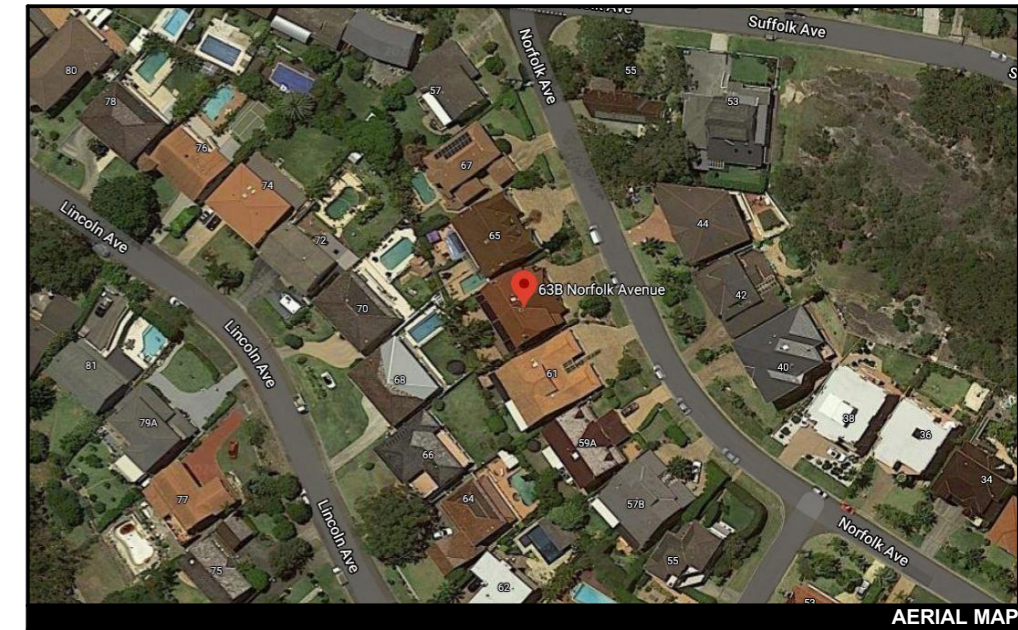




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**63B NORFOLK AVENUE,
 COLLAROY NSW 2097**



AERIAL MAP

DEVELOPMENT APPLICATION THESE PLANS ARE FOR DEVELOPMENT APPROVAL ONLY.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	63B NORFOLK AVENUE, COLLAROY, NSW 2097			
LOT & DP/SP	LOT 1 SP 47589			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
SITE AREA	348.79m ²			
FRONTAGE	9.19m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m ²	348.79m ²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	9.5m	UNCHANGED	YES
HAZARDS				
DEVELOPMENT ON SLOPING LAND	IDENTIFIED – AREA D	N/A	N/A	N/A
DGP				
WALL HEIGHT	7.2m	8.1m	UNCHANGED	NO
NUMBER OF STOREYS	2	2	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	4m	N/A	UNCHANGED	YES
SIDE BOUNDARY SETBACKS	0.9m	N: 1.2m	UNCHANGED	YES
		S: N/A	UNCHANGED	YES
FRONT BOUNDARY SETBACK	6.5m	10.1m	UNCHANGED	YES
REAR BOUNDARY SETBACK	6.0m	8.9m	5.3m	NO
LANDSCAPE OPEN SPACE	40% (139.516m ²)	22% (78.43m ²)	36% (124.78m ²)	NO
PRIVATE OPEN SPACE	60m ²	113.86m ²	UNCHANGED	YES

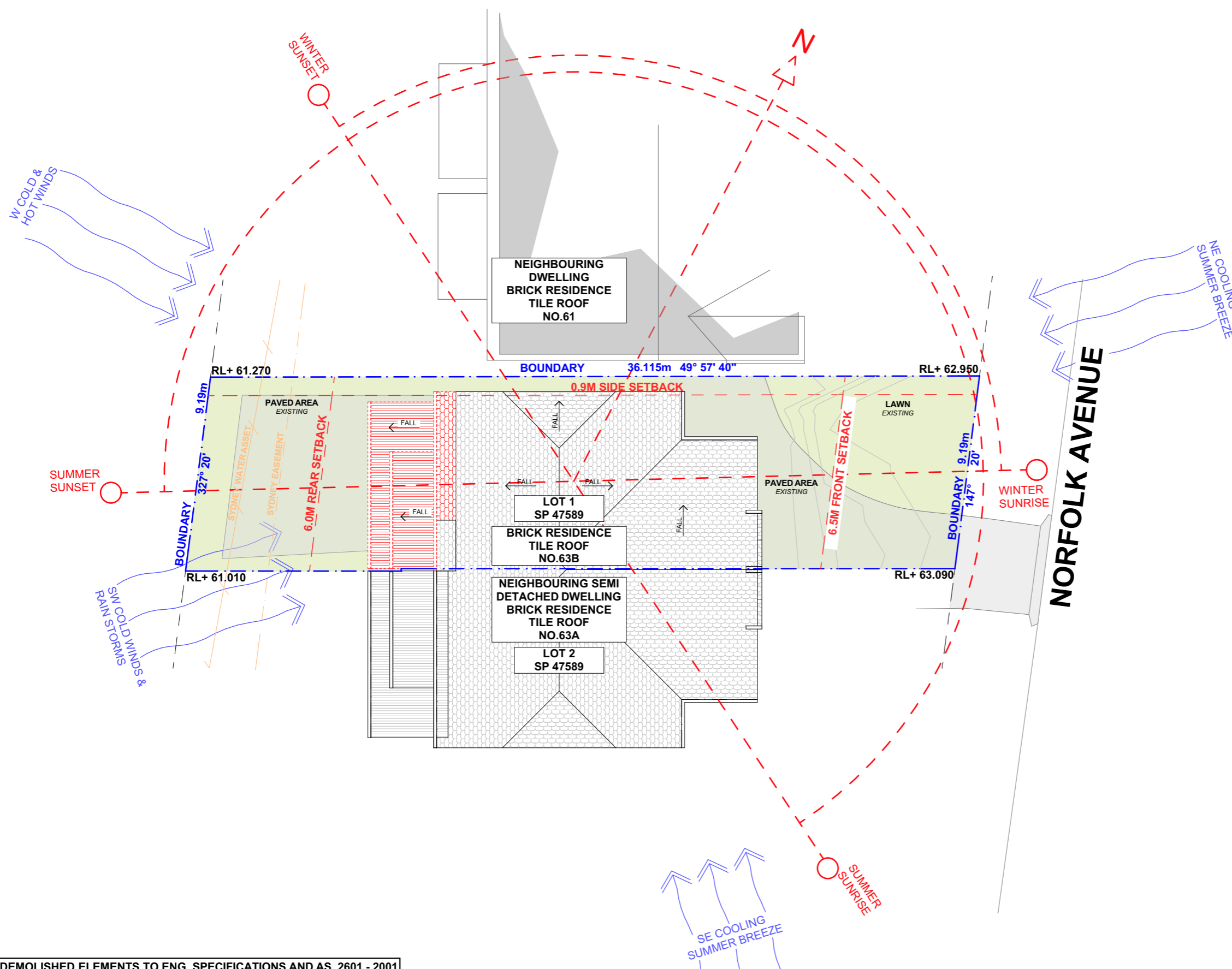
NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

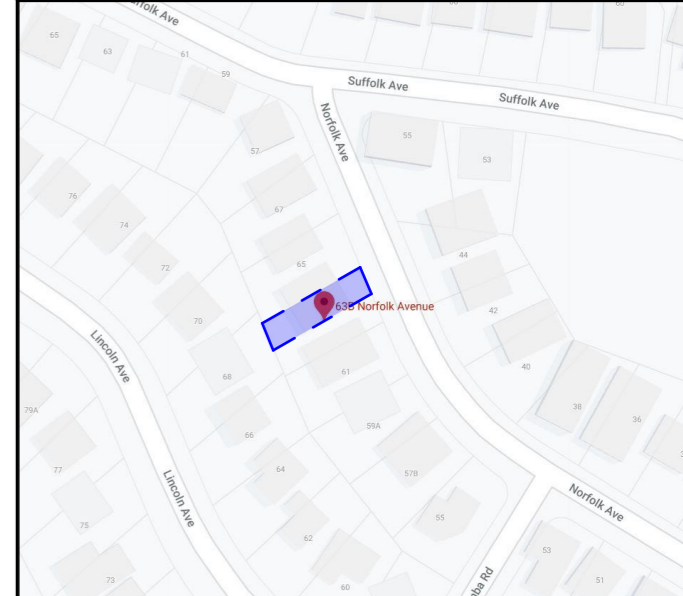
SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	12/03/2020
DA01	NOTATION	12/03/2020
DA02	SITE ANALYSIS	12/03/2020
DA03	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	12/03/2020
DA04	EXISTING GROUND FLOOR PLAN	12/03/2020
DA05	PROPOSED GROUND FLOOR PLAN	12/03/2020
DA06	EXISTING FIRST FLOOR PLAN	12/03/2020
DA07	PROPOSED FIRST FLOOR PLAN	12/03/2020
DA08	NORTH / EAST ELEVATION	12/03/2020
DA09	SOUTH / WEST ELEVATION	12/03/2020
DA10	LONG / CROSS SECTION	12/03/2020
DA11	AREA CALCULATIONS / SAMPLE BOARD	12/03/2020
DA12	WINTER SOLSTICE 9 AM	12/03/2020
DA13	WINTER SOLSTICE 12 PM	12/03/2020
DA14	WINTER SOLSTICE 3 PM	12/03/2020
DA15	POOL LONG / CROSS SECTION	12/03/2020
DA16	BASIX COMMITMENTS	12/03/2020

NOTES

- APPROVED MEANS BY THE 'RELEVANT LOCAL AUTHORITY' OR COUNCIL
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:
BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEAVE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
- THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
- ALL WORK TO BE CARRIED OUT IN A TRADESMEN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
- ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLIGENCE OF THIS CLAUSE.
- ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
- THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
- THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
- ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE
- ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
- ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ONSITE BY THE OWNER.
- SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN
- ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
- ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
- ANY WORK INDICATED ON THE PLANS BUT NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE BUILDER SHALL PROVIDE SEDIMENT AND SILTRATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
- A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
- THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
- THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
- THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
- ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640
- ALL MASONRY TO COMPLY WITH AS3700
- ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMPLETE WORK SHALL BE PROVIDED.
- ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
- ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 "TIMBER FRAMING CODE"
- ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION
- ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFICATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS
- STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISION.
- TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
- ANY DETAILING ADDITIONAL TO THAT SUPPLIED, SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL. EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.



