



**Statement of  
Environmental  
Effects  
at  
26 Wabash Avenue,  
Cromer  
NSW 2099  
For  
Simon Roy**

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**RAPID PLANS**

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## **1 INTRODUCTION**

This Statement of Environmental Effects accompanies the development application for the proposed alterations and additions at 26 Wabash Avenue in Cromer.

This statement seeks to express that the proposal complies with Council's Ordinances and has compliance with the Council's objectives.

In formulating this Development Application careful consideration has been given to the sensitivity of the site, its relationship with surrounding properties, and the unique character of the streetscape and the nature of the surrounding area.

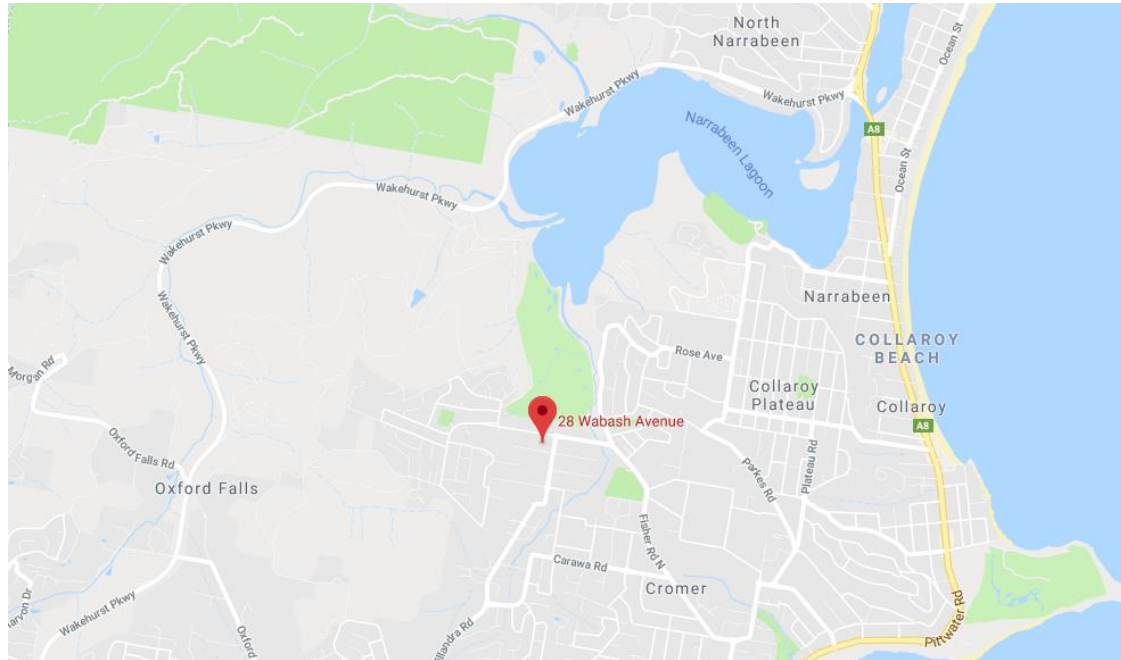
## 2 THE EXISTING BUILDING

### 2.1 Site

The residence is located on the northern side of Wabash Avenue in the residential neighbourhood of Cromer.

Site Address: No 26 Wabash Avenue, Cromer

#### LOCATION PLAN



### 2.2 Local Authority

The local authority for this site is:  
Northern Beaches Council (Warringah)  
Civic Centre, 725 Pittwater Road,  
Dee Why NSW 2099  
DX 9118 Dee Why  
Telephone: 9942 2111

### 2.3 Zoning

Lot 36 Sec. 2 DP.1818 known as 26 Wabash Avenue, Cromer, has a Zoning of R2 Low Density Residential. This property does not fall within a Conservation Area.

### 2.4 Planning Controls

Planning controls used for the assessment of this Development Application are:  
Warringah Local Environment Plan 2011  
Warringah Development Control Plan 2011

## ***2.5 Context and Streetscape***

The house is situated in a street that is characterized by large trees and period homes. The street presents as typical of the garden suburb characterised by property trees small shrubs and street trees.

