

FACADE PERSPECTIVE IS DEPICTIVE ONLY AND MAY VARY ONCE APPLIED TO ACTUAL CUSTOM DESIGN.

ARTIST'S IMPRESSION ONLY NOT TO BE REFERRED TO FOR CONSTRUCTION PURPOSES.

MATERIALS SHOWN ARE DEPICTIVE ONLY AND MAY NOT REFLECT THE SELECTED FINISHES.

**DOUBLE STOREY DWELLING**  
**CLIENT SITING PLAN APPROVAL**

Signed \_\_\_\_\_  
Date \_\_\_\_\_

**GENERAL NOTES**  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW

DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876

LGA NORTHERN BEACHES

**Perspectives**

BELLEVUE 36 FRENCH PROVINCAL

SHEET NO: APPROVAL- 1

SCALE: 1:300 @ A3

DATE Wednesday, 24 November 2021

**DATE - DESCRIPTION - INITIAL**

07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

FOR DA/CC APPROVAL
SITING PLANS NOT TO BE USED FOR CONSTRUCTION PURPOSES
SITE SOIL CLASSIFICATION P CLASS SITE, M CLASS SLAB AS PER GEOTECH REPORT 15.12.2020
NATURAL GAS YES
BUSH FIRE PRONE AREA NSW - RFS CONFIRMED IT IS IN A FIRE PRONE AREA OF B.A.L. - 29
SEWER MAIN POSITION FRONT OF DWELLING TO THE STREET
OVERHEAD POWERLINE PROTECTION WORKS TO BE PERFORMED BY LOCAL SUPPLY AUTHORITY
SURFACE PICKUPS TO BE PROVIDED WHERE REQUIRED. TO BE CONFIRMED ON SITE BY PLUMBER
POSITION OF STORMWATER DRAINAGE LINES AND DOWNPIPES INDICATED ARE APPROXIMATE ONLY. TO BE CONFIRMED ONSITE
90mm DIAMETER PVC DOWNPIEPES - CHARGED SYSTEM
INSULATION SARKING THROUGHOUT R VALUE TO EXTERNAL WALLS AS PER BASIX COMMITMENTS R VALUE TO CEILING AS PER BASIX COMMITMENTS
NBN NBN CONNECTION AS PER ESTATE REQUIREMENT
METER BOX LOCATION OF METER BOX TO BE DETERMINED BY ELECTRICIAN ON SITE DURING CONSTRUCTION STAGE

HAZARD NOTE:  
LANDSLIDE RISK LAND AREA A - SLOPE <5



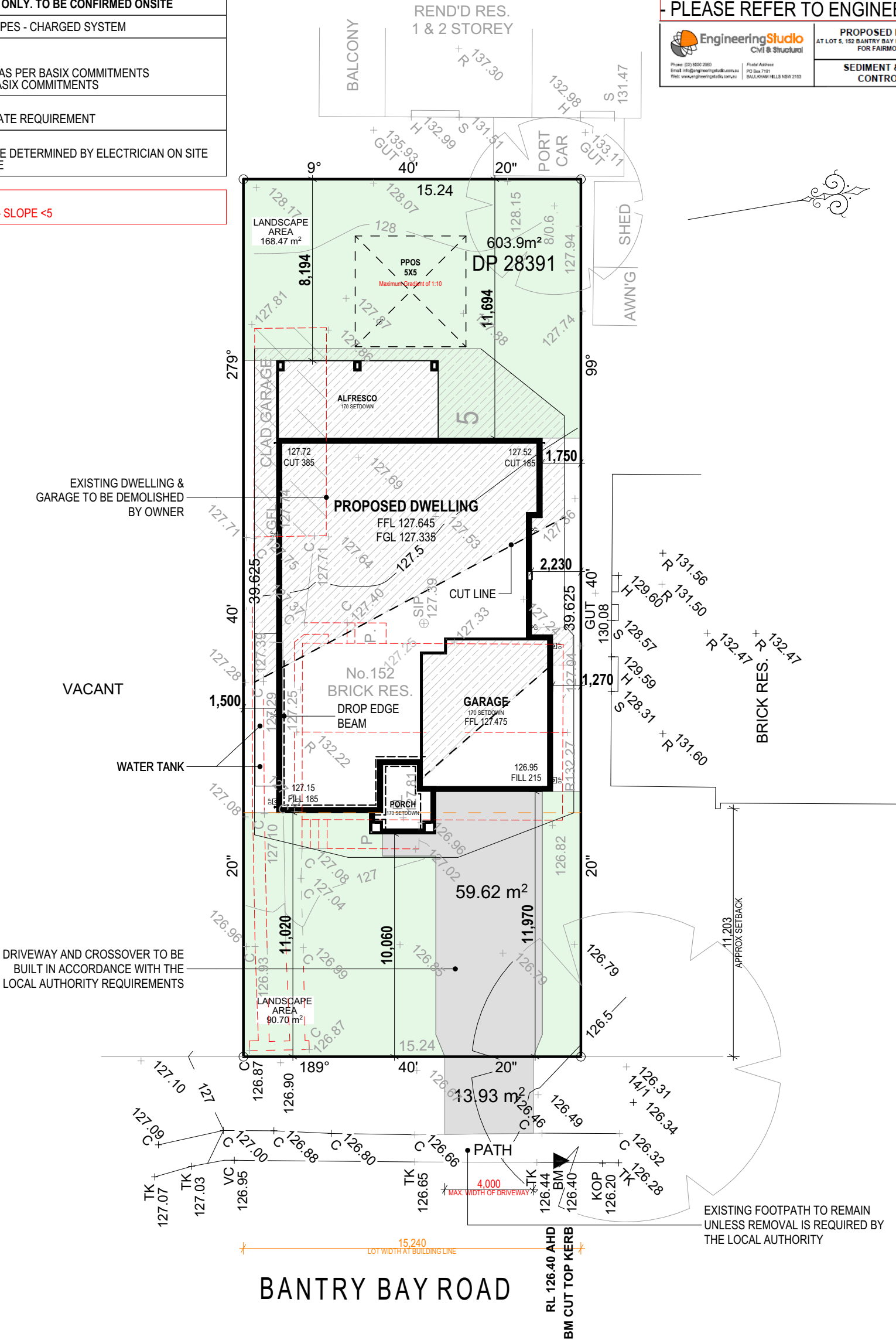
SURVEY LEGEND
BM - BENCH MARK
C - CONCRETE
ELEC - ELECTRICITY KIOSK
GB - GARDEN BED
GR - GRATE (PIT)
H - WINDOW HEADER
HYD - HYDRANT
KOP - KERB OUTLET POINT
LNT - KERB INLET PIT LINTEL
LP - LIGHT POLE
PC - PRAM CROSSING
S - WINDOW SILL
SIP - SEWER INSPECTION POINT
SMH - SEWER MANHOLE
SV - STOP VALVE
TEL - TELECOMMUNICATIONS PIT
TK - TOP KERB
VC - VEHICLE CROSSING
WM - WATER METER
5/0.3 - TREE 5m SPREAD 0.3m TRUNK

LOT 5, 152 BANTRY BAY ROAD, FRENCHS FORREST NSW DP 28391 NORTHERN BEACHES	
Area Calculations	
Room Name	Area
ALFRESCO	26.06
FIRST FLOOR	138.72
GARAGE	39.98
GROUND FLOOR	154.83
PORTICO	7.05
	366.64 m <sup>2</sup>

SITE DEVELOPMENT CALCULATION			
Warringah Development Control Plan 2011 as amended 28 February 2020		LAND SIZE: 603.9m <sup>2</sup> LOT WIDTH: 15.24m	
DA/CC	REQUIREMENT	ACTUAL	COMPLIANCE
FSR	0 55:1	0.46:1	YES
SITE COVER	N/A	N/A	N/A
LANDSCAPED AREA	40% 241.56m <sup>2</sup>	42.9% 259.20m <sup>2</sup>	YES
POS	75m <sup>2</sup>	124.87m <sup>2</sup>	YES
PPOS	4x6m 24m <sup>2</sup>	5x5m 25m <sup>2</sup>	YES

DRAFTING NOTES:  
- PLEASE REFER TO ENGINEER'S HYDRAULIC PLANS

 EngineeringStudio Civil & Structural Phone: (02) 9200 2960 Email: info@engineeringstudio.com.au Web: www.engineeringstudio.com.au Postal Address PO Box 7181 SALVOIR NSW 2183	PROPOSED RESIDENCE AT LOT 5, 152 BANTRY BAY ROAD, FRENCHS FORREST FOR FAIRMONT HOMES		JOB NUMBER: 210365	DWG NUMBER: C01.01
	SEDIMENT & EROSION CONTROL PLAN		DESIGNED BY: F.L.	DATE: APRIL 2021
			DRAWN BY: J.J.H.	SCALE: 1:200 U.N.D.