STREET VIEW



LOCATION VIEW



AERIAL MAP

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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C	11/03/2020	DA DOCUMENTATION	LRP

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LEGEND

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	PROPOSED
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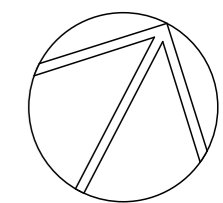
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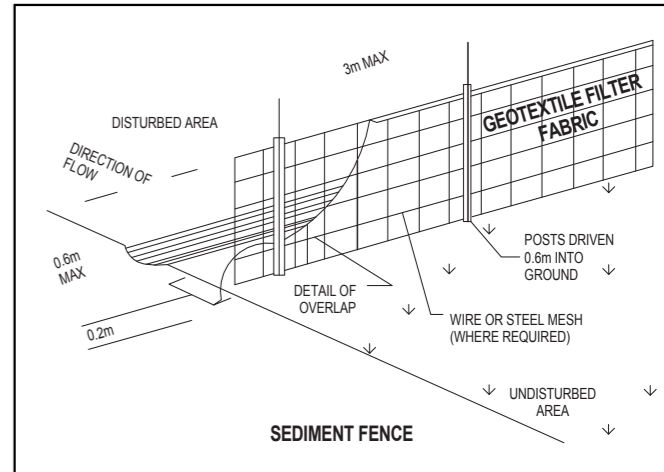
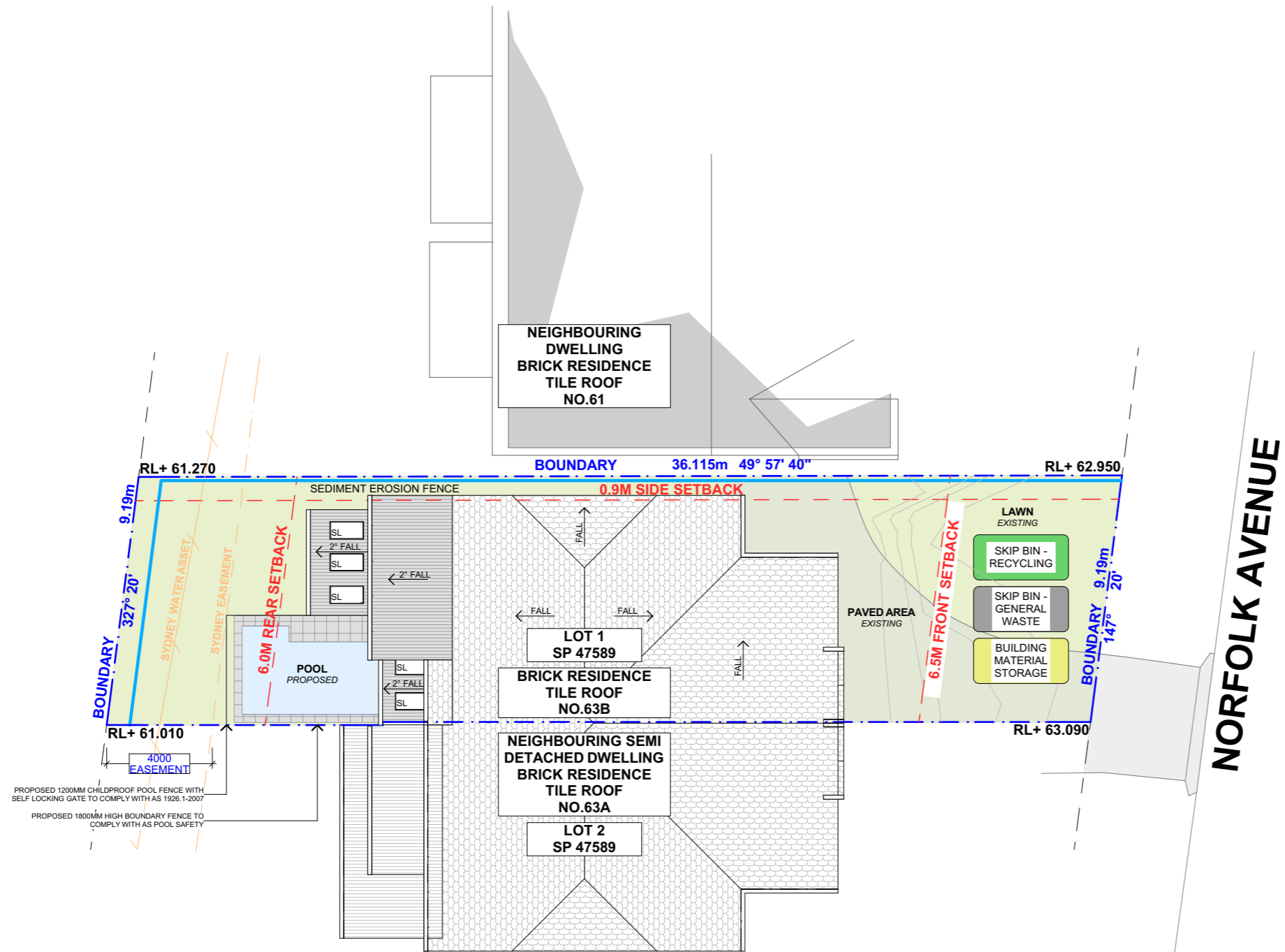
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DA02

DATE
 Thursday, 12 March 2020

DRAWING NAME
 SITE ANALYSIS

SCALE
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DUST CONTROL :
 TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
 1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
 2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
 3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
 4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
 ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
 ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
 IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
 PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

NOTE: PLEASE REFER TO PROPOSED LANDSCAPE PLAN PREPARED BY A TOTAL CONCEPT.

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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND
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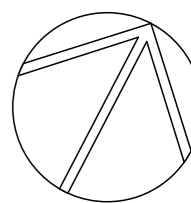
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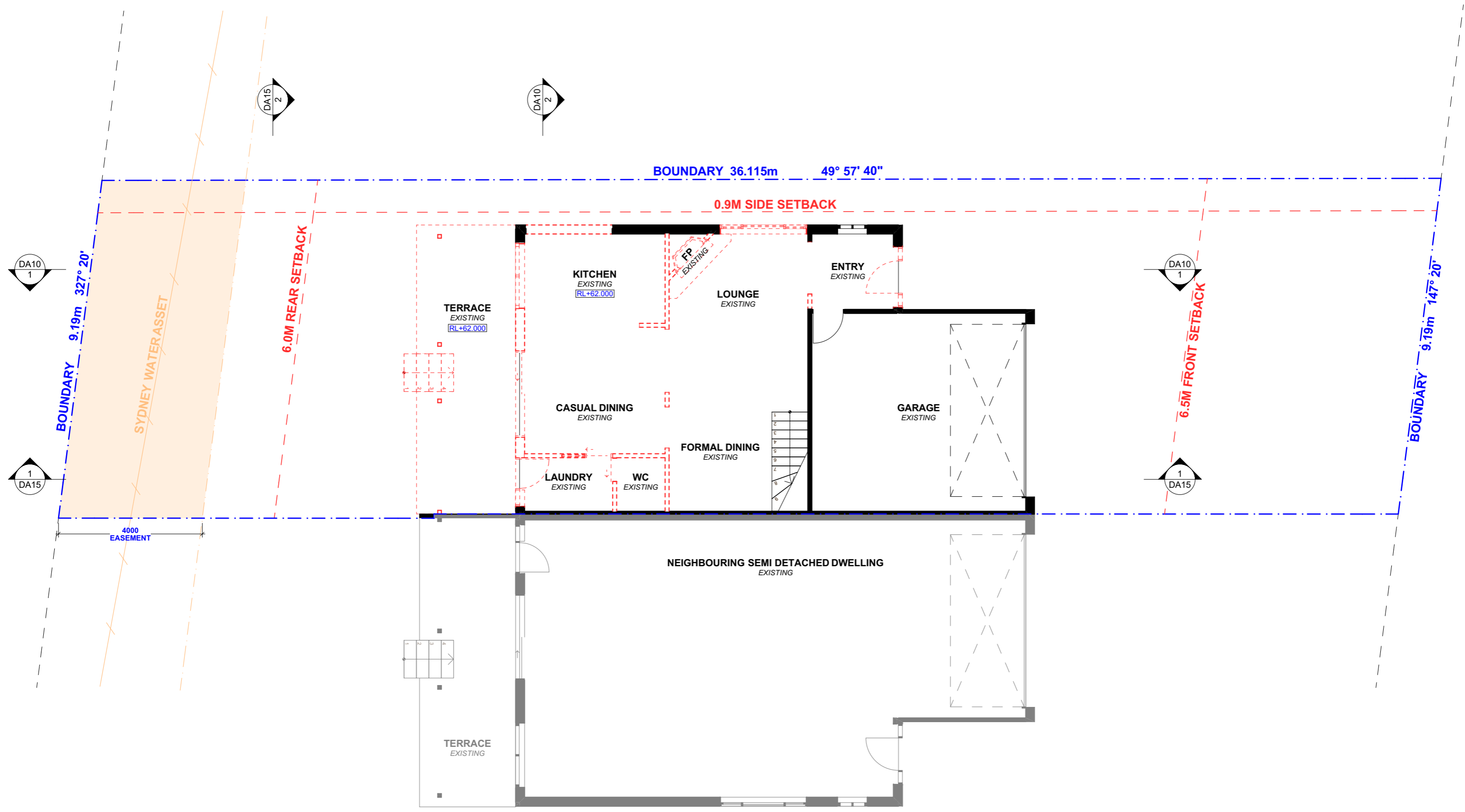
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DA03

DATE
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DRAWING NAME
 SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

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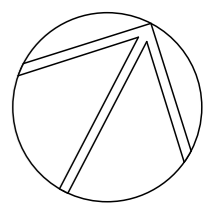
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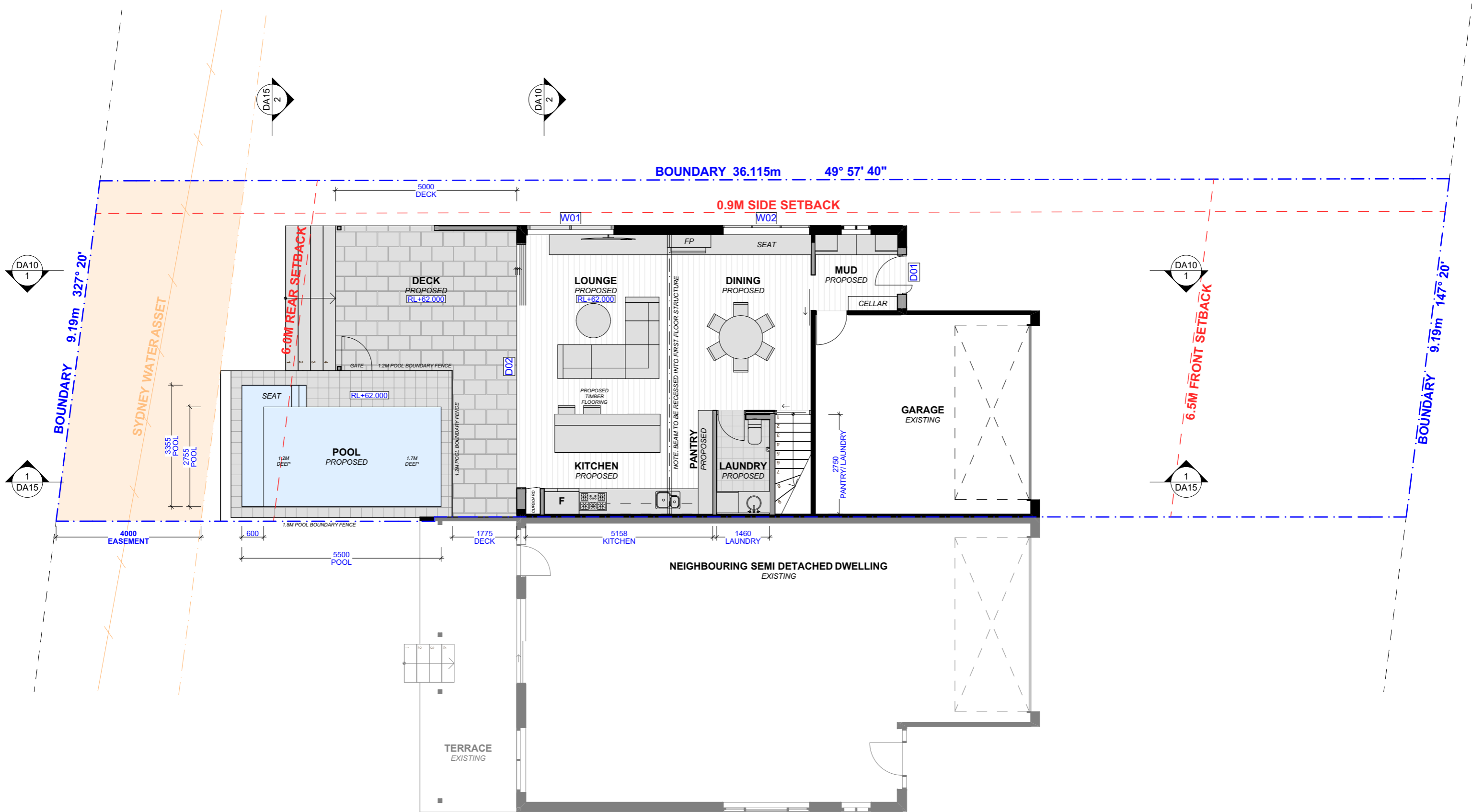
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DA04