The street trees are quite mature overhanging the avenue and the properties in the street have a mix of trees and small shrubs. The property is an existing two storey dwelling with housing directly opposite. Houses in the street are mainly single and double storey of varying periods with a mix of period homes & modern architectural style housing.

The locality is considered a low-density area. An important characteristic and element of Cromer significance as a garden suburb is the garden setting of its houses, and the flow of garden space around and between its houses.

## ***2.6 Existing Areas of the Dwelling***

The site has an existing two storey dwelling with garage under & concrete parking area to the front.

## ***2.7 Existing off-street parking***

There is parking available for multiple cars in the existing garage & on the existing concrete drive. There is no necessity for street parking.

## ***2.8 Existing Landscaping***

The landscaping to the existing property consists of hedging to the SW corner of the front boundary with several native trees & grassed areas to the dwelling. To the rear yard there are several medium sized native trees scattered around the yard with grassed with garden bed areas to the side & rear boundaries with small shrubs & plants as well as grassed areas between the dwelling & the rear boundary. The existing landscaping is to be maintained where possible for this development.

### **3 THE PROPOSAL**

Visual character of the street will remain consistent with the local dwellings as one that maintains the garden suburb. The building will remain a double storey building with car parking to the front. The appearance & bulk of the building is to be maintained throughout the development with the front façade to be remain, with all works to the rear of the dwelling to be in keeping with surrounding properties. The proposed works provide refurbished internal areas, new rear addition, new rear deck, new pool, new landscaping & new sheet metal roof.

The proposal is in sympathy with the existing residence maintaining the scale and character of a house and the garden suburb.

#### ***3.1 Features of the Proposal***

**Externally the proposal encompasses:**

- New lower ground masonry walls
- New ground floor walls rear of dwelling
- New rear deck, planter boxes & pool area
- New sheet metal roof
- New landscaping

**Internally the proposal encompasses:**

- New lower ground laundry
- New ground floor dining & living addition
- New kitchen, walk in robe & ensuite to existing master bed

#### ***3.2 Present and Future uses of the Residence***

The present use of the residence is as a detached private residence on its own title and this will **not** change with the proposal.

#### ***3.3 Purpose for the additions***

The new proposal provides better provision for living & entertaining areas for the residents whilst maintaining the bulk of the dwelling that is fitting for the Cromer area. The owner is looking to modernise the rear of the house & maintain certain key components of the existing dwelling by reconfiguring & refurbishing internal areas to be more usable for the owner's family. A new Ensuite & walk in robe is required on

the ground floor which uses the existing laundry & bath area. A new pool, rear decking with stairs, planter boxes & a bbq area improve the usable space for the owners with clear view lines from the internal areas of the dwelling. The design maximizes the existing dwelling & available area of land whilst maintaining the bulk. The proposed development maintains the northern aspect improving the lifestyle for the resident as well as making the residence much more energy efficient and environmentally friendly.

### **3.4 Materials and finishes proposed to be used**

Materials proposed to be used externally, are new, weatherproof, durable and aesthetically pleasing, reflecting and fitting in general with the existing built environment and surrounding materials and reflecting the existing materials and design of the existing residence.

External materials used, and colours selected for finishing to new works are generally matching existing or sympathetic to the existing materials, comprising of:

Masonry walls to match existing to lower floor

Cladded walls to ground floor

Alloy doors to rear elevation

Roofing in colour bond sheet metal medium to dark colour

Timber decks painted

### **3.5 Height**

The height of the new development will not exceed the 8.5m height limit.

### **3.6 Site Controls**

<b>Proposed Development</b>	<b>Proposed</b>	<b>Allowable</b>
Site Area	1011.5 sq m	-
GFA (Gross Floor Area)	211.04 sq m	-
Height	7.47m	8.5m
Built upon area	353.64 sq m	606.90 sq m (max)
Landscaping	657.86 sq m	404.60 sq m (min)

### ***3.7 Setbacks and Siting***

#### **Proposed Development**

#### **Proposed**

#### **Allowable**

Front Set Back	5.87m (existing)	6.5m
Rear Set Back	20.13m	6.0m
Side Set Back	0.914m (east) 3.09m (west)	0.9m

The front & side setbacks of the residence will remain consistent with the existing dwelling & adjacent properties

The new works to the rear of the property have substantial setbacks to side & rear boundaries which improves the openness of the property.