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE  
DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW  
IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

## Site Plan

BELLEVUE 36 FRENCH PROVINCAL

SHEET NO: APPROVAL- 2

SCALE: 1:200 @ A3

DATE Wednesday, 24 November 2021

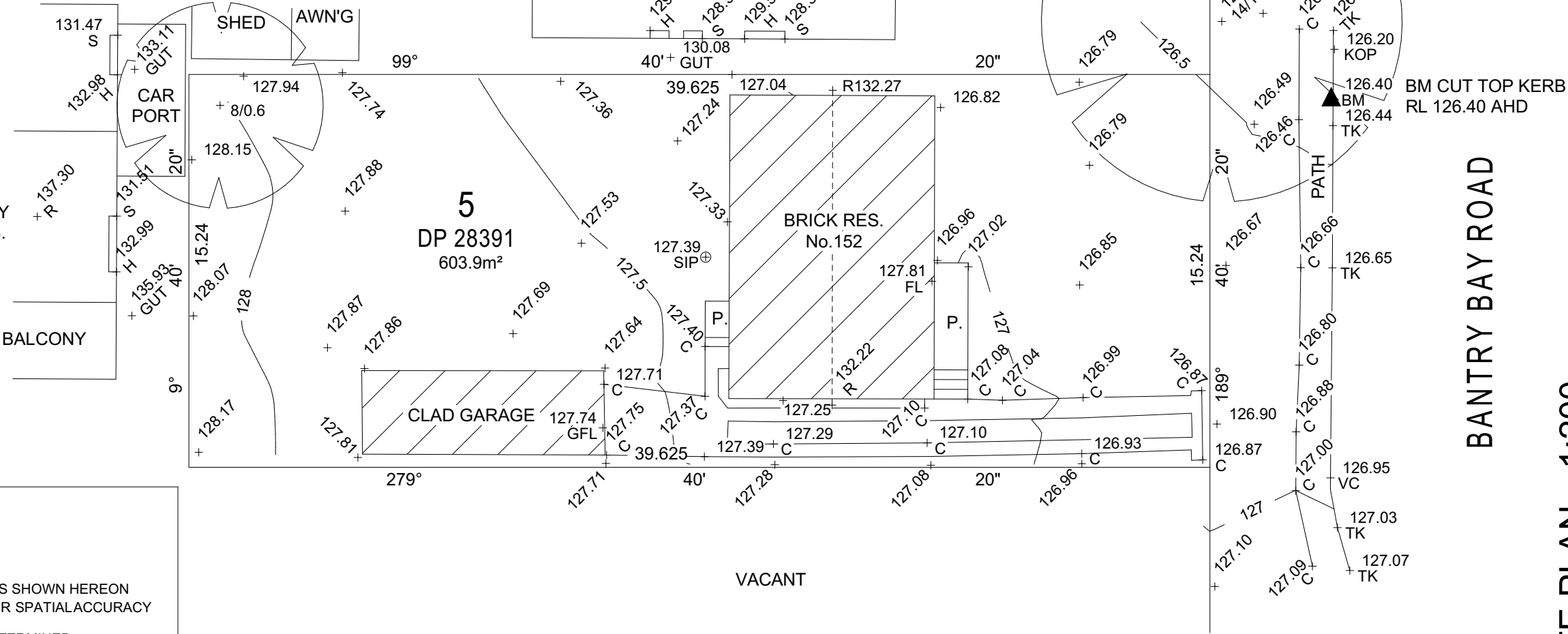
### DATE - DESCRIPTION - INITIAL

07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/05/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL

- LEGEND
- BM - BENCH MARK
  - C - CONCRETE
  - ELEC - ELECTRICITY KIOSK
  - GB - GARDEN BED
  - GR - GRATE (PIT)
  - H - WINDOW HEADER
  - HYD - HYDRANT
  - KOP - KERB OUTLET POINT
  - LNT - KERB INLET PIT LINTEL
  - LP - LIGHT POLE
  - PC - PRAM CROSSING
  - RTK - ROLL TOP KERB
  - S - WINDOW SILL
  - SIP - SEWER INSPECTION POINT
  - SMH - SEWER MANHOLE
  - SV - STOP VALVE
  - TEL - TELECOMMUNICATIONS PIT
  - TK - TOP KERB
  - TW - TOP OF WALL
  - VC - VEHICLE CROSSING
  - WM - WATER METER
  - 5/0.3 - TREE 5m SPREAD 0.3m TRUNK

1 & 2 STOREY  
REND'D RES.

BALCONY



NOTE:

- \* THE LOCATION OF CERTAIN FEATURES & IMPROVEMENTS SHOWN HEREON MAY BE INDICATIVE & THERE IS NO GUARANTEE OF THEIR SPATIAL ACCURACY
- \* THE TITLE BOUNDARIES SHOWN HEREIN HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND HAVE NOT BEEN VERIFIED BY FIELD MEASUREMENTS
- \* PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES
- \* CONTOURS HAVE BEEN INTERPOLATED FROM SPOT HEIGHTS TAKEN AND ARE APPROXIMATE ONLY
- \* THIS NOTE IS AN INTEGRAL PART OF THIS PLAN. ANY RE-PRODUCTION OF THE INFORMATION CONTAINED IN THIS FILE MUST DISPLAY THIS NOTE

© APEX SURVEYING PTY LTD  
NO PART OF THIS SURVEY MAY BE REPRODUCED,  
STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN  
ANY FORM WITHOUT THE EXPRESS PERMISSION OF THE  
CREATOR UNDER THE COPYRIGHT ACT 1968.  
THE SURVEY IS FOR THE EXPRESS USE OF THE CLIENT  
IDENTIFIED IN THE TITLE BLOCK ONLY.

CONTACT DIAL BEFORE YOU DIG PH: 1100, PRIOR TO ANY EXCAVATION

Suite 6, 16 HILL STREET, CAMDEN NSW 2570 POSTAL ADDRESS: P.O. BOX 659 CAMDEN NSW 2570 Ph: (02) 4655 9485 Fax: (02) 4655 9487 Email: admin@apexsurveying.com.au www.apexsurveying.com.au	DATUM	AHD	SCALE: 1:200 ON A3	DRAWN: DF	PLAN OF DETAIL & CONTOUR SURVEY OVER LOT 5 IN DP 28391 AT No.152 BANTRY BAY ROAD, FRENCHS FOREST
	ORIGIN OF LEVELS	PM29335	SUBURB: FRENCHS FOREST	SURVEYED: DF & JH	
	CONTOUR INTERVAL	0.5m	L.G.A.: NORTHERN BEACHES	DATE: 14/12/2020	
	SHEET NO. 1 OF 1 SHEETS			CLIENT: FAIRMONT HOMES	SURVEYORS REFERENCE : 20703




EXISTING SITE PLAN 1:200

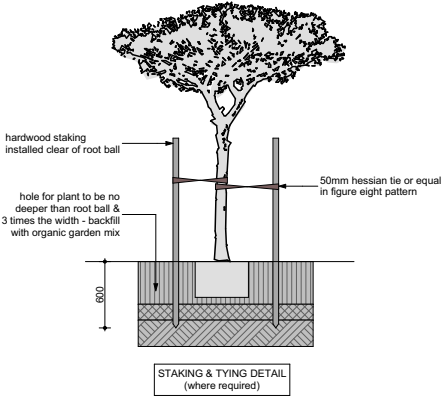




Landscape Plan is to be submitted with each development application involving public domain works or a residential dwelling. Use of low flow watering facilities is encouraged to avoid over watering by residents. Low water demand drought resistant vegetation is to be used in common landscaping areas, including native salt tolerant trees.

At least one “tall or low tree” from the list at Appendix 2 is to be provided where possible within the front setback area of every residential dwelling. This may include existing trees that are to be retained within the front setback area.

PLANT SCHEDULE				
Symbol	Latin Name	Common Name	Mature Height x width	Pot size
	Casuarina Glauca	Swamp Oak	8.30(h) x 3.10(w)	75 Lt.
	Agonis flexuosa Indigo	Black Agonis	3.00(h) x 1.20(w)	14 Lt.
	Danthonia Racemosa	Wallaby Grass	0.50(h) x 0.70(w)	5 Lt.



GARDEN BED AREAS

Ensure that mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Do not excavate within 1500mm of existing trees. Supply and install 300.. depth of top soil mix, comprising of one (1) part mushroom compost to three (3) parts top soil. Top soil shall be either imported or from stockpiled site top soil i.e. free of clay. Install minimum 75mm depth of organic mulch.

TURF

Turf shall be select species with an even thickness of not less than 30mm. Excavate / Grade all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of existing trees. Ensure that all surface water runoff is directed towards inlet pits (if required) and away from dwelling. Ripp to a minimum depth of 150mm. Install 80mm depth of imported or onsite stock piled top soil.