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DRAWING NAME
 EXISTING GROUND FLOOR PLAN

SCALE
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LEGEND

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DA05

DATE

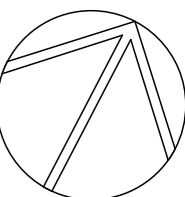
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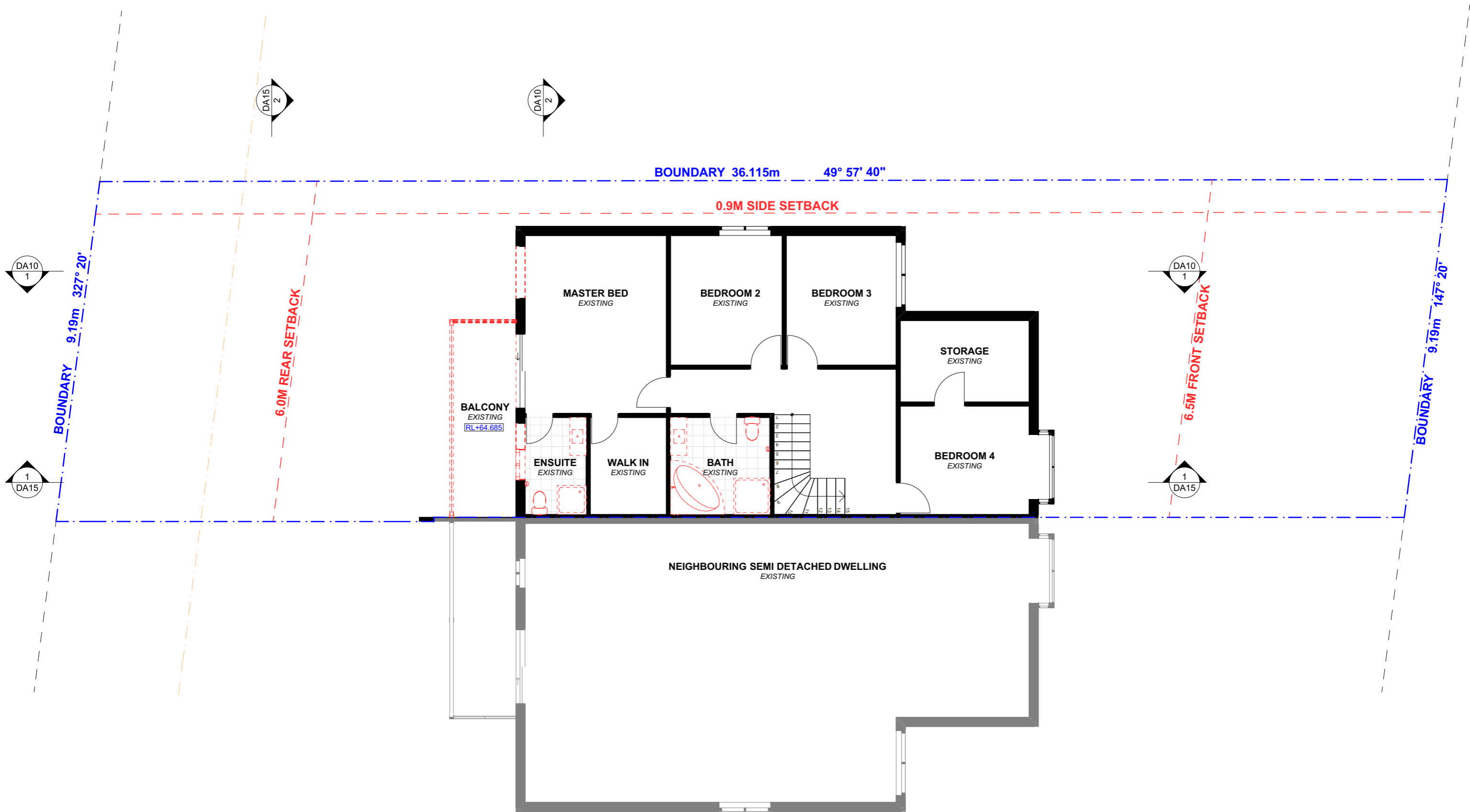
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PROPOSED GROUND FLOOR PLAN

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LEGEND
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63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.

DA06

DATE

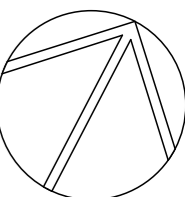
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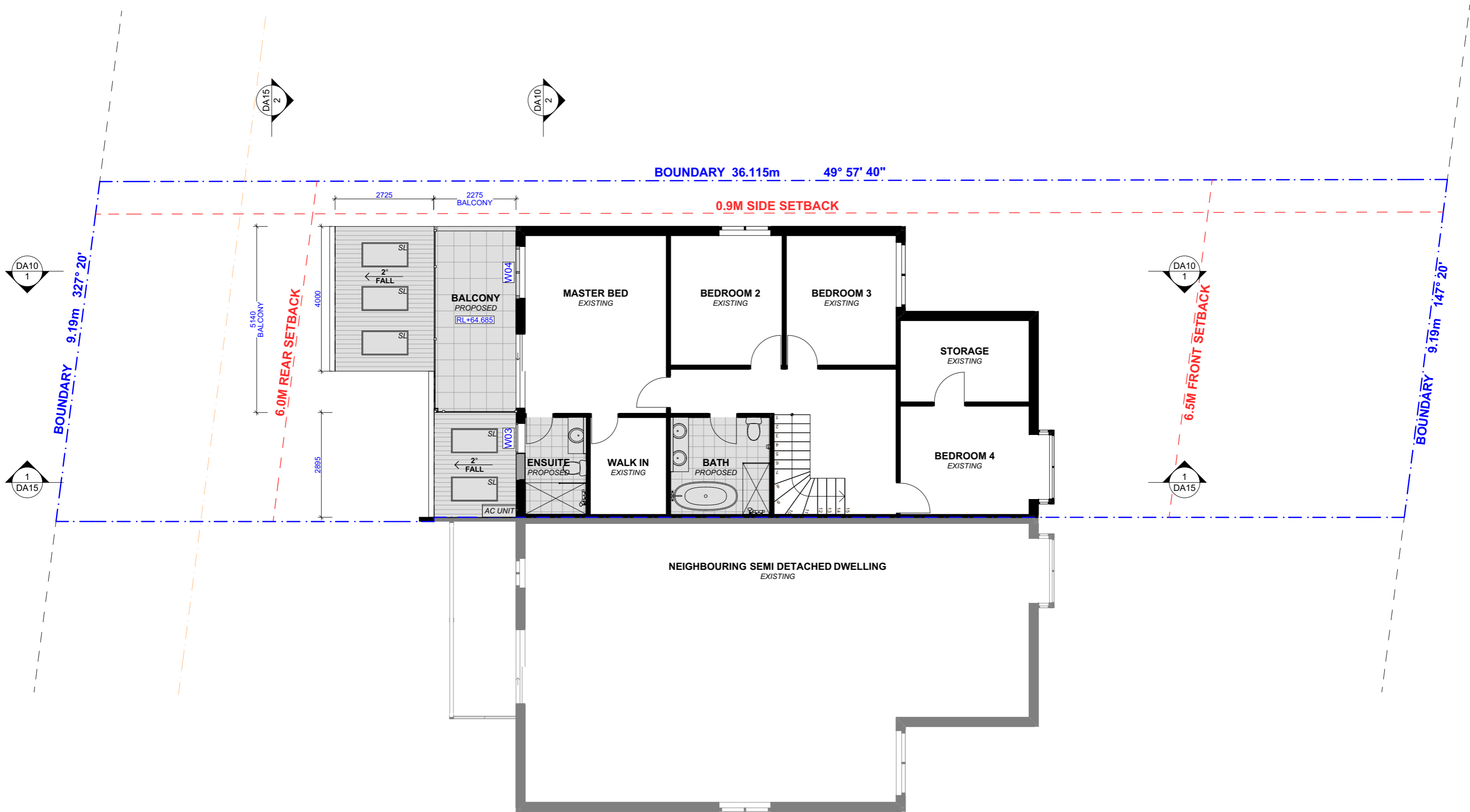
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EXISTING FIRST FLOOR PLAN

