

38 UNDERCLIFF ROAD
FRESHWATER NSW 2030

PROJECT
Proposed demolition of existing single dwelling and construction of new Class 1 dual-occupancy [attached] dwelling with garaging, pool and associated landscape works.

DRAWING LIST				
NUMBER	TITLE	REV.	PAPER	SCALE
DEVELOPMENT APPLICATION				
DA0000	COVERPAGE	DA01	A3	NTS
DA0001	BASIX COMMITMENTS	DA01	A3	NTS
ANALYSIS & SITE PLANS				
DA1001	SITE ANALYSIS PLAN	DA01	A3	1:200
DA1002	SITE, WASTE MANAGEMENT & ROOF PLAN	DA01	A3	1:200
DA1003	DEMOLITION PLAN	DA01	A3	1:200
DA1004	DRAFT STRATA SUBDIVISION PLAN	DA01	A3	NTS
GENERAL ARRANGEMENT				
DA2000	GARAGE PLAN	DA01	A3	1:100
DA2001	GROUND FLOOR PLAN	DA01	A3	1:100
DA2002	LEVEL 1 FLOOR PLAN	DA01	A3	1:100
DA2003	LEVEL 2 FLOOR PLAN	DA01	A3	1:100
DA2004	ROOF PLAN	DA01	A3	1:100
ELEVATIONS				
DA3000	NORTH ELEVATION	DA01	A3	1:100
DA3001	SOUTH ELEVATION	DA01	A3	1:100
DA3002	WEST ELEVATION	DA01	A3	1:100
DA3003	EAST ELEVATION	DA01	A3	1:100
SECTIONS - SHORT				
DA4000	CROSS SECTION 1	DA01	A3	1:100
DA4001	CROSS SECTION 2	DA01	A3	1:100
DA4002	CROSS SECTION 3	DA01	A3	1:100
SECTIONS - LONG				
DA4010	LONG SECTION A	DA01	A3	1:100
DA4011	LONG SECTION B	DA01	A3	1:100
EXTERNAL FINISHES				
DA6000	EXTERNAL FINISHES	DA01	A3	NTS
COUNCIL CONTROLS				
DA9100	LANDSCAPED AREA CALCULATIONS	DA01	A3	1:200
DA9101	EXCAVATION / OR FILL CALCULATIONS	DA01	A3	1:200
OTHER SUPPORTING DOCUMENTS				
DA9300	ENVELOPE DIAGRAMS	DA01	A3	NTS
DA9301	MAXIMUM BUILDING HEIGHT DIAGRAMS	DA01	A3	NTS
DA9302	ARTISTIC IMPRESSION	DA01	A3	NTS



DEVELOPMENT APPLICATION

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT: 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>©MH Design Urban Pty Ltd. ABN 94 003 717 682 NSW Registration Number 4907</small>	DRAWING TITLE: COVERPAGE PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	PROJECT NUMBER: 24-091 ISSUE DATE: 17/10/2024 SCALE: NTS @A3	DWG NUMBER: DA0000 REVISION: DA01 CHECKED: AEH
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION									

Multi Dwelling

Certificate number: 1768409M

This certificate confirms that the proposed development will meet the NSW governments requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meanings given by the document entitled 'BASIX Definitions' dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11 October 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	38 Undercliff Rd, Freshwater NSW		
Street address	38 UNDERCLIFF ROAD, FRESHWATER 2096		
Local Government Area	NORTHERN BEACHES		
Plan type and plan number	Deposited Plan DP5118		
Lot no.	22		
Section no.	22		
No. of residential flat buildings	0		
Residential flat buildings no. of dwellings	0		
Multi-dwelling housing no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 43		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 74		Target 72
Materials	✓ 100		Target n/a

If any changes to this BASIX certificate are required, please contact IGS with following details:
- Project reference: 38 Undercliff Rd, Freshwater NSW 2096
- Contact number: 0303 108 801

Certificate Prepared by

Name / Company Name: IGS
ABN (if applicable): 68163019029

Schedule of BASIX commitments

1. Commitments for multi-dwelling housing

- (a) Dwellings
(i) Water
(ii) Thermal Performance and Materials

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Buildings 'Other'
(i) Materials
(b) Common areas and central systems/facilities
(i) Water
(ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(i) Water						
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.						
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).						
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.						
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.						
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion system of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.						
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.						
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).						
(h) The pool or spa must be located as specified in the table.						
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (including any areas which supply any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.						

				Individual pool				Individual spa			
Dwelling no.	All shower-baths	All toilet flushing systems	All kitchen taps	HW recirculation or diversion	All dish-washers	All kitchen sinks	Volume (m³)	Pool cover	Pool location	Pool shaded	Volume (m³)
All dwellings	3 star (> 1.5 L/min)	4 star	5 star	5 star	-	-	17	no	outdoors	no	-

				Individual pool				Individual spa			
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (L)	Laundry connection	Pool top-up	Spa top-up			
All dwellings	Individual water tank (No. 1)	Tank size (m³) 200 litres	To collect run-off from at least: 115 square metres of roof area; 0 square metres of garden and lawn area; and 10 square metres of plaster floor area.	yes	-	yes	yes	-			

				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(ii) Energy						
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.						
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.						
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.						
(d) The applicant must install the cooling and heating system specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, under at least 1 living/bedroom area of the dwelling. Two cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no system may be installed in any such areas. If the term "ceiling" is specified beside an air conditioning system, then the system must provide for downlight zoning between living areas and bedrooms.						
(e) The commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.						

				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(ii) Energy						
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.						
(g) The applicant must ensure that the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool), if specified; the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa), if specified; the applicant must install a timer to control the spa's pump.						
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.						
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".						
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.						

				Kitchen ventilation system				Laundry ventilation system			
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	Each bedroom	Operation control		
All dwellings	gas instantaneous - 5.5 star	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light	operation control	interlocked to light		

				Cooling				Heating				Natural lighting	
Dwelling no.	Living areas	Bedroom areas	Living areas	Bedroom areas	Living areas	Bedroom areas	No. of bedrooms or toilets	Bedroom areas	Living areas	Bedroom areas	No. of bedrooms or toilets	Main kitchen	
All dwellings	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	0	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	0	-	

DA LEGEND

LEGEND
--- TO BE DEMOLISHED

AL ALUMINIUM	LB LETTER BOX
BASIN	LD LINEAR DRAIN
BW BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAIC
DB DOWN PIPE	RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT		EXISTING BUILDING	
CONCRETE	CONCRETE	CONCRETE	CONCRETE
MASONRY	MASONRY	MASONRY	MASONRY
FRAMING	FRAMING	FRAMING	FRAMING
GROUND	GROUND	GROUND	GROUND
GRAVEL / LOOSE FILL	GRAVEL / LOOSE FILL	GRAVEL / LOOSE FILL	GRAVEL / LOOSE FILL
INSULATION	INSULATION	INSULATION	INSULATION
STONE	STONE	STONE	STONE

MATERIAL SURFACE		CONCRETE	
CONCRETE	CONCRETE	CONCRETE	CONCRETE
BLOCK / BRICK	BLOCK / BRICK	BLOCK / BRICK	BLOCK / BRICK
STONE / PAVING	STONE / PAVING	STONE / PAVING	STONE / PAVING
TIMBER	TIMBER	TIMBER	TIMBER
GLAZING	GLAZING	GLAZING	GLAZING
SOFT LANDSCAPING	SOFT LANDSCAPING	SOFT LANDSCAPING	SOFT LANDSCAPING
GRAVEL / PEBBLES	GRAVEL / PEBBLES	GRAVEL / PEBBLES	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768409M AND STAMPED PLANS)

ARCHITECT:

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Nominated Architect
Bridn Meyerson
NSW Registration Number 4907

DRAWING TITLE:

BASIX COMMITMENTS

PROJECT ADDRESS:

38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:

24-091

ISSUE DATE:

17/10/2024

SCALE:

NTS @ A3

DWG NUMBER:

DA0001

REVISION:

DA01

CHECKED:

AEH

REF: BMDout- bdb-26 - BMDout Basic for Archcad 26/24-091_38 Undercliff Road Freshwater DA

Description of project

Project address				Common area landscape			
Project name	38 Undercliff Rd, Freshwater NSW			Common area lawn (m²)	0		
Street address	38 UNDERCLIFF ROAD, FRESHWATER 2096			Common area garden (m²)	0		
Local Government Area	NORTHERN BEACHES			Area of indigenous or low water use species (m²)	0		
Plan type and plan number	Deposited Plan DP5118			Assessor details and thermal loads			
Lot no.	22			Assessor number	DMM121407		
Section no.	-			Certificate number	0009018433		
Project type				Climate zone	16		
No. of residential flat buildings	0			Project score			
Residential flat buildings no. of dwellings	0			Water	✓ 43		Target 40
Multi-dwelling housing no. of dwellings	2			Thermal Performance	✓ Pass		Target Pass
No. of single dwelling houses	0			Energy	✓ 74		Target 72
Site details				Materials	✓ 100		Target n/a
Site area (m²)	576.7						
Roof area (m²)	255.9						
Non-residential floor area (m²)	-						
Residential car spaces	4						
Non-residential car spaces	-						

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.				Common area landscape			
1	2	3	4	5	6	7	8
001	44	242	0	126.8	0	002	44
242	0	126.8	0	002	44	242	0
126.8	0	002	44	242	0	126.8	0

Description of project

The tables below describe the dwellings and common areas within the project

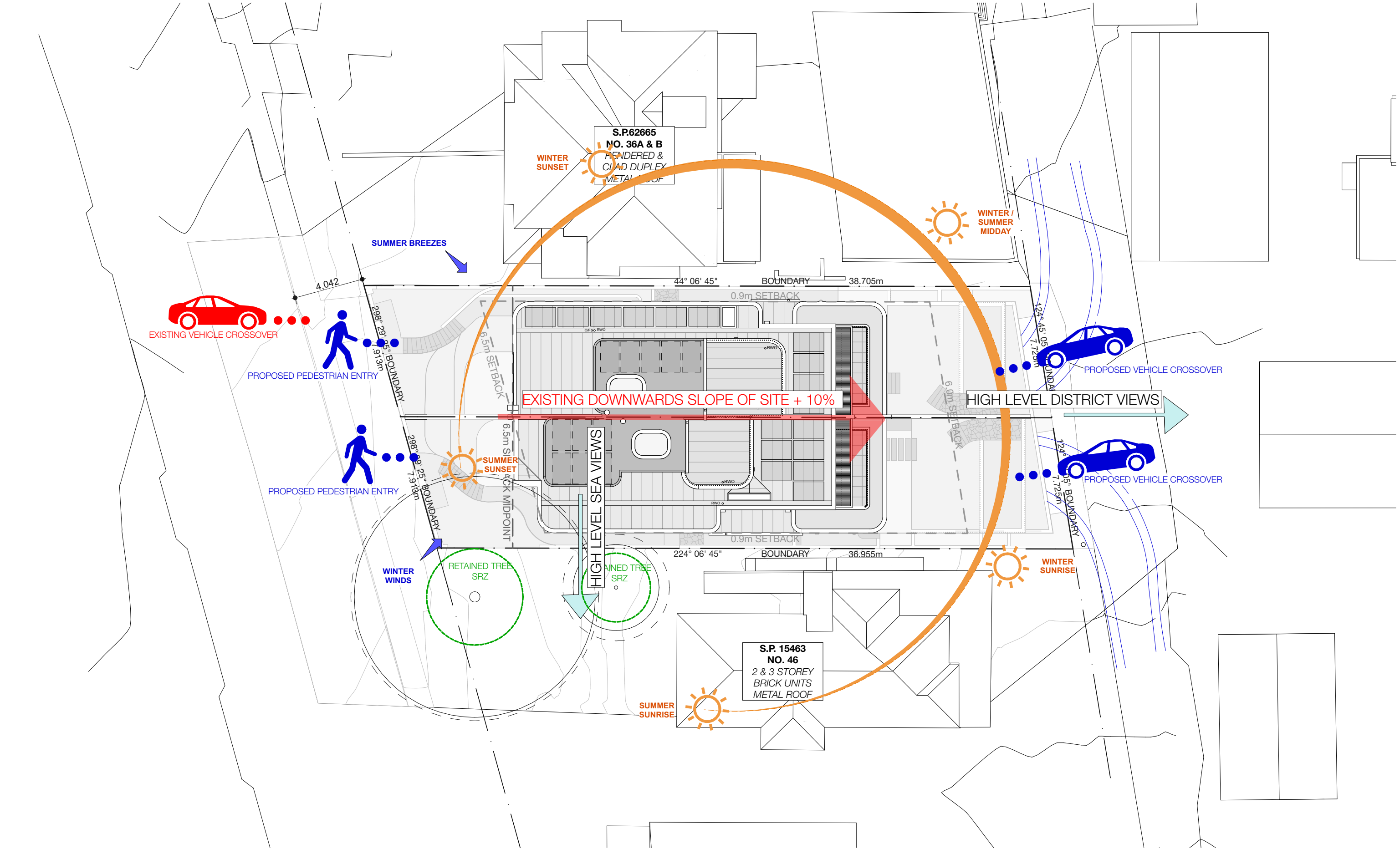
Common areas of the development (non-building specific)

Common area		Floor area (m²)	
Undercover car park area	91.3	Common area	Floor area (m²)
Plant or service room	91.3	Plant or service room	91.3

Individual pool			Individual spa			Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or sheltered clothes drying line
All dwellings	electric heat pump	not specified	yes	-	-	induction cooktop & electric oven	-	-	yes	yes

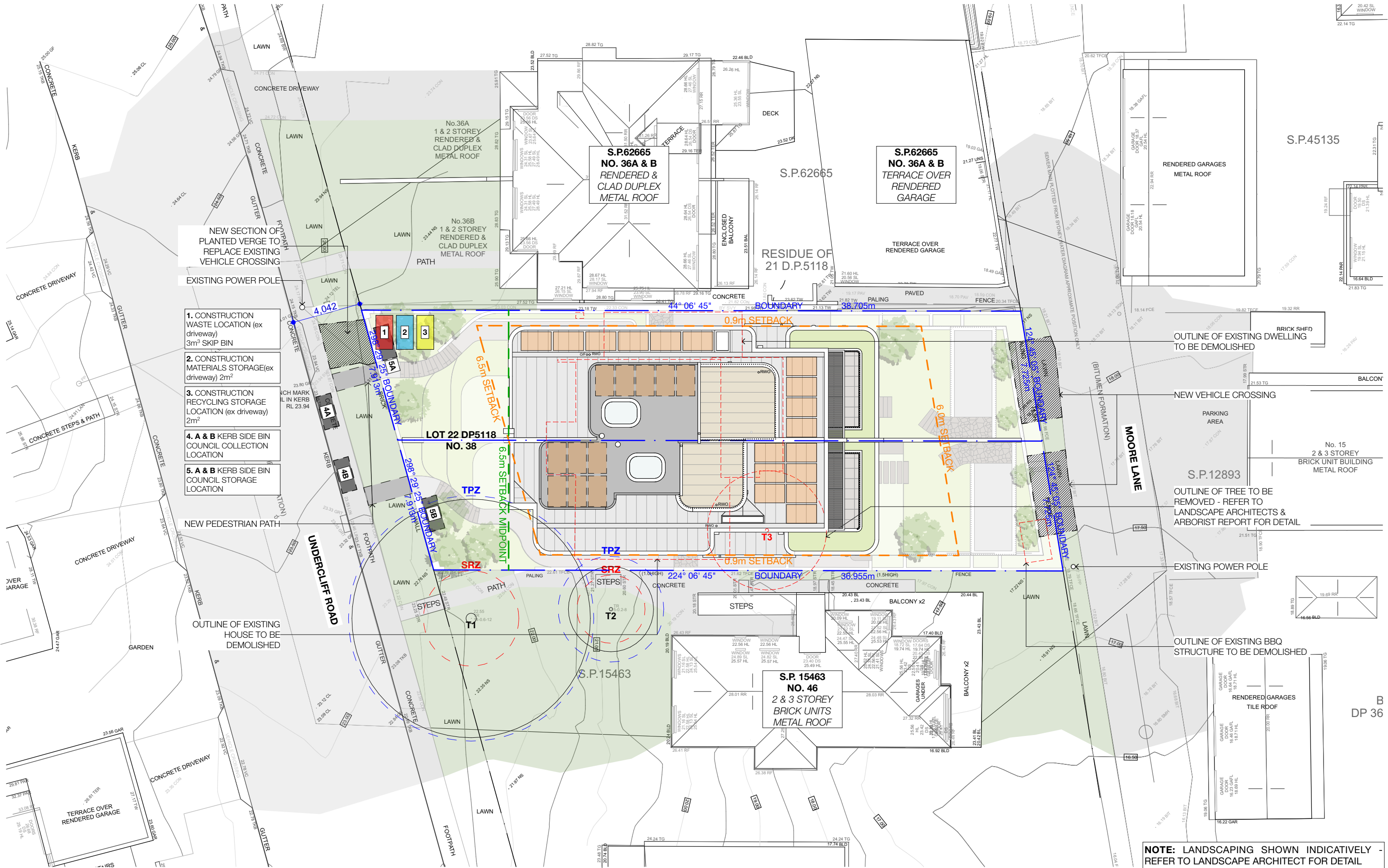
Alternative energy			
Dwelling no.	Photovoltaic system (m² rated electrical output in peak kW)	Photovoltaic collector installation	Orientation
All dwellings	between >0° to <=10° degree to the horizontal	2.3	NE

