

PITTWA

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
 PO Box 882, MONA VALE NSW 2103
 DX 9018, MONA VALE
 Facsimile: (02) 9970 7150
 Telephone: (02) 9970 7222



Use Only:

C NO: CC0485/05

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

TARGET DATE: _____

APPROVAL NO: _____

POST OUT or PICK UP _____

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No DA NCO31/03 Date 19/3/03

A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____

SITE DETAILS: (please print)

House No 2-4 Street/Road Wollombi Rd Suburb Bilgola

Postcode 2107 Lot 217 Section _____ Deposited Plan 16902

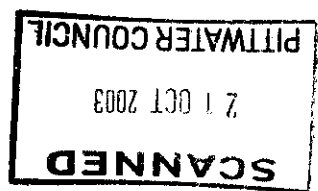
Description of Proposal _____

Addition of bedroom + ensuite, extended lounge room onto existing house.

VALUE OF DEVELOPMENT: \$ ~~100,000~~ 60,000

Nominated Building Classification: Class(es).....

CC - PAID
 HSL - PAID
 B3 \$198



total \$198 - receipt NO: 127007
17/10/03

APPLICANT: (please print)

Name/Company Wade Orth

Address 2 Wollombi Rd, Bilgela

Phone (02) 9973 4959 Daytime Contact No (02) 9986 7260

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature [Signature] Date 30/6/03

OWNER (please print)

This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s Wade Orth

Address 2 Wollombi Rd, Bilgela

Postcode 2107

Signature(s) [Signature]

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

BUILDER'S NAME AND ADDRESS

(must be completed when the proposal involves residential building work): (please print)

Are you an Owner-Builder? YES, Permit No. NO

Licensed Builder Details

Name/Company North Peninsula Constructions PL

Address 26 Rowan St, Mona Vale

Phone (02) 9999 0393 Daytime Contact No () 0411 595 783

Licence No 46540c Insurance Policy No _____

Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.

(2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.

J

S
C
H
E
D
U
L
E**CONSTRUCTION MATERIALS/DETAILS: (please print) (must by law be accurate)****Construction materials**External walls WeatherTex Roof CelexbondFloor timber Wall frames timber**Details**Current use of the land/building(s) Residential houseSite area 841 m² m²Floor area - existing 89 m² m²- proposed 47 m² m²**Total:** 136 m² m²Number of Storeys 1Number of dwellings to be demolished —Number of dwellings proposed —

OUR
USE

STAFF
USE

E SECTIONS
A cut through view of the building and site. Minimum scale 1:100

The outline of the existing and/or proposed building showing all dimensions including roof pitch.
All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients).
Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any).
Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size
Provisions made for Fire Safety and Fire Resistance.

F LONG SECTIONS
A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100

Details of driveways, vehicle crossing profiles and transitions.
Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.

G FLOOR PLAN
An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100

North point shown.
Room dimensions and use shown.
The location and dimension of all windows, doors and walls (including wall thickness).
Provisions made for Fire Safety and Fire Resistance

H BUILDING SPECIFICATION
Details of construction:

Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length.
Whether the material will be new or second hand. Give particulars of second hand materials.
Details of drainage, effluent disposal, water supply, ventilation arrangements etc.

Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.

I FIRE SAFETY PROVISIONS
Class 2-9 buildings only

Details of the fire safety measures to be implemented.
Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.

J DETAILED ENGINEERING DRAWINGS
Detailed plans which have been certified by a qualified consultant for the following where relevant

Earthworks, erosion control measures, elevations of retaining walls, etc.
Roadworks, road pavement details.
Stormwater drainage (including stormwater management details).
Water supply, effluent disposal.
Landscape construction works.

Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.

Checked by:

PITTWA

Office Use Only:

IC NO: CC0985/05

Pittwater Council

OFFICIAL RECEIPT

17/10/2003 Receipt No 127107

To: WL DTP

2-4 WOLLOMBI RD
SILSBOLA

Applic Reference	Amount
BL Re HKCP-RR A 1 X DA: M0031/03	\$198.00

Total:	\$198.00
Amounts Tendered	
Cash	\$0.00
Cheque	\$198.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$198.00
Rounding	\$0.00
Change	\$0.00
Nett	\$198.00

Printed 17/10/2003 8:45:24
Cashier Witness



Australian Home Warranty Pty Ltd

ABN 58 072 501 047

245 Racecourse Road, Flemington VIC 3031 Telephone: 1300 300 115

Facsimile: 1300 308 115

Policy Schedule/Certificate of Insurance

TAX INVOICE

HOME WARRANTY - JOB SPECIFIC POLICY (NSW)

Policy Schedule / Certificate of Insurance

TAX INVOICE

This certificate, when signed by an authorised representative of the Insurer or its agent, is a contract of insurance complying with: Section 92 in respect of CONTRACT WORK, or Section 93 in respect of SUPPLY OF KIT HOME, or Section 95 in respect of OWNER BUILDER Work, or Section 98 in respect of WORK BY DEVELOPERS AND OTHERS, of the Home Building Act 1989 issued the Insurer in respect of the Residential Building Work Contract detailed below. Subject to the Act and the Home Building Regulation 1990 and the conditions of the insurance contract, cover will be provided to the person named as beneficiary below and successors in title to the beneficiary.