### ***3.8 Access and Traffic***

Due regard has been given to pedestrian and vehicular access. The proposal shows that the existing access to Wabash Avenue is to be maintained with the drive. The proposed development will have no detrimental impact on traffic flow.

### ***3.9 Privacy, Views and Outlook***

The positioning of doors, pool, timber decking and open space in the proposed residence at No 26 Wabash Avenue has minimal impact on the visual and acoustic privacy of adjoining properties. The siting and design of the proposed addition minimizes overlooking into neighbours' living areas and recreation space with the western side of the deck making use of a privacy screen to the adjacent property. The cladded walls provide a barrier to the neighbours on the adjacent boundaries and the new rear deck area does not directly impact neighbouring properties.

### ***3.10 Solar Access and Overshadowing***

The site slopes from the west to east. The location of the proposed addition has been carefully designed to maximize the northerly solar aspect with minimal impact on neighbour's properties. The bulk of the wall & roof shadowing will be existing with only a small shadow increase which will maintain sunlight to the open space areas on the east & west adjacent properties.



### **3.11 Acoustic Privacy**

Acoustic privacy has been maintained across the development. The cladded walls and timber floors on the property act as a buffer to noise as well as careful planting. It is considered that this development imposes minimal noise impact to neighbours.

### **3.12 Water Management**

Appropriate water management measures have been adopted in this development. Stormwater from new roofed areas will be fed into the existing stormwater drainage system and piped to the street gutter.

### **3.13 On-Site Detention**

As per Warringah Council On-Site Stormwater Detention Technical Specification August 2012 alterations & additions for single residential dwellings will not require OSD.

## **4 ENERGY EFFICIENCY**

Energy conservation is an important feature in the design of this development. Careful consideration has been given to promote sustainable design.

### **4.1 Orientation**

The living spaces have been designed to make maximum use of the existing dwelling as well as the northerly aspects.

### **4.2 Passive Solar Heating**

The living spaces have timber floors and cladded stud walls. The outdoor areas are to be timber to promote heating during the winter months. Materials that have a high thermal mass have been proposed to maximize the heating potential of the sun. This is to reduce the need to use active systems for the heating of the living spaces.

### **4.3 Passive Cooling**

Overhangs have been designed to prevent the sun from entering the house during the summer months & to provide compliance with Basix certificate. There is the potential for cross ventilation cooling with the sliding open doors and windows maximizing the north-easterly breezes to assist in passive cooling.

#### ***4.4 Natural light***

Large open doors to the north enable the living spaces to have generous amounts of sun during the winter months and natural light during the summer months.

#### ***4.5 Insulation and Thermal Mass***

The development will be constructed from a masonry & timber frames construction. As well as providing for acoustic and fire requirements this construction provides a good thermal mass for the house. The new works to the house shall be thermally insulated in the ceiling with R1.74 75mm foil backed blanket & R1.7 batts to the exterior walls and where necessary to the party walls.

#### ***4.6 Waste Management***

This proposal promotes waste minimization and would have minimal impact on existing waste management strategies. Ample space for the separation and temporary storage of waste and recycling bins has been allowed in the front yard. Household effluent will be disposed of to Sydney Water requirements. During construction onsite sedimentary controls, including hay bales and filter barriers, will be used to prevent stormwater pollution. On site sorting of construction waste will ensure maximum recycling occurs.

#### ***4.7 Siting and Setback***

Cromer is noted for the uniformity and the site coverage siting. Most houses are free standing with the car access to the front or down one side. 26 Wabash Avenue is a good example of this in that it has its car parking in the existing garage minimizing cars parked on the street. The siting of the house is relevant to the shape of the block & neighbouring properties with the entry to be maintained. The new section to the rear of the house follows this design concept. There have been generous areas of ground dedicated to the planting of landscaped areas in both the front and the rear areas of the house.