(ii) Thermal Performance and Materials				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.						
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.						
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.						
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.						
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.						
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.						
(g) Where there is an in-slab heating or cooling system, the applicant must:						
(i) (a) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or						



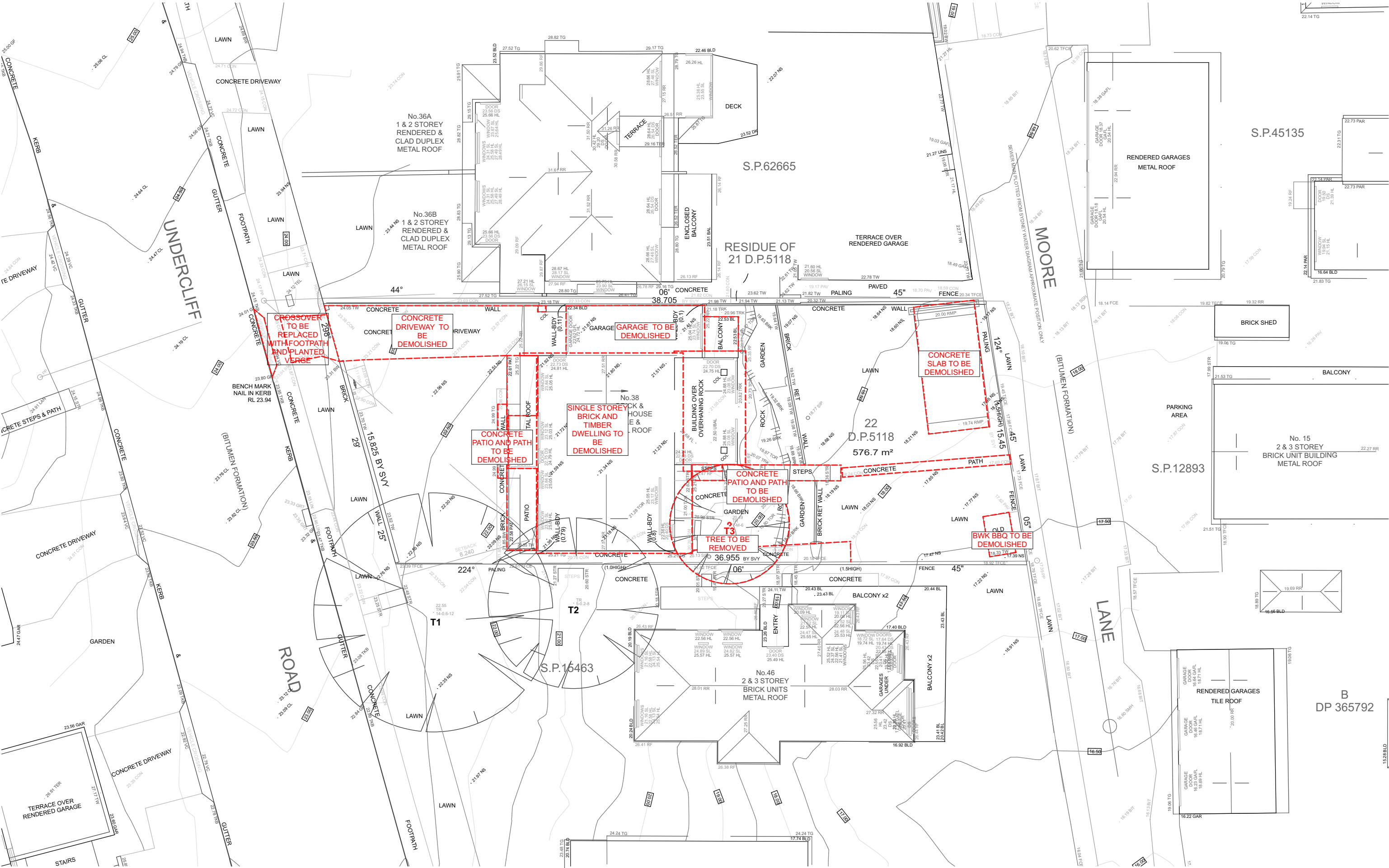
REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE NOTIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE VERIFIED AGAINST DRAWINGS PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		LEGEND --- TO BE DEMOLISHED AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OP OVERFLOW PVC POWDER COATED PV PHOTO VOLTAC RPR RENDER + PAINT RWH RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE		EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE		CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT: MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com MHNDU Design Urban Pty Ltd. ABN 94 003 717 682 Nominated Architect Bridn Meyerson NSW Registration Number 4907		SITE ANALYSIS PLAN PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		24-091 ISSUE DATE: 17/10/2024 SCALE: 1:200 @ A3		DRAWN BY: JD CHECKED: AEH	

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater_DA



REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
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NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL



REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.
- DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
- MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.
- CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.
- CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.
- MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.
- PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.

DA LEGEND	
LEGEND	
- - - TO BE DEMOLISHED	
AL	ALUMINIUM
B	BASIN
BWK	BRICK WORK
CKT	COOK TOP
CT	CERAMIC TILE
D	DRYER
DB	ELEC BOARD
DP	DOWN PIPE
FC	FIBRE CEMENT
GM	GAS MAIN
KS	KITCHEN SINK
LB	LETTER BOX
LD	LINEAR DRAIN
MD	METAL DECK
MO	MASONRY
OF	OVERFLOW
PVC	POWDER COATED
RP	RAINWATER HEAD
RV	RAINWATER VALVE
ST	STONE
T	TIMBER
WM	WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	
CONCRETE	CONCRETE
MASONRY	MASONRY
FRAMING	FRAMING
GROUND	GROUND
GRAVEL / LOOSE FILL	GRAVEL / LOOSE FILL
INSULATION	INSULATION
STONE	STONE

MATERIAL SURFACE	
CONCRETE	
BLOCK / BRICK	BLOCK / BRICK
RENDER	RENDER
STONE / PAVING	STONE / PAVING
TIMBER	TIMBER
GLAZING	GLAZING
SOFT LANDSCAPING	SOFT LANDSCAPING
GRAVEL / PEBBLES	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

1

ARCHITECT:
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Nominated Architect
Bridn Meyerson
NSW Registration Number 4907

DRAWING TITLE:
DEMOLITION PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
17/10/2024

SCALE:
1:200 @ A3

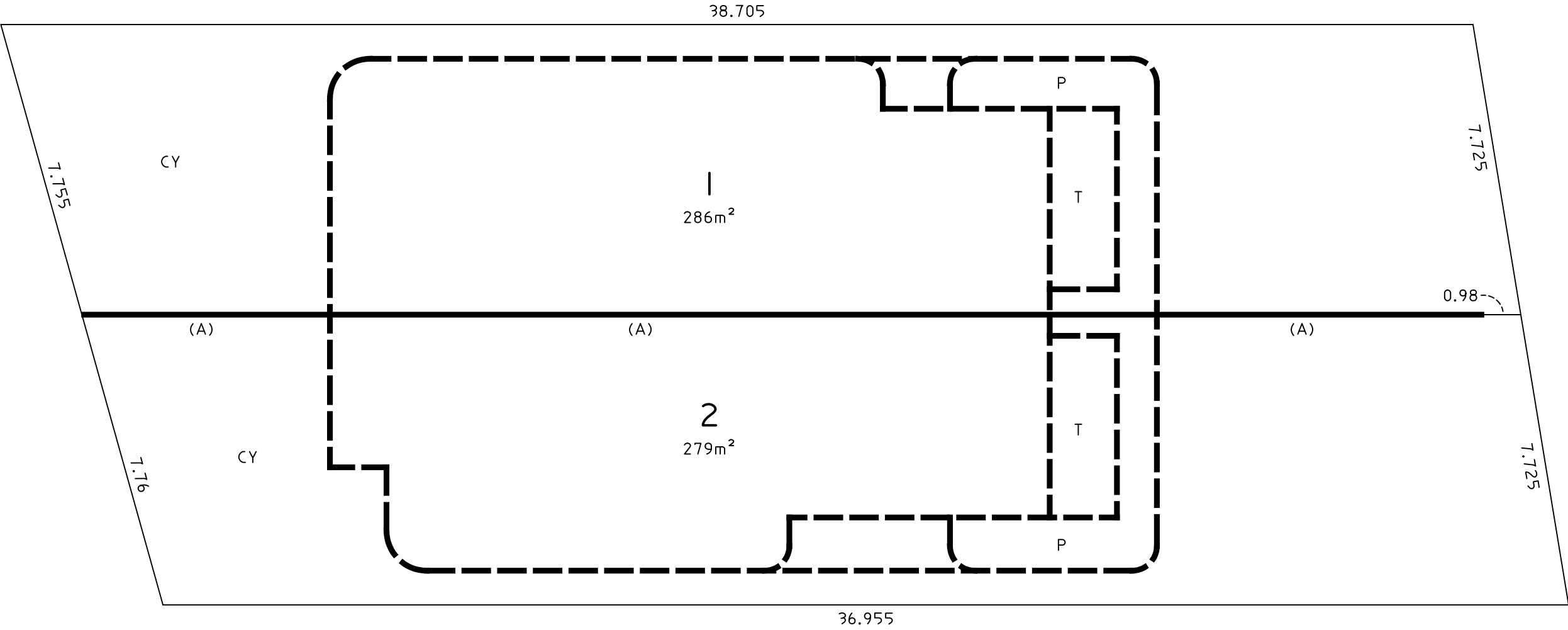
DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA1003

REVISION:
DA01

REF: BMcloud: bdb-26 - BMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



CY - COURTYARD
P - PLANTER
T - TERRACE

THE WHOLE OF THE STRUCTURE OF THE BUILDING STANDING ON EACH LOT, INCLUDING WALLS, FLOORS, CEILINGS, AND ROOFS, FORMS PART OF THE LOT AND IS NOT COMMON PROPERTY.

WALLS SHOWN THUS FORM PART OF THEIR SUBJECT LOT AND ARE NOT COMMON PROPERTY.

(A) - THE COMMON WALL DENOTED (A) IS COMMON PROPERTY.

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

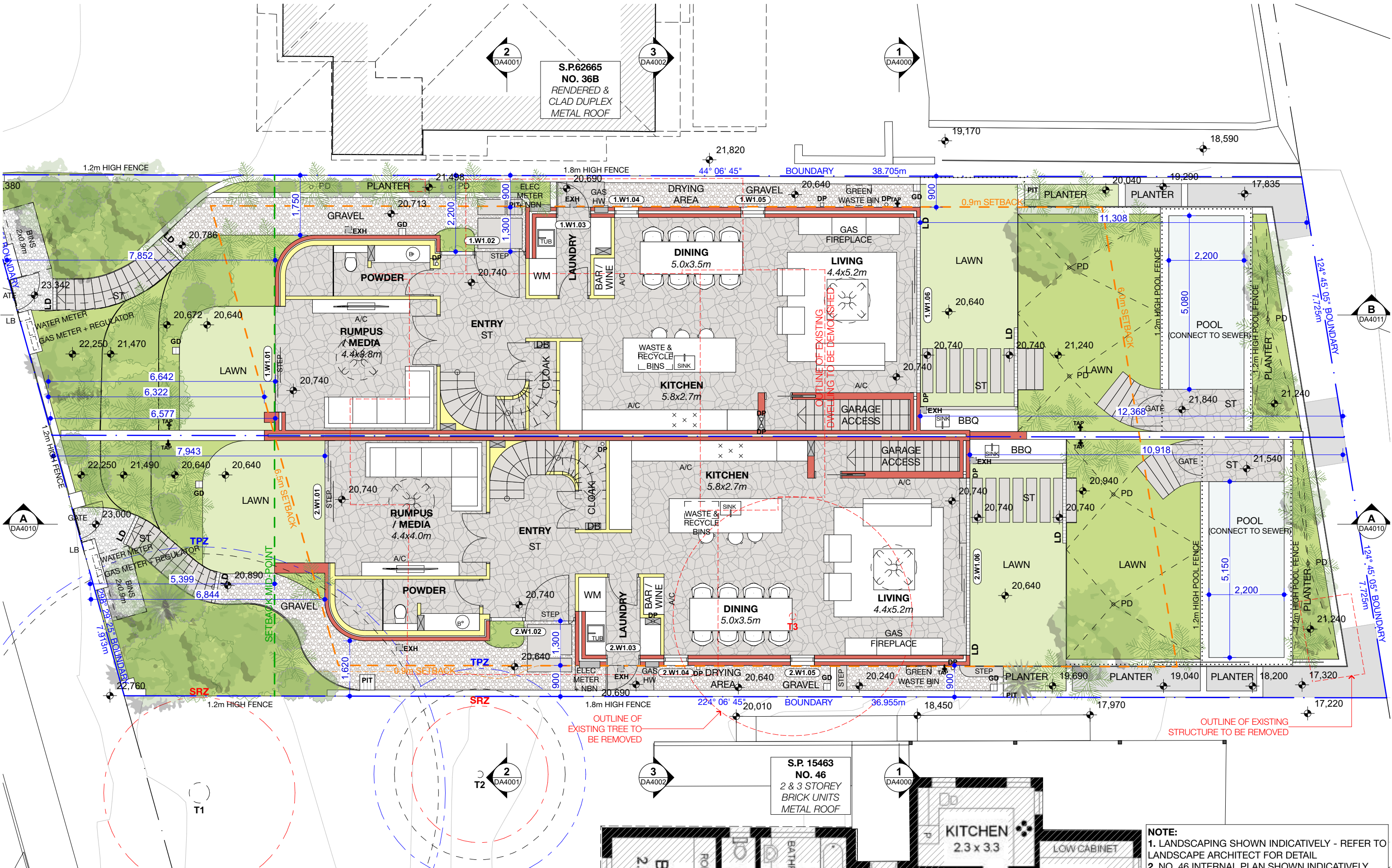
THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

LOTS 1 AND 2 ARE LIMITED IN STRATUM FROM 10 METRES BELOW TO 15 METRES ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE CONCRETE GARAGE FLOOR SLAB.

