

GENERAL NOTES

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drawn	date	issue	amendment
EC	22/09/20	A	ISSUE FOR DA
EC	23/03/21	B	REVISED FOR DA

project
**PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 36
WEEROONA AVENUE ELANORA HEIGHTS 2101 NSW
LOT 18 DP 13152**

bdad
ACCREDITED
BUILDING DESIGNER

6/7 Parkes Street,
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spaces designed for life

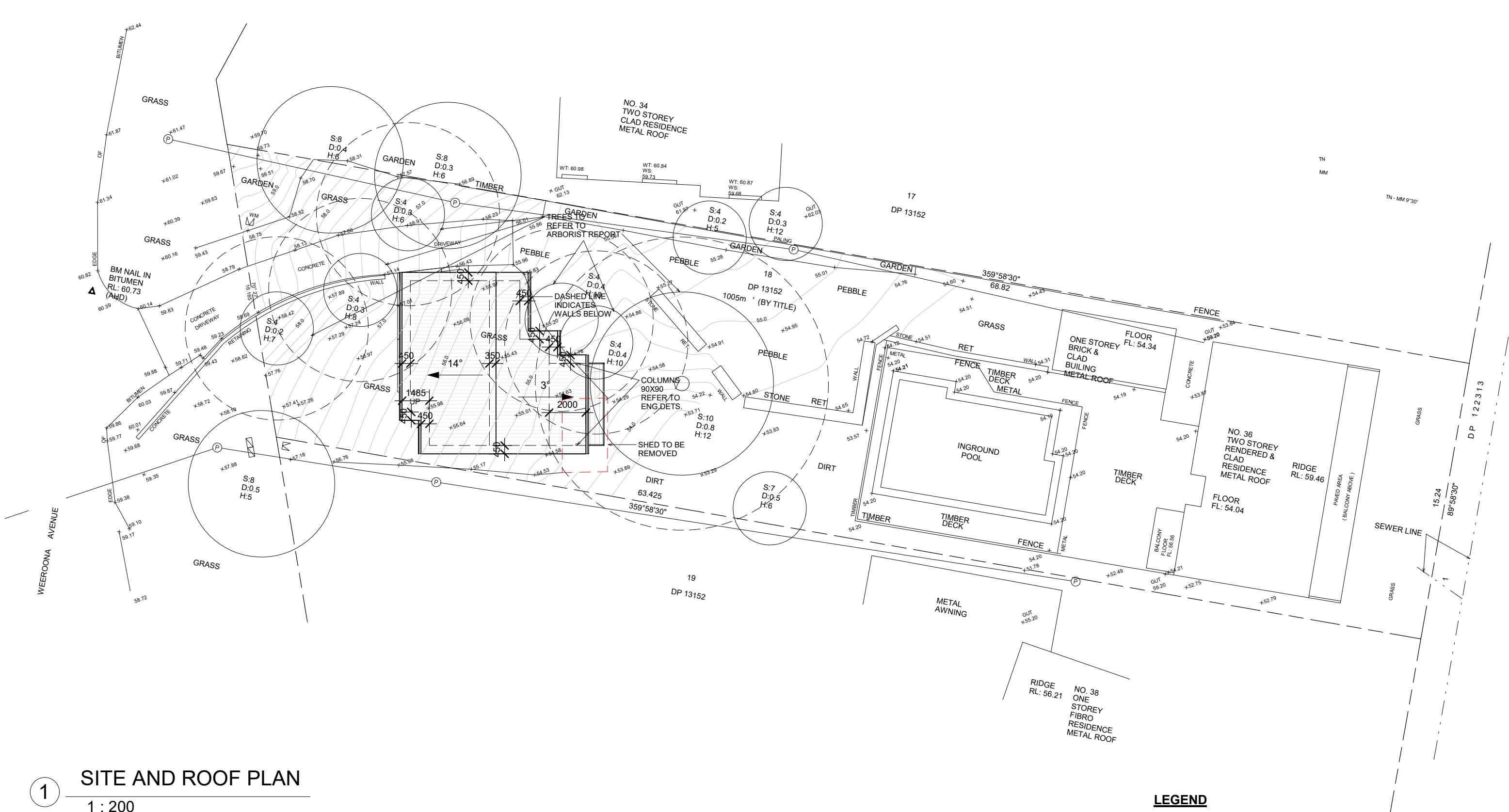
client
NIK AND MARIA FRANK



drawing
3D VIEWS

project no	date	sheet no.	scale @ A3	issue	drawn
20-71	22/09/20	0		B	RK

RK
DESIGNS



IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR

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client

NIK AND MARIA FRANK

drawn

SITE AND ROOF PLAN

project no

20-71

date

22/09/20

sheet no.