SCALE

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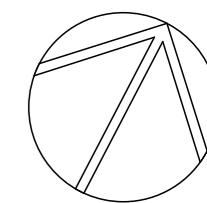
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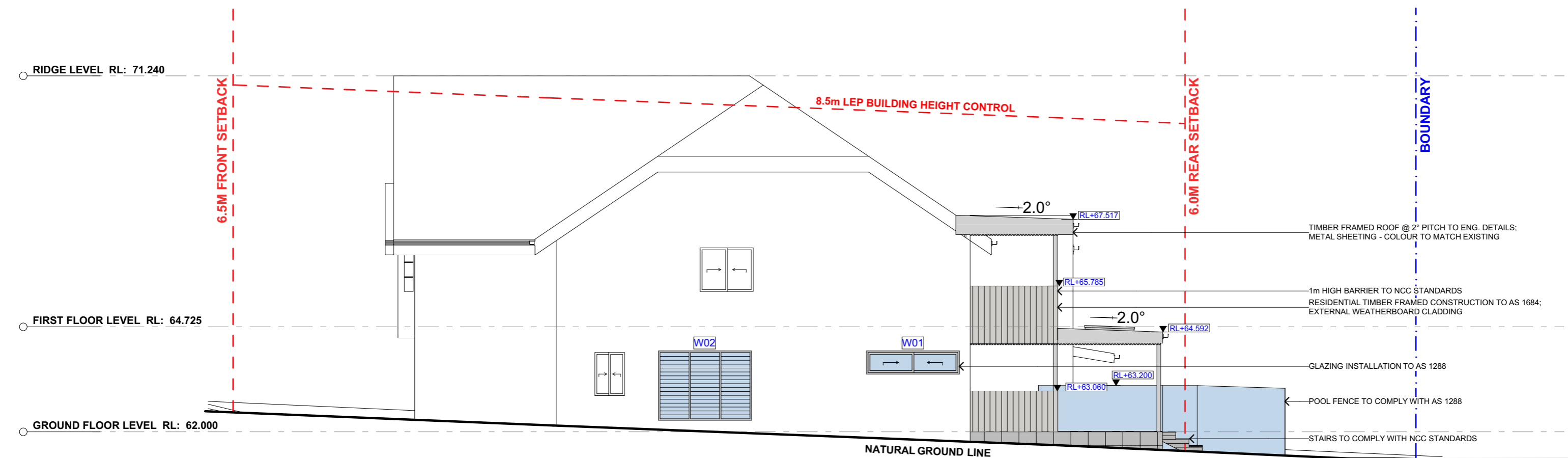
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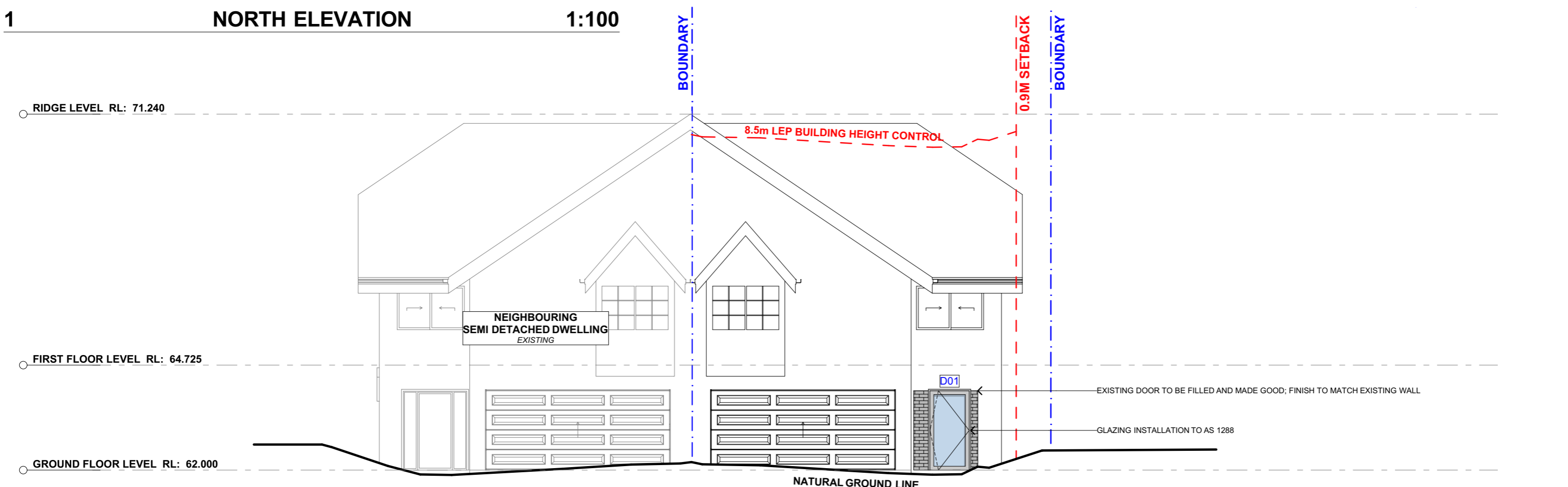
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SCALE
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1 NORTH ELEVATION 1:100



2 EAST ELEVATION 1:100

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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND

	EXISTING		BRICK
	PROPOSED		DEMOLISHED
	METAL ROOFING		NATURAL GROUND LINE
	GLAZING		
	TIMBER CLADDING		

CLIENT
 KATE & IMRAN MASOOD

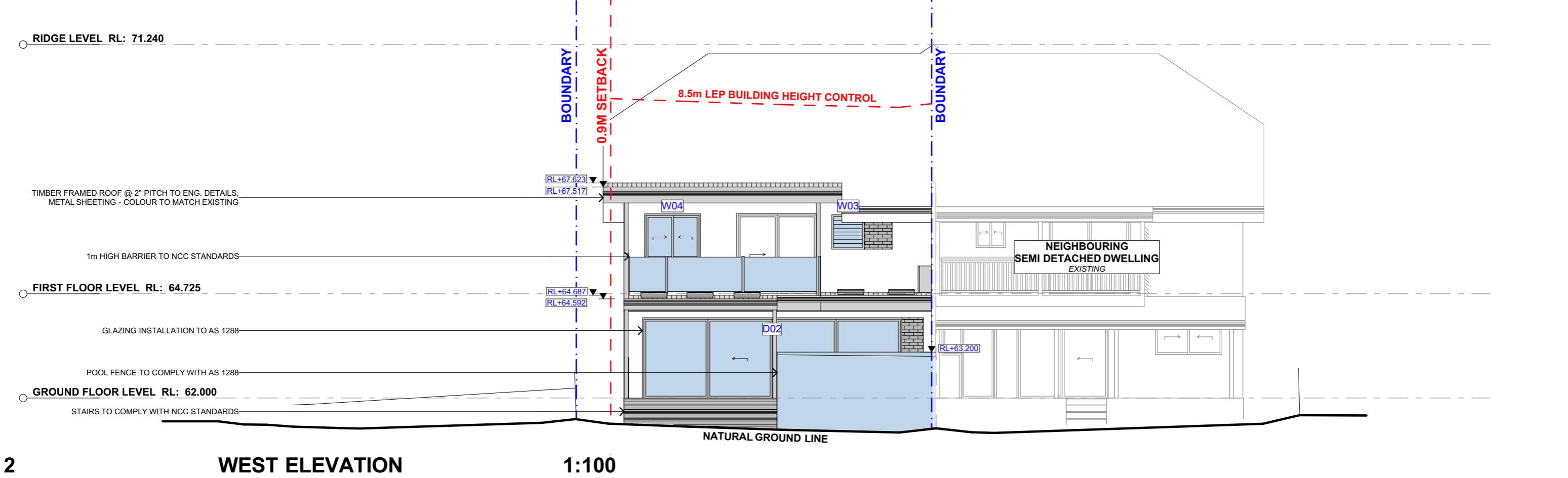
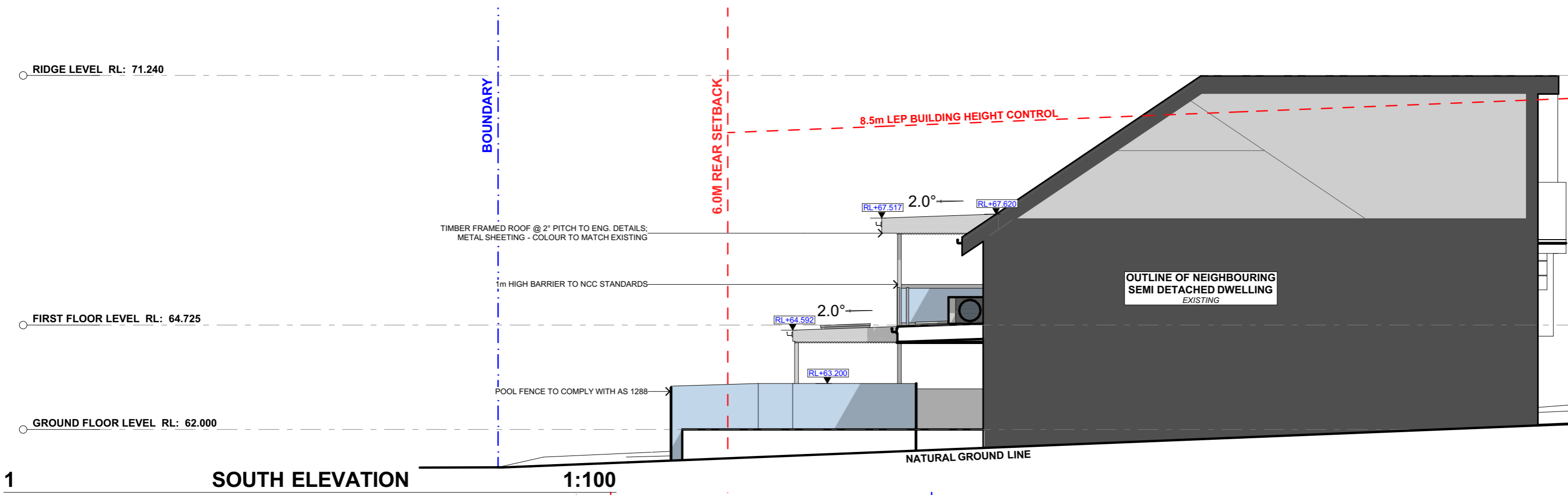
PROJECT ADDRESS
 63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.
DA08

DATE
 Thursday, 12 March 2020

DRAWING NAME
 NORTH / EAST ELEVATION

SCALE
 1:100 @A3



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C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND

	EXISTING		BRICK
	PROPOSED		DEMOLISHED
	METAL ROOFING		NATURAL GROUND LINE
	GLAZING		
	TIMBER CLADDING		

CLIENT
 KATE & IMRAN MASOOD

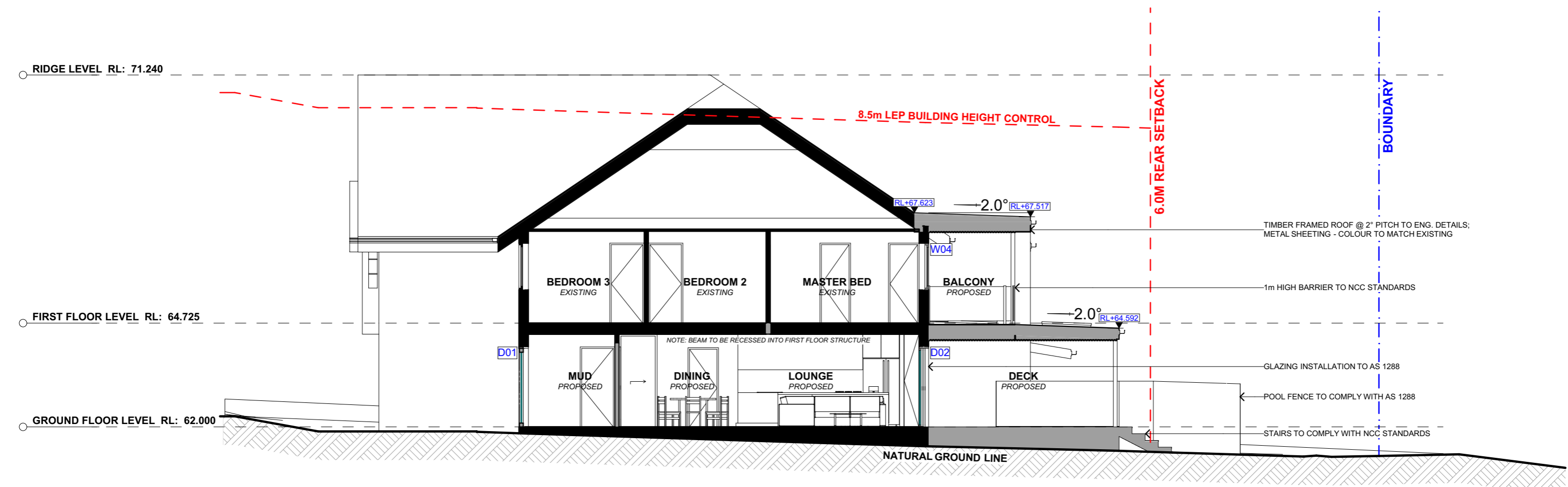
PROJECT ADDRESS
 63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.
DA09