NOTE: DRAFT STRATA PLAN SHOWN TAKEN FROM DRAFT STRATA PLAN PREPARED BY CMS SURVEYORS
- REFER TO SEPARATE DOCUMENT SUBMITTED AS PART OF DA APPLICATION FOR FURTHER INFORMATION

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	<div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</div> <div>4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.</div> <div>7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div>	<div>LEGEND</div> <div>--- TO BE DEMOLISHED</div> <div>AL ALUMINIUM</div> <div>B BASIN</div> <div>BWK BRICK WORK</div> <div>CKT COOK TOP</div> <div>CT CERAMIC TILE</div> <div>D DRYER</div> <div>DB ELEC BOARD</div> <div>DP DOWN PIPE</div> <div>GM GAS MAIN</div> <div>KS KITCHEN SINK</div> <div>LB LETTER BOX</div> <div>LD LINEAR DRAIN</div> <div>MD METAL DECK</div> <div>OF OVERFLOW</div> <div>PVC POWDER COATED</div> <div>PV PHOTO VOLTAGE</div> <div>RP RENDER + PAINT</div> <div>RWH RAINWATER HEAD</div> <div>ST STONE</div> <div>T TIMBER</div> <div>WM WASH MACHINE</div>	<div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>MASONRY</div> <div>FRAMING</div> <div>GROUND</div> <div>GRAVEL / LOOSE FILL</div> <div>INSULATION</div> <div>STONE</div>	<div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>SOFT LANDSCAPING</div> <div>GRAVEL / PEBBLES</div>	<div>BASIX COMMITMENTS</div> <div>(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)</div>	<div>ARCHITECT:</div> <div>MHNDU</div> <div>35 RICHARDS LANE</div> <div>SURRY HILLS SYDNEY NSW 2010</div> <div>T +61 2 9101 1111</div> <div>F +61 2 9101 1100</div> <div>www.mhndu.com</div> <div>ABN 94 003 717 682</div> <div>Nominated Architect</div> <div>Bridn Meyerson</div> <div>NSW Registration Number 4907</div>	<div></div> <div>DRAFT STRATA SUBDIVISION PLAN</div> <div>PROJECT ADDRESS:</div> <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div>	<div>PROJECT NUMBER:</div> <div>24-091</div> <div>ISSUE DATE:</div> <div>17/10/2024</div> <div>SCALE:</div> <div>NTS @ A3</div> <div>DRAWN BY:</div> <div>JD</div> <div>CHECKED:</div> <div>AEH</div>	<div>DWG NUMBER:</div> <div>DA1004</div> <div>REVISION:</div> <div>DA01</div>
<div>REF: BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - BMD00: bcb-26 - 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BMD00: bcb-26 - BMD00: bcb-26 - BMD00: b</div>												



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.
2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.
5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.
6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.
7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.
8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.

DA LEGEND		MATERIAL CUT		MATERIAL SURFACE	
LEGEND		LEGEND		LEGEND	
AL	ALUMINIUM	CB	CONCRETE	CO	CONCRETE
BR	BRICK	GL	GLAZING	BL	BLOCK / BRICK
CT	CERAMIC TILE	GR	GRAVEL / LOOSE FILL	ST	STONE / PAVING
DB	DRAIN	IN	INSULATION	TM	TIMBER
DP	DOWN PIPE	IS	IRON	GL	GLAZING
FC	FIBRE CEMENT	ST	STONE	LS	SOFT LANDSCAPING
GM	GAS MAIN	TM	TIMBER	GP	GRAVEL / PEBBLES
KS	KITCHEN SINK	WM	WASH MACHINE		
LB	LETTER BOX				
LD	LINEAR DRAIN				
MD	METAL DECK				
MT	METAL TIE				
OP	OVERFLOW				
PC	POWDER COATED				
PV	PHOTO VOLTIC				
RD	RENDER + PAINT				
RH	RAINWATER HEAD				
ST	STONE				
TM	TIMBER				
WM	WASH MACHINE				

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
MHNDU Design Union Pty Ltd. ABN 94 003 717 682
NSW Registration Number 4907

DRAWING TITLE:
GROUND FLOOR PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
17/10/2024

SCALE:
1:100 @ A3

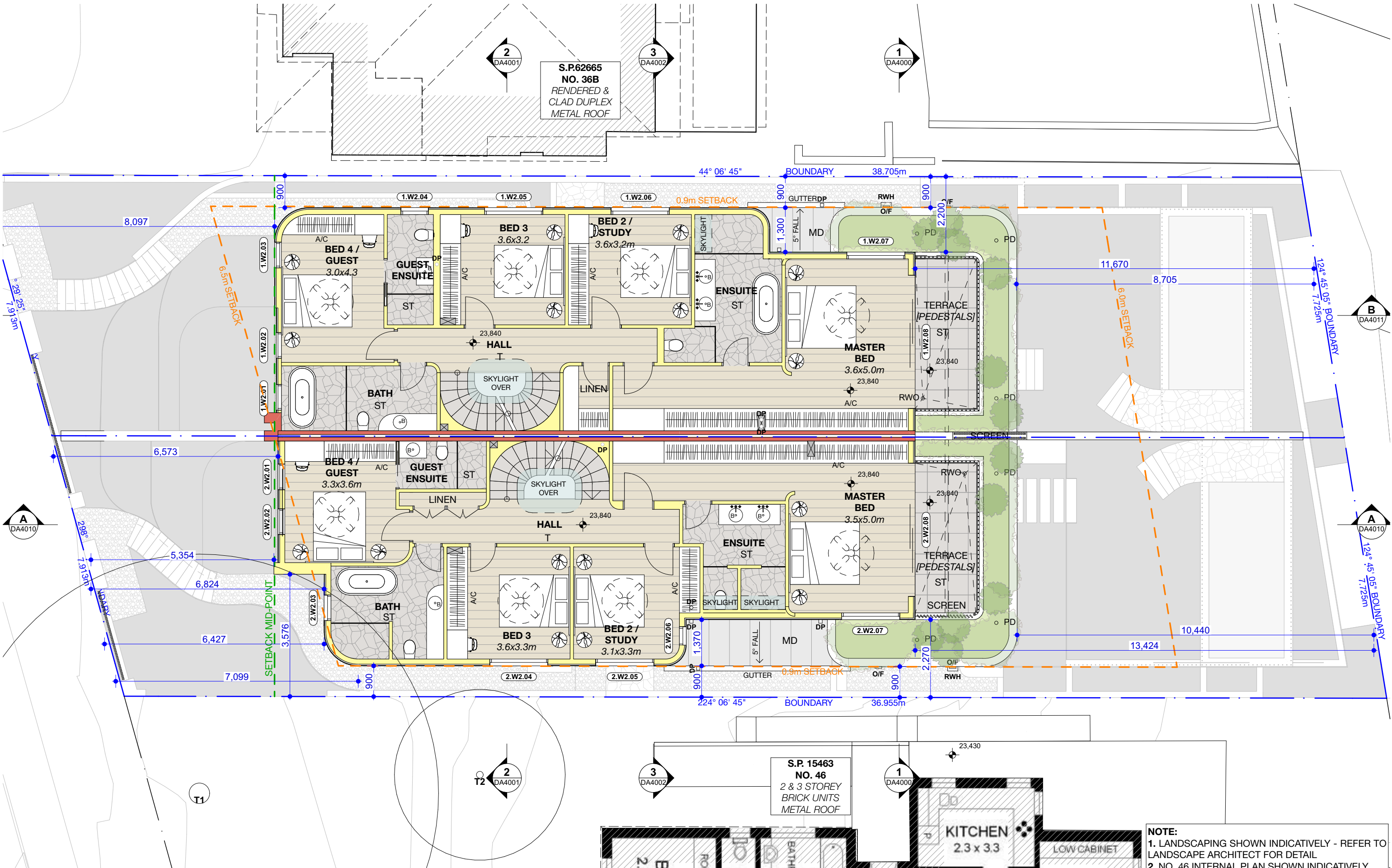
DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA2001

REVISION:
DA01

NOTE:
1. LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL.
2. NO. 46 INTERNAL PLAN SHOWN INDICATIVELY



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND		MATERIAL CUT		MATERIAL SURFACE	
LEGEND		LEGEND		LEGEND	
AL	ALUMINIUM	CB	CONCRETE	CB	CONCRETE
B	BASIN	LD	LINEAR DRAIN	BL	BLOCK / BRICK
BWK	BRICK WORK	MD	METAL DECK	R	RENDER
CKT	COOK TOP	OP	OVERFLOW	SP	STONE / PAVING
CT	CERAMIC TILE	PVC	POWDER COATED	T	TIMBER
D	DRYER	PV	PHOTO VOLTIC	GL	GLAZING
DB	ELEC BOARD	RP	RENDER + PAINT	SL	SOFT LANDSCAPING
DP	DOWN PIPE	RWH	RAINWATER HEAD	GS	GRAVEL / LOOSE FILL
FC	FIBRE CEMENT	ST	STONE	I	INSULATION
GM	GAS MAIN	T	TIMBER	INS	INSULATION
KS	KITCHEN SINK	WM	WASH MACHINE	PE	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

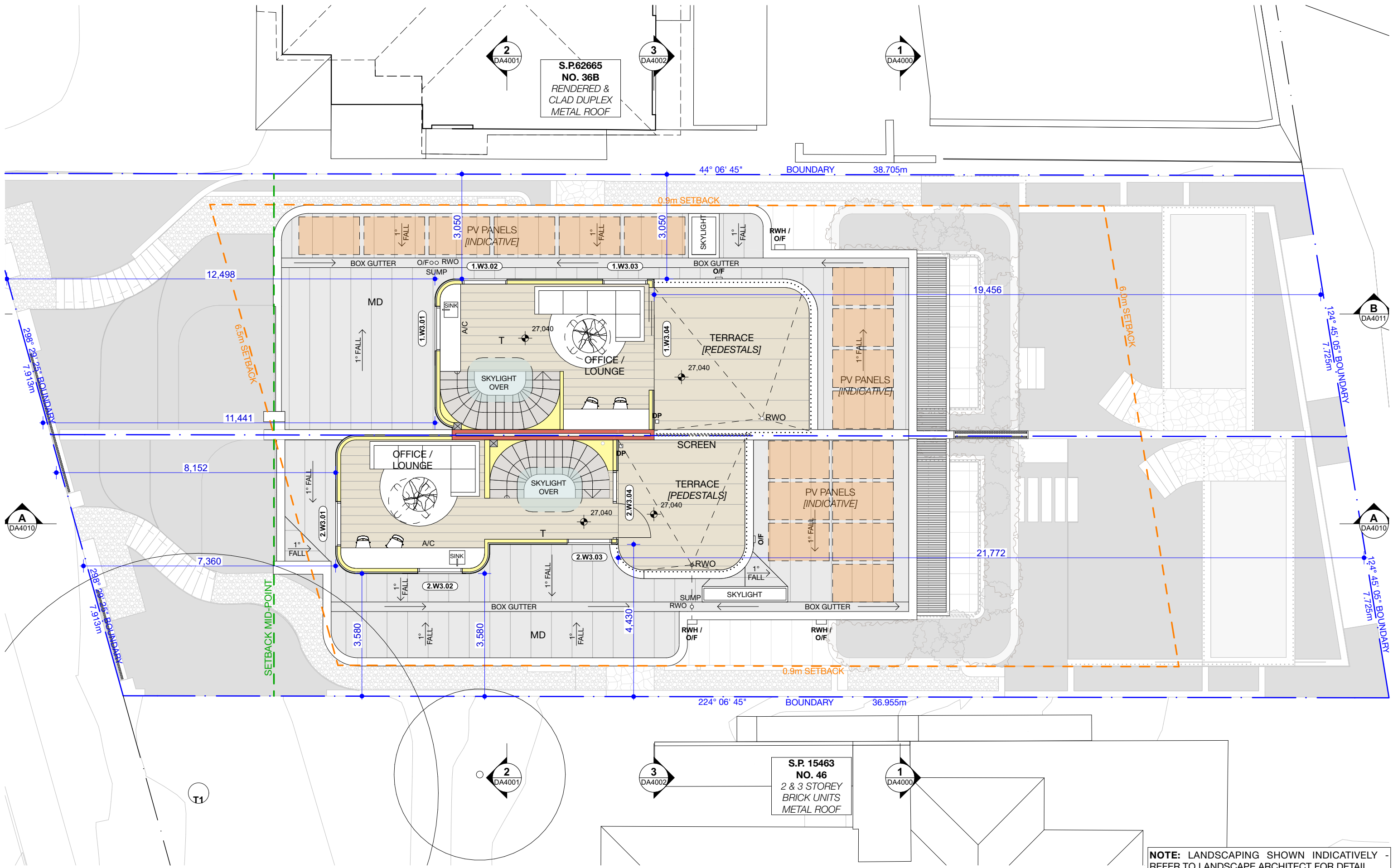
ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
ABN 94 003 717 682

DRAWING TITLE:
LEVEL 1 FLOOR PLAN
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091
ISSUE DATE:
17/10/2024
SCALE:
1:100 @ A3

DWG NUMBER:
DA2002
REVISION:
DA01
DRAWN BY:
JD
CHECKED:
AEH

NOTE:
1. LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL
2. NO. 46 INTERNAL PLAN SHOWN INDICATIVELY



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

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DA LEGEND	
AL	ALUMINIUM
B	BASIN
BWK	BRICK WORK
CKT	COOK TOP
CT	CERAMIC TILE
D	DRYER
DB	ELEC BOARD
DP	DOWN PIPE
FC	FIBRE CEMENT
GM	GAS MAIN
KS	KITCHEN SINK
LB	LETTER BOX
LD	LINEAR DRAIN
MD	METAL DECK
OF	OVERFLOW
PVC	POWDER COATED
PV	PHOTO VOLTIC
RP	RENDER + PAINT
RWH	RAINWATER HEAD
ST	STONE
T	TIMBER
WM	WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	CONCRETE
MASONRY	FRAMING
GROUND	GRAVEL / LOOSE FILL
INSULATION	STONE

MATERIAL SURFACE	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
TIMBER	GLAZING
SOFT LANDSCAPING	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
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SURRY HILLS SYDNEY NSW 2010
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F +61 2 9101 1100
www.mhndu.com

ABN 94 003 717 682

DRAWING TITLE:
LEVEL 2 FLOOR PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
17/10/2024