1

scale @ A3 issue

1 : 200 B

drawn

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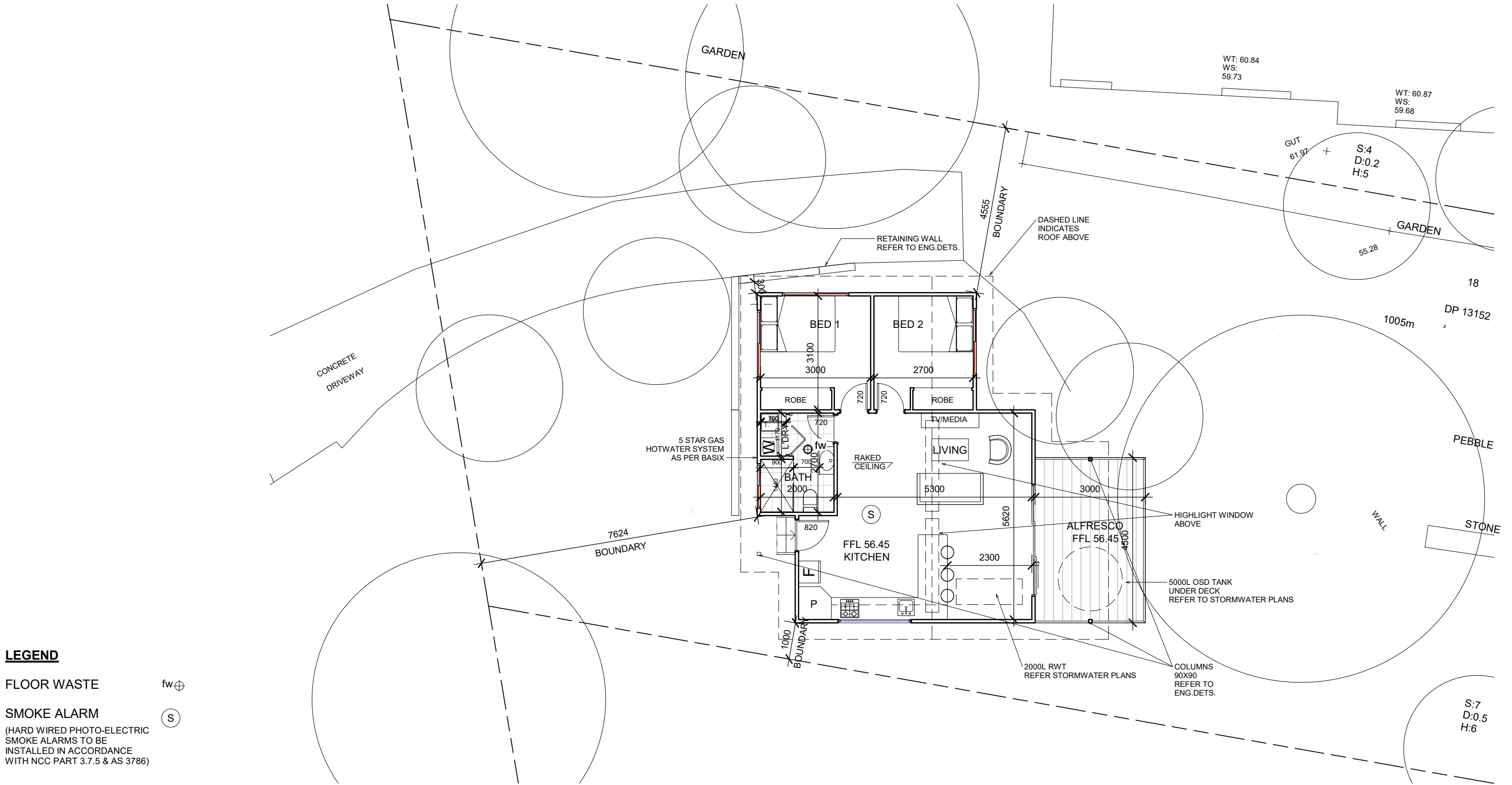
DESIGNS

LEGEND



FLOOR WASTE fw⊕

SMOKE ALARM S
(HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.5 & AS 3786)





LEGEND

- FLOOR WASTE 
- SMOKE ALARM 
- (HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.5 & AS 3786)

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NIK AND MARIA FRANK

drawing

GROUND FLOOR PLAN

project no

20-71

date

22/09/20

sheet no.

