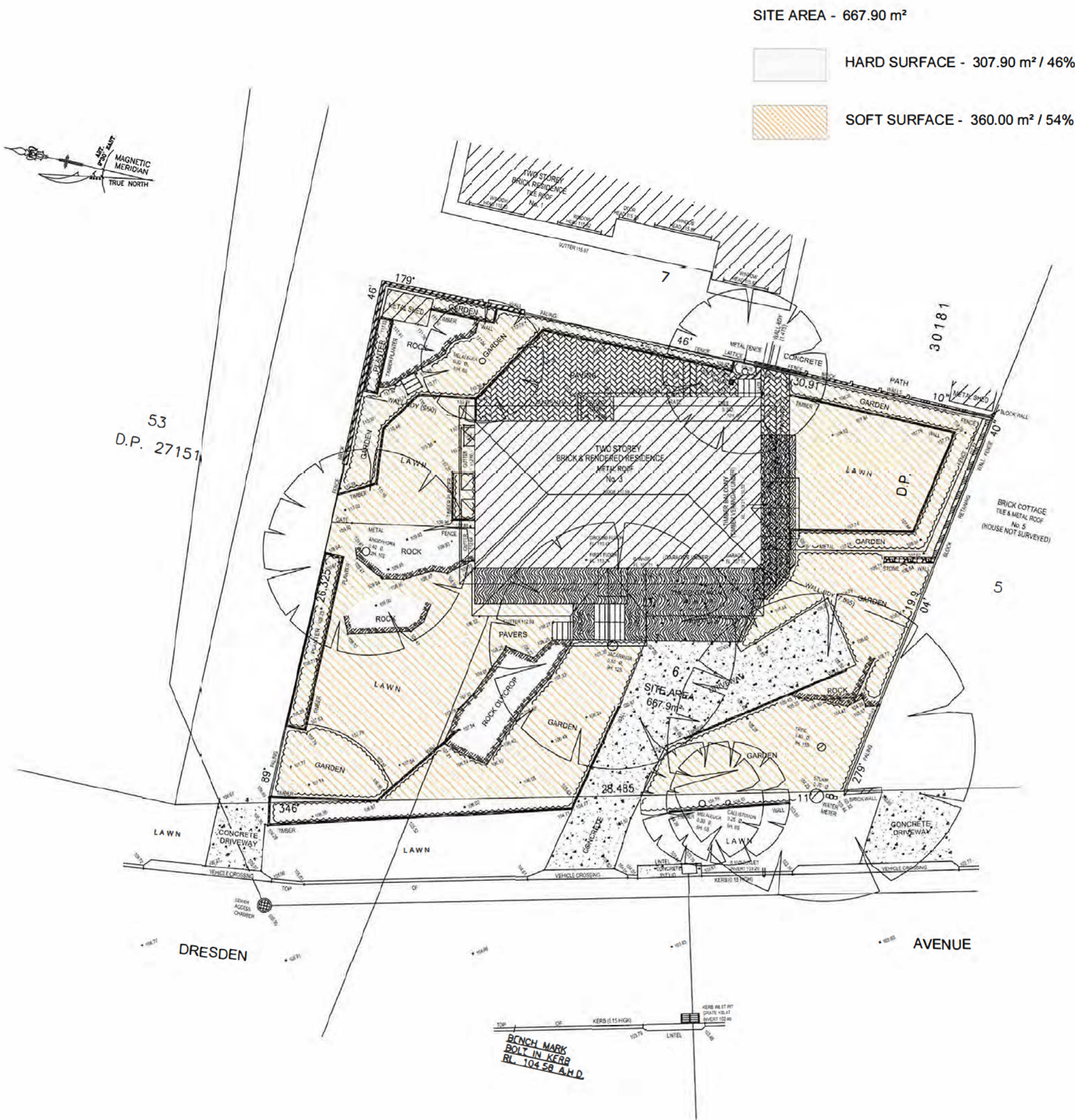
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
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NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
☆



LANDUSE PLAN - EXISTING  
SCALE 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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LANDUSE PLAN - PROPOSED  
SCALE 1:100