POLICY No.: Reward -002

CERTIFICATE No.: 057514

POLICY ISSUED:

09-Oct-03

INSURED

The Building Owner (Beneficiary): TBA Wade ORTH

Postal Address: TBA 2 Wollombi Rd, Bilgola Plateau

RESIDENTIAL BUILDING WORK DETAIL

(Description of work): Renovations to an existing dwelling - as per application dated 29/09/2003

At (Site Address): 2 Wollombi Road, Bilgola Plateau 2107

Municipality: Pittwater Council

Project Manager: Scott James Beuzeville

Estimated Start Date: 1/12/2003

Contract Date:

Contract Price: \$114,954.00

Estimated Completion Date:

CONTRACTOR

Carried out by (Trading Name): North Peninsula Constructions Pty Ltd

Business Address: 26 Rowan Street, Mona Vale 2103

ACN No.: 060 099 078

Licence/Contractor No.: 46540C

Phone No.: (02) 9999 0393

MAXIMUM AMOUNT OF COVER AND CLAIMS

The limit of liability is \$200,000 in relation to each dwelling, or such amount as is determined by Regulations pursuant to the Home Building Act. The period in respect of which claims may be made commences on the date of the relevant Residential Building Work Contract or date of issue of the building permit for the relevant work (whichever is the earlier); and expires on the date being seven (7) years after the date of completion of the Residential Building Work, provided that the Insured shall have 90 days from expiry of the period of insurance in which to notify the Insurer of any matter of which the Insured became aware during the period of insurance as existence of grounds for a claim.

PREMIUMS AND CLAIMS EXCESSES

Claims Excesses

The insured shall bear at his/her/its own risk five hundred dollars (\$500) in respect of each claim made under the policy.

Net Premium: \$883.44 (includes agent fee of \$110.00 and GST on fee)

GST: \$77.34

Stamp Duty: \$42.54

Total Premium and Charges: \$1,003.32

SIGNED BY A PERSON AUTHORISED BY THE INSURER

Reward Insurance Ltd, Level 4, 95 Queen Street, Melbourne VIC 3000

(ABN 90 007 118 854)

Murray F Nugent

Name of the signatory

Australian Home Warranty Pty Ltd

Signature of authorised officer

J.M.A.

2/1767 Pittwater Road
Mona Vale NSW 2103
PO Box 1061
Mona Vale NSW 1660

Ph (02) 9979 6618
Fax (02) 9999 0121
Email: Matheson_plc@
msn.com.au

JOHN MATHESON & Associates PTY LTD
Consulting Structural and Civil Engineers
ACN 061 846 795
ABN 49 061 846 795

JM031008

14th October, 2003

TO WHOM IT MAY CONCERN

We hereby confirm that we have performed a site inspection of the existing stormwater drainage and report that it consists of 100mm diameter UPVC pipe between the house and Wollombi Street.

The house stormwater drainage is currently connected to this pipe and all additional stormwater downpipes shall be appropriately connected to this pipe during the construction works and a work as executed drainage plan shall be provided by the plumber showing all pipe grades.

In our opinion the existing pipe diameter and grades are sufficient to convey the stormwater collected by the roof down to Wollombi Street, where it will be discharged to the kerb and gutter within 1 metre of the existing kerb inlet pit.

Yours faithfully,
JOHN MATHESON & ASSOCIATES PTY. LTD.

JOHN MATHESON

J.M.A.

2/1767 Pittwater Road
Mona Vale NSW 2103
PO Box 1061
Mona Vale NSW 1660

Ph (02) 9979 6618
Fax (02) 9999 0121
Email: Matheson_plc@
msn.com.au

JOHN MATHESON & Associates PTY LTD
Consulting Structural and Civil Engineers
ACN 061 846 795
ABN 49 061 846 795

JM030617

27th June, 2003

Mr. Wade Orth,
2 Wollombi Road,
BILGOLA PLATEAU. N.S.W. 2107

Dear Sir,

RE: STRUCTURAL CERTIFICATE – JOB NO. 0324
PTY: 2 WOLLOMBI ROAD, BILGOLA PLATEAU

The structural design for the abovementioned work was carried out by this firm and detailed on our engineering drawings numbered S1, S2 & S3, copies of which were submitted to and approved by Council. We certify that this design was in accordance with normal engineering practice and principles and the SAA Codes AS1170.1 & 2, AS3600 and AS1684.