NOTE: ALL LANDSCAPE TO BE DONE BY THE OWNER AFTER HANDOVER UNLESS SPECIFIED OTHERWISE IN THE TENDER DOCUMENTATION



DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

Landscape Plan

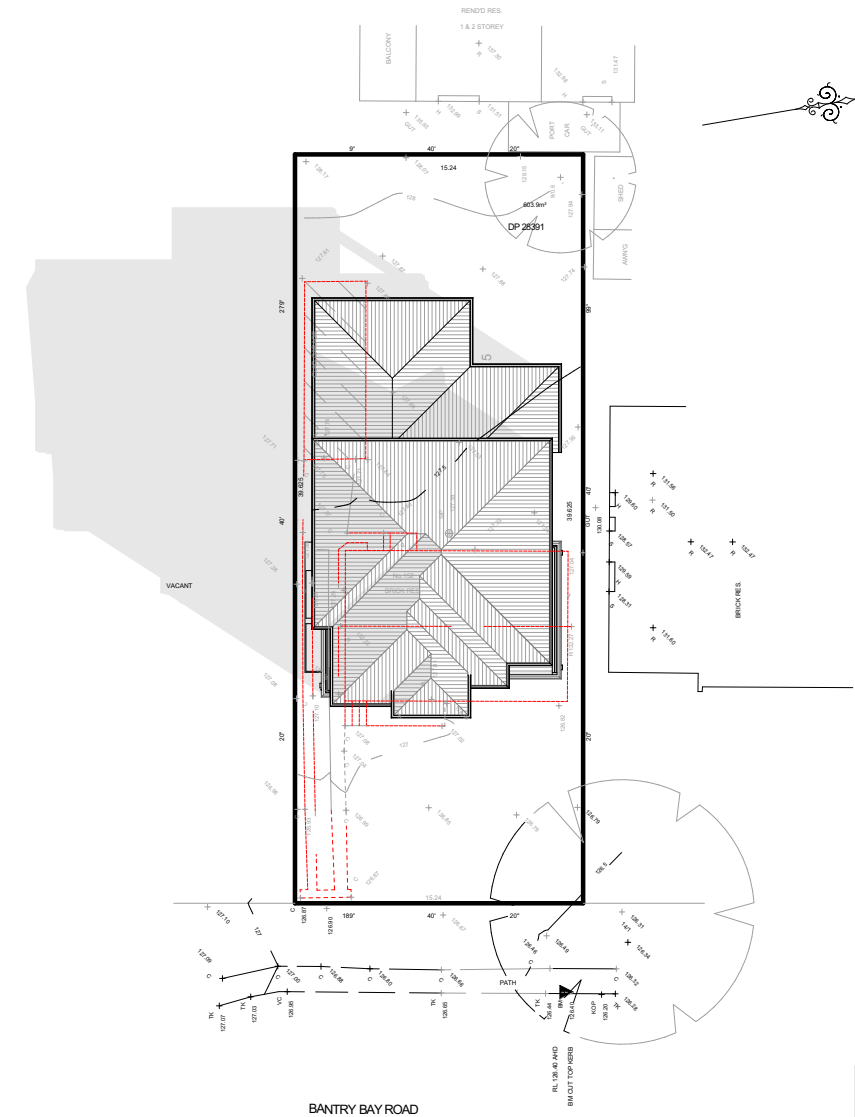
BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 5  
SCALE: 1:200 @ A3  
DATE Wednesday, 24 November 2021

DATE - DESCRIPTION - INITIAL	
07/02/21	- CONCEPT PLANS 1 - JA
24/02/21	- CONTRACT PLANS 1 - JA
04/03/21	- CONTRACT PLANS 2 AMENDMENTS - JA
15/04/21	- CONTRACT PLANS 2 - NB
20/04/21	- CONTRACT PLANS 2 (SMOKE ALARMS) - AL
20/05/21	- APPROVAL PLANS 1 - NB
12/08/21	- APPROVAL PLANS 2 - AL
14/10/21	- OVERALL BUILDING/ CEILING HT. AMEND - SC
24/11/21	- FACADE WINDOWS AMENDMENT - AL

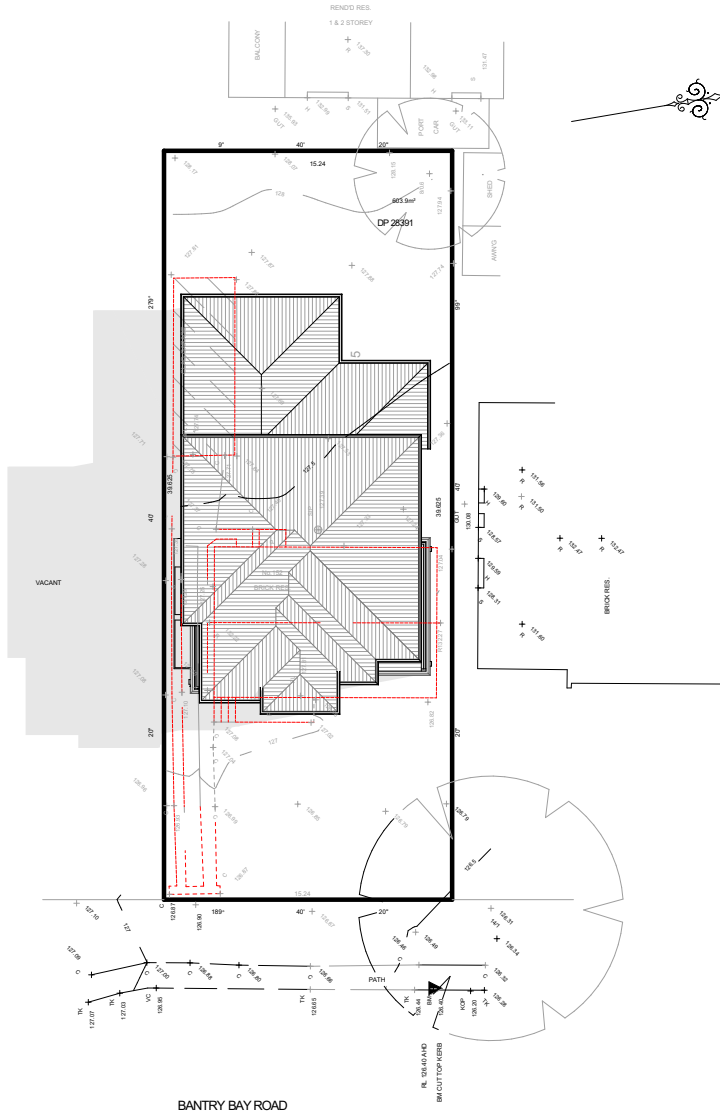


FAIRMONT  
HOMES NSW

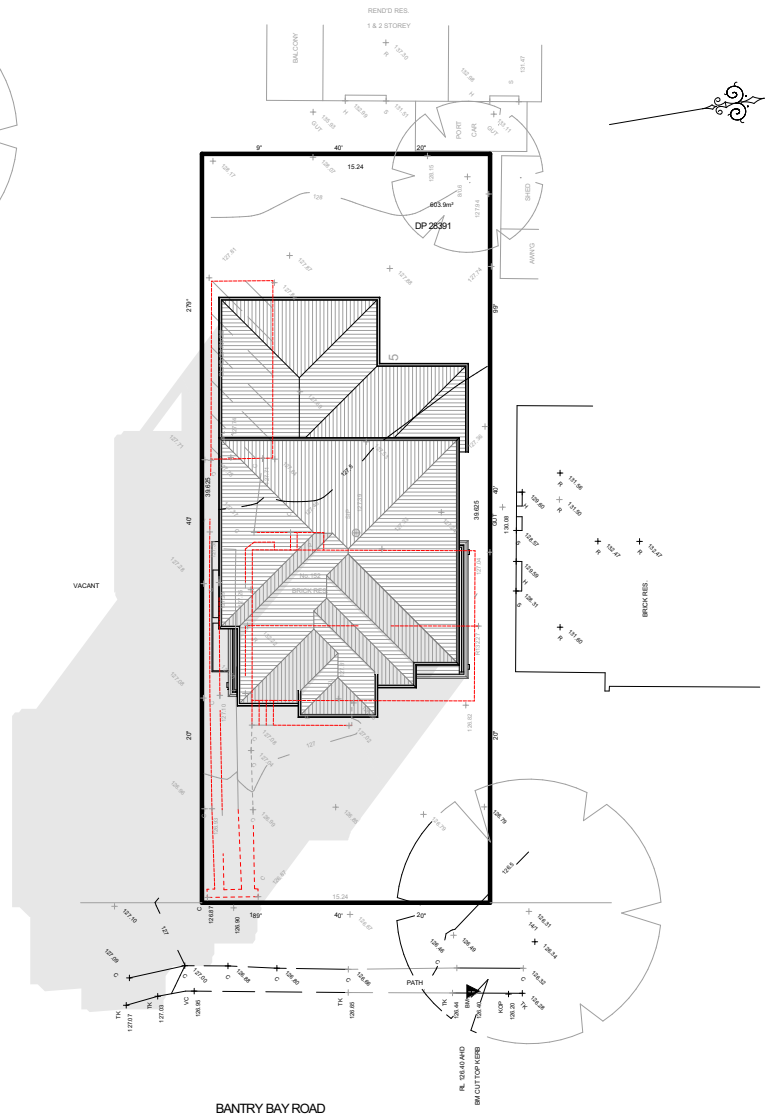
fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981