3 DRESDEN AVE.  
BEACON HILL  
2100

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

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Project AND/OR AMENDMENTS  
Date: 9  
Scale: AS SHOWN

DP No: 30181  
LOT No: 6

A ISSUED FOR DA Sep. 27, 22  
No. Revision Issue Date

DRAFTING HELP PTY LTD  
18/12-14 WARRATAH ST  
MCKINNA VILLE 2103  
www.draftinghelp.com.au  
02 8776 3474

Project Name and Address  
SUE HATCHER  
3 DRESDEN AVE.  
BEACON HILL  
2100



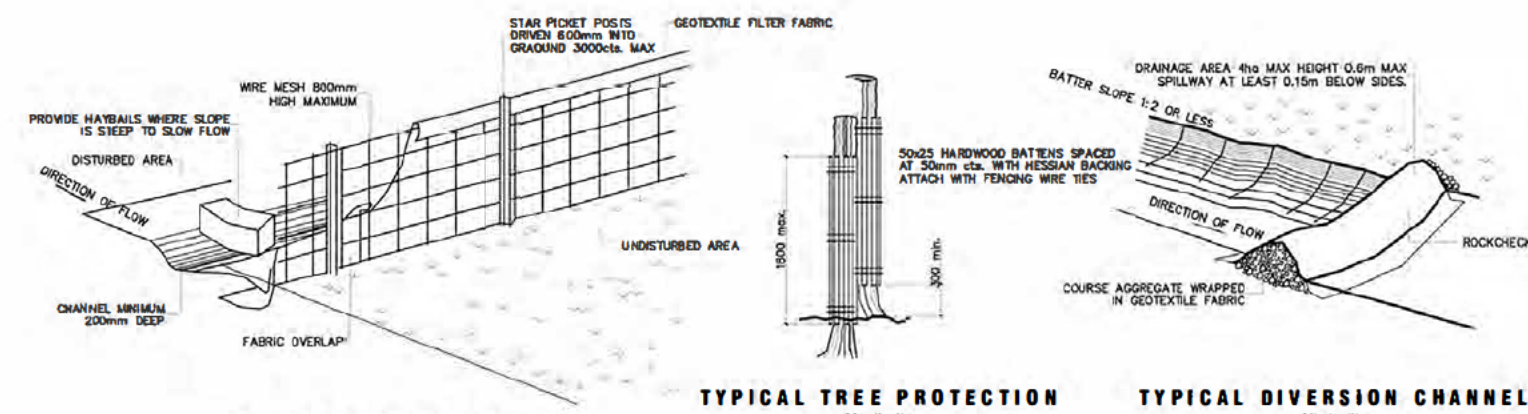
DEVELOPMENT PROPOSAL

DP: 30181  
LOT No. 6  
SITE AREA: 667.90MSQ.  
EXIST. GFA: 00.00MSQ.  
PROPOSED GFA: 00.00MSQ  
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NEW WORKS:  
NEW KITCHEN EXTENSION  
NEW DECK  
NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