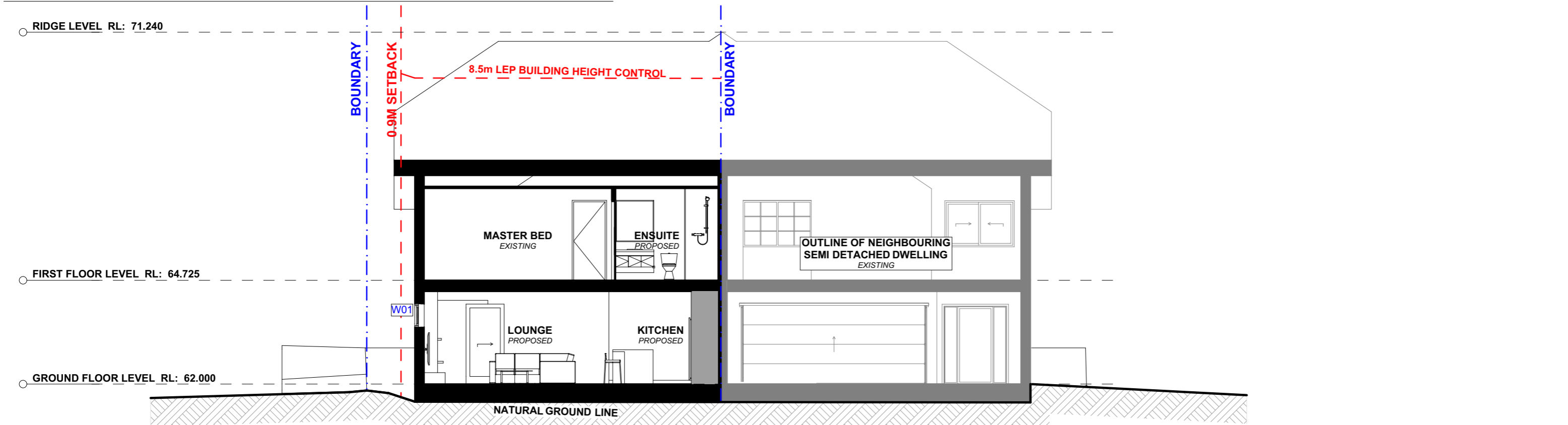
DATE
 Thursday, 12 March 2020

DRAWING NAME
 SOUTH / WEST ELEVATION

SCALE
 1:100 @A3



1 LONG SECTION 1:100



2 CROSS SECTION 1:100

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C	11/03/2020	DA DOCUMENTATION	LRP

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LEGEND

	EXISTING		BRICK
	PROPOSED		DEMOLISHED
	METAL ROOFING		NATURAL GROUND LINE
	GLAZING		
	TIMBER CLADDING		

CLIENT
 KATE & IMRAN MASOOD

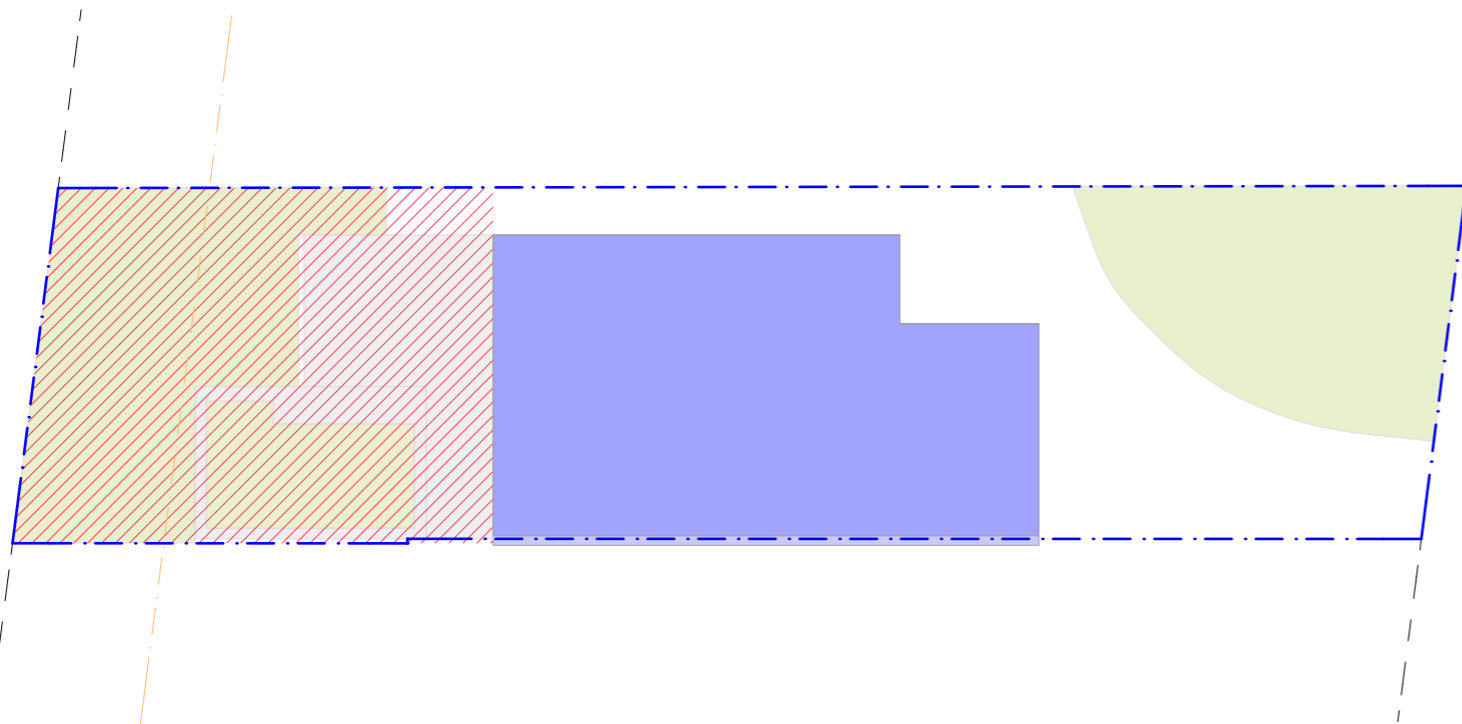
PROJECT ADDRESS
 63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.
DA10

DATE
 Thursday, 12 March 2020

DRAWING NAME
 LONG / CROSS SECTION

SCALE
 1:100 @A3



ITEM DETAILS		DEVELOPMENT APPLICATION		
ADDRESS	63B NORFOLK AVENUE, COLLAROY, NSW 2097			
LOT & DP/SP	LOT 1 SP 47589			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m ²	348.79m ²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	N/A	N/A	N/A
LANDSCAPE OPEN SPACE	40% (139.516m ²)	22% (78.43m ²)	36% (124.78m ²)	NO
PRIVATE OPEN SPACE	60m ²	113.86m ²	UNCHANGED	YES

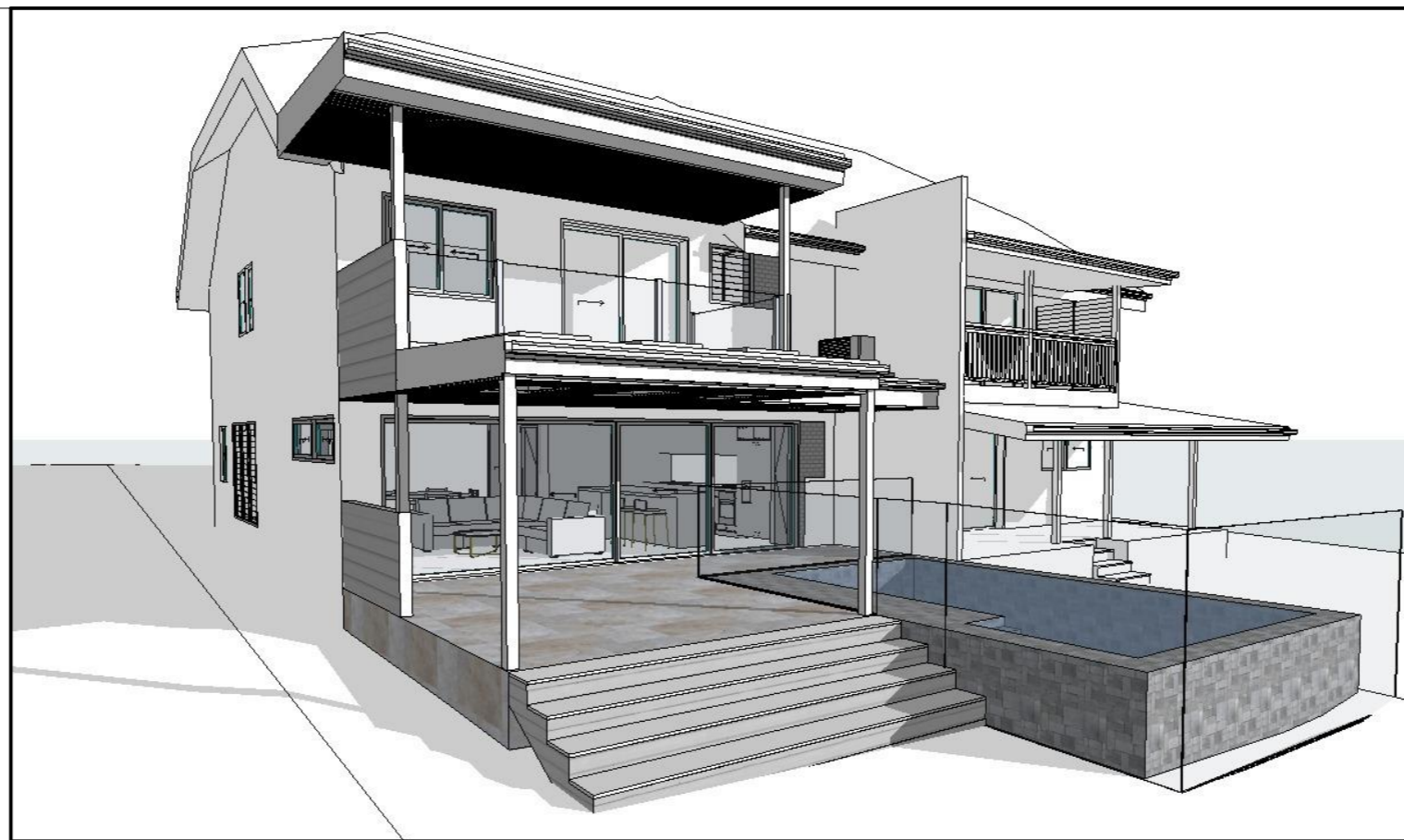
1 PROPOSED AREA CALCULATIONS 1:200



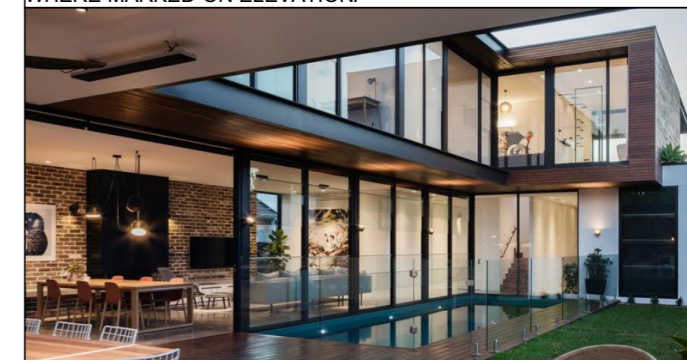
TS-01
TIMBER SCREENING.
'JARRAH, WESTERN RED CEDAR' OR SIMILAR
TO BE CONFIRMED BY CLIENT



MT-01
PAINTED COLOURBOND METAL ROOF SHEETING.
'IRONSTONE' OR SIMILAR
WHERE MARKED ON ELEVATION.