9AM 21ST JUNE 1:400



12 NOON 21ST JUNE 1:400



3PM 21ST JUNE 1:400



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW

DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876

LGA NORTHERN BEACHES

June Shadows

BELLEVUE 36 FRENCH PROVINCAL

SHEET NO: APPROVAL- 6

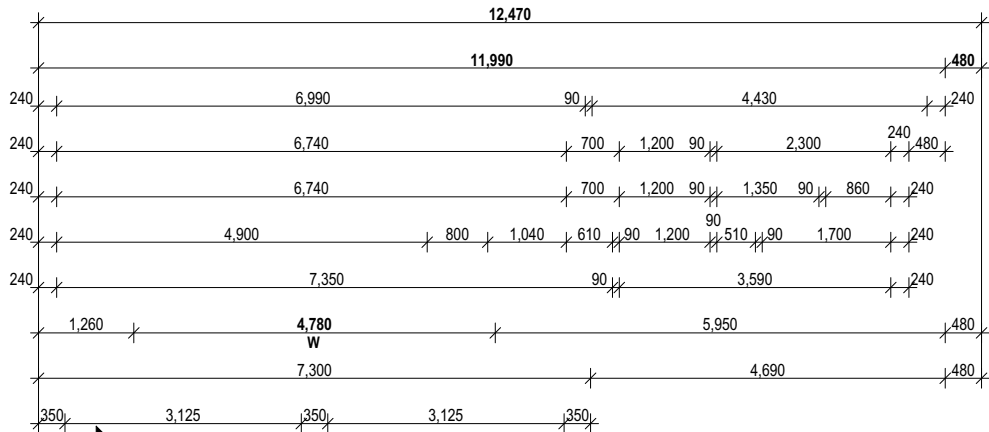
SCALE: 1:400 @ A3

DATE Wednesday, 24 November 2021

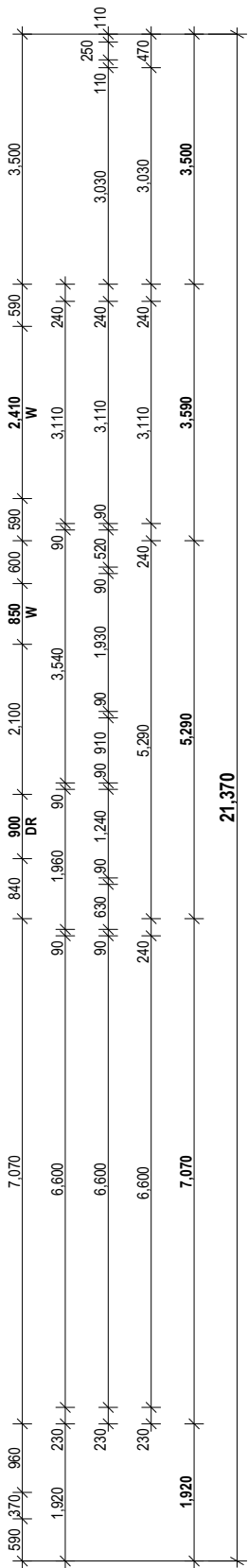
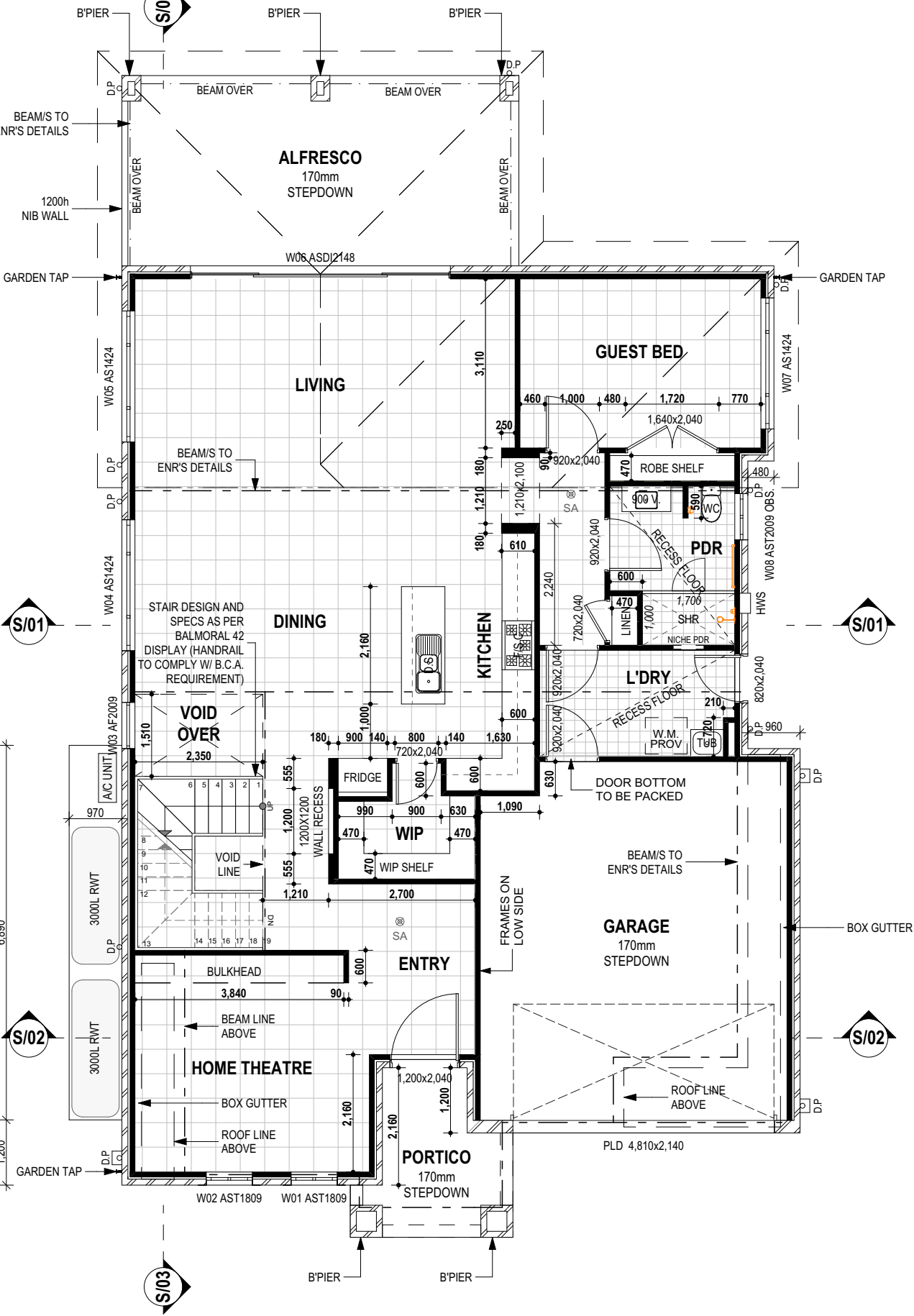
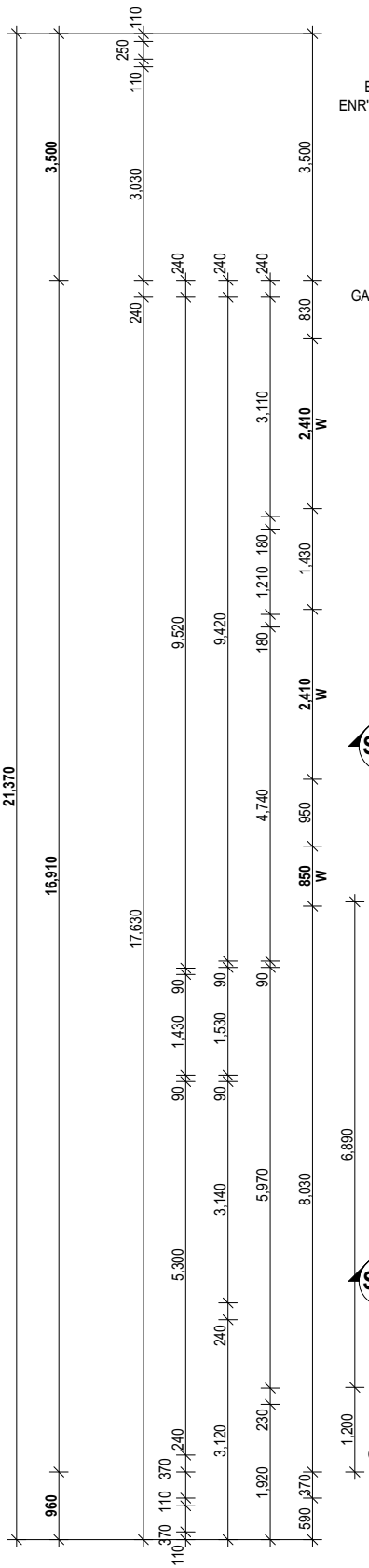
DATE - DESCRIPTION - INITIAL

07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL

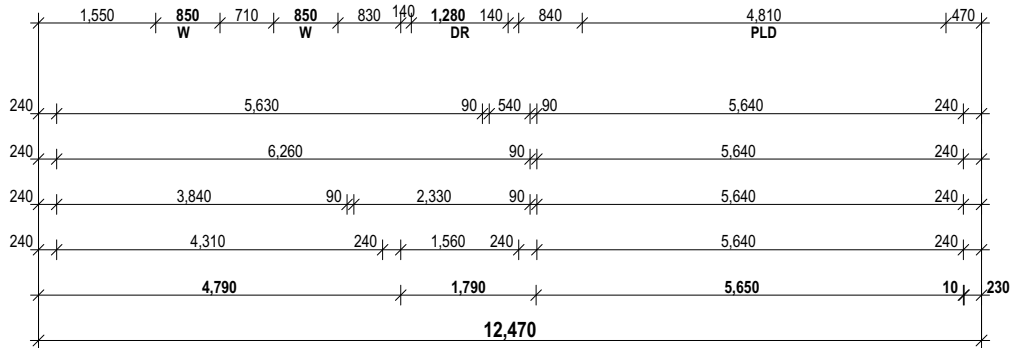
BRICK AND STEEL FRAME  
CONSTRUCTION  
AAC PANEL AND STEEL  
FRAME CONSTRUCTION  
MECHANICAL VENTILATION  
TO WET AREAS AS PER BCA  
LIFT OFF HINGES TO WET  
AREAS AS PER BCA



E/03  
E/04



E/02  
E/01



Area Calculations	
Room Name	Area
ALFRESCO	26.06
FIRST FLOOR	138.72
GARAGE	39.98
GROUND FLOOR	154.83
PORTICO	7.05
366.64 m²	

NOTES:  
REFER TO A/C INSTALLERS AND/OR MANUFACTURERS SPECIFICATIONS AND DETAILS FOR A/C DUCT POSITION.) LOCATION.  
REFER TO ENGINEERS PLANS AND SPECIFICATIONS FOR ALL STEEL BEAMS.  
REFER TO TRUSS MANUFACTURERS PLANS AND SPECIFICATIONS FOR ALL TIMBER FRAME WORKS.  
REFER TO A/C INSTALLERS AND/OR MANUFACTURERS SPECIFICATIONS AND DETAILS FOR A/C DUCT POSITION.