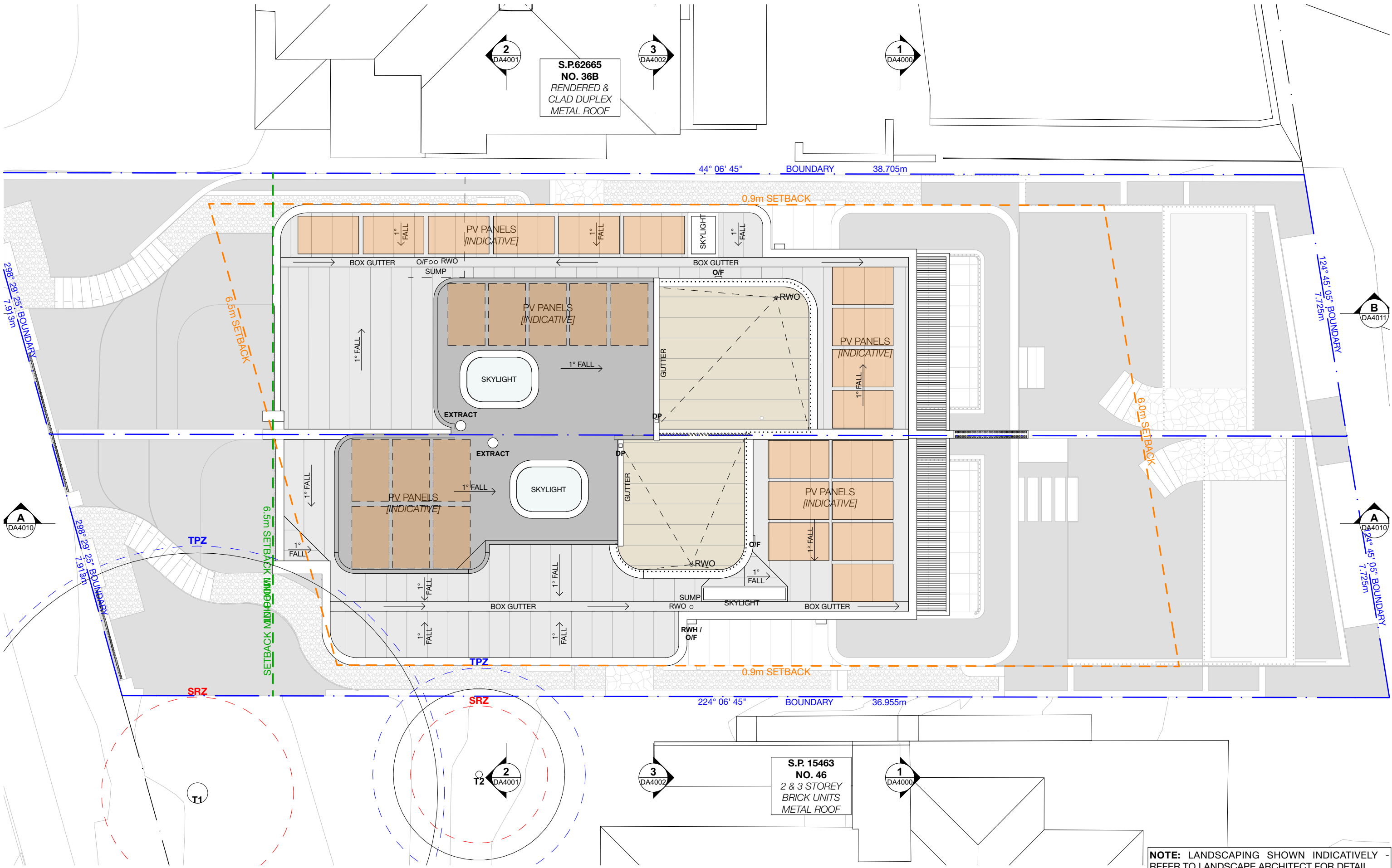
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DWG NUMBER:
DA2003

REVISION:
DA01

CHECKED:
AEH

REF: BHMcloud: bdb-26 - BHMcloud Basic for Archicad 26/24/091_38 Undercliff Road Freshwater DA



REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

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DA LEGEND	MATERIAL CUT	MATERIAL SURFACE
LEGEND - - - TO BE DEMOLISHED	EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE	CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES
AL ALUMINUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK	LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLT RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

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F +61 2 9101 1100
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MHNDU Design Urban Pty Ltd. ABN 94 003 717 682
Nominated Architect
Bridn Meyerson
NSW Registration Number 4907

DRAWING TITLE:
ROOF PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
17/10/2024

SCALE:
1:100 @ A3

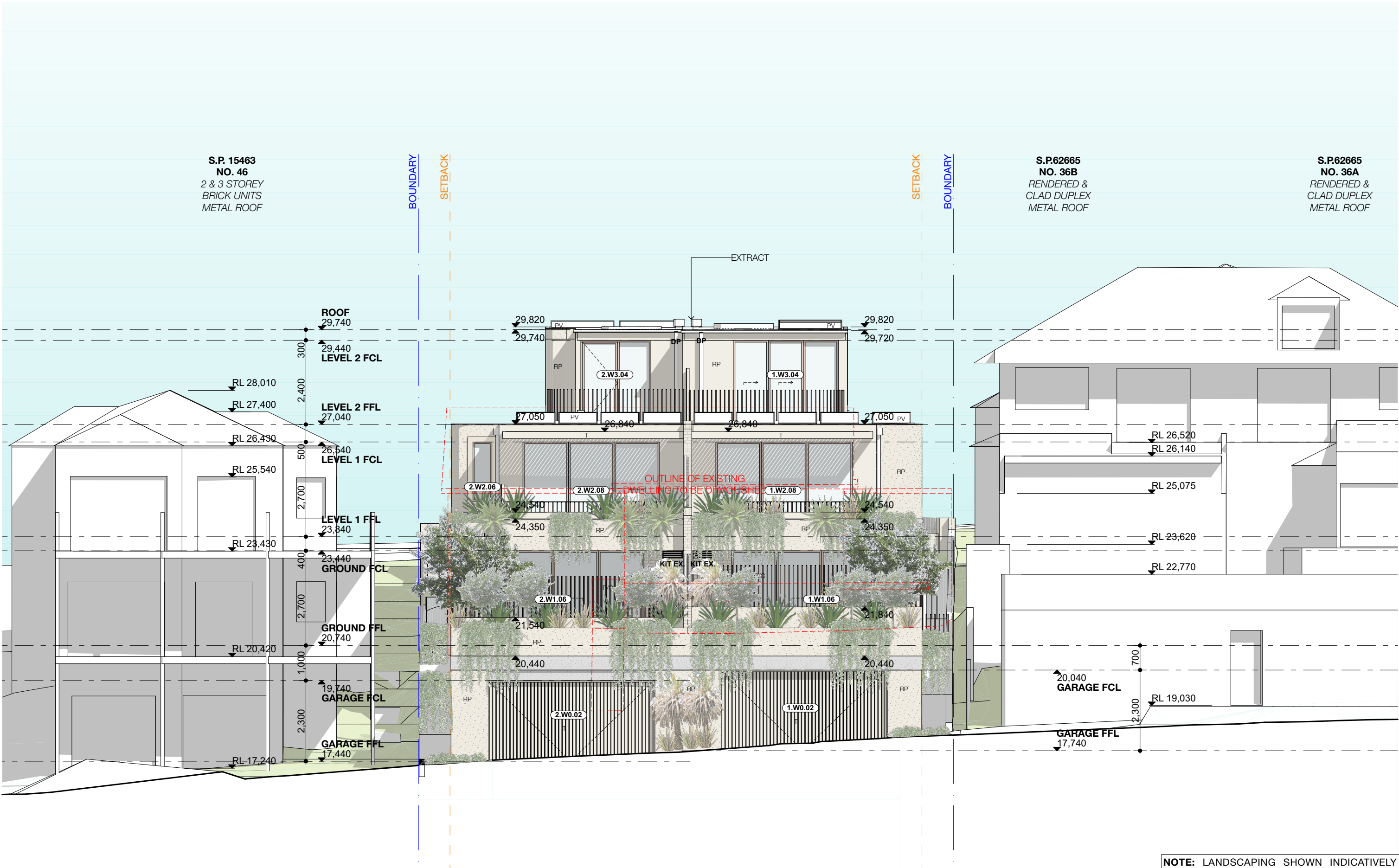
DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA2004

REVISION:
DA01

NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION											MHNDUNION		NORTH ELEVATION		24-091		DA3000	
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.		LEGEND -- TO BE DEMOLISHED		AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK		LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLTAGE RWP RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE		CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES		35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com		38 UNDERCLIFF ROAD, NSW FRESHWATER 2096		17/10/2024		DA01	
				2. DO NOT SCALE OFF THIS DRAWING. ONLY THE DIMENSIONS PROVIDED.										Nominated Architect Bridn Meyer NSW Registration Number 4907		PROJECT ADDRESS:		ISSUE DATE:		REVISION:	
				3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.												LOT 22 DP 5118		1:100 @ A3		AEH	
				4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.														DRAWN BY:		CHECKED:	
				5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.														SCALE:			
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REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND
LEGEND
— TO BE DEMOLISHED
AL ALUMINIUM
B BASIN
BWK BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB ELEC BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PVC POWDER COATED
RP RENDER + PAINT
RWH RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
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GROUND
GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
SOFT LANDSCAPING
GRAVEL / PEBBLES

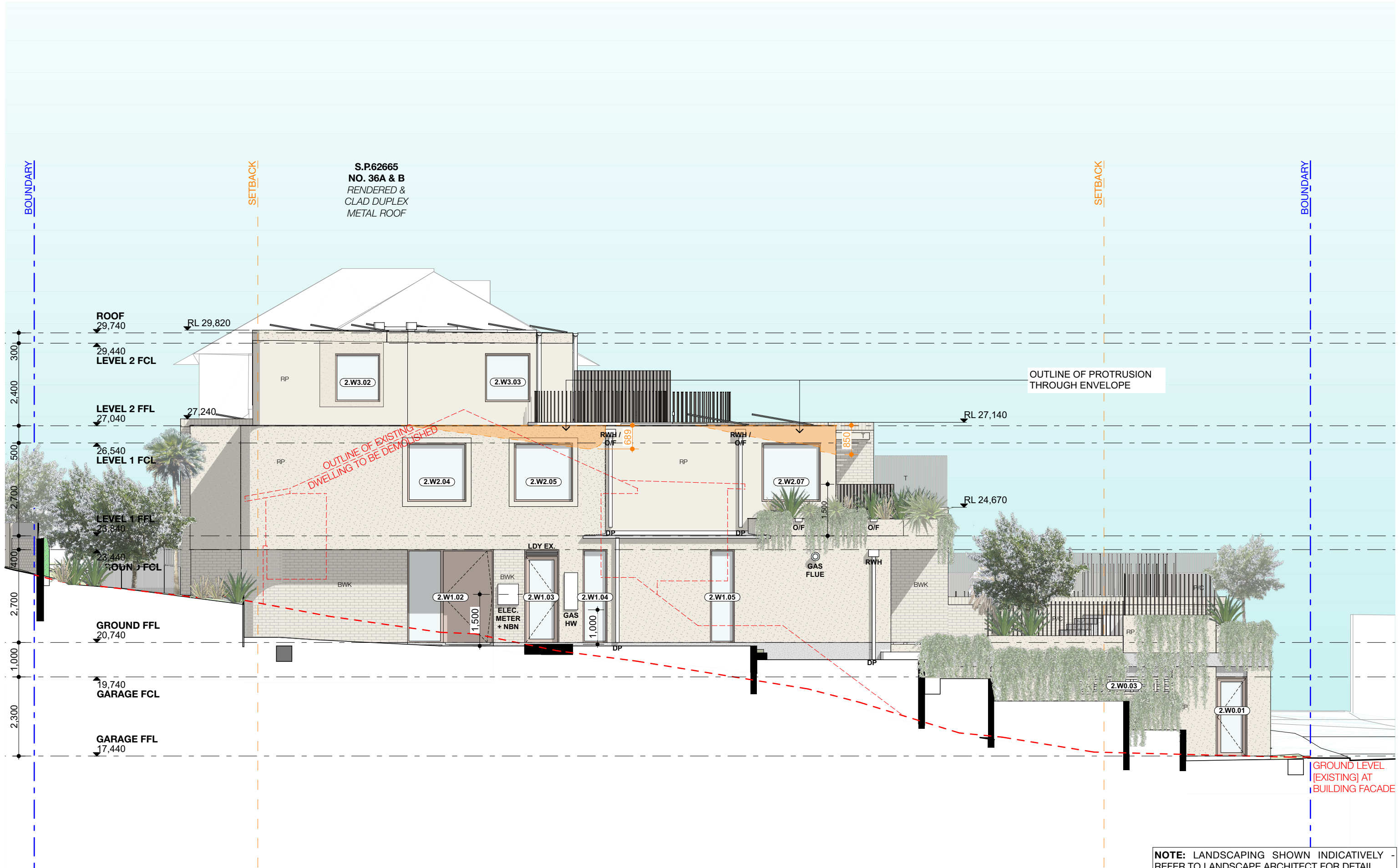
BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDU UNION
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SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
MHNDU Design Union Pty Ltd. ABN 94 003 717 682
Nominated Architect Bridn Meyerson NSW Registration Number 4907

DRAWING TITLE:
SOUTH ELEVATION
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

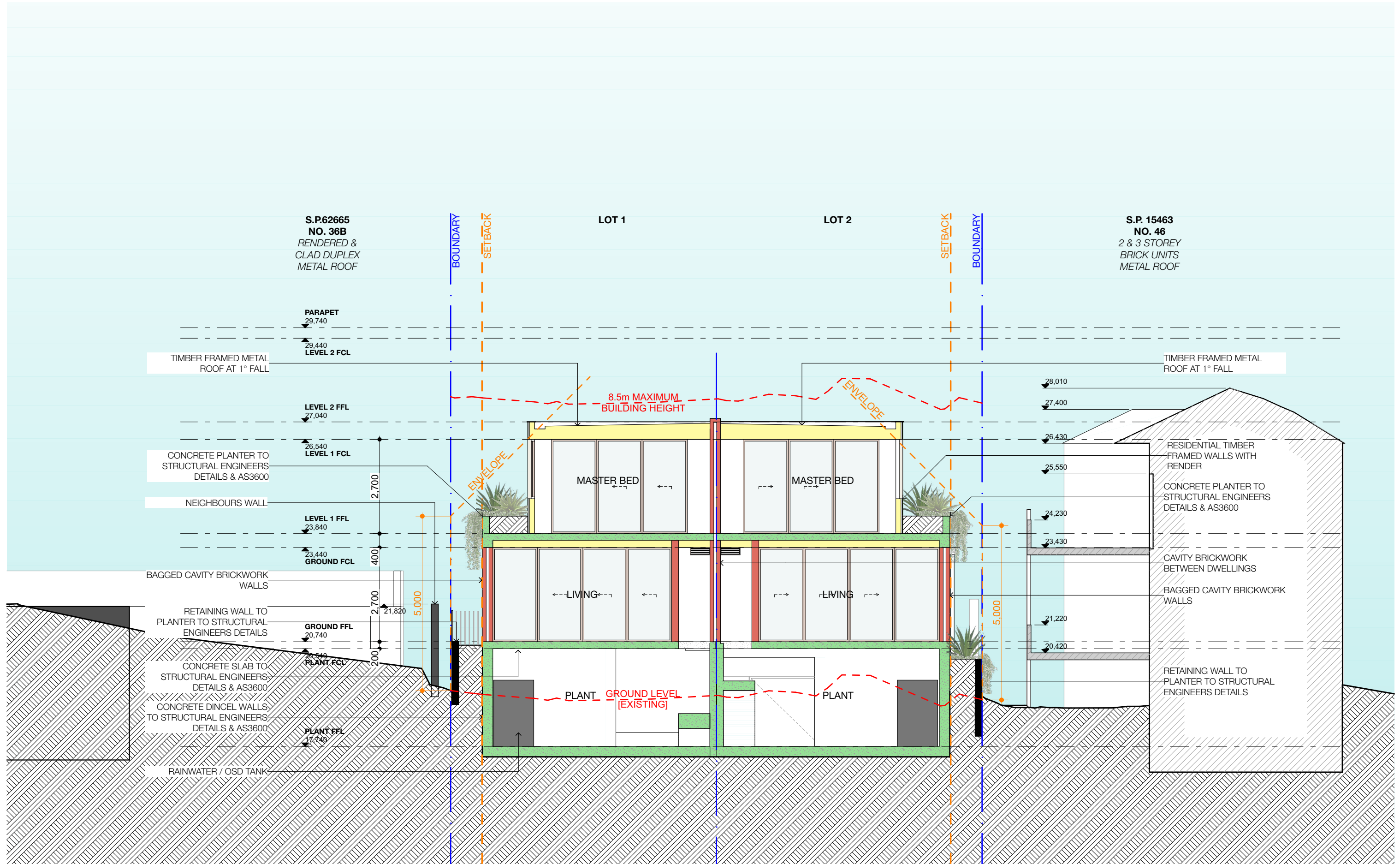
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24-091
ISSUE DATE:
17/10/2024
SCALE:
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DRAWN BY:
JD
DWG NUMBER:
DA3001
REVISION:
DA01
CHECKED:
AEH