VTTP-01
VERTICAL TIMBER PANEL WITH PLASTER.
POWDER COATED FINISH.
WHERE MARKED ON ELEVATION.



ASD-01
ALUMINIUM SLIDING DOOR.
POWDER COATED FINISH. 'CHARCOAL' OR SIMILAR
WHERE MARKED ON ELEVATION.

2 SAMPLE BOARD



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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND

- LANDSCAPE AREA
- PRIVATE OPEN SPACE
- BUILDING ENVELOPE
- BUILT UPON AREA

CLIENT
KATE & IMRAN
MASOOD

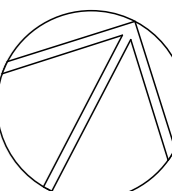
PROJECT ADDRESS
63B NORFOLK
AVENUE, COLLAROY
NSW 2097

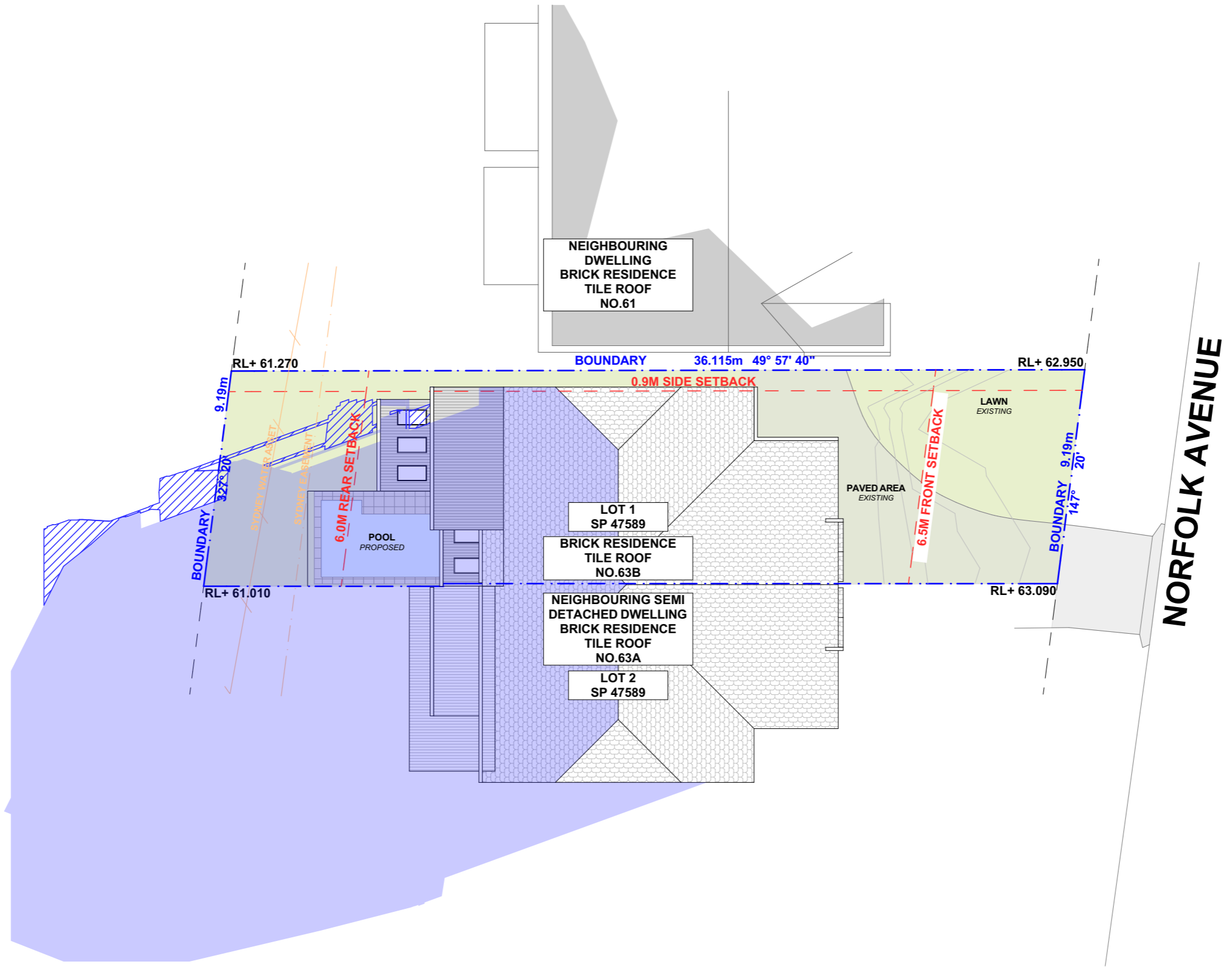
DRAWING NO.
DA11

DATE
Thursday, 12 March
2020

DRAWING NAME
AREA CALCULATIONS /
SAMPLE BOARD

SCALE
1:200 @A3





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C	11/03/2020	DA DOCUMENTATION	LRP	

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LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOWS

CLIENT

KATE & IMRAN MASOOD

PROJECT ADDRESS

63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.

DA12

DATE

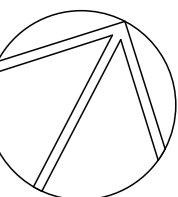
Thursday, 12 March 2020

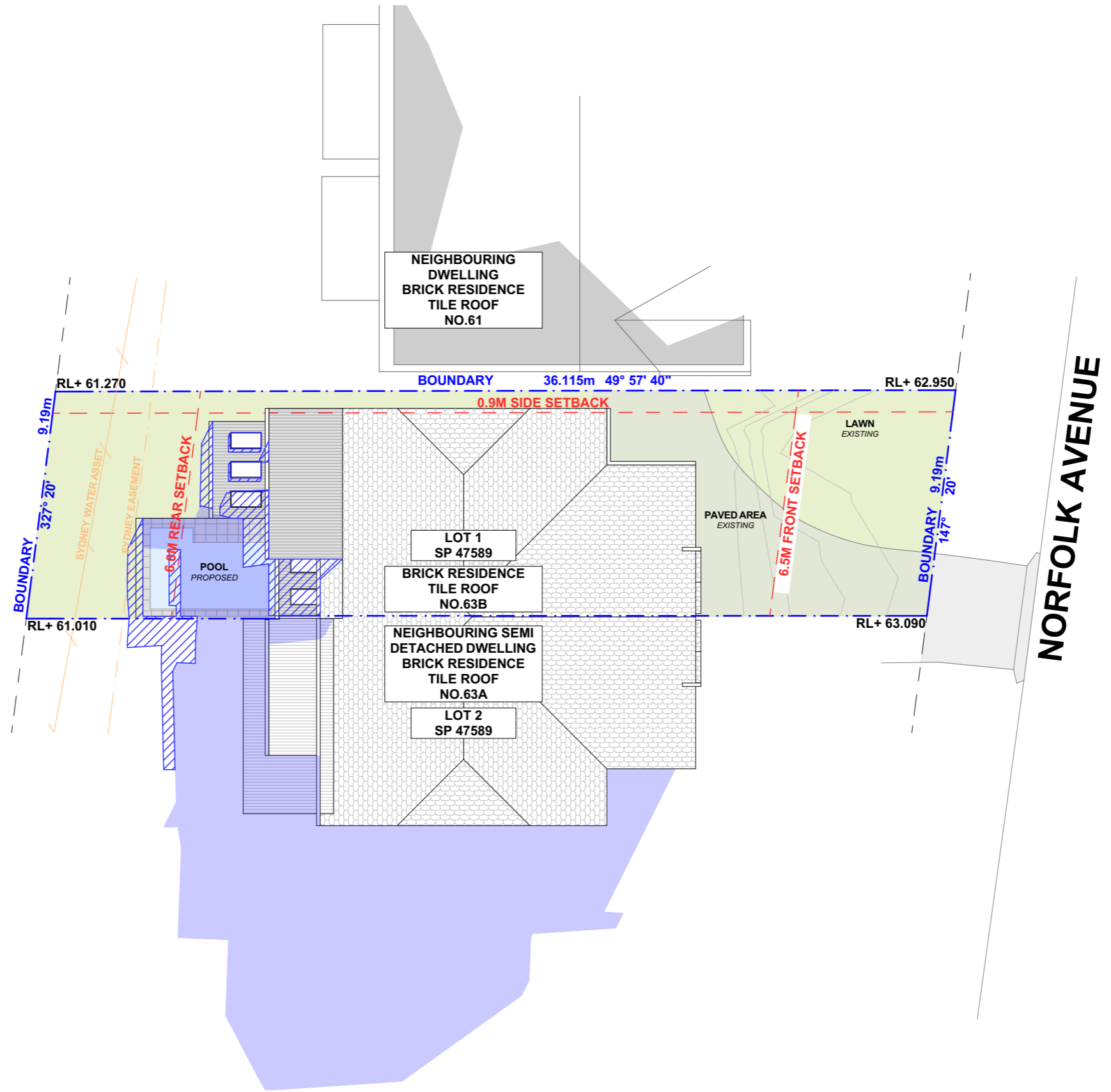
DRAWING NAME

WINTER SOLSTICE 9 AM

SCALE

1:200 @A3





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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS

CLIENT
 KATE & IMRAN MASOOD

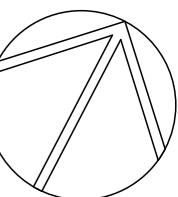
PROJECT ADDRESS
 63B NORFOLK AVENUE, COLLAROY NSW 2097