SMOKE ALARMS TO COMPLY WITH AS 3786

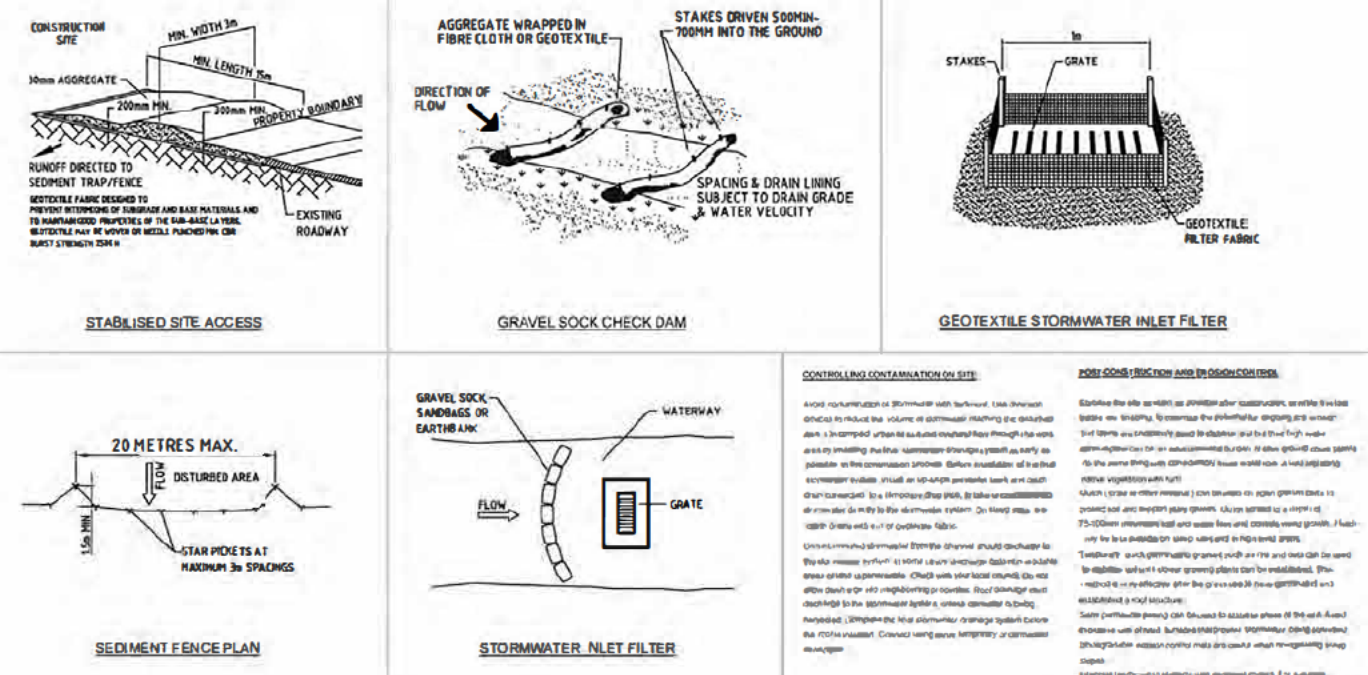


**Vehicle Movements**  
To gain access to the site, the road must be closed to traffic. The road must be closed to traffic for the duration of the construction. The road must be closed to traffic for the duration of the construction. The road must be closed to traffic for the duration of the construction.