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



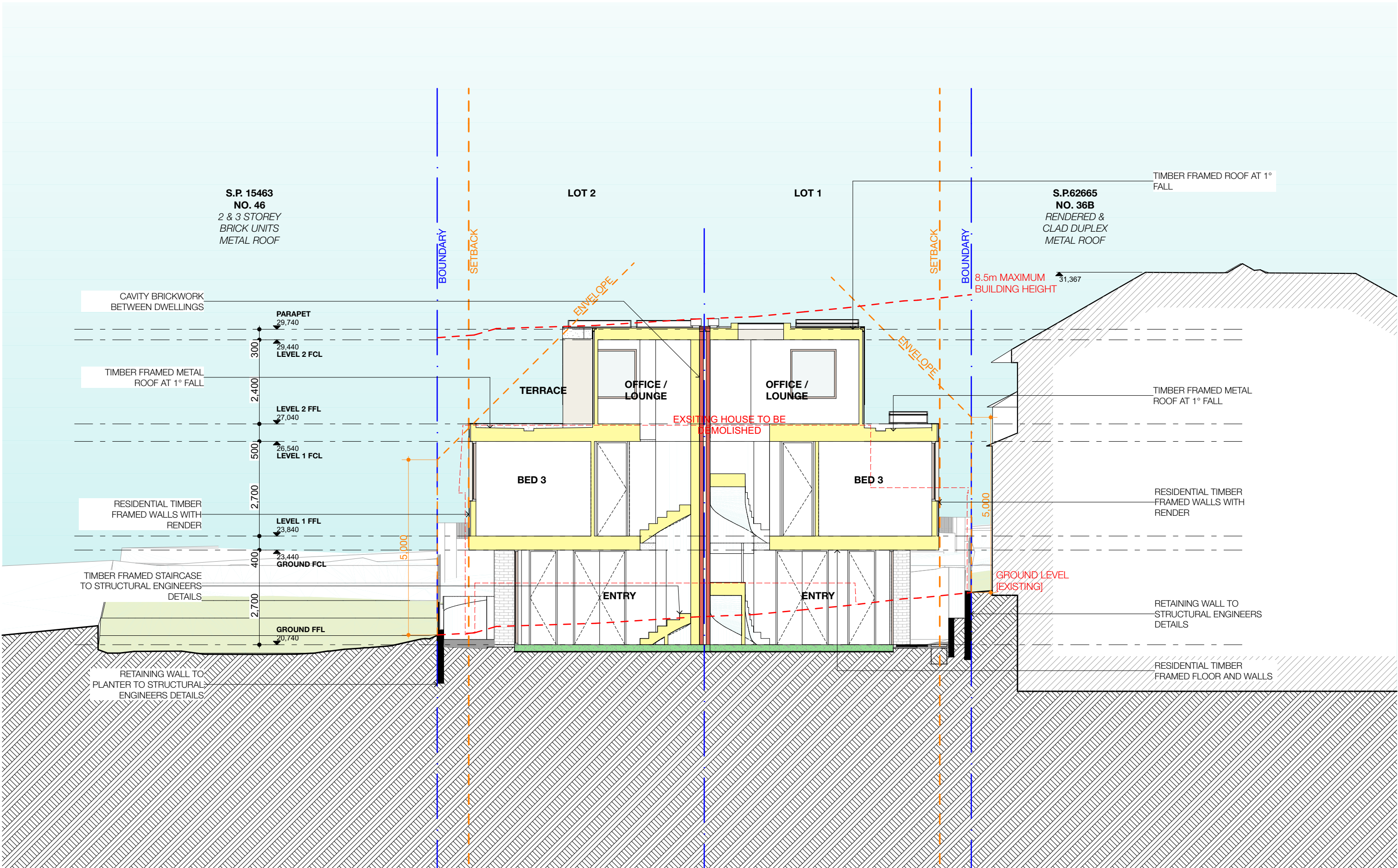
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REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	LEGEND --- TO BE DEMOLISHED AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLTAGE RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES	1. ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS	ARCHITECT: MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com Nominated Architect Bridn Meyerson NSW Registration Number 4907	EAST ELEVATION PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	PROJECT NUMBER: 24-091 ISSUE DATE: 17/10/2024 SCALE: 1:100 @ A3	DWG NUMBER: DA3003 REVISION: DA01 DRAWN BY: JD CHECKED: AEH		



REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
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REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND	
LEGEND	
- - - TO BE DEMOLISHED	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAC
DB ELEC BOARD	RP RENDER + PAINT
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FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
LEGEND	
EXISTING BUILDING	CONCRETE
CONCRETE	MASONRY
FRAMING	GROUND
GRAVEL / LOOSE FILL	INSULATION
STONE	

MATERIAL SURFACE	
LEGEND	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
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SOFT LANDSCAPING	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDUUNION
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F +61 2 9101 1100
www.mhndu.com
MHNDU Design Urban Pty Ltd. ABN 94 003 717 682
Notified Architect
Bridin Meyerson
NSW Registration Number 4907

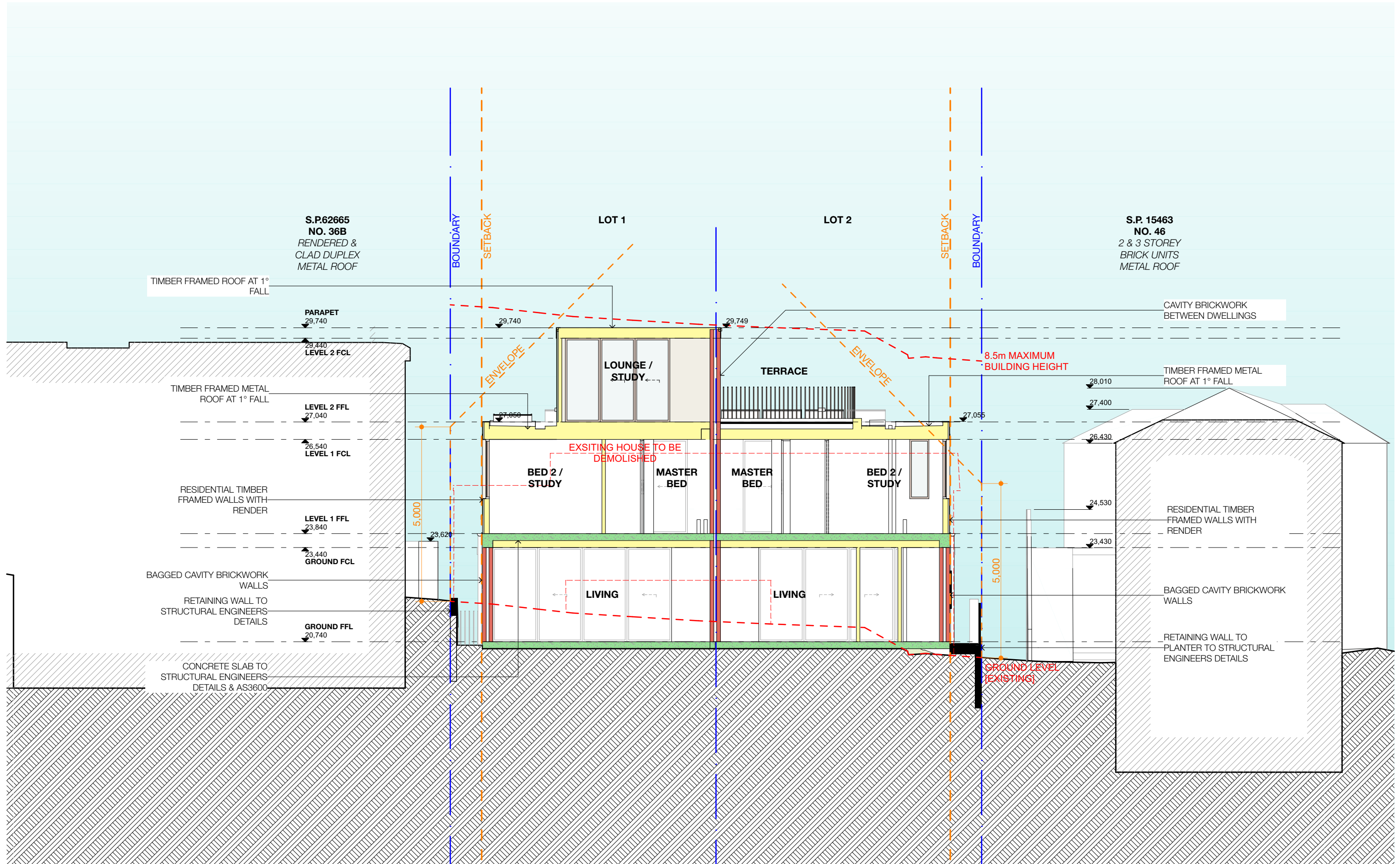
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CROSS SECTION 2
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091
ISSUE DATE:
17/10/2024
SCALE:
1:100 @ A3

DWGN NUMBER:
DA4001
REVISION:
DA01
CHECKED:
AEH

DRAWN BY:
JD

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND
LEGEND
TO BE DEMOLISHED
AL ALUMINIUM
B BASIN
BWK BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB ELEC BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PVC POWDER COATED
PV PHOTO VOLTAC
RP RENDER + PAINT
RWH RAINWATER HEAD
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WM WASH MACHINE

MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
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GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
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GRAVEL / PEBBLES

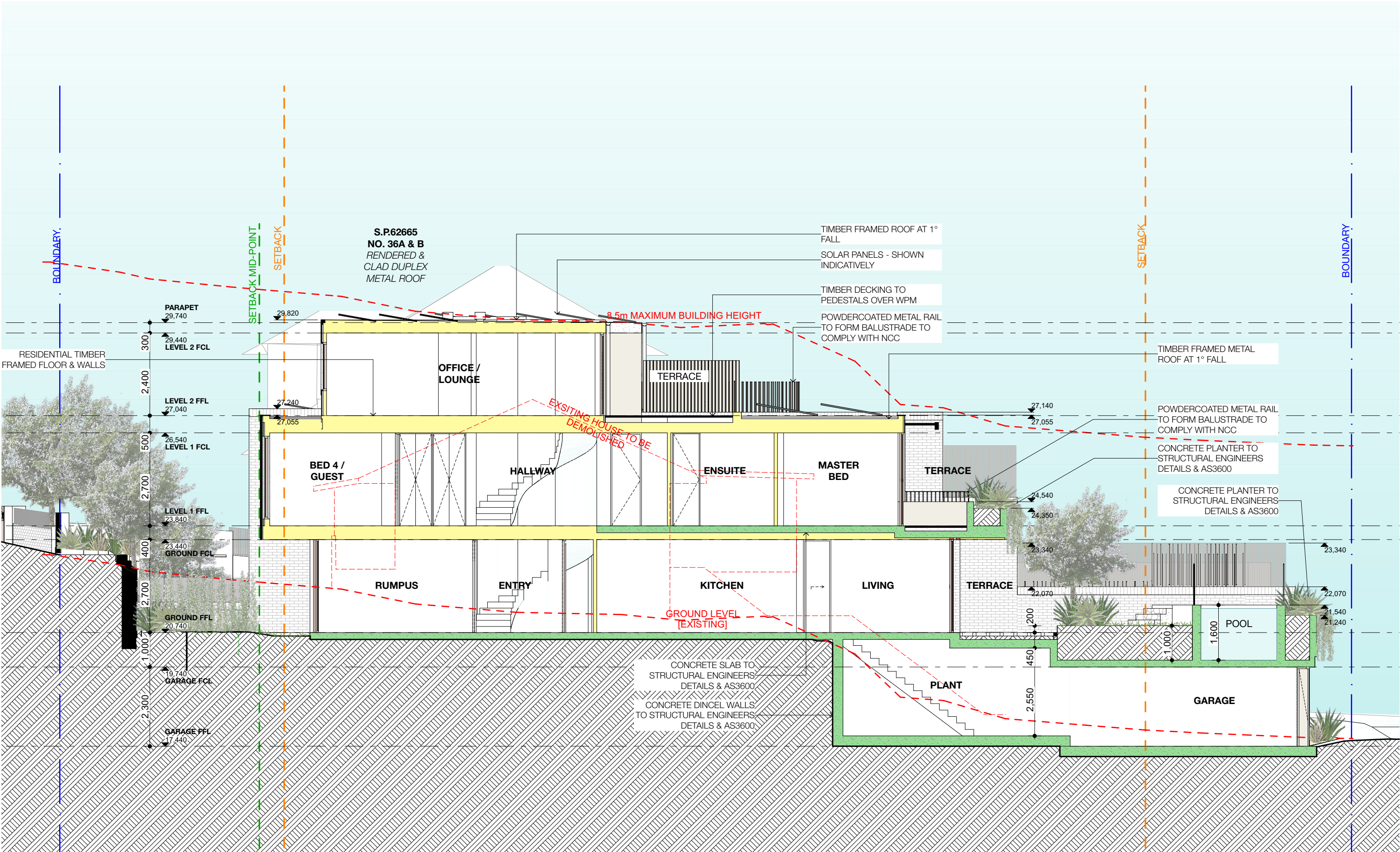
BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)
ARCHITECT:
MHNDU
35 RICHARDS LANE
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F +61 2 9101 1100
www.mhndu.com
Mhndu Design Urban Pty Ltd.
ABN 94 003 717 682
Notified Architect
Brin Meyerson
NSW Registration Number 4907

DRAWING TITLE:
CROSS SECTION 3
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091
ISSUE DATE:
17/10/2024
SCALE:
1:100 @ A3
DRAWN BY:
JD
CHECKED:
AEH

DWG NUMBER:
DA4002
REVISION:
DA01
PROJECT NUMBER:
24-091
ISSUE DATE:
17/10/2024
SCALE:
1:100 @ A3
DRAWN BY:
JD
CHECKED:
AEH

REF: BHMcloud: bdb-26 - BHMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

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DA LEGEND	
LEGEND	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAGE
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	CONCRETE
MASONRY	FRAMING
GROUND	GRAVEL / LOOSE FILL
INSULATION	STONE

MATERIAL SURFACE	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
TIMBER	GLAZING
SOFT LANDSCAPING	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
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ABN 94 003 717 682