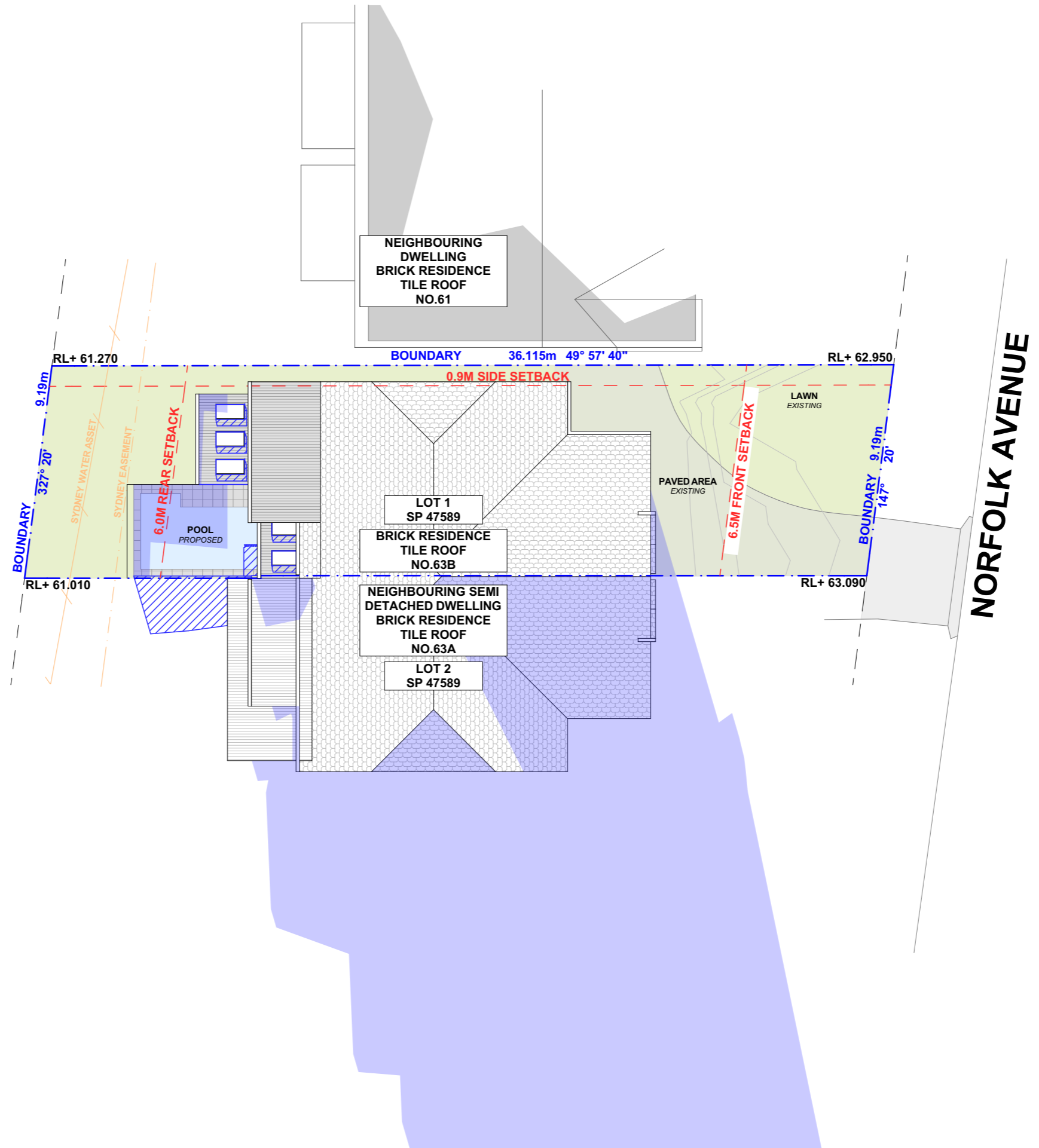
DRAWING NO.
DA13

DATE
 Thursday, 12 March 2020

DRAWING NAME
 WINTER SOLSTICE 12 PM

SCALE
 1:200 @A3





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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

CLIENT

KATE & IMRAN MASOOD

PROJECT ADDRESS

63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.

DA14

DATE

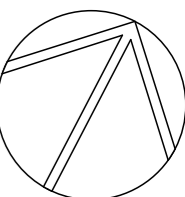
Thursday, 12 March 2020

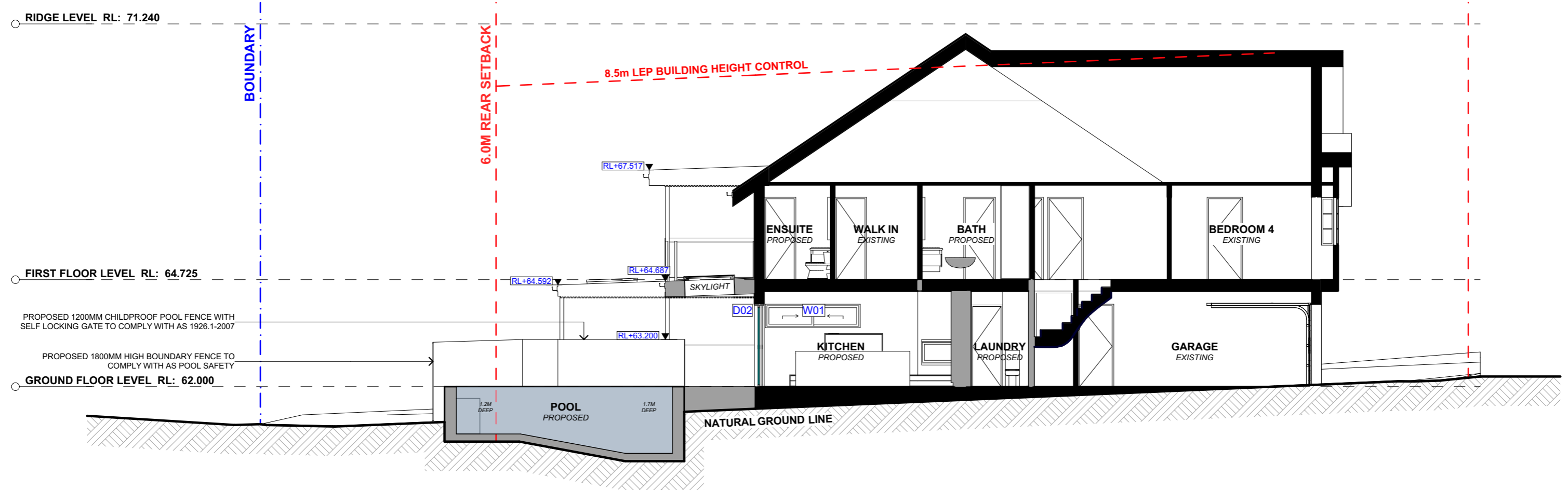
DRAWING NAME

WINTER SOLSTICE 3 PM

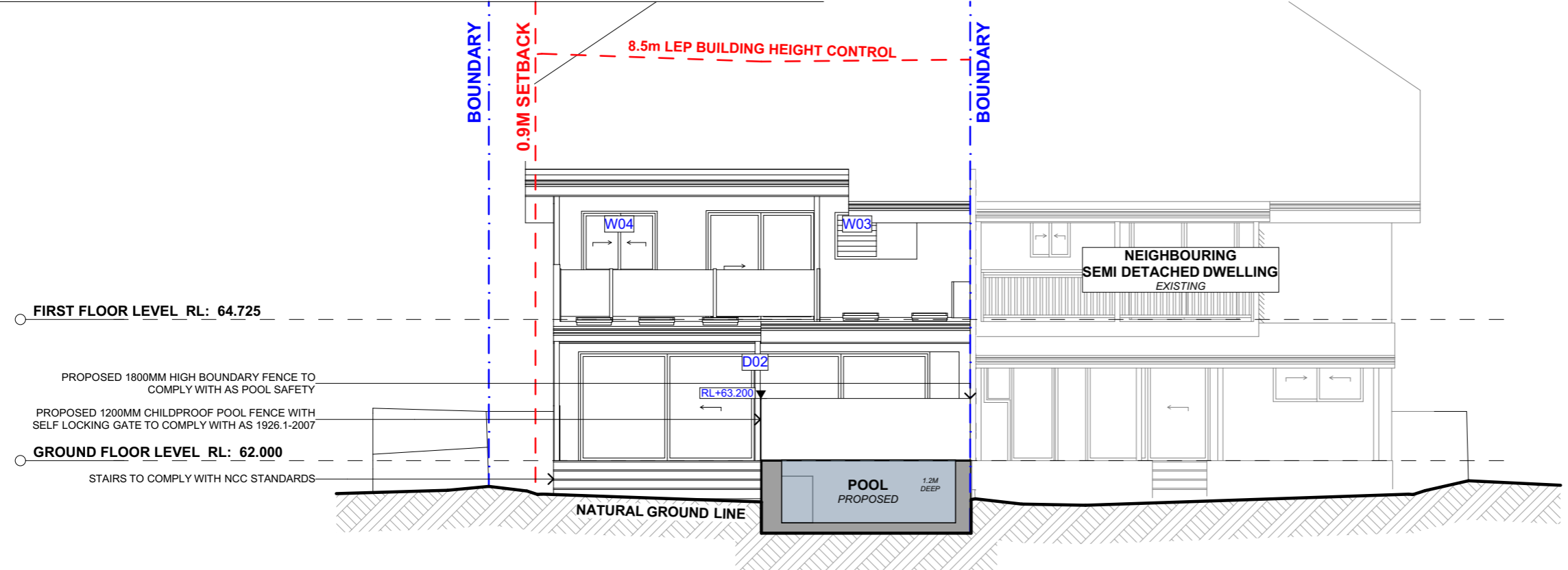
SCALE

1:200 @A3





1 POOL LONG SECTION 1:100



2 POOL CROSS SECTION 1:100

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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

LEGEND
 ■ EXISTING
 ■ PROPOSED
 - - - DEMOLISHED

CLIENT
 KATE & IMRAN MASOOD

PROJECT ADDRESS
 63B NORFOLK AVENUE, COLLARROY NSW 2097

DRAWING NO.
DA15

DATE
 Thursday, 12 March 2020

DRAWING NAME
 POOL LONG / CROSS SECTION

SCALE
 1:100 @A3

Alterations and Additions

Certificate number: A371123

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 25, February 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	63B NORFOLK AVENUE, COLLAROY PLATEAU
Street address	63B NORFOLK Avenue COLLAROY PLATEAU 2097
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan 47589
Lot number	1
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Action Plans
ABN (if applicable):	17118297587

BASIX Certificate number: A371123

page 2 / 7

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 26 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

BASIX Certificate number: A371123

page 3 / 7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

BASIX Certificate number: A371123

page 4 / 7

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check															
Insulation requirements																		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓															
<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>concrete slab on ground floor.</td> <td>nil</td> <td></td> </tr> <tr> <td>external wall: brick veneer</td> <td>R1.16 (or R1.70 including construction)</td> <td></td> </tr> <tr> <td>external wall: framed (weatherboard, fibro, metal clad)</td> <td>R1.30 (or R1.70 including construction)</td> <td></td> </tr> <tr> <td>flat ceiling, pitched roof</td> <td>ceiling: R1.75 (up), roof: foil/sarking</td> <td>light (solar absorptance < 0.475)</td> </tr> </tbody> </table>	Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil		external wall: brick veneer	R1.16 (or R1.70 including construction)		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, pitched roof	ceiling: R1.75 (up), roof: foil/sarking	light (solar absorptance < 0.475)			
Construction	Additional insulation required (R-value)	Other specifications																
concrete slab on ground floor.	nil																	
external wall: brick veneer	R1.16 (or R1.70 including construction)																	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)																	
flat ceiling, pitched roof	ceiling: R1.75 (up), roof: foil/sarking	light (solar absorptance < 0.475)																

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B	14/02/2020	DESIGN AMENDMENT	LRP	
C	11/03/2020	DA DOCUMENTATION	LRP	

