# **DEVELOPMENT APPLICATION**

PROPOSED CARPORT ADDITION

No. 94 QUEENS PARADE EAST, NEWPORT



DRAWING INDEX					
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Monday, 15 February 2021

PROJECT No:

2023

REVISION:



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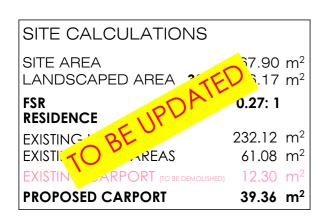
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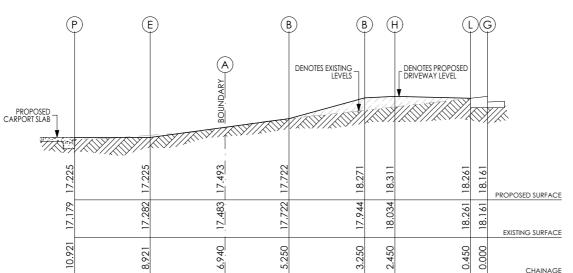
DATE 14.12.2020

DA SUBMISSION

AMENDMENT AMENDMENTS AS PER COUNCIL'S REQ.

PROPOSED CARPORT ADDITION **COVER PAGE** LOT 19 DP 17229 No. 94 QUEENS PARADE EAST, NEWPORT **HOLMES** NTS

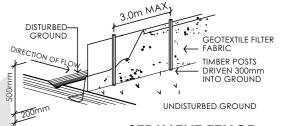




#### **DRIVEWAY LONGITUDINAL SECTION**

SITE NOTES:

- REMOVE EXISTING STRUCTURES ON SITE AS NOTED
- NO KNOWN WATERCOARSES OR WATERWAYS ON SITE
- CUT AND FILL SHOWN ON SECTION
- PROVIDE SILTATION BARRIER AS REQUIRED BY COUNCIL
- HARVESTED RAINWATER TO BE DIRECTED TO EXISTING SYSTEM / STREET GUTTER
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORISED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- DRAINAGE/STORMWATER INDICATIVE ONLY:-SUBJECT TO SITE CONDITIONS