#### DOUBLE STOREY DWELLING CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,

FRENCHS FORREST NSW

DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876

LGA NORTHERN BEACHES

### Ground Floor Plan

BELLEVUE 36 FRENCH PROVINCAL

SHEET NO: APPROVAL- 7

SCALE: 1:100 @ A3

DATE Wednesday, 24 November 2021

#### DATE - DESCRIPTION - INITIAL

07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981





fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

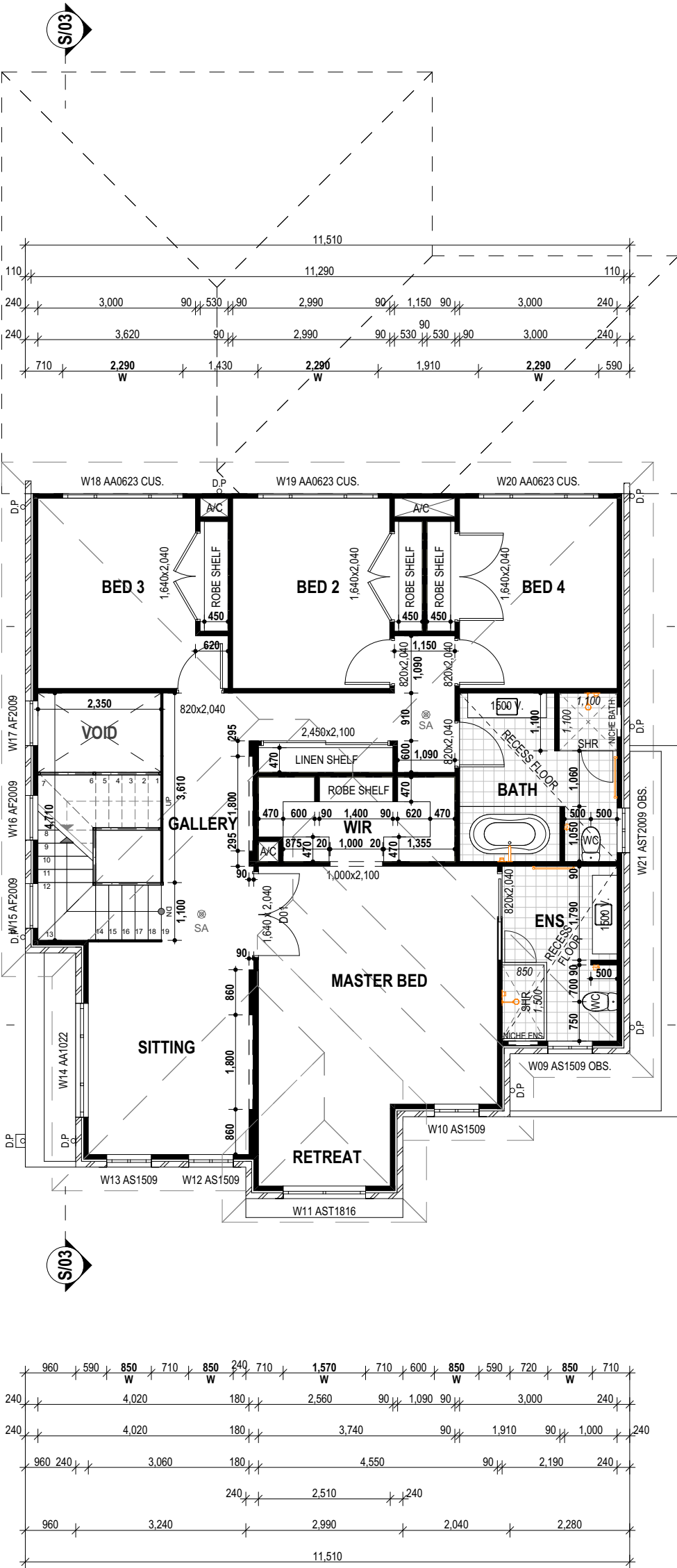
LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

First Floor Plan

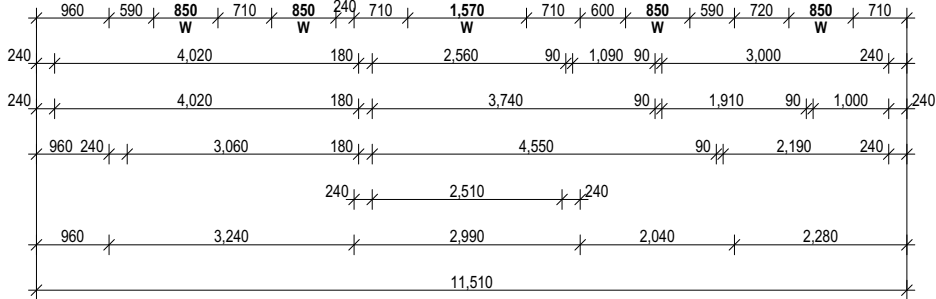
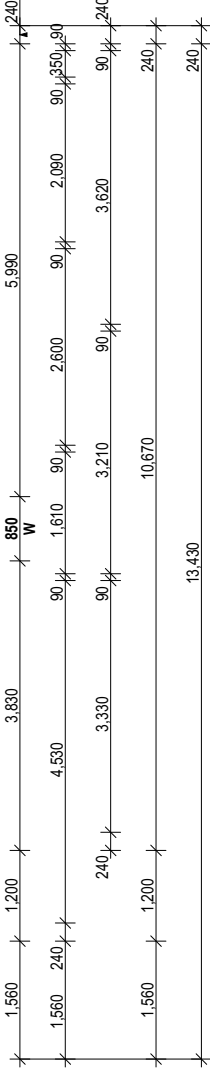
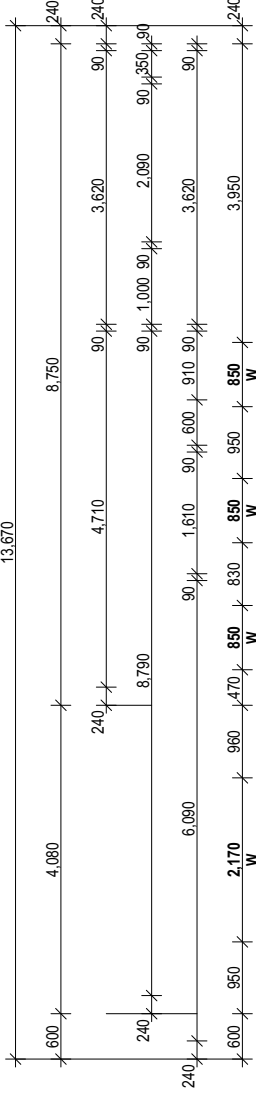
BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 8  
SCALE: 1:100 @ A3  
DATE Wednesday, 24 November 2021

DATE - DESCRIPTION - INITIAL  
07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL

Area Calculations	
Room Name	Area
ALFRESCO	26.06
FIRST FLOOR	138.72
GARAGE	39.98
GROUND FLOOR	154.83
PORTICO	7.05
	366.64 m <sup>2</sup>