Nominated Architect
Bridn Meyer
NSW Registration Number 4907

DRAWING TITLE:
LONG SECTION A

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
17/10/2024

SCALE:
1:100 @ A3

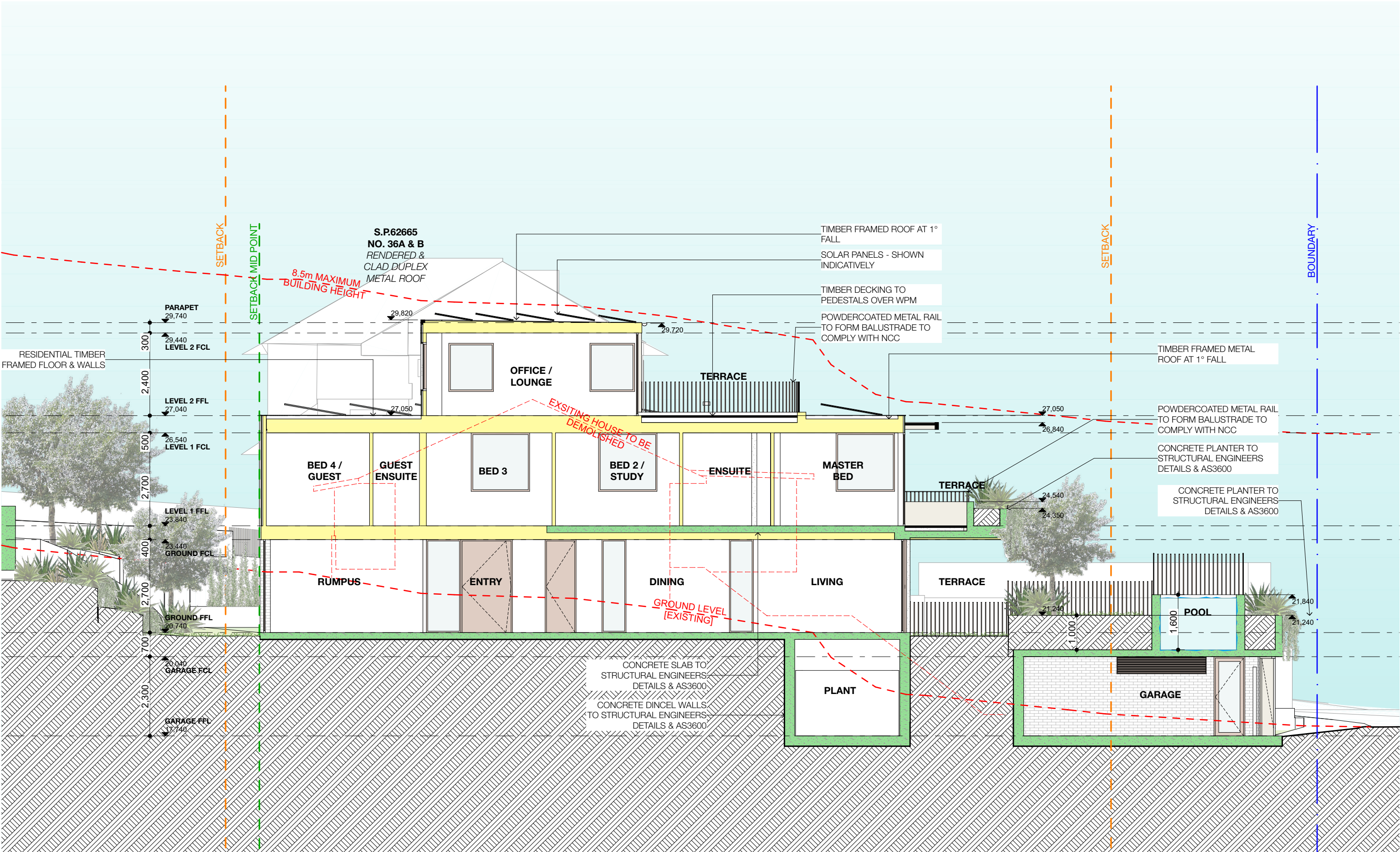
DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA4010

REVISION:
DA01

REF: BMDout: bdb-26 - BMDcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES
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DA LEGEND
LEGEND
TO BE DEMOLISHED
AL ALUMINIUM
S BASIN
BWK BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB ELEC BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PC POWDER COATED
PV PHOTO VOLTAGE
RP RENDER + PAINT
RWH RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
FRAMING
GROUND
GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
SOFT LANDSCAPING
GRAVEL / PEBBLES

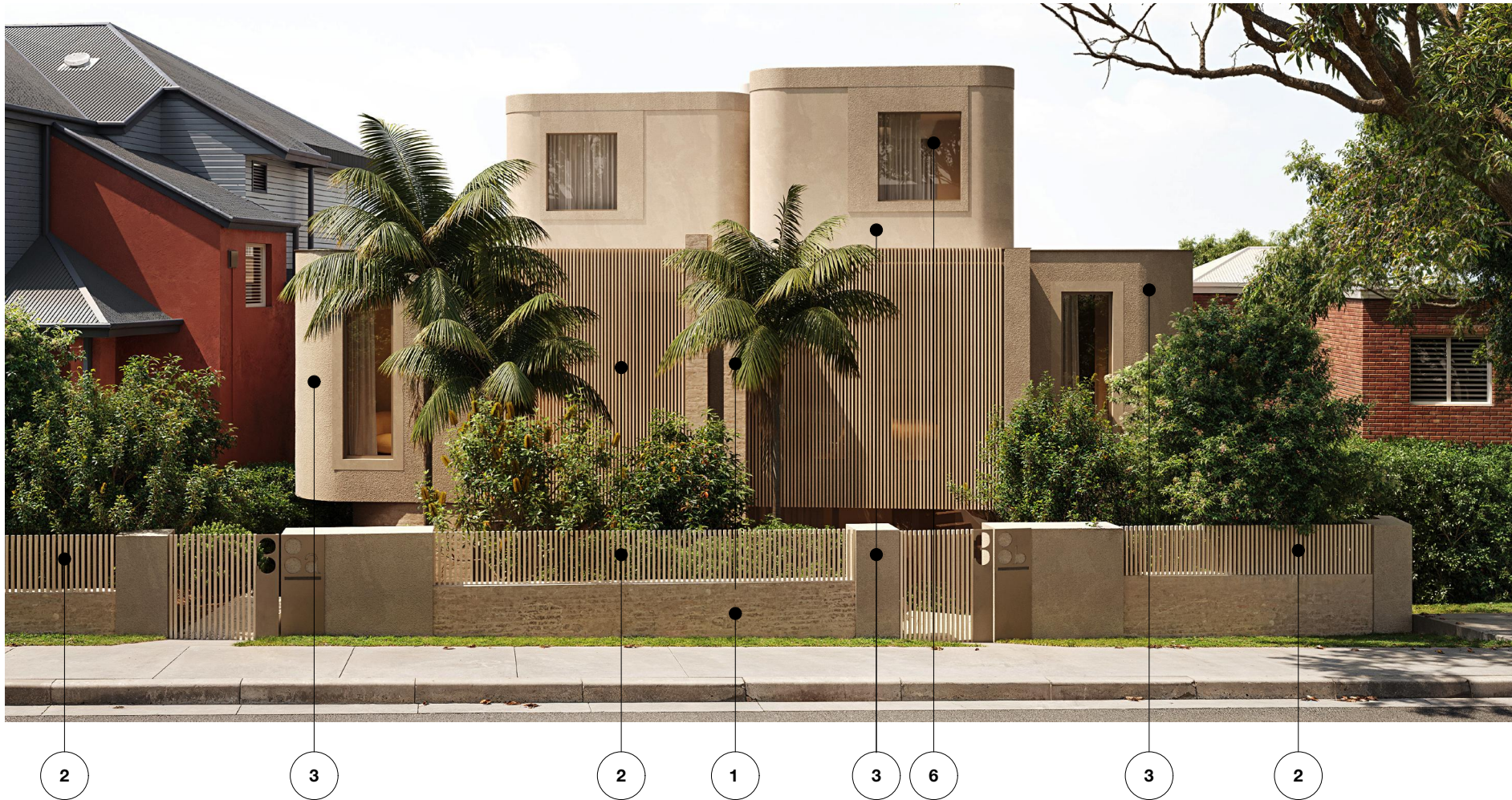
BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)
CONCRETE SLAB TO: STRUCTURAL ENGINEERS DETAILS & AS3600
CONCRETE DINCEL WALLS TO STRUCTURAL ENGINEERS DETAILS & AS3600

ARCHITECT:
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www.mhndu.com
Mhndu Design Urban Pty Ltd.
ABN 94 003 717 682
Nominated Architect
Brian Meyerson
NSW Registration Number 4907

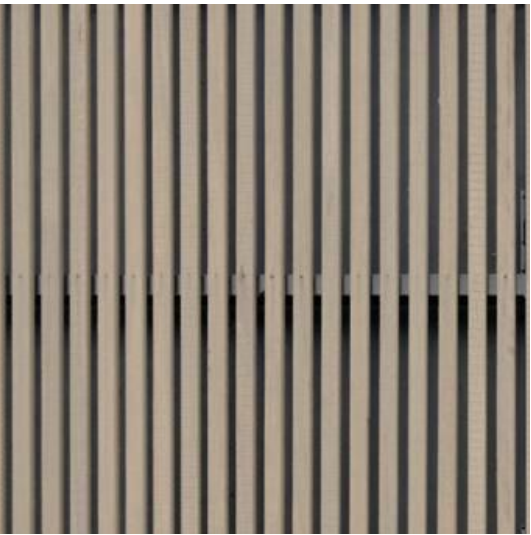
DRAWING TITLE:
LONG SECTION B
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091
ISSUE DATE:
17/10/2024
SCALE:
1:100 @ A3
DRAWN BY:
JD
DWG NUMBER:
DA4011
REVISION:
DA01
CHECKED:
AEH

REF: BHMcloud: bch-26 - BHMcloud Basic for Architect 2624-091_38 Undercliff Road Freshwater DA



1. BWK - BAGGED BRICKWORK



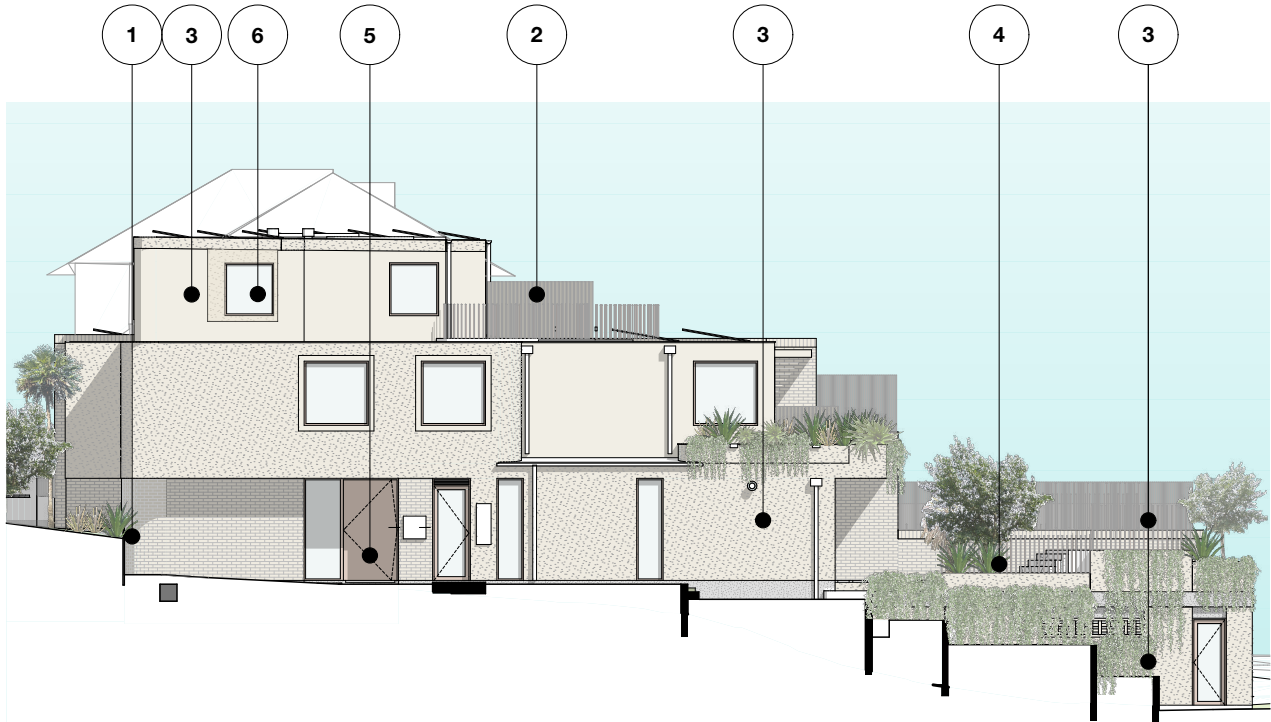
2. T - PAINTED BATTENS



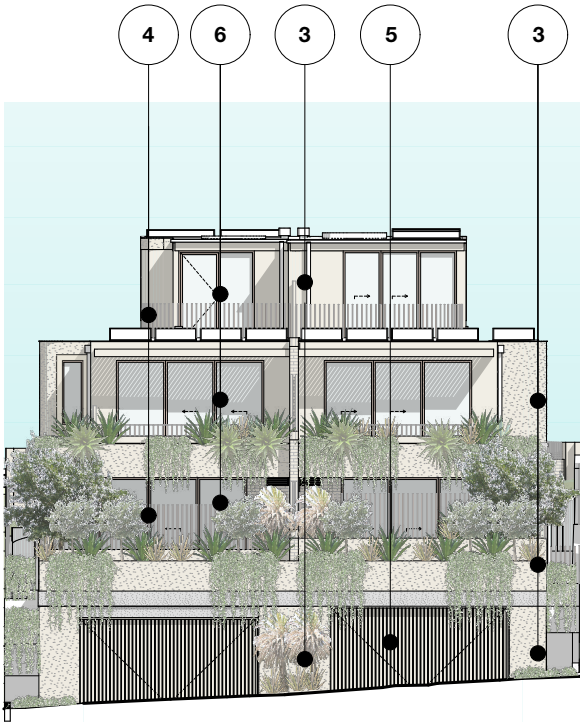
3. RP - PIGMENTED RENDER - DULUX STONE MASTER