This certificate shall not be construed as relieving any other party of their responsibilities.

Yours faithfully,
JOHN MATHESON & ASSOCIATES PTY. LTD.


JOHN MATHESON

CONSTRUCTION CERTIFICATE PROCEDURE

ADDRESS:

2-4 Wallabi Road.

CC NO: CC0483/03.

DA NUMBER: N0031/03.

1. THE WORKING PLANS/STRUCTUREL/GEOTECHNICAL
ENGINEERING PLANS/EROSION CONTROL PLANS ETC
COMPLY WITH THE CONDIIONS OF DEVELOPMENT
CONSENT

DEVELOPMENT OFFICER: _____

REASONS WHY NOT?

2. THE LANDSCAPE PLAN COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT

LANDSCAPEOFFICER:: _____

REASONS WHY NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR: _____

REASONS WHY NOT?



Pittwater Council

Construction Certificate No: _____

WHO WILL BE SIGNING THIS CC OFF _____
(ie who will we return it to)

Site Details: _____

Legal Description: _____

Type of Development: Building Work Subdivision

Description: _____

Associated Development Consent No: _____ Dated: _____

Building Code of Australia Certification: Class _____

Details of plans, documents or Certificates to which this Certificate relates:

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: (_____)

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

.....
Development Officer

.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

PITTWATER COUNCIL
DEVELOPMENT DIVISION
FILE NOTE

RECORD OF MEETING/ENQUIRY/TELEPHONE CALL/ COMPLAINT

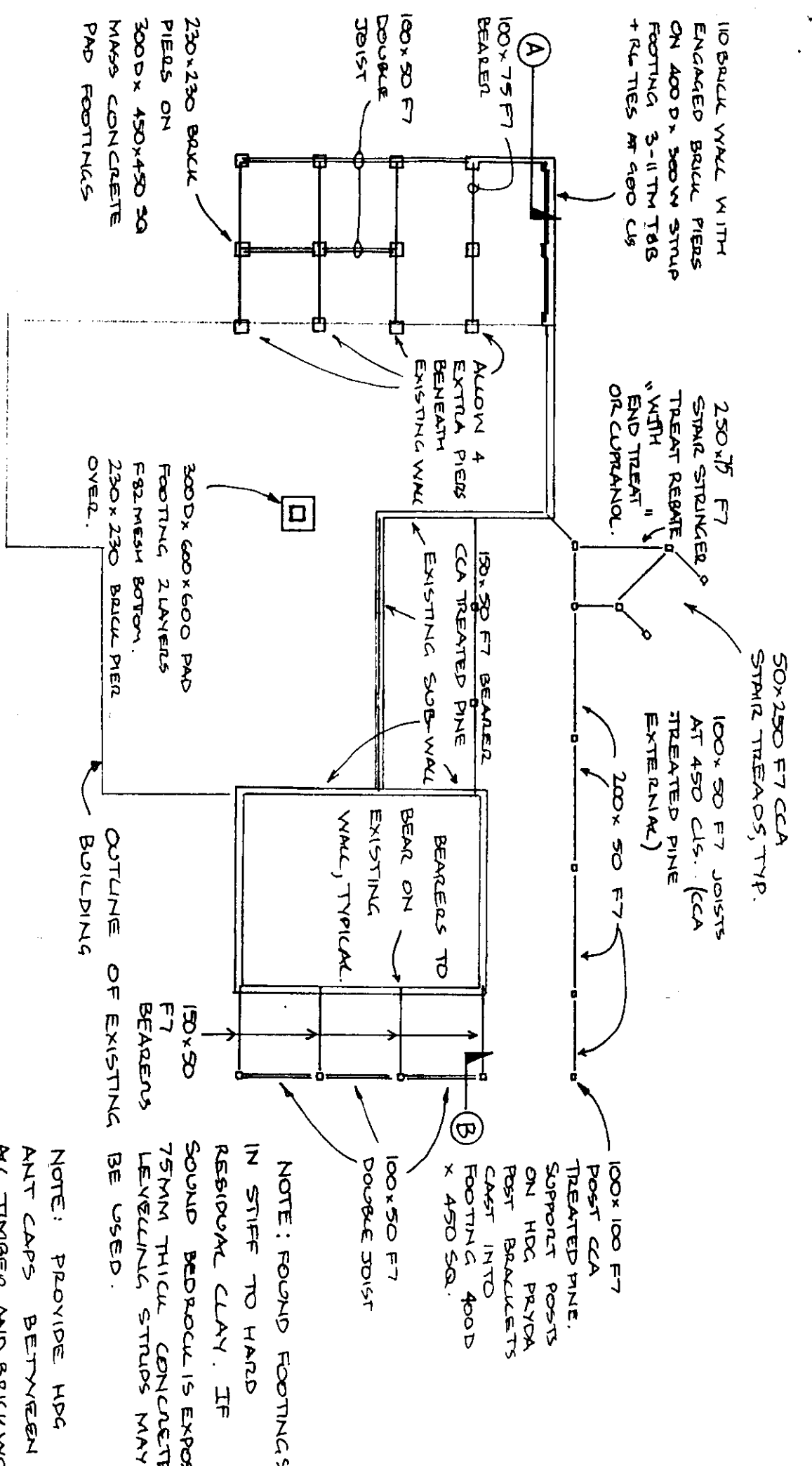
DATE:.....