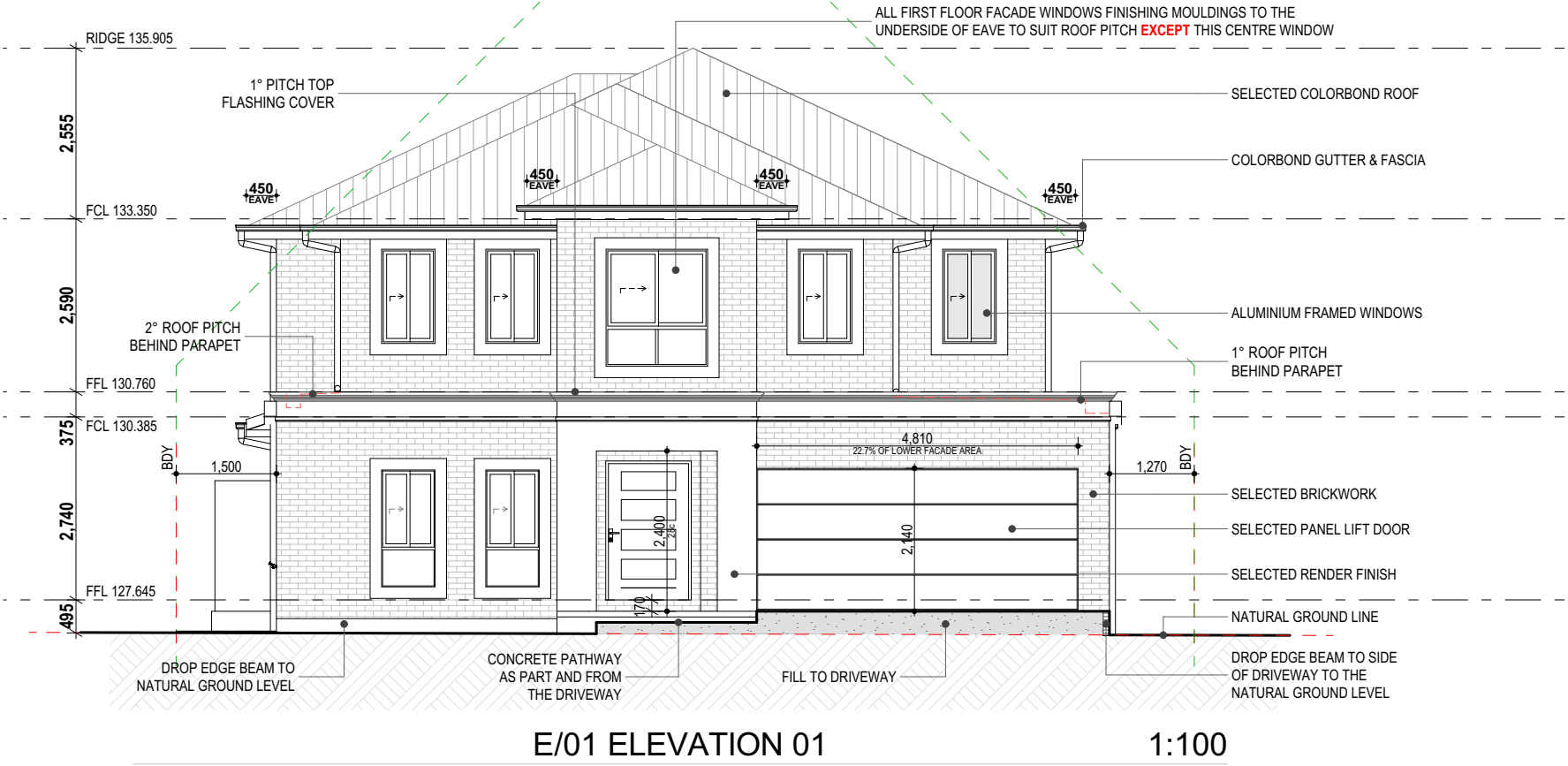
BRICK AND STEEL FRAME CONSTRUCTION  
AAC PANEL AND STEEL FRAME CONSTRUCTION  
MECHANICAL VENTILATION TO WET AREAS AS PER BCA  
LIFT OFF HINGES TO WET AREAS AS PER BCA





**NOTE:** ALL FIRST FLOOR BEDROOM WINDOWS WITH A SILL HEIGHT LESS THAN 1700mm FROM THE FFL REQUIRE THE OPENING TO BE RESTRICTED TO A MAX OF 125mm IN ACCORDANCE WITH THE BCA.

**ALL WINDOW HEAD HEIGHTS TO BE @ 2140mm FROM FL. U.N.O.**



E/01 ELEVATION 01

1:100



E/03 ELEVATION 03

1:100



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

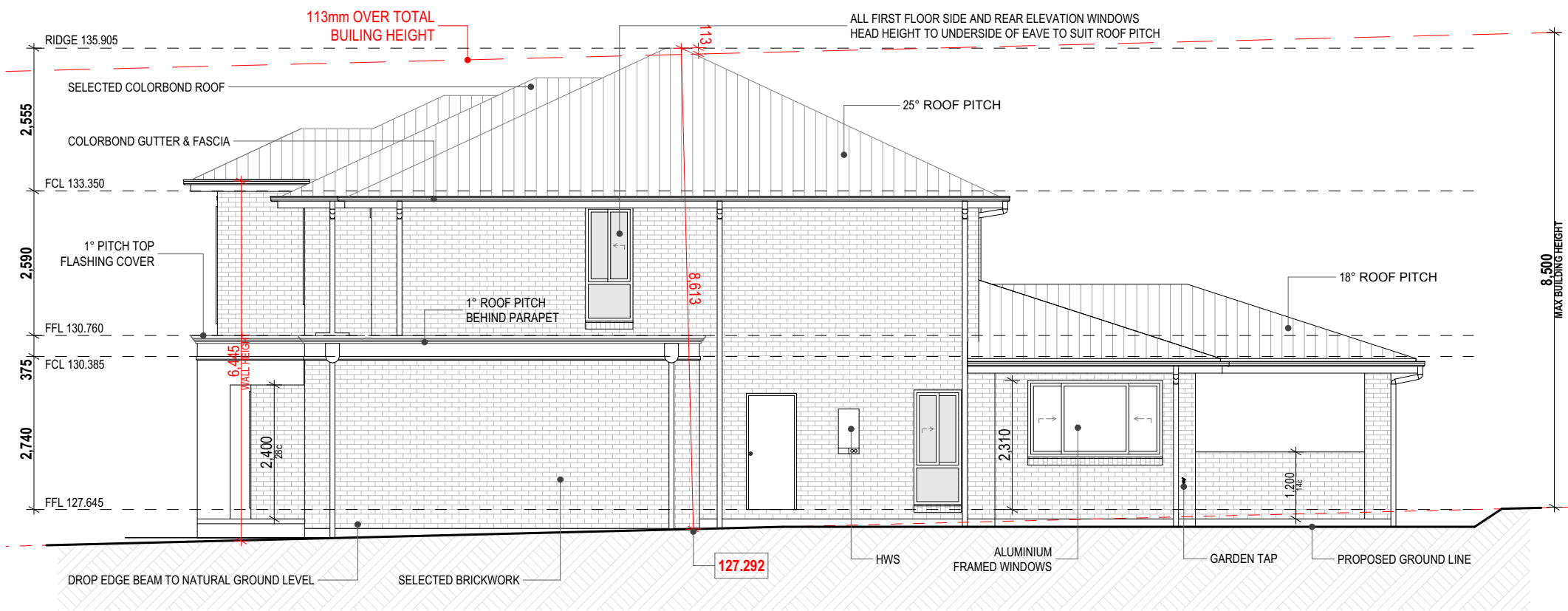
Elevations

BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 9  
SCALE: 1:100 @ A3  
DATE Wednesday, 24 November 2021

DATE	DESCRIPTION	INITIAL
07/02/21	CONCEPT PLANS 1	JA
24/02/21	CONTRACT PLANS 1	JA
04/03/21	CONTRACT PLANS 2 AMENDMENTS	JA
15/04/21	CONTRACT PLANS 2	NB
20/04/21	CONTRACT PLANS 2 (SMOKE ALARMS)	AL
20/05/21	APPROVAL PLANS 1	NB
12/08/21	APPROVAL PLANS 2	AL
14/10/21	OVERALL BUILDING/ CEILING HT. AMEND	SC
24/11/21	FACADE WINDOWS AMENDMENT	AL

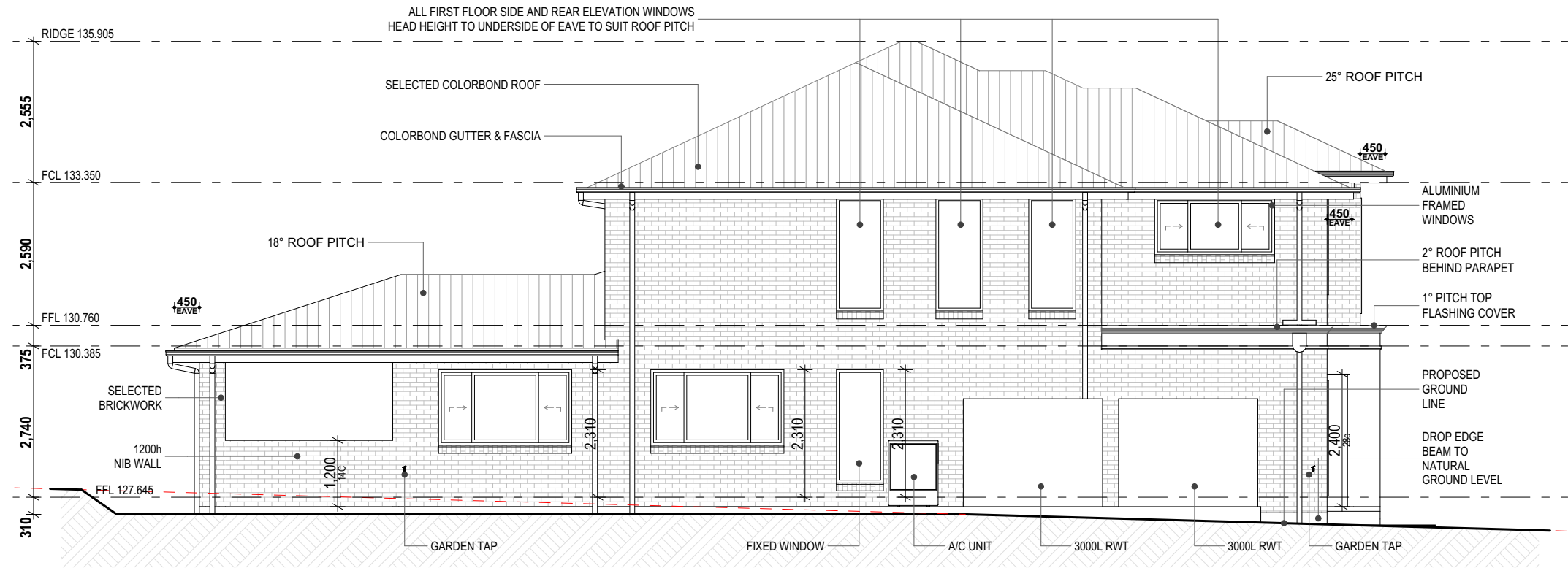
**NOTE:** ALL FIRST FLOOR BEDROOM WINDOWS WITH A SILL HEIGHT LESS THAN 1700mm FROM THE FFL REQUIRE THE OPENING TO BE RESTRICTED TO A MAX OF 125mm IN ACCORDANCE WITH THE BCA.