2

scale @ A3


1 : 100

issue

B


drawn

RK

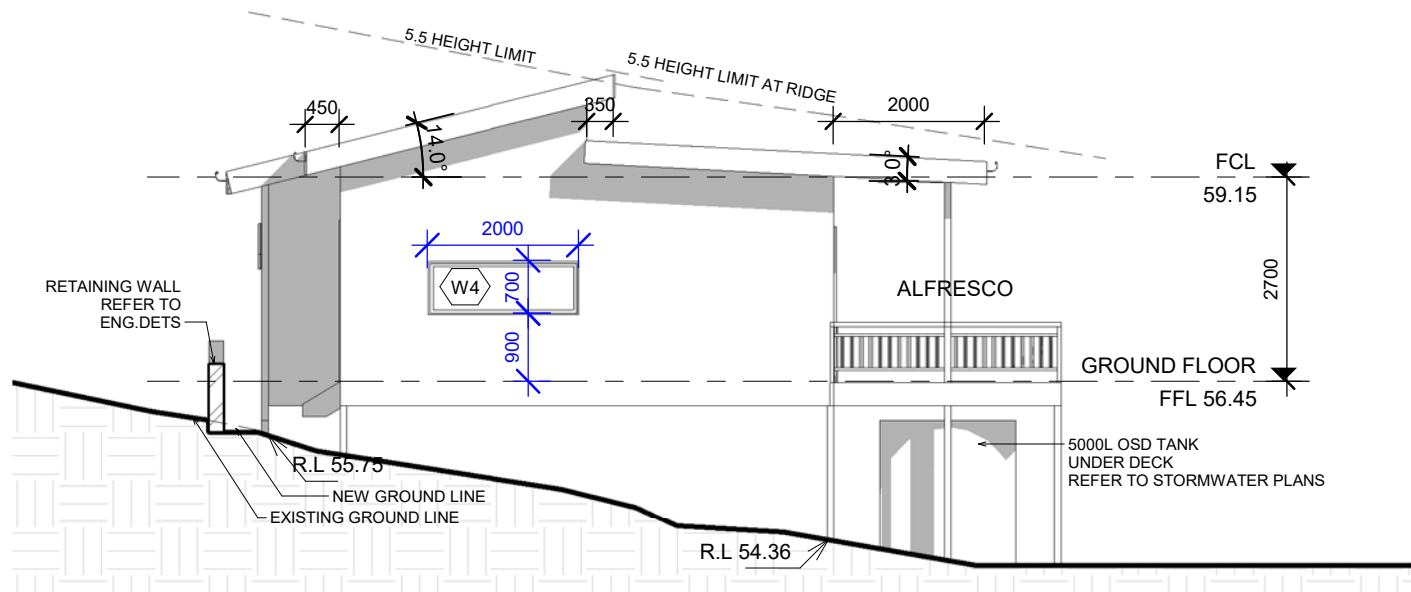


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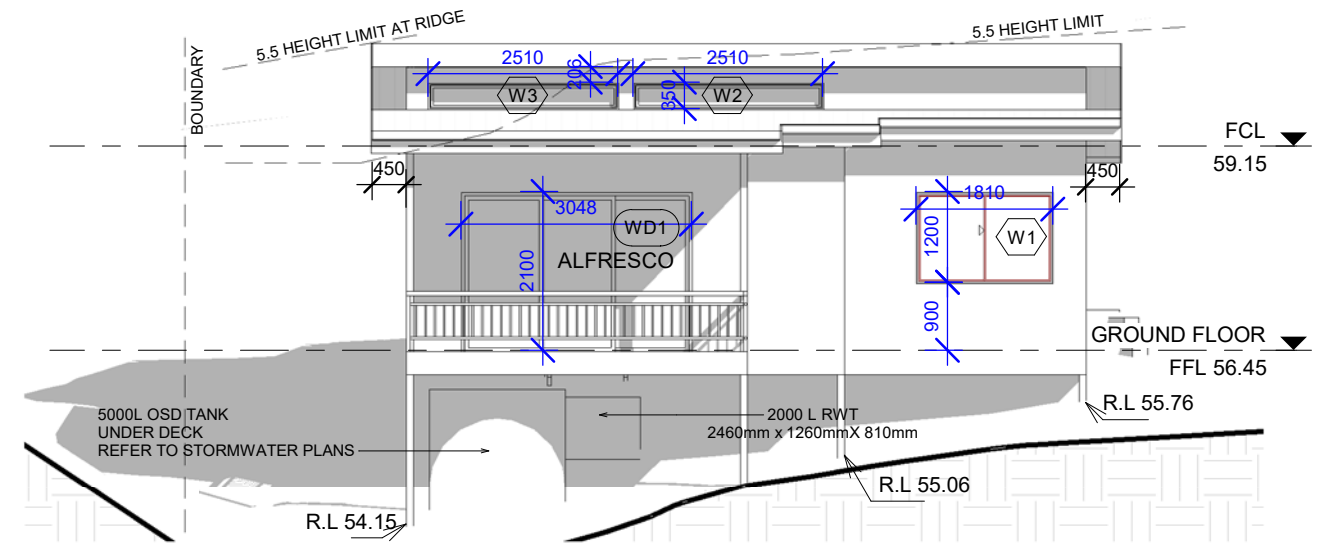