FILE No:.....

PARTICIPANTS.....

ADDRESS.....

OFFICERS SIGNATURE.....



FLOOR TIMBER FRAMING PLAN, SUBWALLS PIERS & FOOTINGS.

CONCRETE WORKS TO AS 3600. BRICKWORK TO AS3700. MORTAR 1:1:6 MIX

NOTE: FOUND FOOTINGS IN STIFF TO HARD RESIDUAL CLAY. IF SOUND BEDROCK IS EXPOSED 75MM THICK CONCRETE LEVELING STUDS MAY BE USED.

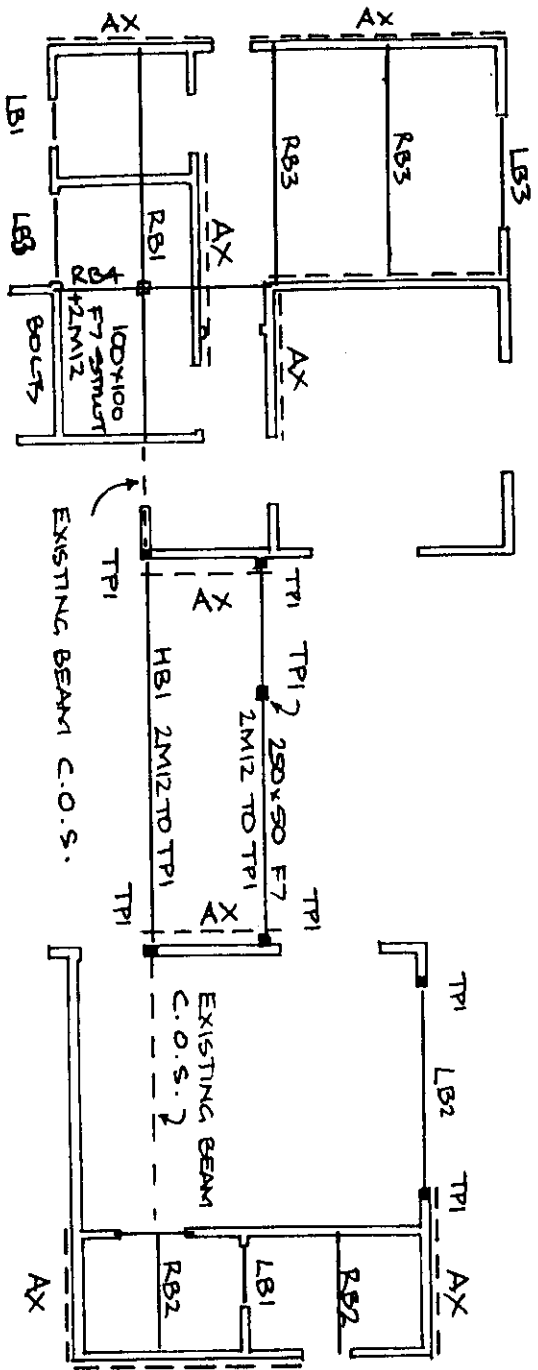
NOTE: PROVIDE HDG ANT CAPS BETWEEN ALL TIMBER AND BRICKWORK

NOTE: ALL BOLTS SHALL BE HDG.

Issue	Date	Drawn	Checked	Approved	Date
1	ISSUED FOR C/C	JM	JM	JM	26/06/03

THIS DESIGN IS THE PROPERTY OF JOHN MALHESSION & ASSOCIATES PTY LIMITED	Client	Mr. Wade Orph
John Malhesson & Associates Pty Ltd Consulting Civil & Structural Engineers 2/771 Angkor Road Newport, NSW 2107 Phone: (02) 918 1348 Fax: (02) 918 6201	Project	NO 2 WOLLOMBI ROAD BILGOLA PLATEAU
AS/NZS 1170	Title	GROUND FLOOR FRAMING SUB-WALL & PIER MARKING PLAN
Scale	Sheet No.	S1
1	Of 1	

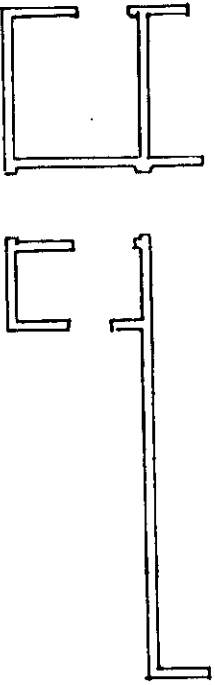
- AX DENOTES HDQ METAL STRAP BRACING "TYPE A" TO AS1694.
- ALL TIE DOWN TO AS1694 USING C1-6 CONNECTIONS