CLIENT
KATE & IMRAN MASOOD

PROJECT ADDRESS
63B NORFOLK AVENUE, COLLAROY NSW 2097

DRAWING NO.
DA16

DRAWING NAME
BASIX COMMITMENTS

DATE
Thursday, 12 March 2020

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																																										
Windows and glazed doors																																													
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓																																										
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓																																										
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓																																										
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓																																										
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓																																										
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓																																										
Windows and glazed doors glazing requirements																																													
<table border="1"> <thead> <tr> <th>Window / door no.</th> <th>Orientation</th> <th>Area of glass inc. frame (m²)</th> <th>Overshadowing Height (m)</th> <th>Distance (m)</th> <th>Shading device</th> <th>Frame and glass type</th> </tr> </thead> <tbody> <tr> <td>W01</td> <td>N</td> <td>1.45</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=450 mm</td> <td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td> </tr> <tr> <td>W02</td> <td>N</td> <td>4.35</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=450 mm</td> <td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td> </tr> <tr> <td>W03</td> <td>W</td> <td>0.77</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=900 mm</td> <td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td> </tr> <tr> <td>W04</td> <td>W</td> <td>1.77</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=900 mm</td> <td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td> </tr> <tr> <td>D01</td> <td>E</td> <td>2.31</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=900 mm</td> <td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td> </tr> </tbody> </table>	Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	W01	N	1.45	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	W02	N	4.35	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	W03	W	0.77	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	W04	W	1.77	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	D01	E	2.31	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type																																							
W01	N	1.45	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)																																							
W02	N	4.35	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)																																							
W03	W	0.77	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)																																							
W04	W	1.77	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)																																							
D01	E	2.31	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)																																							

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A371123

page 6 / 7

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check														
<table border="1"> <thead> <tr> <th>Window / door no.</th> <th>Orientation</th> <th>Area of glass inc. frame (m²)</th> <th>Overshadowing Height (m)</th> <th>Distance (m)</th> <th>Shading device</th> <th>Frame and glass type</th> </tr> </thead> <tbody> <tr> <td>D02</td> <td>W</td> <td>14.23</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=900 mm</td> <td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td> </tr> </tbody> </table>	Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	D02	W	14.23	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
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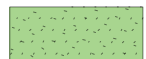






BASIX Certificate number: A371123

page 7 / 7

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Notes:
 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. All detailing of drainage to paved areas shall be by others.
 3. All levels shall be determined by others and approved on site by client.
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
 5. Do not scale from drawings.
 6. If in doubt contact the Landscape Architect.
 7. All boundaries shall be surveyed prior to commencement of construction works.
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LEGEND

-  EXISTING ROCK OUTCROP
-  LAWN AREA
-  EXISTING DRIVEWAY
-  PROPOSED STEPPING PAVERS
-  EXISTING BOUNDARY FENCE TO BE RETAINED
-  TIMBER LAWN EDGE
-  EXISTING TREE TO BE RETAINED
-  EXISTING SHRUB TO BE RETAINED



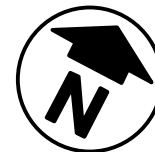
ACTION PLANS

m: 0403957518
 e: design@actionplans.com.au
 w: www.actionplans.com.au

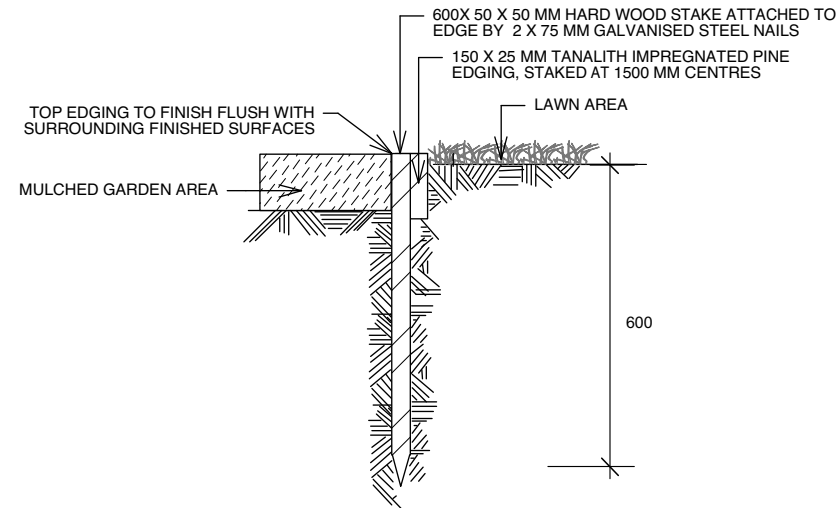


PLANTING SCHEDULE

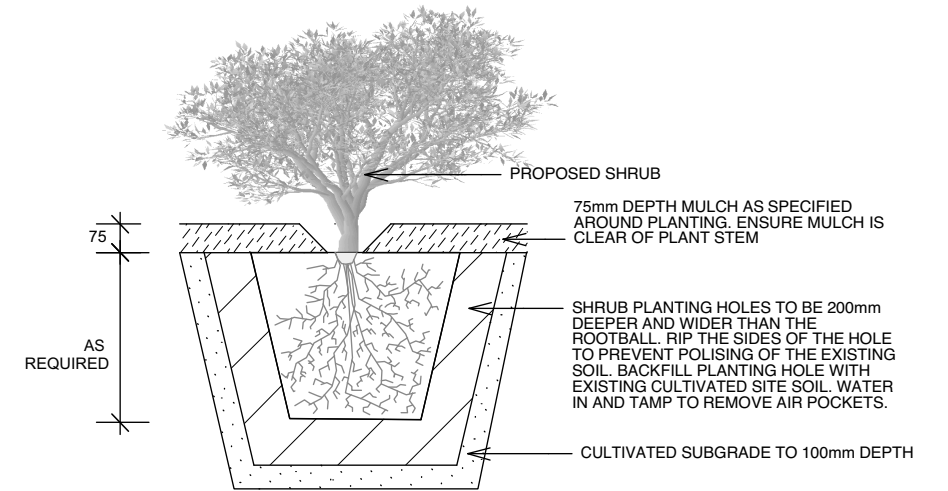
Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Buckinghamia celsissima	Ivory Curl Tree	1	45lt	5000	8000
Grevillea 'Poorinda Royal Mantle'	Grevillea	3	200mm	1500	2000
Howea forsteriana	Kentia Palm	2	25lt	3000	15000
Pratia purpurascens	White Root	99	150mm	600	150
Tristaniopsis laurina 'Luscious'	Water Gum	1	45lt	4000	7000



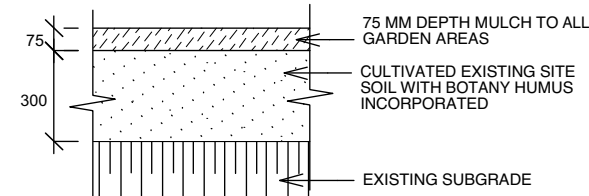
DATE	REVISION		
DRAWING		PROPOSED LANDSCAPE PLAN	
ADDRESS		63B NORFOLK AVENUE, COLLAROY PLATEAU	
CLIENT		KATE & IMRAN MASOOD	
DATE #	03/03/20	PROJECT #	ACTION PLANS
SCALE @ A3	1:200	DWG #	L/01
DRAWN	JC		
CHKD	SW	REVISION	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922			



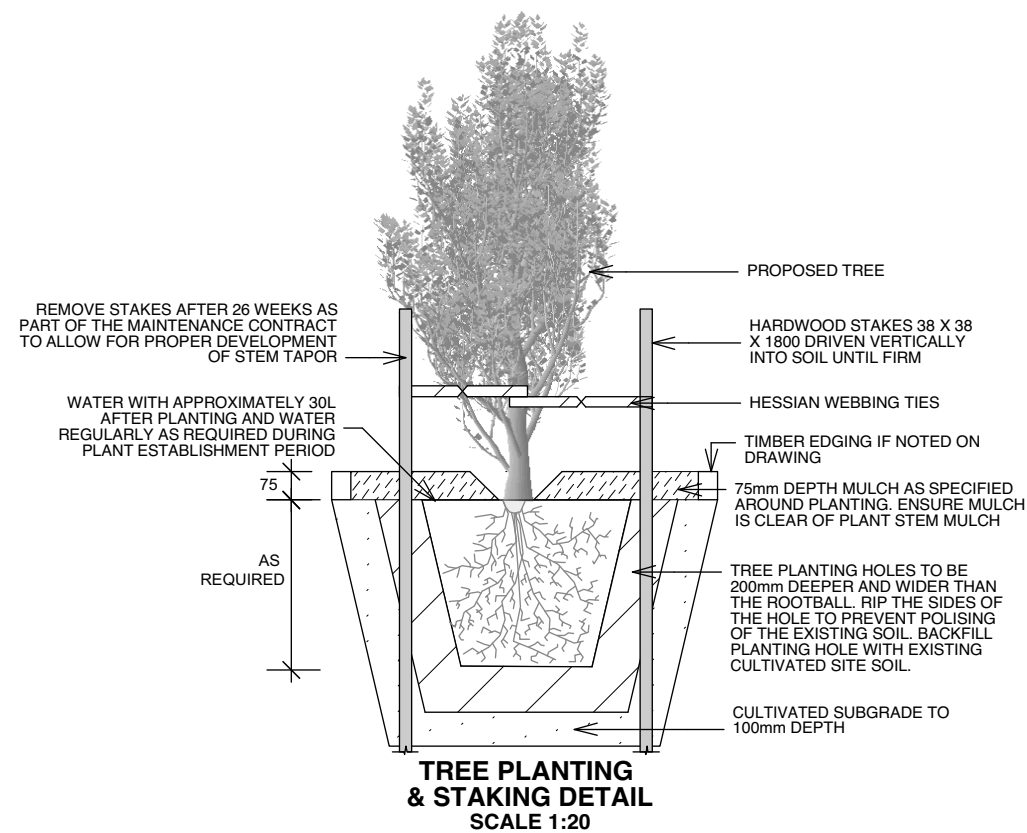
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



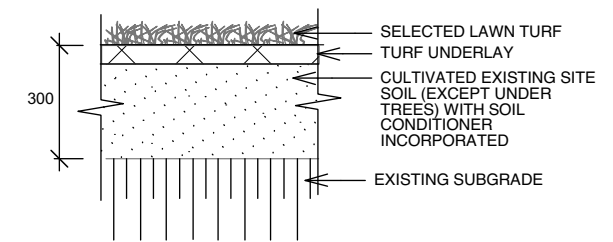
PLANTING DETAIL
SCALE 1:20



SOIL TO GARDEN AREAS
SCALE 1:20



TREE PLANTING & STAKING DETAIL
SCALE 1:20



TYPICAL TURF DETAIL
SCALE 1:20

- Notes:**
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DATE	REVISION		
DRAWING	LANDSCAPE DETAILS		
ADDRESS	63B NORFOLK AVENUE, COLLAROY PLATEAU		PROJECT # ACTION PLANS
CLIENT	KATE & IMRAN MASOOD	DATE # 03/03/20	DWG # L/02
	A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922	SCALE @ A3 1:200	DRAWN JC
		CHKD SW	REVISION

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

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A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DRAWN JC CHKD SW REVISION
		