4. P/C - POWDER-COATED STEEL ROD FENCING



SIDE ELEVATION



REAR LANE ELEVATION



5. T - PAINTED DOOR



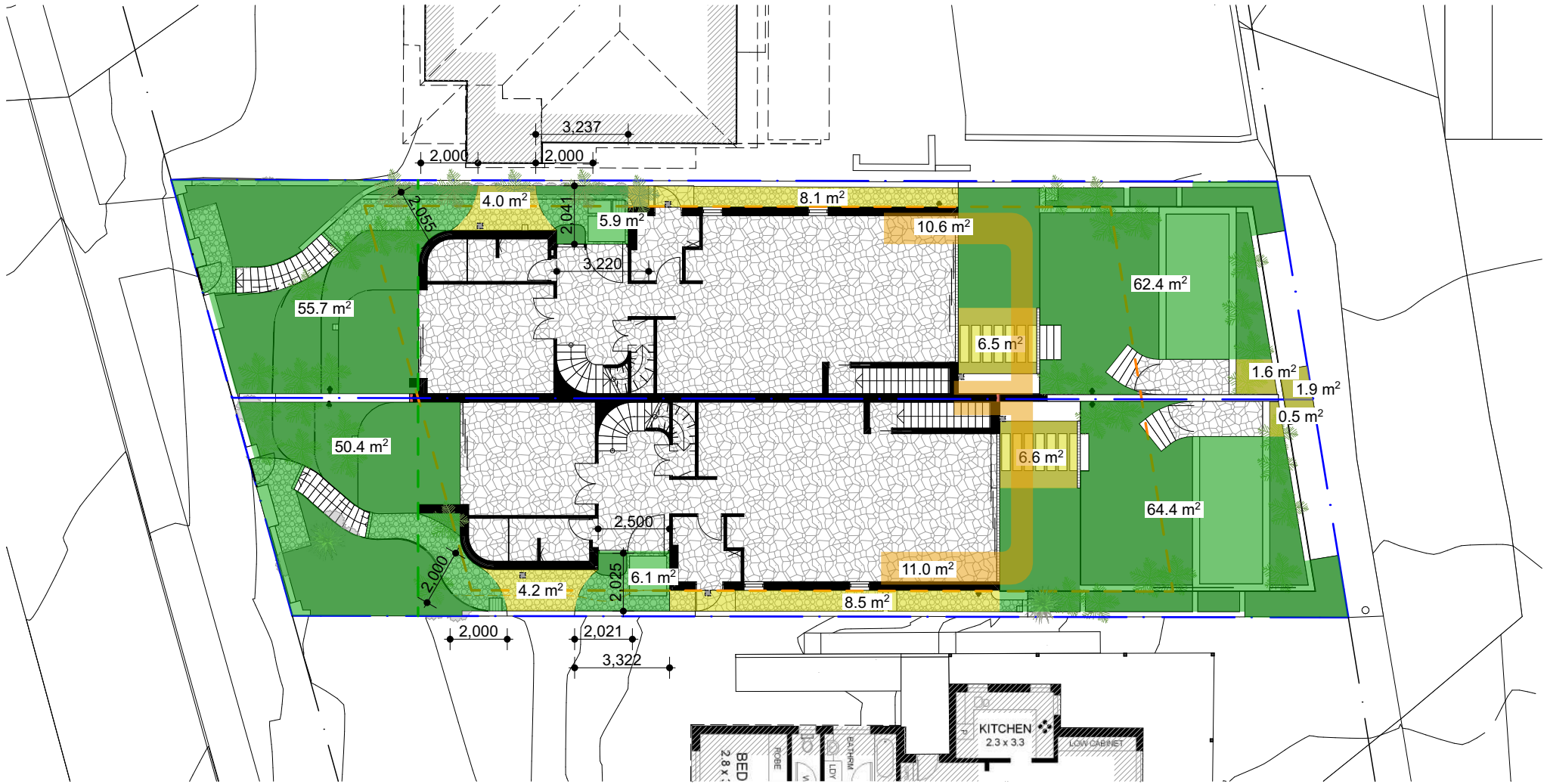
6. P/C AL - POWDER-COATED ALUMINIUM WINDOWS AND DOORS

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT: MHNDUNION 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>MHNDU Design Urban Pty Ltd. ABN 94 003 717 682</small>	DRAWING TITLE: EXTERNAL FINISHES PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	PROJECT NUMBER: 24-091 ISSUE DATE: 17/10/2024 SCALE: NTS @ A3	DWG NUMBER: DA6000 REVISION: DA01 CHECKED: AEH
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION									
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTOR'S DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	LEGEND --- TO BE DEMOLISHED AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLTAC RWH RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	MATERIAL CUT ■ EXISTING BUILDING ■ CONCRETE ■ MASONRY ■ FRAMING ■ GROUND ■ GRAVEL / LOOSE FILL ■ INSULATION ■ STONE	MATERIAL SURFACE ■ CONCRETE ■ BLOCK / BRICK ■ RENDER ■ STONE / PAVING ■ TIMBER ■ GLAZING ■ SOFT LANDSCAPING ■ GRAVEL / PEBBLES	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT: MHNDUNION 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>MHNDU Design Urban Pty Ltd. ABN 94 003 717 682</small>	DRAWING TITLE: EXTERNAL FINISHES PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	PROJECT NUMBER: 24-091 ISSUE DATE: 17/10/2024 SCALE: NTS @ A3	DWG NUMBER: DA6000 REVISION: DA01 CHECKED: AEH

LANDSCAPED AREA CALCULATIONS

LANDSCAPED AREA					
CONTROL	AREA m²	SITE 576.7	% 41.9% [241.7m²]	REQUIRED 40% [230.7m²]	COMPLIES YES

CALCULATIONS		
	AREA	%
TOTAL COMPLYING AREAS	241.7m²	41.9%
TOTAL ADDITIONAL AREAS [GROUND]	43.5m²	7.6%
TOTAL ADDITIONAL AREAS [FIRST]	21.6m²	3.7%
TOTAL	306.8m²	53.2%

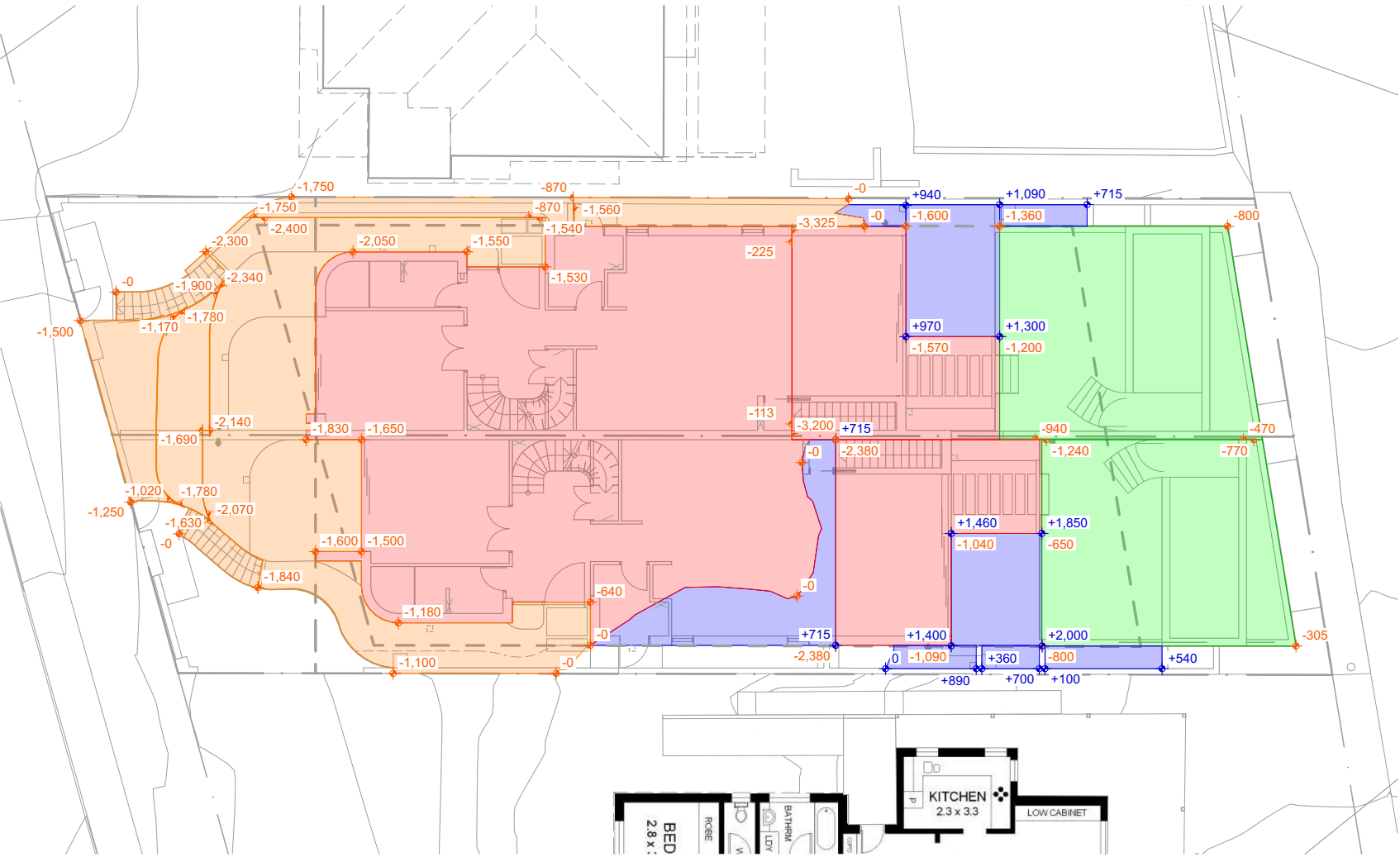


REV			INIT.	DATE	REVISION DETAILS		GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:			
DA01			JD	17/10/2024	DEVELOPMENT APPLICATION		1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		LEGEND -- TO BE DEMOLISHED		AL ALUMINIUM LB LETTER BOX S BASIN LD LINEAR DRAIN MD METAL DECK CKT COOK TOP CT CERAMIC TILE PVC POWDER COATED DRYER PV PHOTO VOLTAGE DB ELEC BOARD RP RENDER + PAINT DP DOWN PIPE FC FIBRE CEMENT ST STONE GM GAS MAIN T TIMBER KS KITCHEN SINK WM WASH MACHINE		EXISTING BUILDING CONCRETE CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE		CONCRETE BLOCK / BRICK RENDER STONE / PAVING PHOTO VOLTAGE TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES		ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT: 35 RICHARDS LANE SURRY HILLS SYDNEY / NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>Nominated Architect Bridin Meyerson MHNDU Design Union Pty Ltd. ABN 94 003 717 682 NSW Registration Number 4907</small>		DRAWING TITLE: LANDSCAPED AREA CALCULATIONS PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		PROJECT NUMBER: 24-091 ISSUE DATE: 17/10/2024 SCALE: 1:200 @ A3		DWG NUMBER: DA9100 REVISION: DA01 CHECKED: AEH	

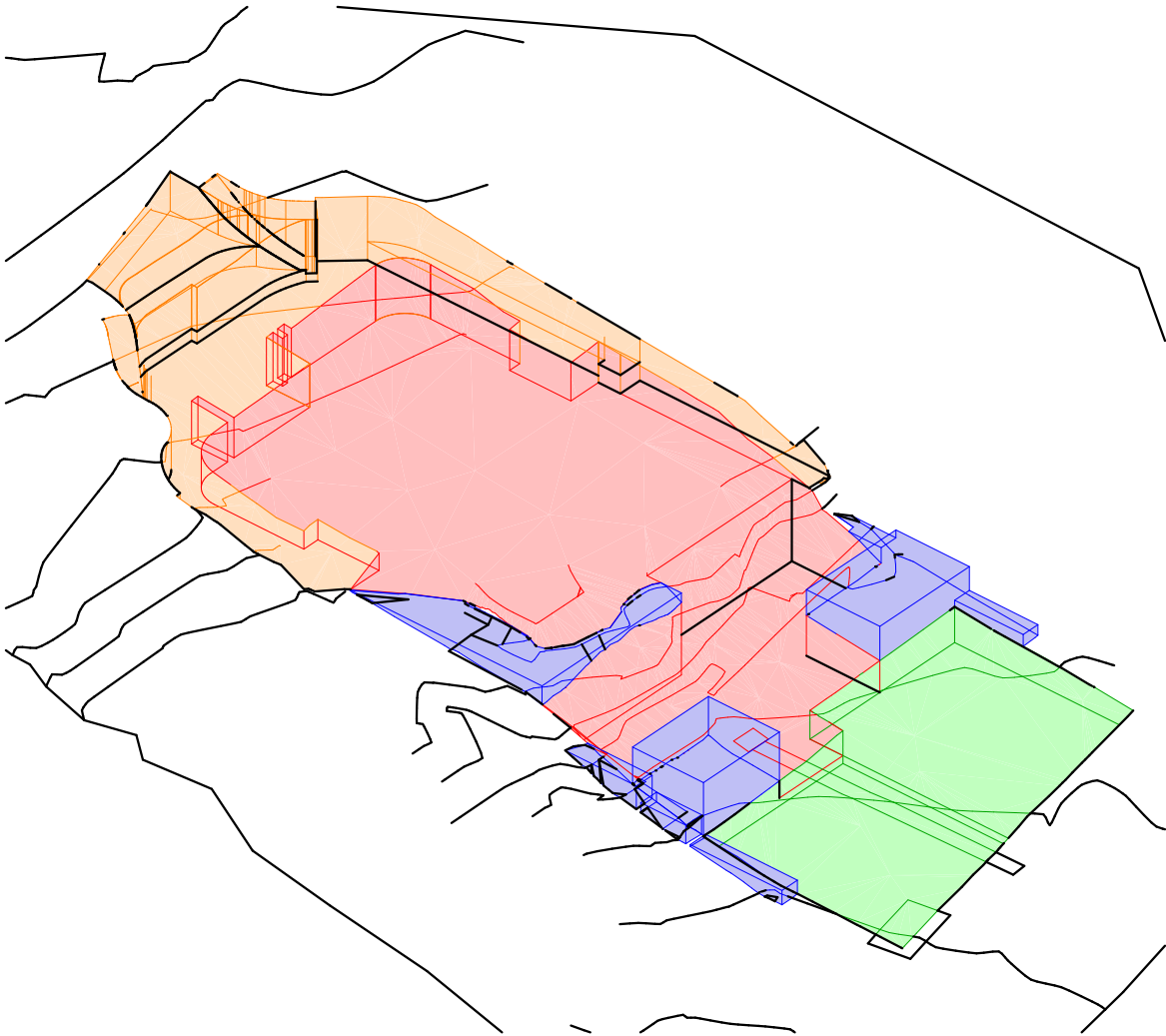
REF: BMS000-100-26 - BMS000-Basic for ArchiCAD 2024-091-38 Undercliff Road Freshwater, DA

EXCAVATION / OR FILL CALCULATIONS

PURPOSE	VOLUME
EXCAVATION - BUILDING	302.67m ³
EXCAVATION - PARKING	82.80m ³
EXCAVATION - LANDSCAPE	169.14m ³
FILL - ALL	39.10m ³



1 EXCAVATION / OR FILL PLAN



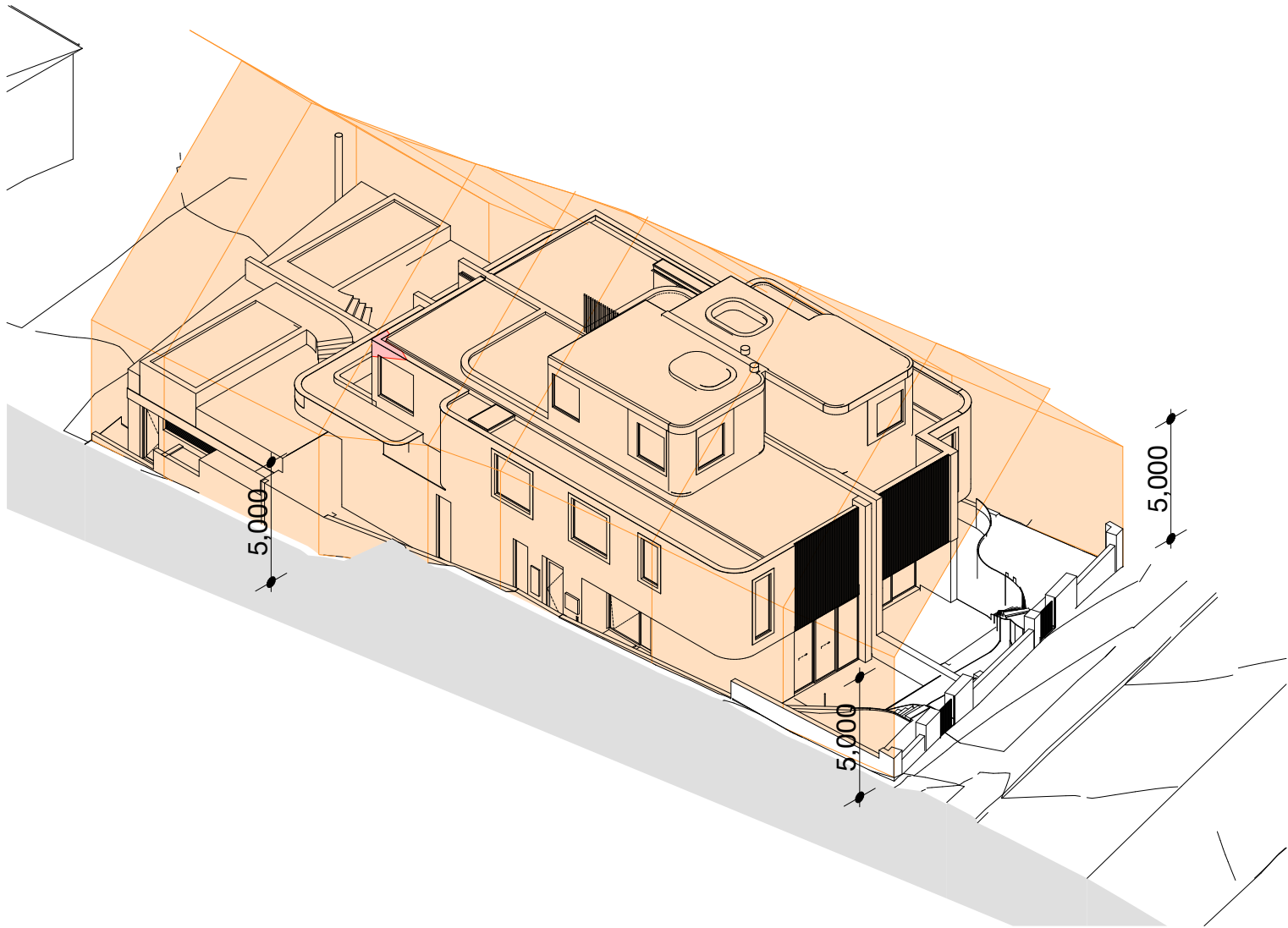
2 EXCAVATION / OR FILL DIAGRAM

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	LEGEND --- TO BE DEMOLISHED AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLT RP RENDER + PAINT RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE	CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES	ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS	35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com MHNDU Design Union Pty Ltd. ABN 94 003 717 682	38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	24-091 17/10/2024 SCALE: 1:200 @ A3	DA9101 REVISION: DA01 DRAWN BY: JD CHECKED: AEH

ENVELOPE

B3 Side Boundary Envelope

1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of **5 metres**



1

This isometric architectural drawing illustrates a multi-story building with a complex, stepped roofline and various terraces. The building is rendered in a light tan color with black outlines for structural elements and windows. A prominent feature is the orange grid overlay, which consists of a series of parallel lines extending across the building's footprint. Three vertical dimension lines, each labeled '5,000', indicate the spacing between the grid lines, suggesting a modular or grid-based construction system. The building's facade includes several large windows and doors, some of which are highlighted with pink and purple shading. The overall composition is a perspective view from an elevated angle, showing the building's relationship to its surrounding environment, which includes a grey ground plane and some distant structural elements.