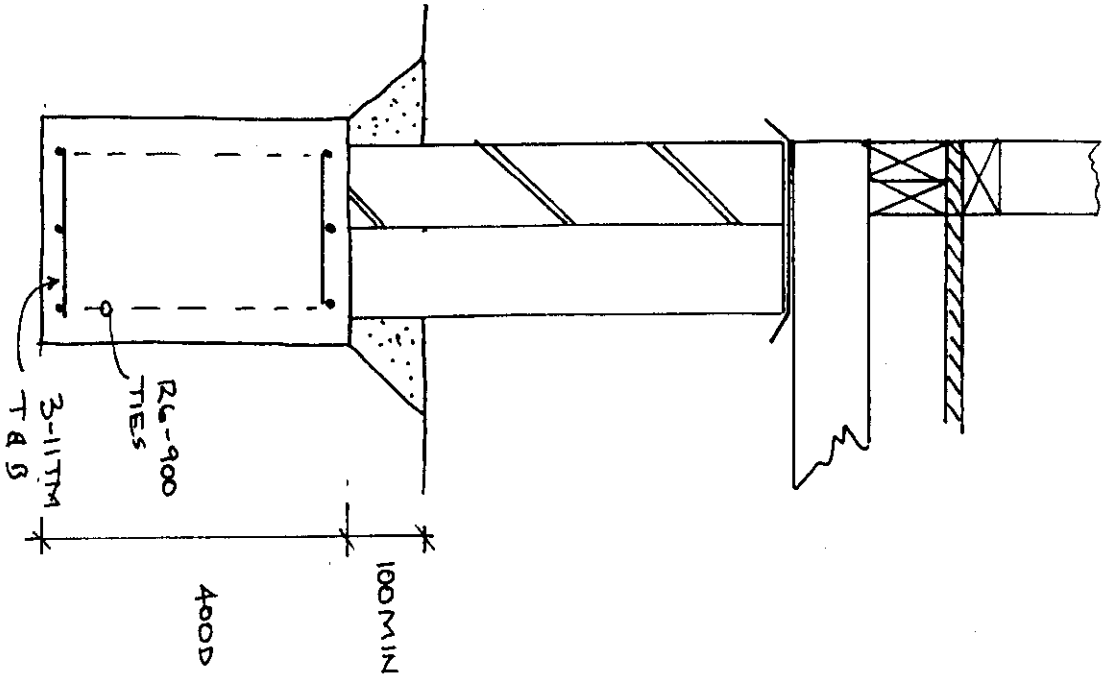
MEMBER SCHEDULE

- RB1. 200x75 F7.
- RB2. 150x50 F7.
- RB3. 200x75 F7.
- RB4. 150x75 F7.
- HB1. 2x300x45 HYSPAN
- LB1. 100x50 F7
- LB2. 170x45 HYSPAN
- LB3. 150x50 F7.
- RAFTERS 100x50 F7 @ 450
- CEILING JOIST 100x50 F7 @ 450
- SUSPENDED FROM RB3, RB2.
- USING 100x50 M12 BOLTED TO JOIST & RB3 & RB2.

ROOF FRAMING PLAN, WALL & BRACING PLAN.

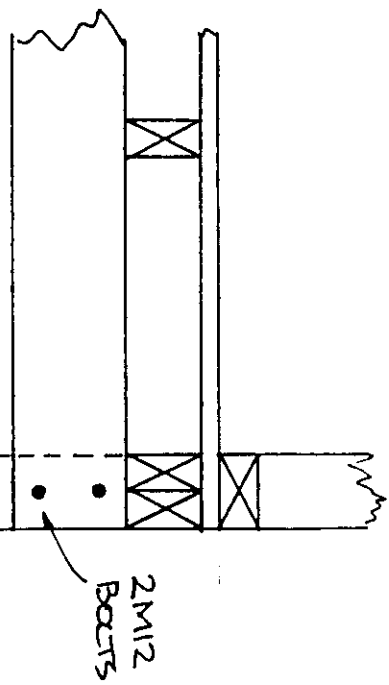


Issue	1	ISSUED FOR C.C.	JM	JM	JM	JM	26/06/03
Date of Issue							
Checked							
Approved							
THIS DESIGN IS THE PROPERTY OF JOHN MATTHESON & ASSOCIATES PTY LIMITED JOHN MATTHESON & ASSOCIATES PTY LIMITED Consulting Civil & Structural Engineers 2/1111 Progress Road 20 Belconnen ACT 2615 Phone: 02 611 1111 Fax: 02 611 1111 Email: info@matthewson.com.au 							
Client	Mr. Wade Orth						
Project	No 2 WOLLUMBI ROAD BILGOLA PLATEAU						
Title	ROOF FRAMING & WALL BRACING PLAN						
Drawing No.	82						
Scale	1						
Code	MDC-B1						