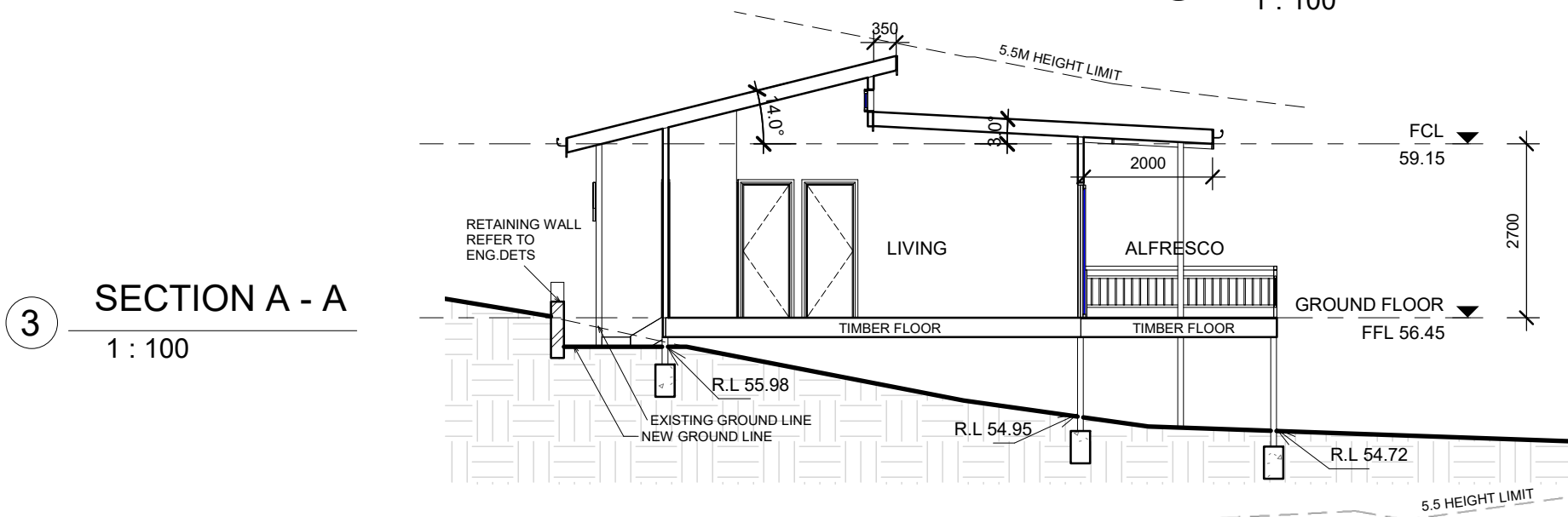
1 EAST ELEVATION

1 : 100



2 NORTH ELEVATION

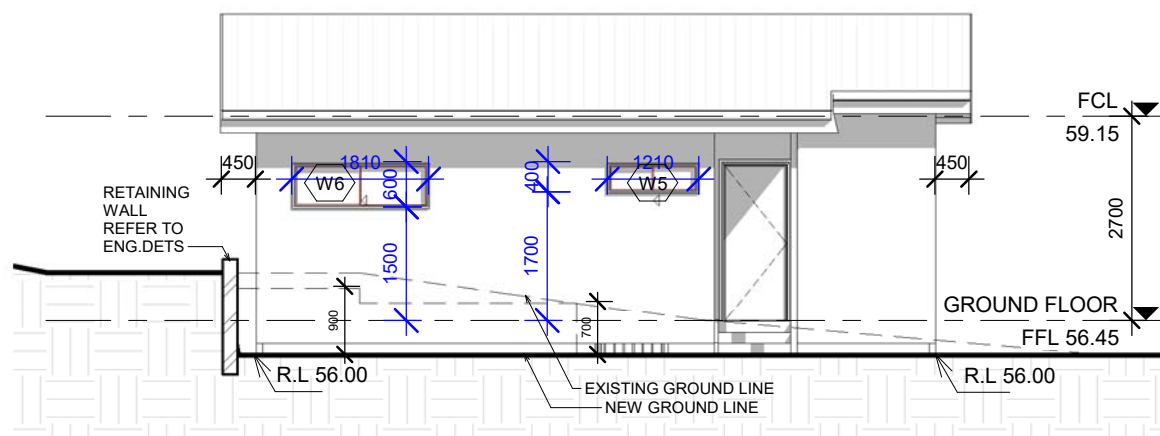