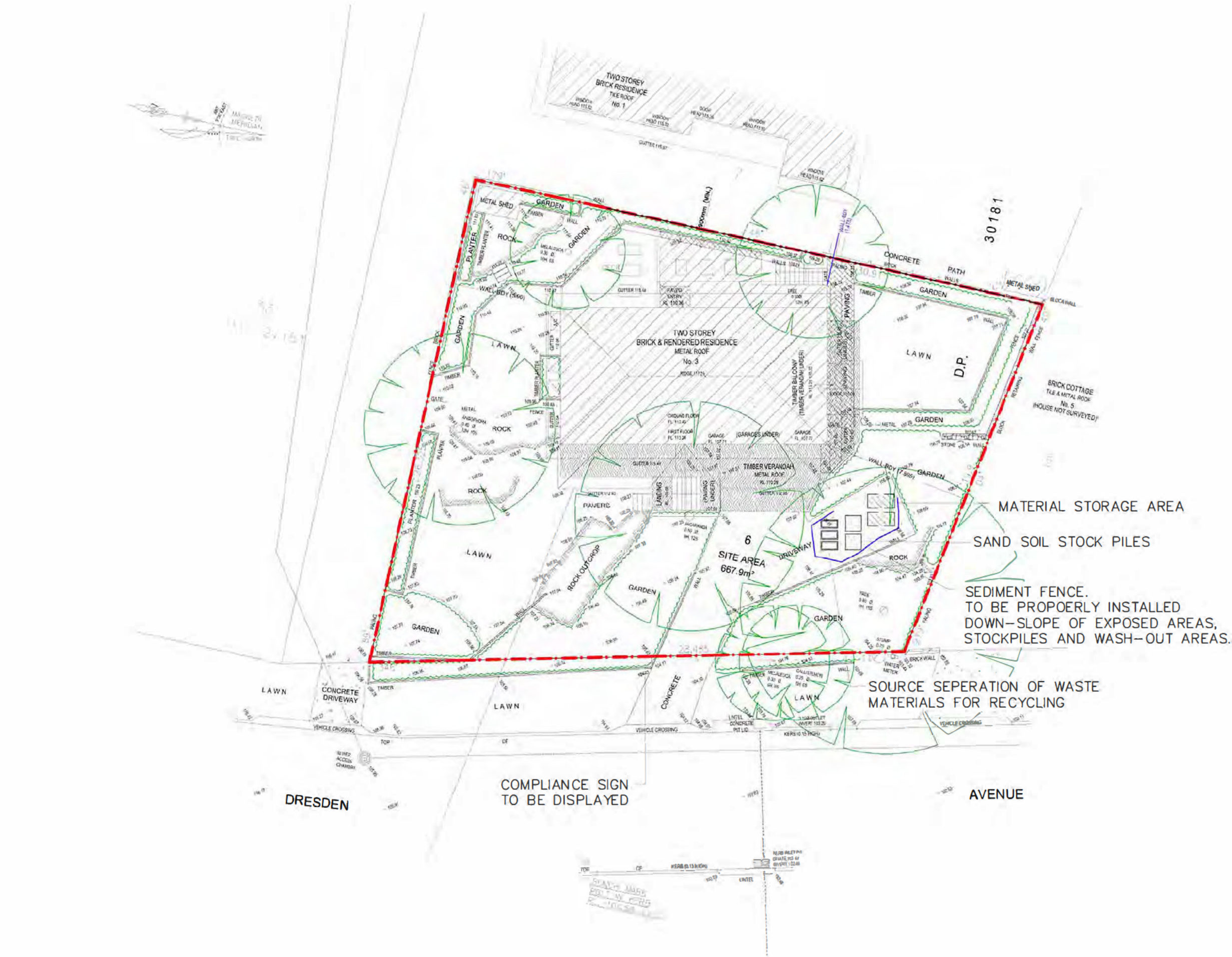
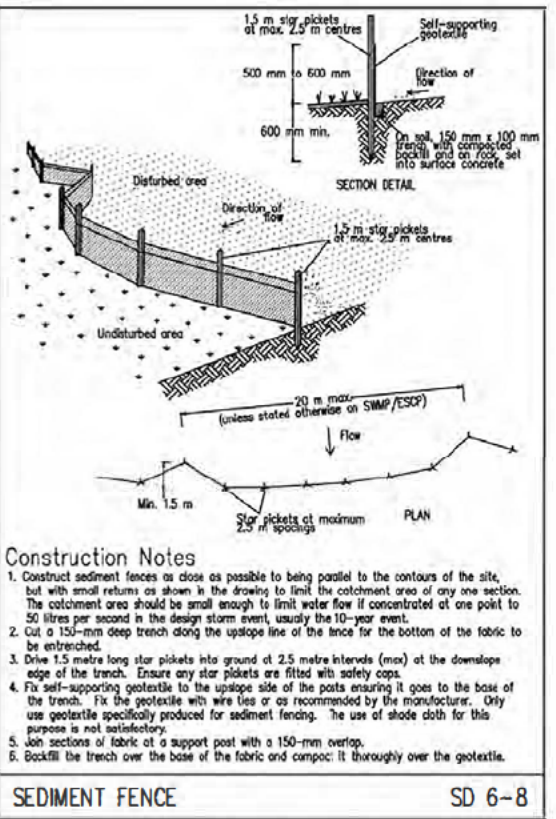
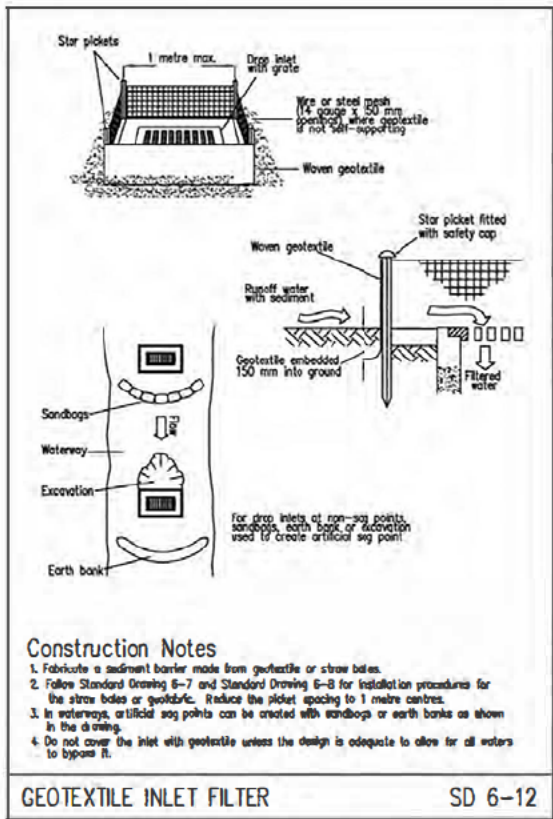
**Sediment Traps**  
Sediment traps are used to catch sediment and debris before it enters a water body. They are designed to be installed in a water body. They are designed to be installed in a water body. They are designed to be installed in a water body.