**ALL WINDOW HEAD HEIGHTS TO BE @ 2140mm FROM FL. U.N.O.**



E/04 ELEVATION 04

1:100



E/02 ELEVATION 02

1:100



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

**DOUBLE STOREY DWELLING**  
**CLIENT SITING PLAN APPROVAL**

Signed \_\_\_\_\_  
Date \_\_\_\_\_

**GENERAL NOTES**  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

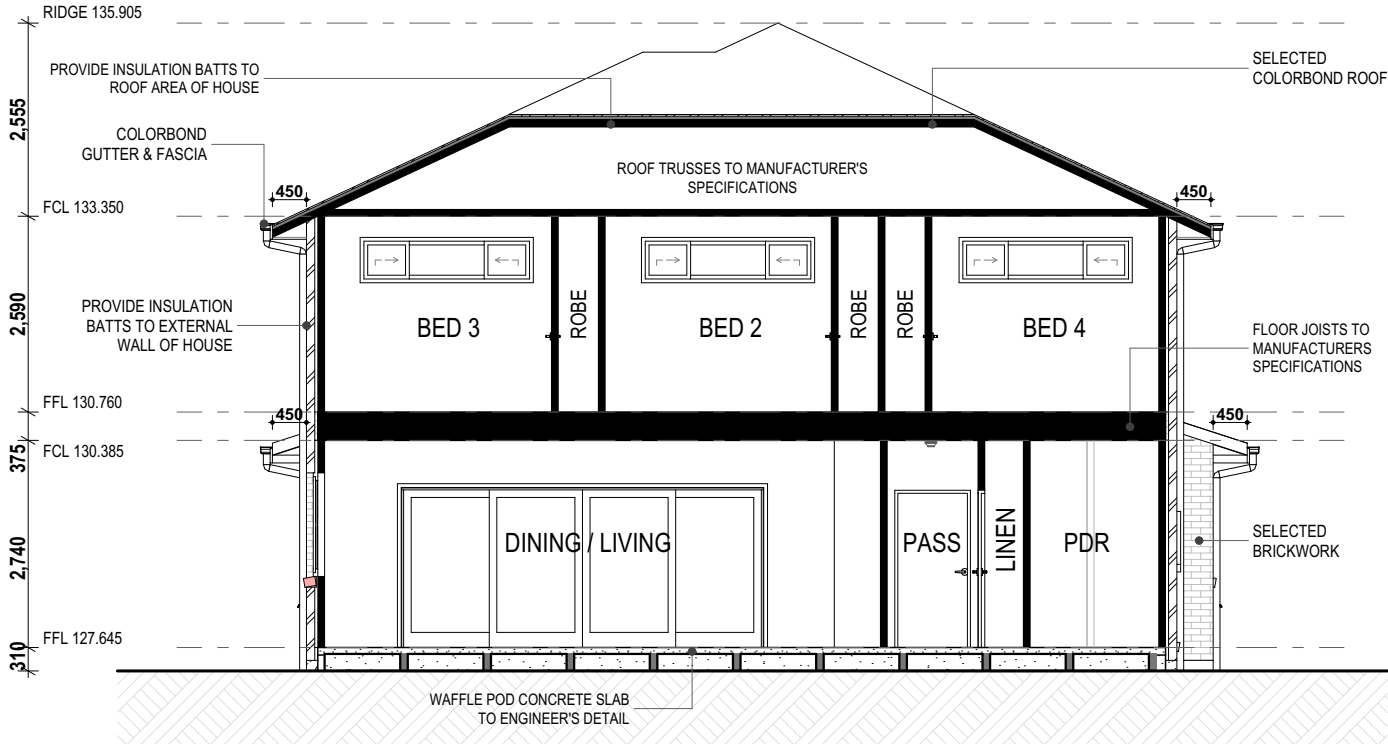
## Elevations

BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 10  
SCALE: 1:100 @ A3  
DATE Wednesday, 24 November 2021

**DATE - DESCRIPTION - INITIAL**  
07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL

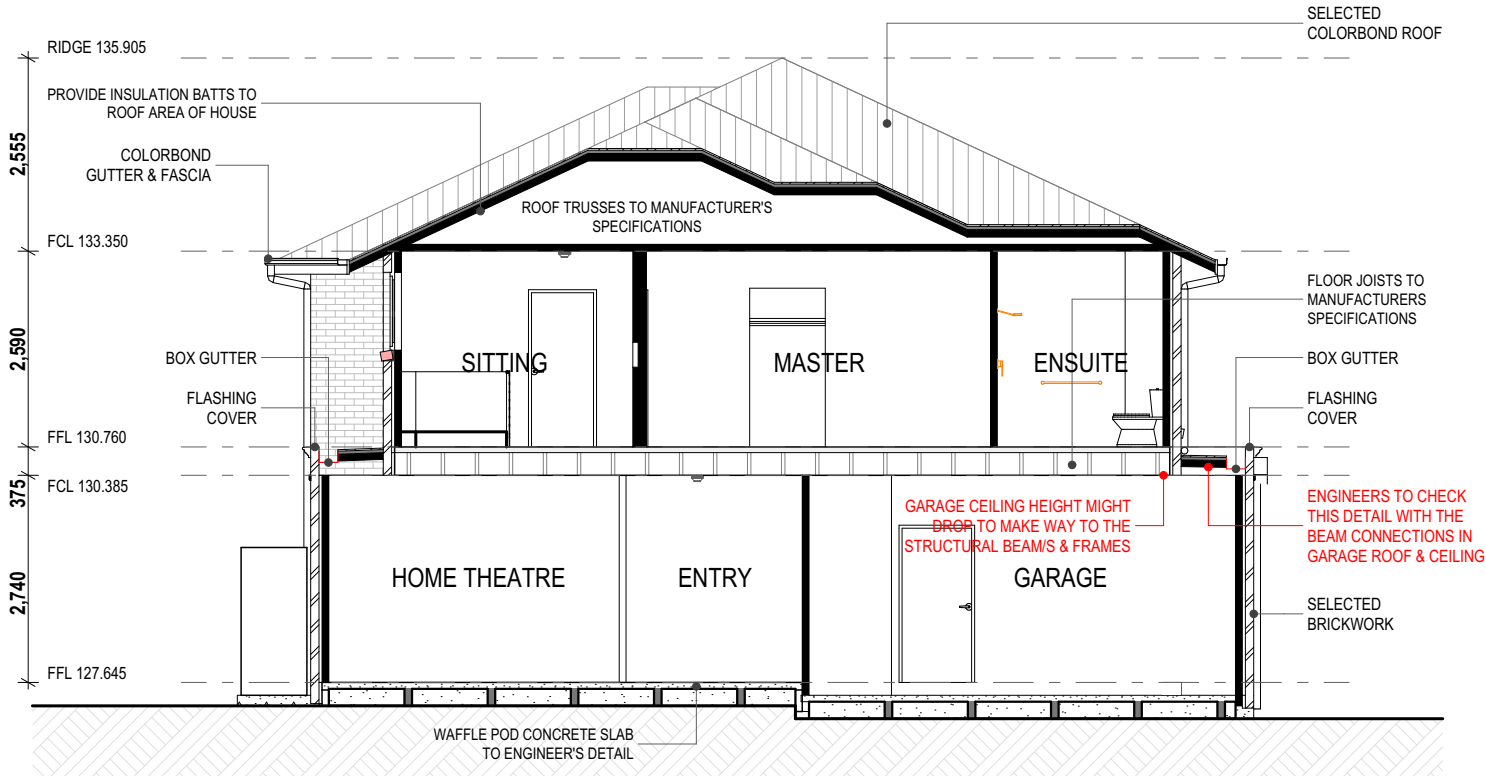
**NOTE:**  
SOUNDSCREEN GLASSWOOL R1.6 TO MEDIA ROOM  
GLASSWOOL R6 TO FLOOR JOISTS (BETWEEN GROUND FLOOR  
AND FIRST FLOOR)  
GLASSWOOL R2.5 WALL INSULATION

**CODE KEY**  
CSD= CAVITY SLIDING DOOR  
LOH=LIFT OF HINGE DOORS  
DG= DOUBLE GLASS (REFER TO TENDER)  
OBS= OBSCURE GLAZING AS SELECTED  
RD= ROBE DOOR  
MR=MIRROR  
SP=SPECIALY MADE  
SQ SET= SQUARE SET OPEINING  
SHR= SHOWER LOCATION  
AA= ALUMINIUM AWNING WINDOW  
AS= ALUMINIUM SLIDING WINDOW  
ASD= ALUMINIUM SLIDING DOOR  
ASSD= ALUMINIUM STACKER DOOR  
CR= OPEN CORNER (NO POST)  
EXT= EXTERNAL DOOR (CLEAR GLAZING U.N.O.)