1 : 100



3 SECTION A - A

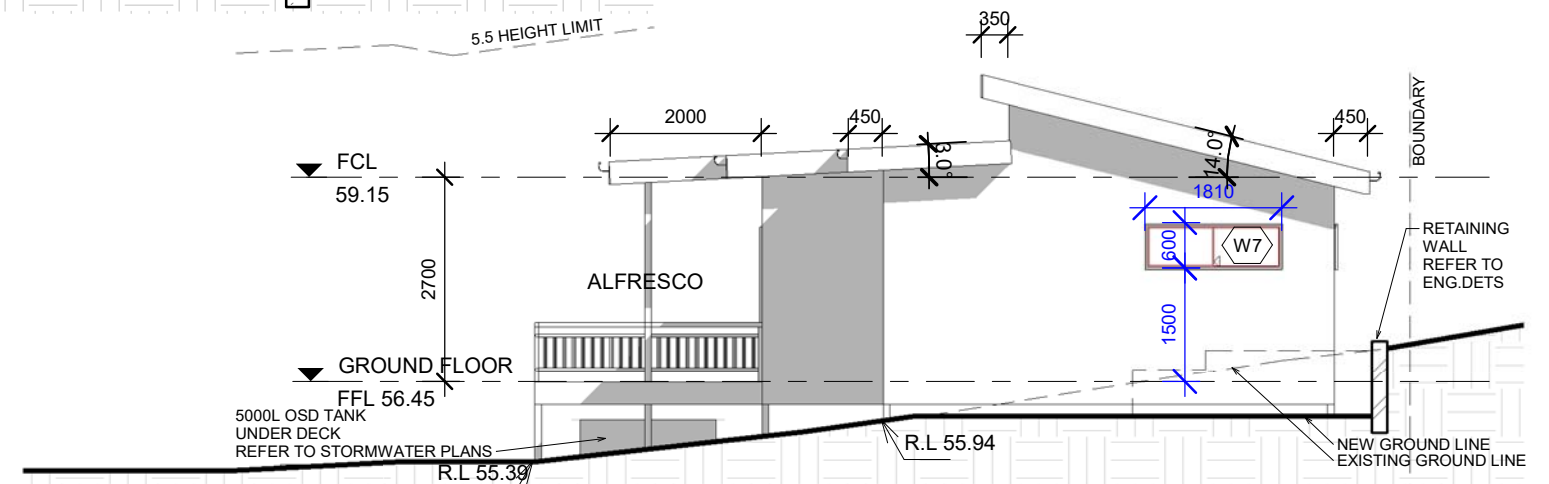
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4 SOUTH ELEVATION