#### ***4.8 Development on Sloping Land***

No. 26 Wabash Avenue, Cromer is shown in Landslip Category B on Northern Beaches Council Landslip map. In relation to Clause 6.4 of WLEP 2011, the proposed development has a low risk of landslide in relation to both property & life due to the flat grade & structural integrity of the site & dwelling. There is no detrimental impact of stormwater discharge as the proposal makes use of the

existing stormwater system with the additional runoff feeding into the existing system & piped to the street gutter. The development will not impact on or affect the existing subsurface flow conditions due to minimal excavation for footings.

#### **4.9 Building Form**

Residential buildings in Cromer are uniformly single and double storey and similar in bulk. They are similar in shape but remain individually designed. The wall facades are to be cladded for a lightweight construction option. The new works have been designed to improve the rear of the building form & to create a modern design that suites the area.

#### **4.10 Roof Form**

Roofs of this housing period are usually quite simple and accentuate the single and double storey scale of the house. The existing house has a sheet metal roof with the proposal to use a low pitched high tensile sheet metal roof to the rear addition to limit height & overshadowing. The roofs to the front of the dwelling are to be maintained.

#### **4.11 Walls**

A distinctive feature of the Cromer house is that the walls are constructed from masonry. The design incorporates masonry & cladded timber framed walls into the new works for a lightweight construction option to the rear of the dwelling.

#### **4.12 Windows and Doors**

A variety of window shapes and sizes can be found in the Cromer area. These individualize each of the homes giving each a unique character. Windows are typically rectangular in shape and are of a vertical proportion. Bay windows are also used although sliding, double hung and casement types are more typical. Windows and doors are usually made from alloy or timber and are invariably painted.

The proposed sliding doors at 26 Wabash Avenue are to be constructed in alloy. Care has been taken not to create privacy issues with neighbouring properties & provide ample natural light & airflow for the owners.

#### **4.13 Garages and Carports**

The freestanding houses in Cromer allowed for the cars to drive to the front or down the side of the house. This development maintains the existing garage for this proposal.

#### **4.14 Colour Scheme**

The colour scheme of the proposed addition will be in sympathy with the period of the original house.

Please refer to Appendix 1 for the Colour Scheme schedule

#### **4.15 Fences and Gates**

Fences & gates are to be maintained for this development except for new masonry planter boxes & a pool safety barrier to Australian Standards.

#### **4.16 Garden Elements**

The garden areas are to be maintained where possible promoting the concept of a garden suburb. No substantial trees are to be affected with additional privacy planting required around the proposed pool area which would increase planted areas in the rear yard.

### **5 CONCLUSION**

#### **5.1 Summary**

This proposal is considered suitable for the site and provides a balance between low density living, amenity and outdoor space. The proposed changes to 26 Wabash Avenue are sympathetic and consistent with the existing character of the surrounding streetscape and residential density of Cromer. The proposed design solution provides a private residence that is both architecturally and environmentally responsive to the needs of the site and local community. Masonry & timber stud walls, timber framed floors, door orientation, natural daylight and ventilation combine to greatly improve the immediate and future amenity of this residence. These factors work together to minimize the impact of the proposed development on adjoining properties and enhance the amenity of the surrounding area. We consider that the proposal will impose minimal impact and request that council support the Development Application.

## 6 APPENDIX 1 – Schedules

### 6.1 *Schedule of finishes*

Schedule of Exterior Materials, Finish and Colours

EXTERIOR ELEMENT	MATERIAL	FINISH	AS 2700 1996 COLOUR
6.1.1 Wall	Brick & cladded	Paint	By Owner
6.1.2 Gutter	Colorbond	Medium to Dark	By Owner
6.1.3 Deck Posts	Timber	Paint	By Owner
6.1.4 Door frame	Alloy	Paint	By Owner
6.1.5 Door	Timber & glass	Paint	By Owner
6.1.6 Roofing	Colour Bond	Medium to Dark	By Owner