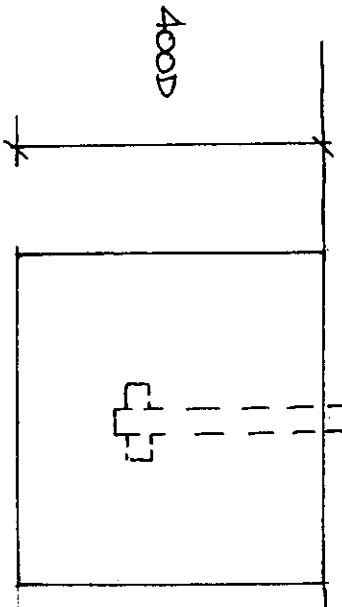


SECT A

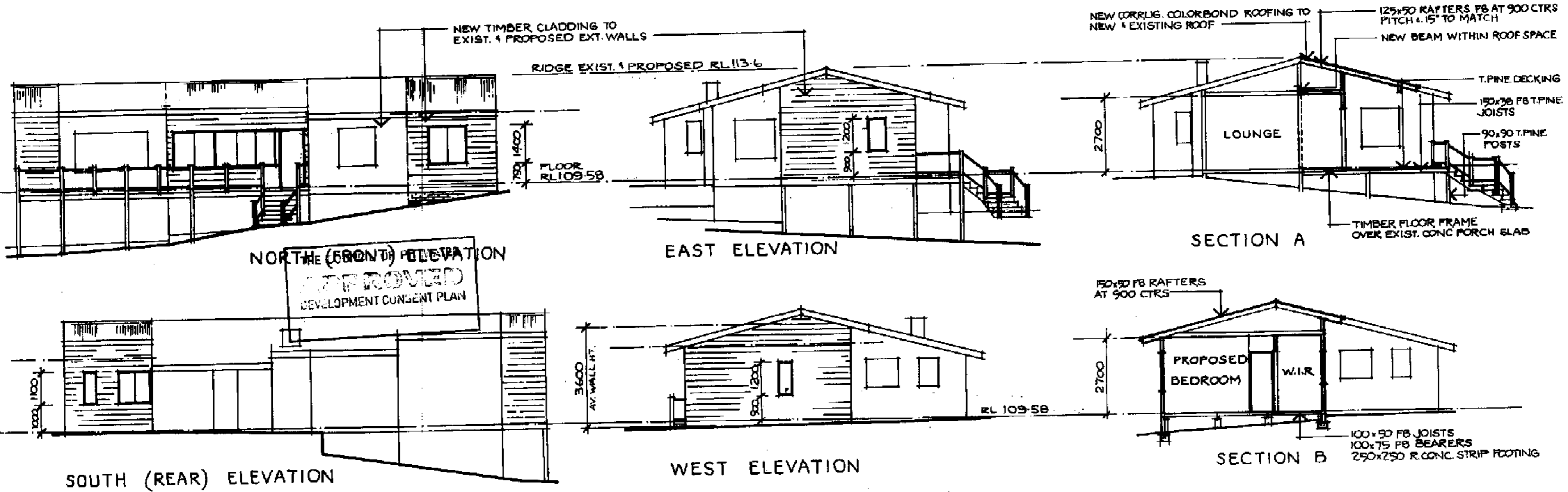
• FOUND FOOTINGS IN STIFF RESIDUAL CLAY.