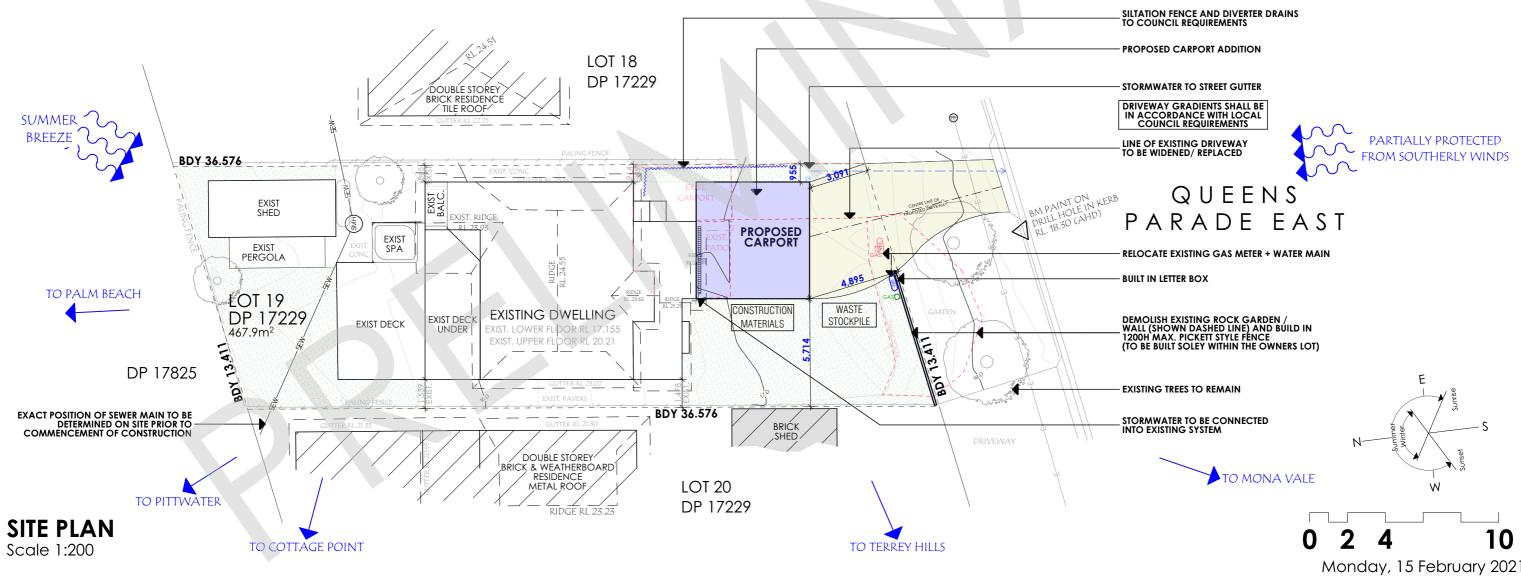


SEDIMENT FENCE

SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO COUNCIL REQUIREMENTS.

  2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS
- FARLY AS POSSIBLE DURING DEVELOPMENT.
- 2. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH. 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD
- 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. 7 FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