**Division Channels**  
Division channels are used to divide a construction site into different areas. They are designed to be installed in a construction site. They are designed to be installed in a construction site. They are designed to be installed in a construction site.

**Dust Control**  
Dust control measures are used to reduce the amount of dust generated during construction. They are designed to be installed in a construction site. They are designed to be installed in a construction site. They are designed to be installed in a construction site.

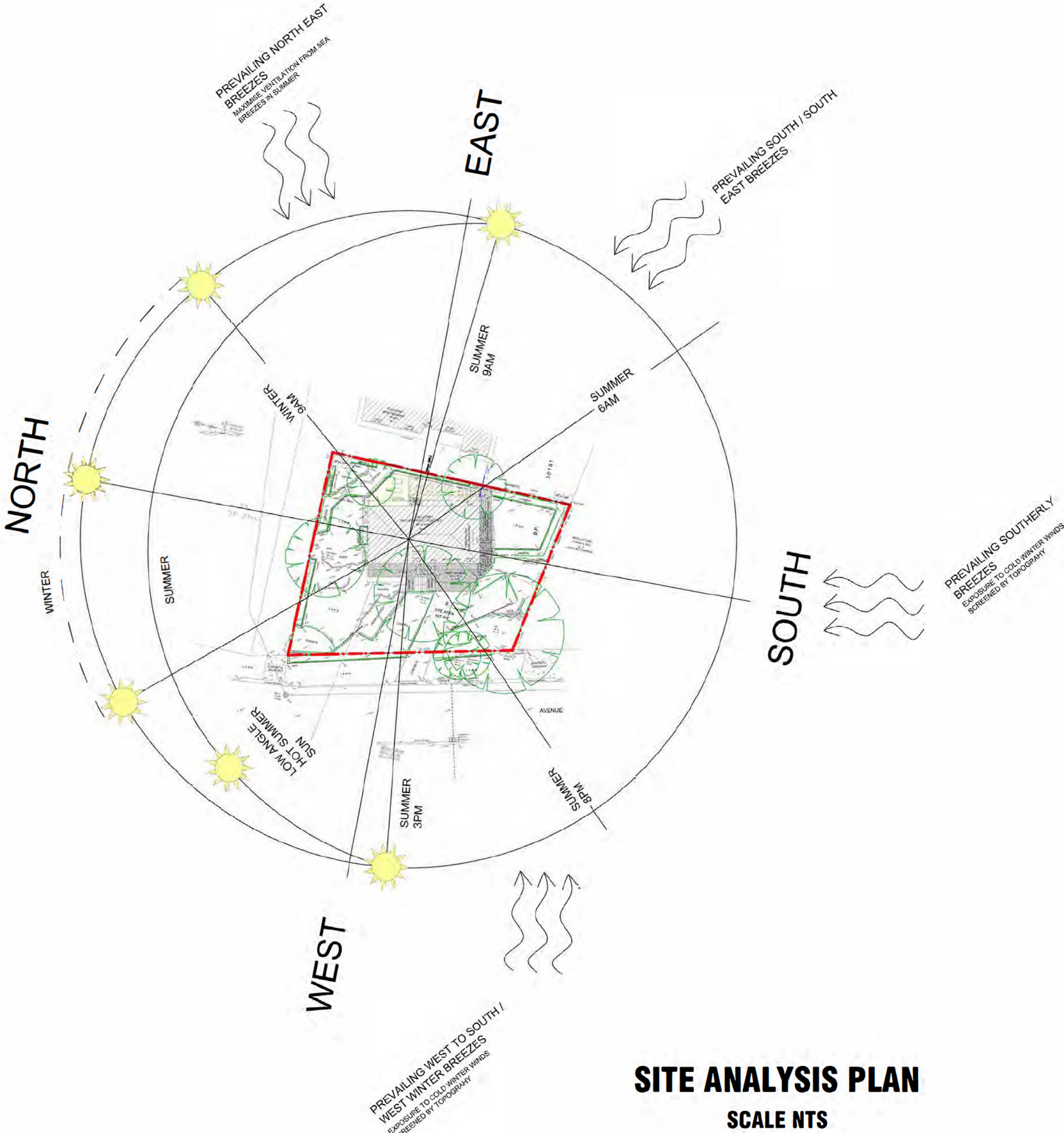


SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS



**GENERAL NOTES**  
1. The sediment fence must be installed in a water body. It must be installed in a water body. It must be installed in a water body.  
2. The sediment fence must be installed in a water body. It must be installed in a water body. It must be installed in a water body.  
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BEACON HILL  
2100