SECT B



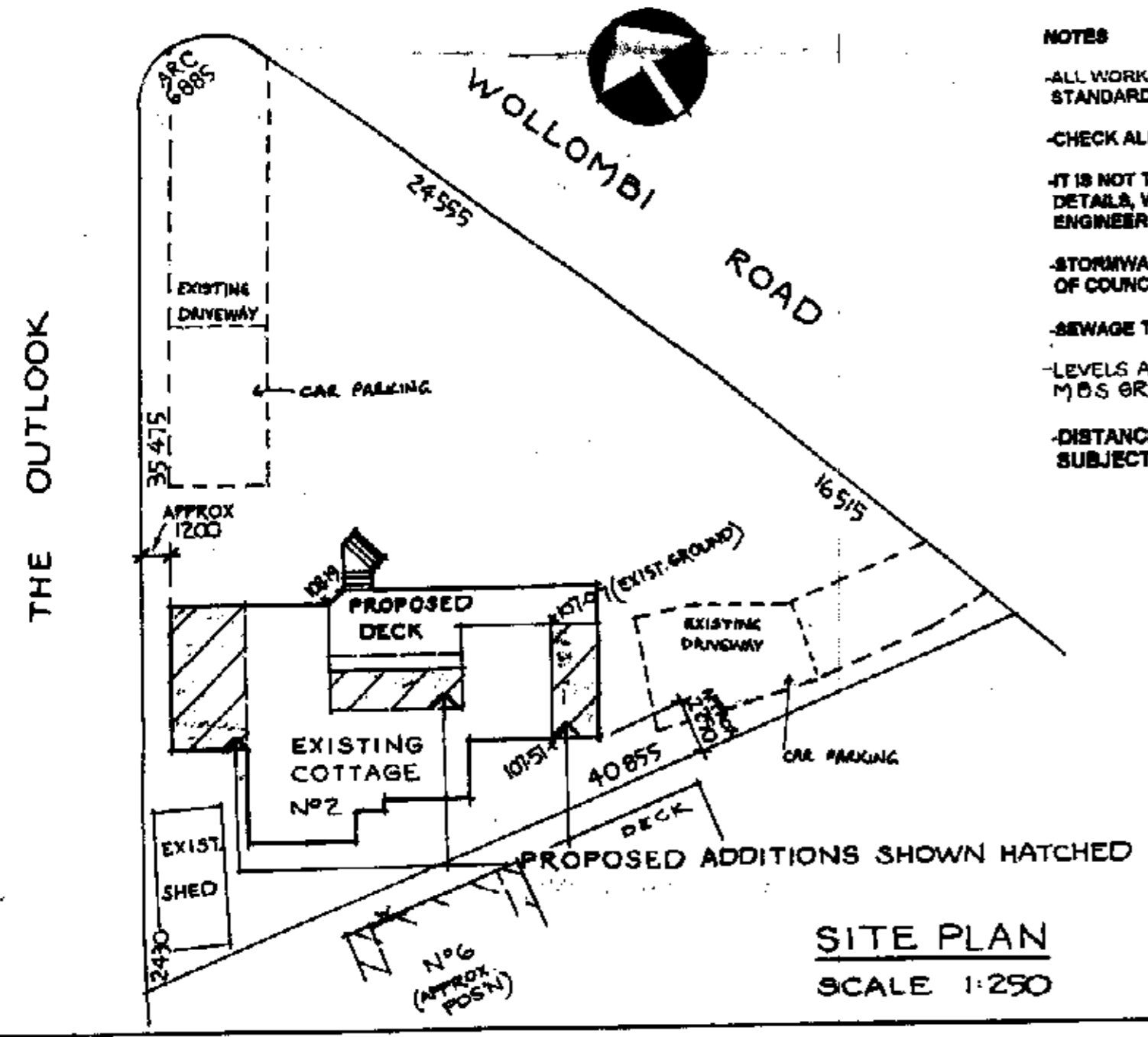
1	ISSUED FOR C.C.	JM	JM	JM	26/08/03	THIS DESIGN IS THE PROPERTY OF JOHN MATTHESON & ASSOCIATES PTY LIMITED No other person is to be permitted to copy or use the design without the written consent of the firm.	John Matheson & Associates Pty Ltd Consulting Civil & Structural Engineers 1/1111 Ferguson Road P.O. Box 1081 Adelaide SA 5001 Phone: 821 8212 8212 Fax: 821 8999 0211	Client Mr. Wade Orth Project No 2 WOLLUMBI ROAD BILGOLA PLATEAU	Title FOOTING DETAILS	Drawing No. S3
1	ISSUED FOR C.C.	JM	JM	JM	26/08/03					Scale 1