1 : 100



5 WEST ELEVATION

1 : 100

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client
NIK AND MARIA FRANK



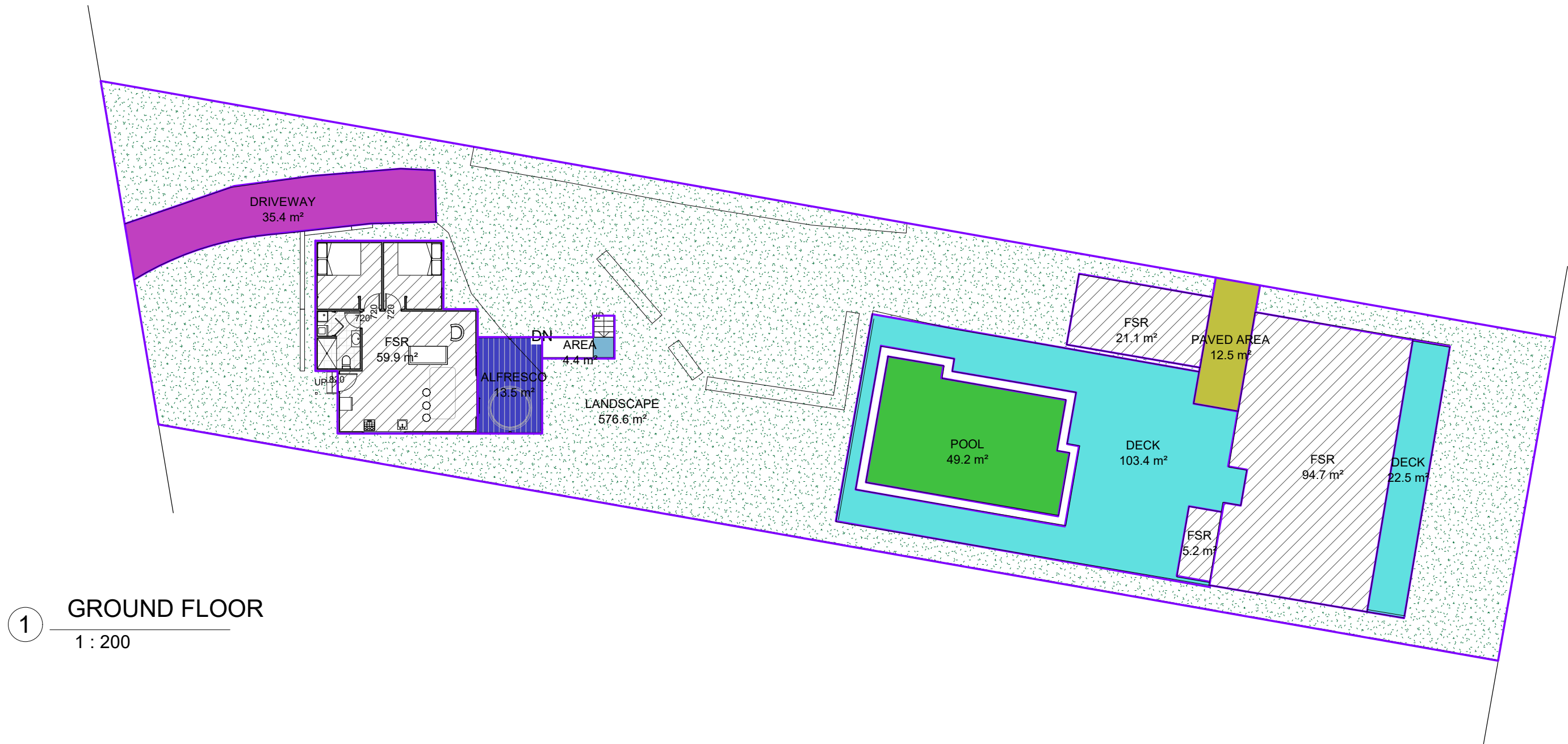
drawing
ELEVATIONS AND SECTION

project no	date	sheet no.	scale @ A3	issue	drawn
20-71	22/09/20	3	1 : 100	B	RK



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DESIGNS



1 GROUND FLOOR
1 : 200

SITE AREA = 1,005sqm

LANDSCAPED AREA
REQUIRED LANDSCAPING = 60 % OPEN SPACE = 603sqm
(MINIMUM WIDTH NOT LESS THAN 2 METRES)
PROPOSED LANDSCAPED AREA = 576.6 sqm
VARIABLE RECREATIONAL OUTDOOR AREA = 6% OF THE SITE AREA = 60.3sqm
TOTAL VARIED LANDSCAPED AREA = 636.9sqm = 63.4% OF THE SITE AREA

REFER TO 5.4 VARIATIONS OF LANDSCAPED AREA

PRIVATE OPEN SPACE
REQUIRED TOTAL OPEN SPACE = 80 sqm
PROPOSED OPEN SPACE = 80 sqm

THEREFORE, THE PROPOSAL COMPLIES WITH PDCP.

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true north

Bungalow Homes

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AREA CALCULATIONS

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date

sheet no.

scale @ A3

issue

drawn

20-71

22/09/20

5

1 : 200

B

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DESIGNS