

Denotes New Works

4

STORMWATER PLAN
1:500

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

ADJOINS TO DA1020

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



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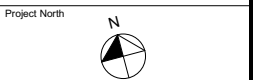
NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue
Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO0220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

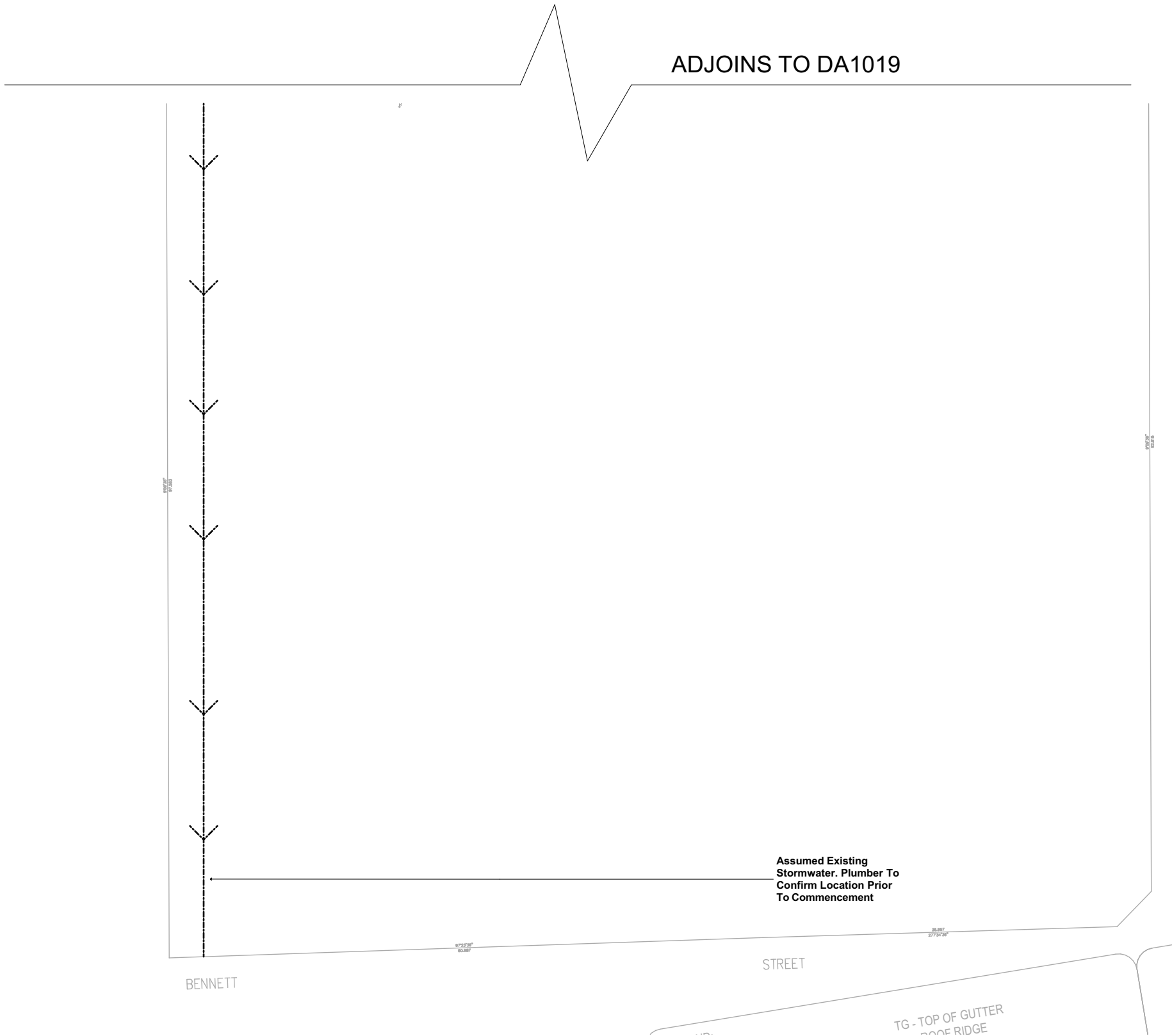
DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020

DRAWING NO.
DA1019


Plot Date: 7/10/2020
Sheet Size: A3



Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

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Rapid Plans
Building Design and Architectural Drafting

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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Certifying
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Project North
N

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan 2

PROJECT NAME :
New Amenity Building & Additions

REVISION NO.	DATE
-	1-10-2020

DRAWING NO.
DA1020

Plot Date: 7/10/2020
Sheet Size: A3