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

Project Name and Address  
SUE HATCHER  
3 DRESDEN AVE.  
BEACON HILL  
2100



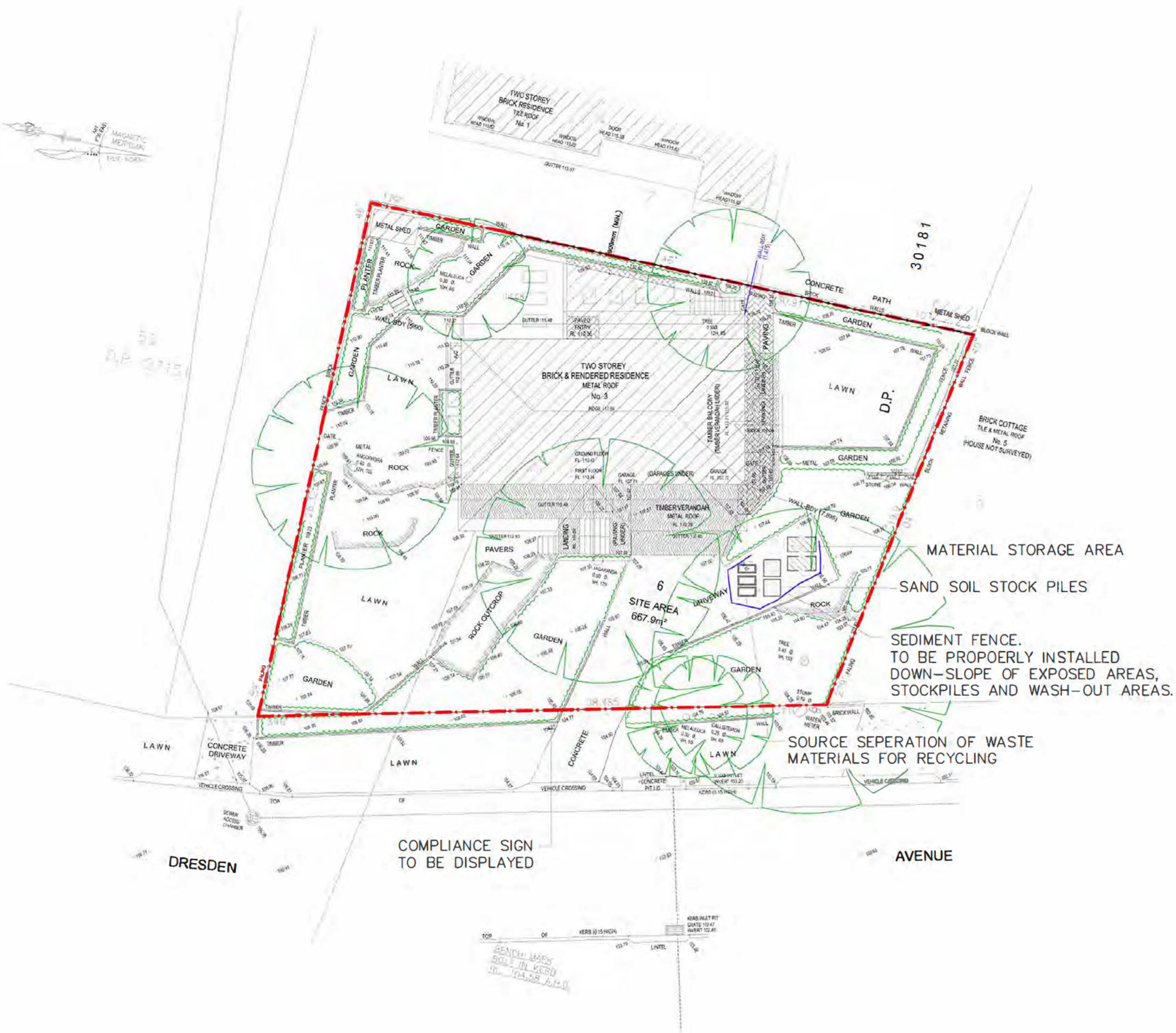
DEVELOPMENT PROPOSAL

DP: 30181  
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NEW ROOF OVER DECK WITH SKY LIGHTS  
NEW STEPS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

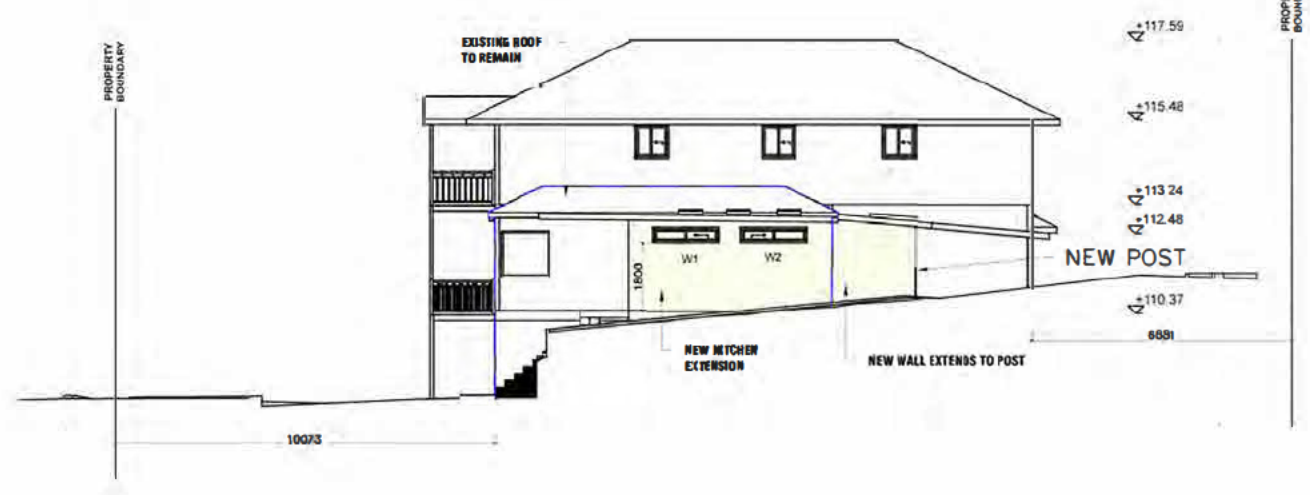
SMOKE ALARMS TO COMPLY WITH AS 3786



GENERAL NOTES  
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NOTIFICATION PLAN



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Project Name and Address	Sheet
30181	11

DP No.	30181
LOT No.	6
Scale	AS SHOWN
Issued For	DA
Rev/Issue	1
Date	Sep. 27, 22

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MORNINGTON VICT 3113  
www.draftinghelp.com.au  
02 8778 3474

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