1: 0418 225 440 | e: jay.ukalovic@aapt.net.au CONTINUING FURTHER WORKS.

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DATE

DA SUBMISSION

AMENDMENT

AMENDMENTS AS PER COUNCIL'S REQ.

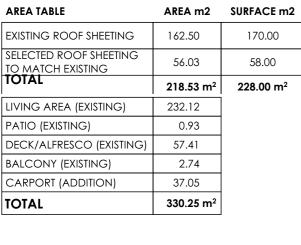
**HOLMES** 

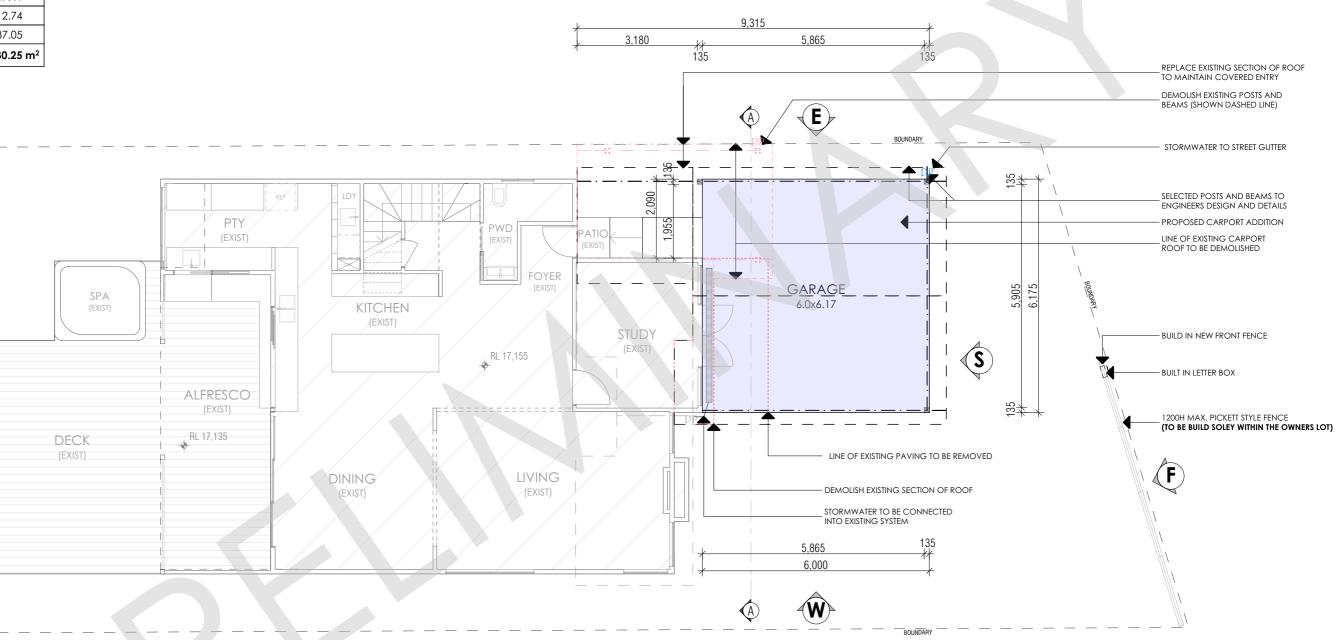
PROJECT: PROPOSED CARPORT ADDITION SITE PLAN + SITE ANALYSIS PLAN LOT 19 DP 17229 No. 94 QUEENS PARADE EAST, NEWPORT CLIENT:

1:200, 1:100

PROJECT No: 2023

REVISION:





### LOWER FLOOR PLAN

Scale 1:100



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DATE TBA

**AMENDMENT** 14.12.2020 DA SUBMISSION

AMENDMENTS AS PER COUNCIL'S REQ.

**HOLMES** 

PROPOSED CARPORT ADDITION LOT 19 DP 17229 No. 94 QUEENS PARADE EAST, NEWPORT

10 Monday, 15 February 2021 REVISION:

LOWER FLOOR PLAN PROJECT No: 3

1:100 2023

2

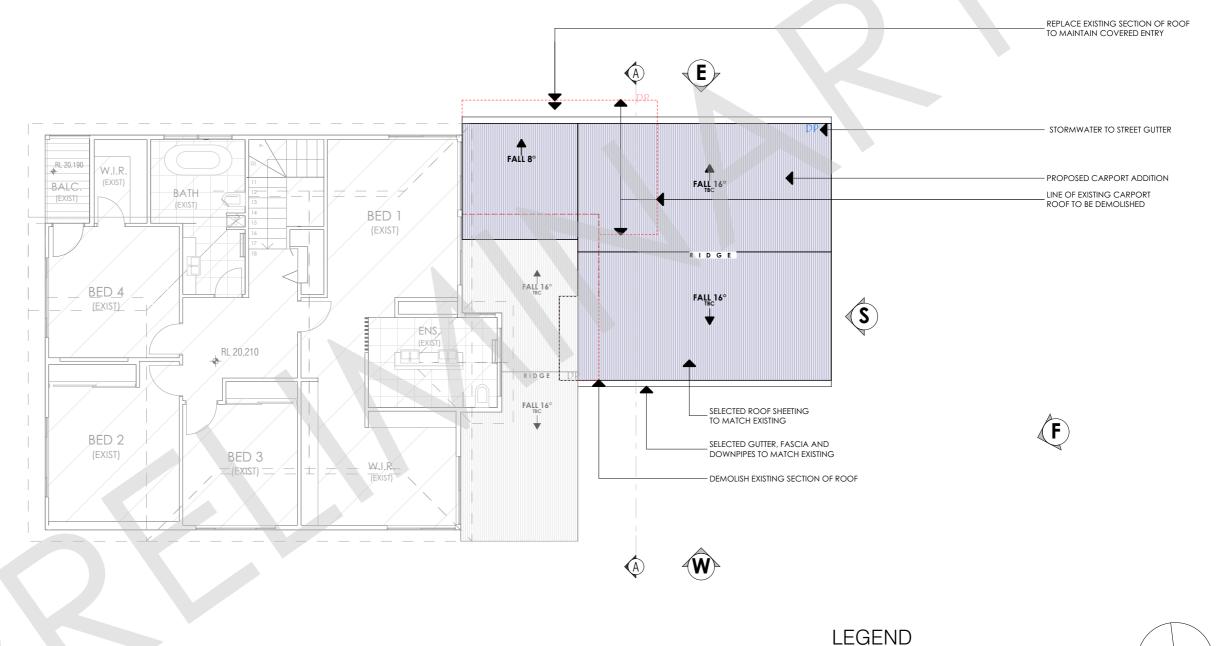
= EXISTING WALLS = PROPOSED WALLS

= EXISTING STRUCTURES TO BE REMOVED

**LEGEND** 

0

AREA TABLE	AREA m2	SURFACE m2
EXISTING ROOF SHEETING	162.50	170.00
SELECTED ROOF SHEETING TO MATCH EXISTING	56.03	58.00
TOTAL	218.53 m <sup>2</sup>	228.00 m <sup>2</sup>
LIVING AREA (EXISTING)	232.12	
PATIO (EXISTING)	0.93	
DECK/ALFRESCO (EXISTING)	57.41	
BALCONY (EXISTING)	2.74	
CARPORT (ADDITION)	37.05	
TOTAL	330.25 m <sup>2</sup>	



**HOLMES** 

## **UPPER FLOOR PLAN**

Scale 1:100



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DATE

a 14.12.2020
b TBA

AMENDMENT

DA SUBMISSION

AMENDMENTS AS PER COUNCIL'S REQ.

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Monday, 15 February 2021

PROJECT:
PROPOSED CARPORT ADDITION
LOT 19 DP 17229 No. 94 QUEENS PARADE EAST, NEWPORT

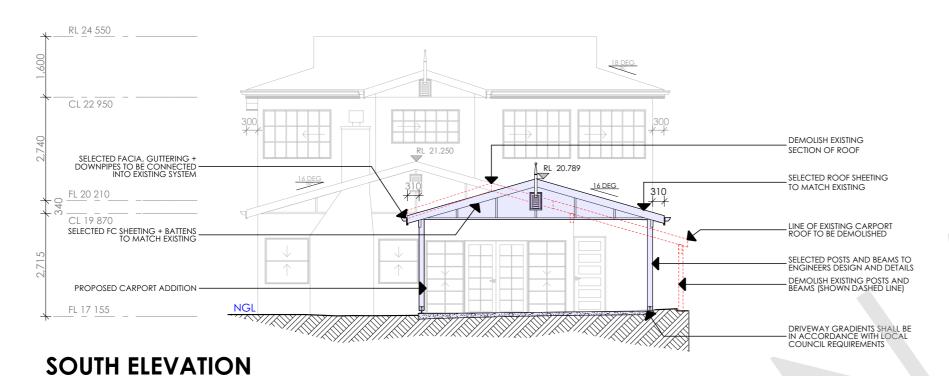
SHEET TITLE:
UPPER FLOOR PLAN

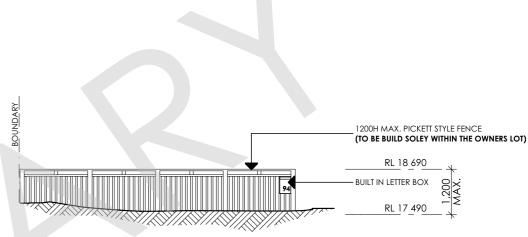
1:100

= EXISTING STRUCTURES TO BE REMOVED

PROJECT No:

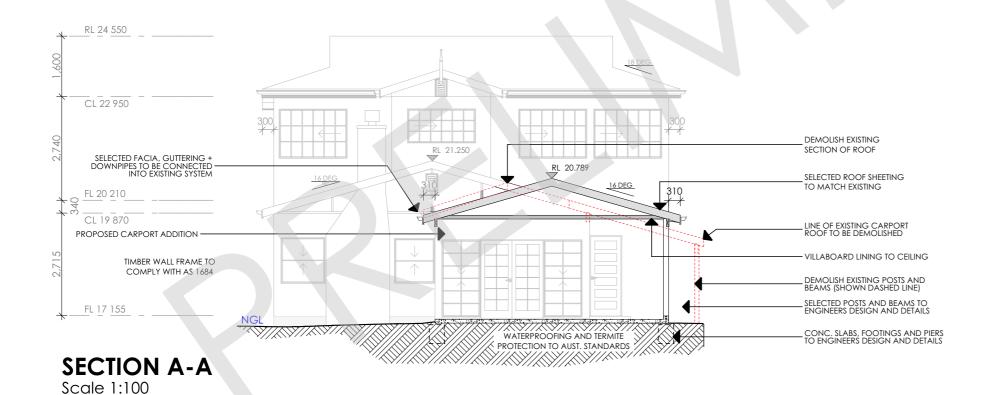
2023





## **FENCE ELEVATION**

Scale 1:100



Monday, 15 February 2021



Scale 1:100

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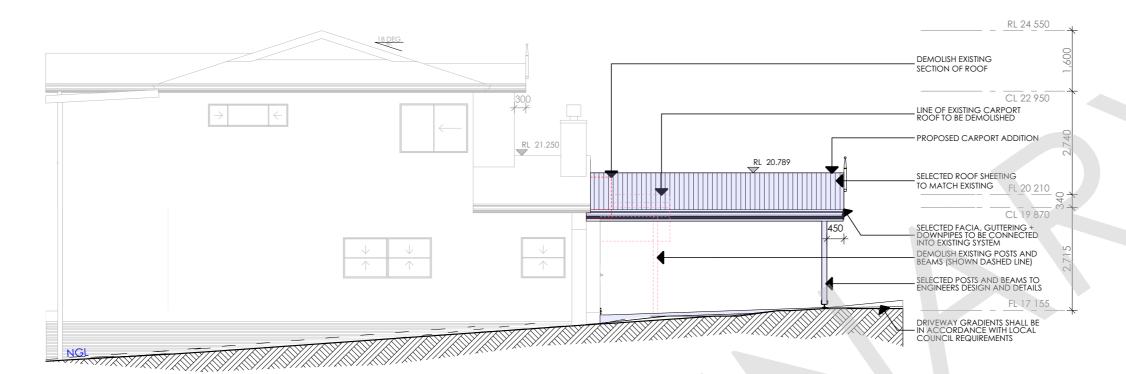
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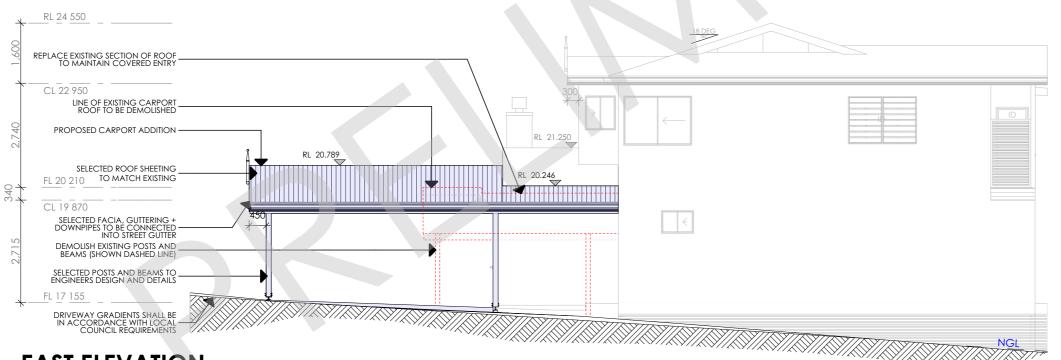
**AMENDMENT** 

REVISION: PROJECT: **ELEVATIONS + SECTION** PROPOSED CARPORT ADDITION LOT 19 DP 17229 No. 94 QUEENS PARADE EAST, NEWPORT CLIENT: PROJECT No: 5 **HOLMES** 1:100 2023



#### **WEST ELEVATION**

Scale 1:100



#### **EAST ELEVATION**

Scale 1:100

Monday, 15 February 2021



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AMENDMENT

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PROJECT:	SHEET TITLE:		REVISION
PROPOSED CARPORT ADDITION	ELEVATIONS		h
LOT 19 DP 17229 No. 94 QUEENS PARADE EAST, NEWPORT			
CLIENT:	SCALE:	PROJECT No:	6/
HOLMES	1:100	2023	1/6