S/01 SECTION 1

1:100



S/02 SECTION 2

1:100

ALL FIRST FLOOR FACADE WINDOWS FINISHING MOULDINGS TO THE UNDERSIDE OF EAVE TO SUIT ROOF PITCH **EXCEPT** THIS CENTRE WINDOW

ALL FIRST FLOOR SIDE AND REAR ELEVATIONS WINDOW HEAD HEIGHTS TO UNDERSIDE OF EAVE TO SUIT ROOF PITCH

Window List					
Window Code	Height	Width	Head height	Surface Area	Quantity
W01 AST1809	1,800	850	1,970	1.53	1
W02 AST1809	1,800	850	1,970	1.53	1
W03 AF2009	2,050	850	2,310	1.74	1
W04 AS1424	1,370	2,410	2,310	3.30	1
W05 AS1424	1,370	2,410	2,310	3.30	1
W06 ASDI2148	2,110	4,780	2,110	10.09	1
W07 AS1424	1,370	2,410	2,310	3.30	1
W08 AST2009 OBS.	2,050	850	2,140	1.74	1
W09 AS1509 OBS.	1,460	850	2,160	1.24	1
W10 AS1509	1,460	850	2,160	1.24	1
W11 AST1816	1,800	1,570	2,160	2.83	1
W12 AS1509	1,460	850	2,160	1.24	1
W13 AS1509	1,460	850	2,160	1.24	1
W14 AA1022	1,030	2,170	2,310	2.24	1
W15 AF2009	2,050	850	2,310	1.74	1
W16 AF2009	2,050	850	2,310	1.74	1
W17 AF2009	2,050	850	2,310	1.74	1
W18 AA0623 CUS.	600	2,290	2,310	1.37	1
W19 AA0623 CUS.	600	2,290	2,310	1.37	1
W20 AA0623 CUS.	600	2,290	2,310	1.37	1
W21 AST2009 OBS.	2,050	850	2,310	1.74	1
				47.63 m²	21

DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

Sections

BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 11  
SCALE: 1:100 @ A3  
DATE Wednesday, 24 November 2021

DATE - DESCRIPTION - INITIAL  
07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

BASIX® commitments

Assessor	Mr. Daniel Warda
Date	02 / 06 / 2021
BASIX Certificate No.	1194629S_02
NatHERS Certificate No.	0005866207

project details

Site Address	152 Bantry Bay Road, Frenchs Forest NSW 2086
Municipality	Northern Beaches
Reference	1876

thermal comfort

Floors	225mm Waffle Pod Slab as per job number 1876
Ceilings between Levels	R6.0 Bulk Insulation between ground & first ceilings
External Walls	R2.5 High Density Insulation to all external walls   Medium
Internal Walls	Same value as external wall applied to Garage internal walls only
Ceilings	R4.0 Bulk Insulation to all trussed ceilings over living areas
Roof	Colorbond   Medium
Roof Insulation	Anticon Blanket - 55mm

Wideline Awning/Fixed Windows (Aluminium Framed - Single 3mm Clear)	U - Value:	6.50	SHGC:	0.63
<ul style="list-style-type: none"><li>To all awning &amp; fixed windows</li></ul>				

Wideline Sliding Windows (Aluminium Framed - Single 3mm Clear)	U - Value:	6.42	SHGC:	0.73
<ul style="list-style-type: none"><li>To all sliding windows</li></ul>				

Wideline Sliding Door (Aluminium Framed - Single 5mm Clear)	U - Value:	6.25	SHGC:	0.72
<ul style="list-style-type: none"><li>To all sliding windows</li></ul>				

Note: U-Value may be lower but not higher than the nominated values

Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only

Skylights	Aluminium Framed - Single Clear
-----------	---------------------------------

water

energy

Landscape Area	236m <sup>2</sup>	Hot Water	Gas Instantaneous   6 Stars
W.C's	3 Star	Air-Con (Heating)	3-Phase Ducted A/C   EER 3.0 - 3.5
Kitchen Taps	3 Star	Air-Con (Cooling)	3-Phase Ducted A/C   EER 3.0 - 3.5
Shower Heads	3 Star (>7.5 but <=9L/min)	Ventilation	As Per Basix Assessment
Basin Taps	3 Star	PV System	N/A
Alternative Water	6000L Rainwater Tank	Cooking	Gas Cooktop & Electric Oven
Roof Water To Tank	90m <sup>2</sup>	Drying	Outdoor Clothesline
Alt. Water Uses	W.C, Garden & Laundry	Lighting	As Per BASIX Certificate

swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A



0488 203 606

giuseppe@energiassessments.com.au

ABN 77 614 736 284

DOUBLE STOREY DWELLING  
CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

GENERAL NOTES  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

Basix Report

BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 12  
SCALE: @ A3  
DATE Wednesday, 24 November 2021

DATE - DESCRIPTION - INITIAL  
07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL







# Building Code & Bushfire Hazard Solutions

(Pty. Limited) ABN 19 057 337 774  
PO Box 124, Berowra NSW 2081  
Telephone: (02) 9457 6530  
www.bushfirehazardsolutions.com.au




## BUSHFIRE RISK ASSESSMENT CERTIFICATE UNDER PART 4 DIVISION 4.3 SECTION 4.14 OF THE EP&A ACT 1979 NO 203

PROPERTY ADDRESS:	152 Bantry Bay Road, Frenchs Forest
DESCRIPTION OF PROPOSAL:	Sole Occupancy Dwelling
PLAN REFERENCE: (relied upon in report preparation)	Site Plan prepared by Fairmont Homes, Job No. 1876, Revision - Contract Plan 2, Dated 20/04/2021.
BAL RATING:	BAL 29 <small>(If the BAL rating is FZ the application is to be referred to NSW RFS for assessment)</small>
DOES THE PROPOSAL RELY ON ALTERNATE SOLUTIONS:	YES <b>NO</b> (Circle the relevant response) <small>(If YES the application is to be referred to NSW RFS for assessment)</small>
BUSHFIRE ASSESSMENT REPORT REFERENCE:	211437
REPORT DATE:	15 <sup>th</sup> June 2021
CERTIFICATION NO/ACCREDITED SCHEME	BPAD9400

I Stuart McMonnies of Building Code and Bushfire Hazard Solutions Pty Ltd hereby certify, in accordance with Part 4 Division 4.3 Section 4.14 of the *Environmental Planning and Assessment Act 1979 No 203*:

- That I am a person recognised by the *NSW Rural Fire Service* as a qualified consultant in bushfire risk assessment; and
- That subject to the recommendations contained in the Bushfire Risk Assessment Report the proposed development conforms specifications and requirements of the documents entitled *Planning for Bush Fire Protection* prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other documents as prescribed by Part 4 Division 4.3 Section 4.14 of the *Environmental Planning and Assessment Act 1979 No 203*.

I am aware that the Bushfire Assessment Report, prepared for the above mentioned site is to be submitted in support of a development application for this site and will be relied upon by Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with *Planning for Bushfire Protection 2019*.

Signature:  Date: 15<sup>th</sup> June 2021



### DOUBLE STOREY DWELLING CLIENT SITING PLAN APPROVAL

Signed \_\_\_\_\_  
Date \_\_\_\_\_

**GENERAL NOTES**  
- TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS  
- SCALING PLANS IS NOT RECOMMENDED  
- IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,  
FRENCHS FORREST NSW  
DP 28391  
CLIENT GARY BAYRAMIAN &  
LENA NAZARIAN  
JOB NUMBER 1876  
LGA NORTHERN BEACHES

### Fire Report

BELLEVUE 36 FRENCH PROVINCAL  
SHEET NO: APPROVAL- 13  
SCALE: @ A3  
DATE Wednesday, 24 November 2021

### DATE - DESCRIPTION - INITIAL

07/02/21 - CONCEPT PLANS 1 - JA  
24/02/21 - CONTRACT PLANS 1 - JA  
04/03/21 - CONTRACT PLANS 2 AMENDMENTS - JA  
15/04/21 - CONTRACT PLANS 2 - NB  
20/04/21 - CONTRACT PLANS 2 (SMOKE ALARMS) - AL  
20/05/21 - APPROVAL PLANS 1 - NB  
12/08/21 - APPROVAL PLANS 2 - AL  
14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC  
24/11/21 - FACADE WINDOWS AMENDMENT - AL