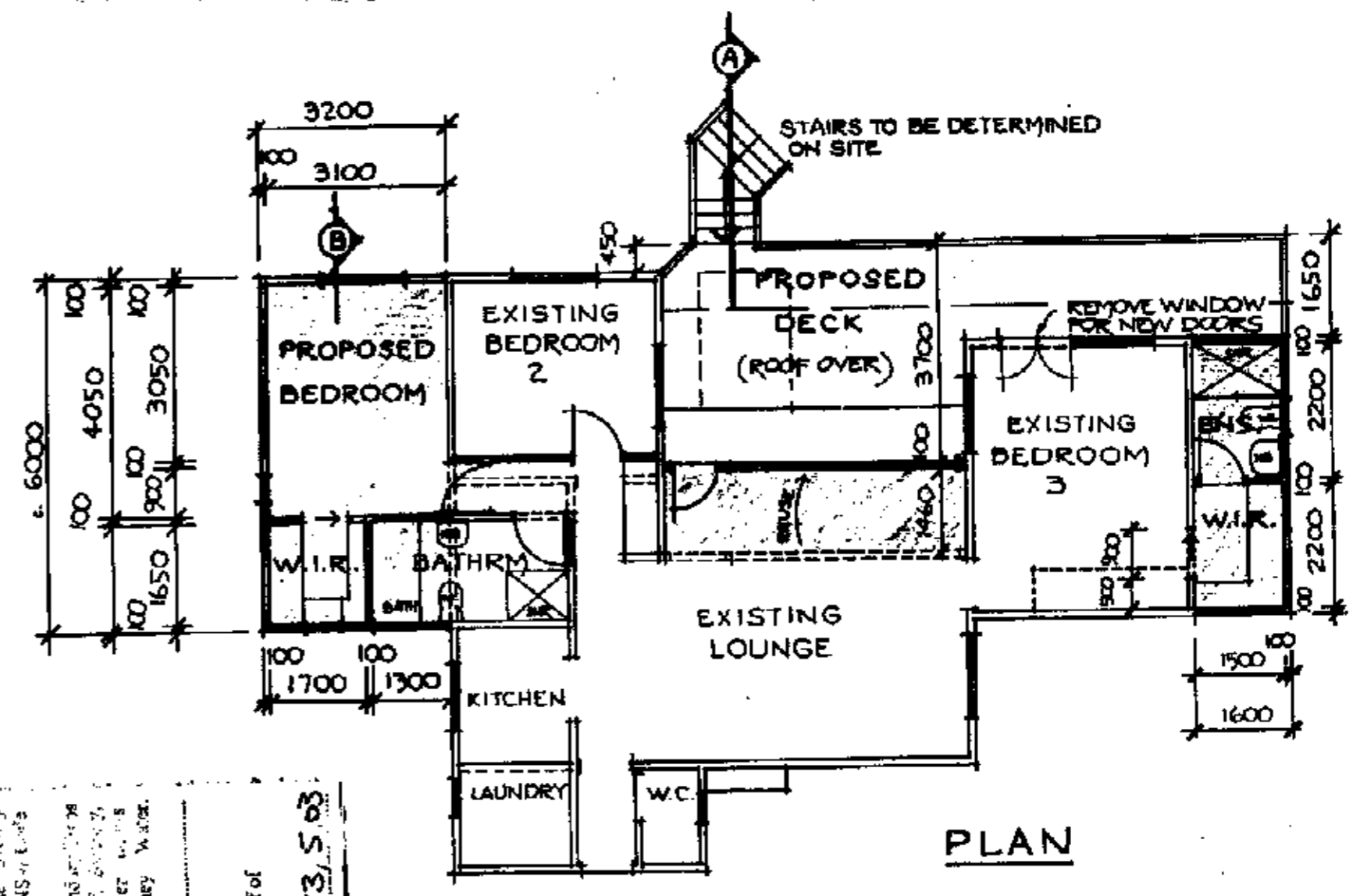
APPROVED
DEVELOPMENT CONSENT PLAN

- NOTES**
- ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT STANDARDS
 - CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION
 - IT IS NOT THE PURPOSE OF THIS PLAN TO SPECIFY STRUCTURAL DETAIL. STRUCTURAL DETAILS, WHERE NECESSARY SHOULD BE PROVIDED BY A PRACTISING STRUCTURAL ENGINEER
 - STORMWATER TO BE CONVEYED TO EXISTING SYSTEM TO THE SATISFACTION OF COUNCIL
 - SEWAGE TO BE CONVEYED TO EXISTING SYSTEM TO SATISFACTION OF SYDNEY WATER
 - LEVELS ARE ON AUSTRALIAN HEIGHT DATUM, FROM PLAN BY M/D S GREEN & ASSOCS PL REF EN M6104 (115/18)
 - DISTANCES SHOWN TO BOUNDARIES ARE MEASURED TO FENCES AND ARE SUBJECT TO SURVEY

SITE AREA	834.6 m ²
EXIST. RESIDENCE	89 m ²
EXIST. SHED	17 m ²
PROPOSED ADDITIONS	47 m ²
	153 m ²
	= 18% SITE



SITE PLAN
SCALE 1:250



PLAN

PROPOSED ALTERATIONS & ADDITIONS
N^o 24 WOLLOMBI ROAD BILGOLA PLATEAU
FOR MR W ORTH

SYDNEY WATER APPROVED

1. Condition of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following issuance of a permit to a licensed plumber/drainlayer.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NS-W Code of Practice.
5. Sanitary, Inspection, Shutoff and Boundaries shall not be placed under any roof, balcony, verandah, floor or other cover, unless otherwise approved by Sydney Water.
6. Property No. 3465456

Trudellink, Mona Vale,
Qualtek Check Agent on behalf of
SYDNEY WATER
13.5.03
Per: *[Signature]*

ARCHITECTURAL PLANS INTERIOR DESIGN COLOUR SCHEMES	SCALE: 1:100	432.01
LEIGH GRIFFITHS & TAYLOR ROAD NORTH HARRISBEECH NSW 2101 PHONE 9913 9824 FAX 9944 7283	DATE: APRIL '02	