2

PLANNING DIAGRAM - BUILDING ENVELOPE- EAST

REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		BASIC COMMITMENTS (ALL OTHER BASIC COMMITMENTS AS PER BASIC CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	<div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</div> <div>4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED</div> <div>7. MHNDU TO REVIEW ALL CONTRACTS DETAIL DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div>		<div>LEGEND</div> <div>--- TO BE DEMOLISHED</div> <div>AL ALUMINIUM</div> <div>B BASIN</div> <div>BW BRICK WORK</div> <div>CKT COOK TOP</div> <div>CT CERAMIC TILE</div> <div>CT DRYER</div> <div>DB ELEC BOARD</div> <div>DP DOWN PIPE</div> <div>FC FIBRE CEMENT ST</div> <div>GM GAS MAIN</div> <div>KS KITCHEN SINK</div> <div>LB LETTER BOX</div> <div>LD LINEAR DRAIN</div> <div>MI METAL DECK</div> <div>OF OVERFLOW</div> <div>PIC POWDER COATED</div> <div>PH PHOTO VOLTAGE</div> <div>RP RENDER + PAINT</div> <div>RT RASTER HEAD</div> <div>STONE</div> <div>TIMBER</div> <div>WASH MACHINE</div> <div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>MASONRY</div> <div>FRAMING</div> <div>GROUND</div> <div>GRAVEL / LOOSE FILL</div> <div>INSULATION</div> <div>STONE</div> <div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>SOFT LANDSCAPING</div> <div>GRAVEL / PEBBLES</div>		<div>35 RICHARDS LANE SURREY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com</div> <div>Nominated Architect Sydney Metropolitan NSW Registration Number: 4907</div>		<div>DRAWING TITLE:</div> <div>ENVELOPE DIAGRAMS</div> <div>PROJECT ADDRESS:</div> <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div>		<div>PROJECT NUMBER:</div> <div>24-091</div> <div>ISSUE DATE:</div> <div>17/10/2024</div> <div>SCALE:</div> <div>NTS @ A3</div>		<div>DWG NUMBER:</div> <div>DA9300</div> <div>REVISION:</div> <div>DA01</div> <div>CHECKED:</div> <div>AEH</div>			

REF: BIMcloud: bcb-26 - BIMcloud Basic for ArchiCAD 26(4-091). 38 Undercliff Road Freshwater, DA

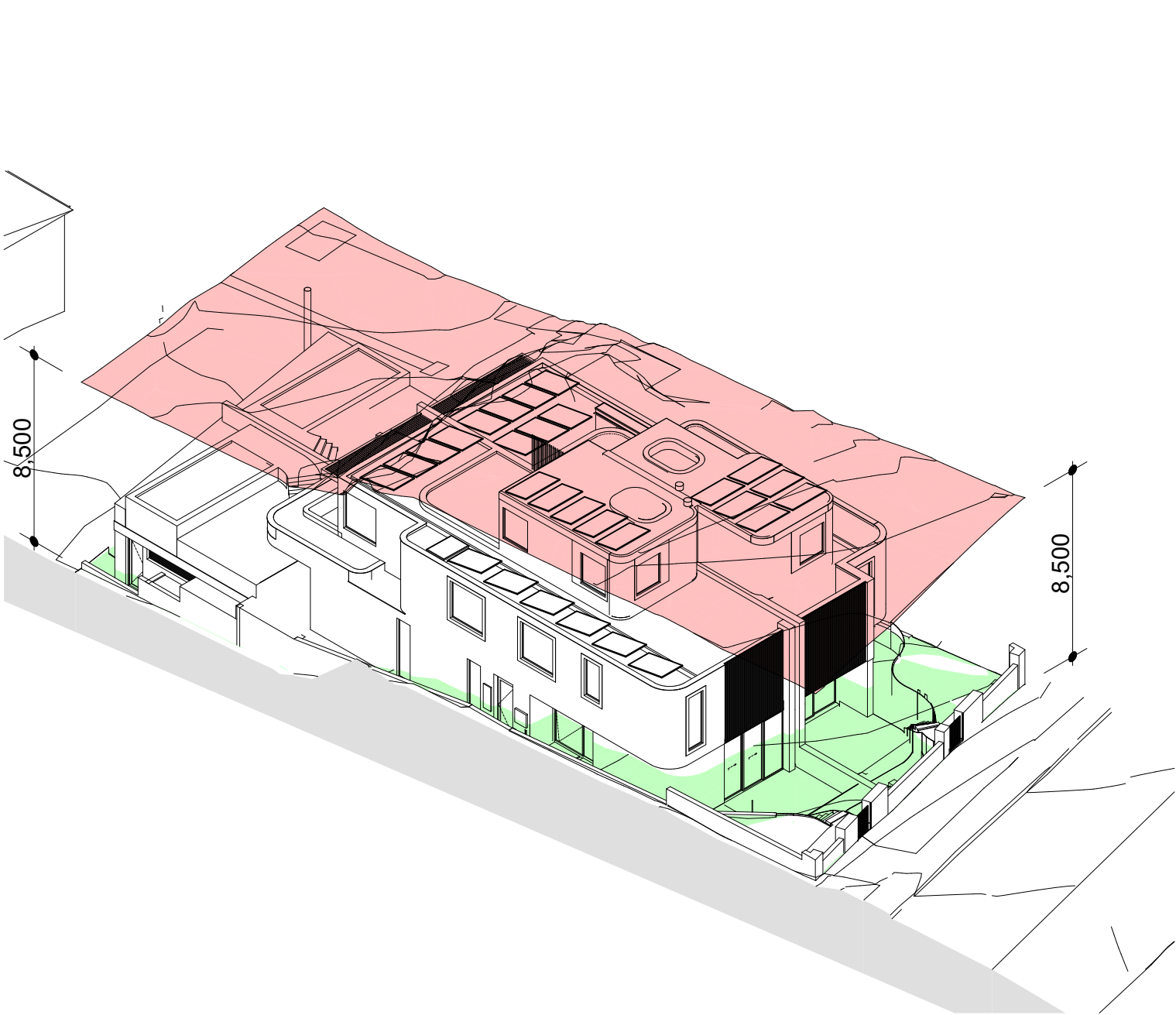
MAXIMUM BUILDING HEIGHT DIAGRAMS

MAXIMUM BUILDING HEIGHT

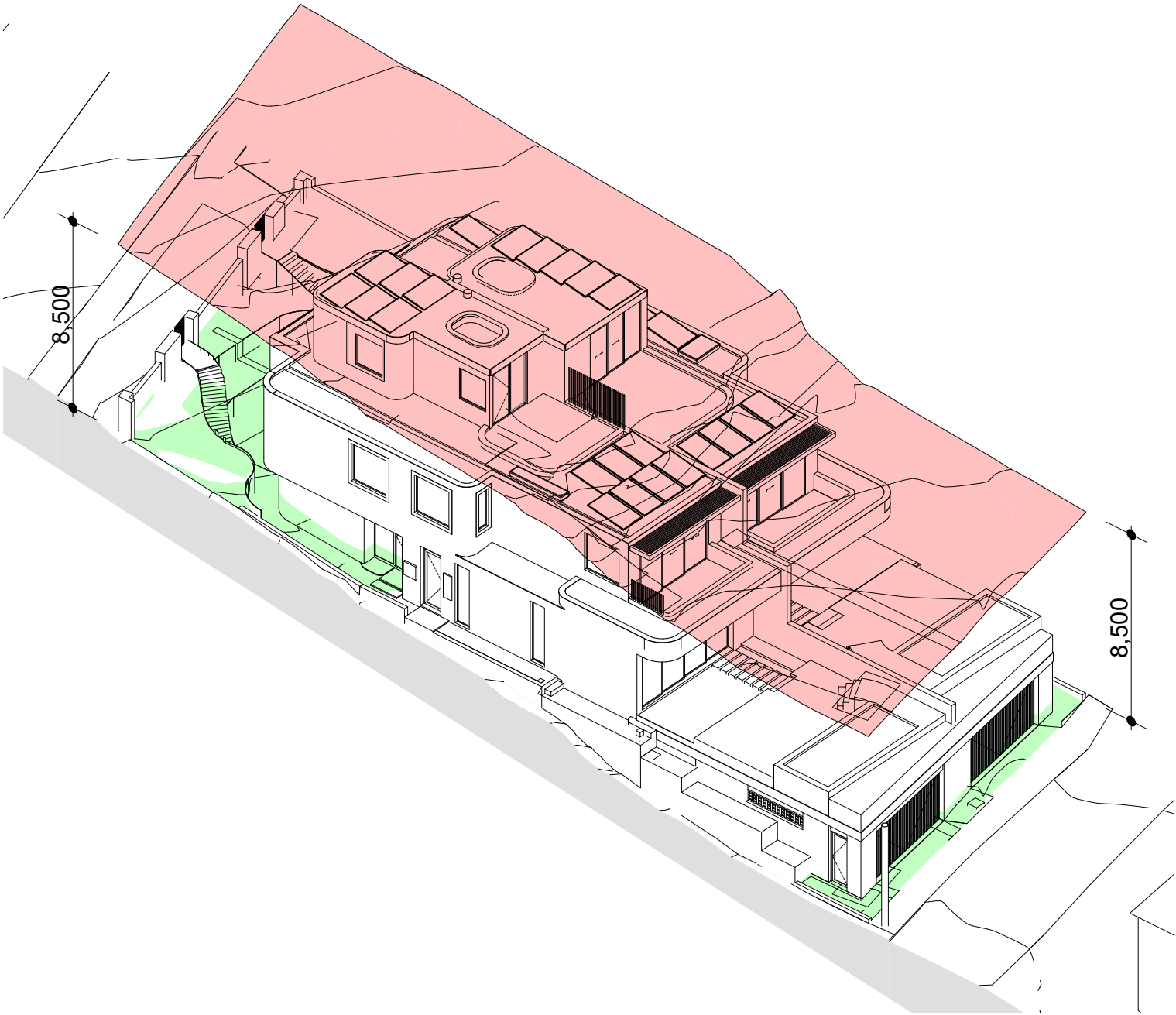
R2 CONTROL - 8.5m

MAXIMUM BUILDING HEIGHT PLANE

EXISTING GROUND PLANE



1 PLANNING DIAGRAM - MAXIMUM BUILDING HEIGHT - WEST

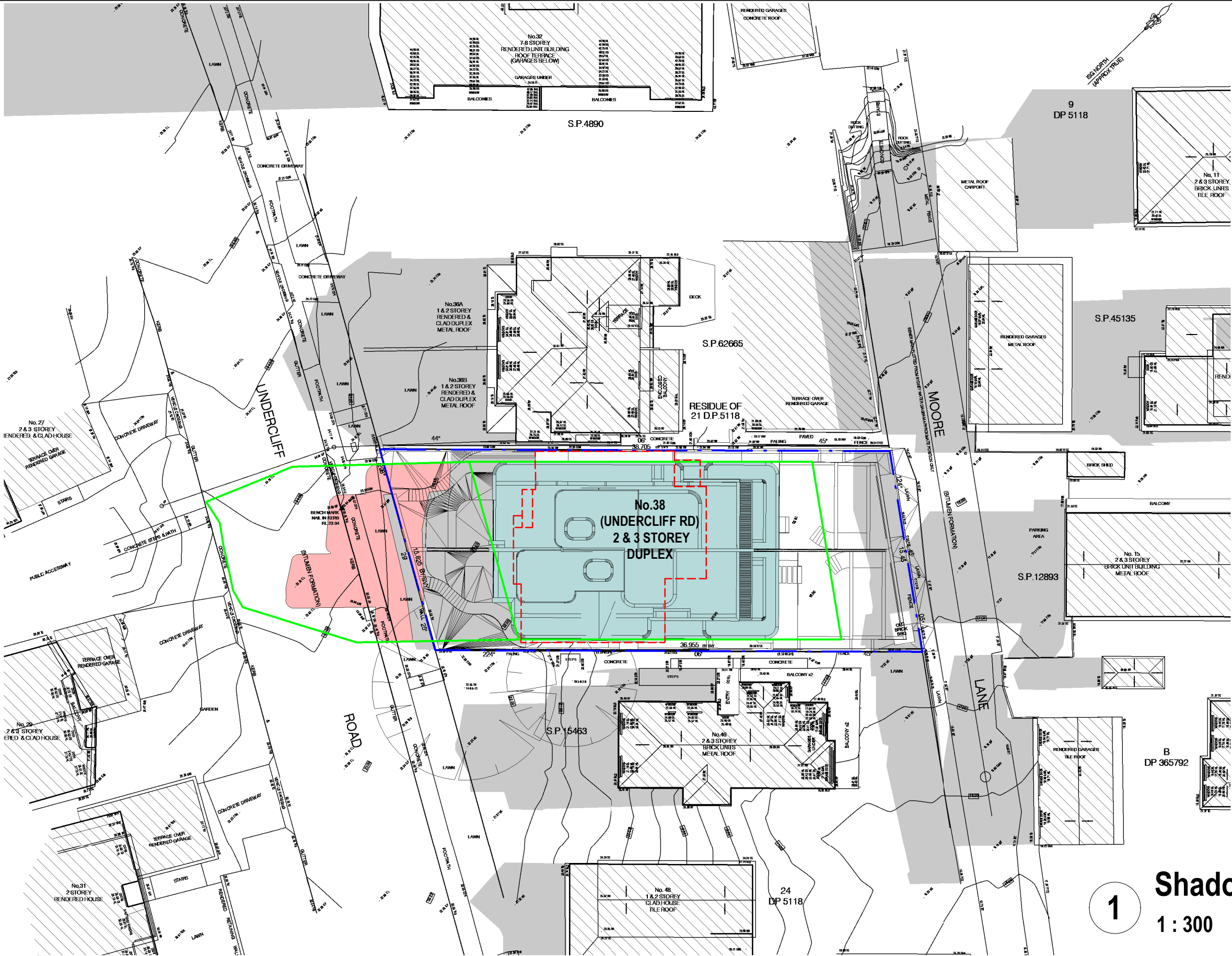


2 PLANNING DIAGRAM - MAXIMUM BUILDING HEIGHT - EAST

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTOR'S DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		LEGEND -- -- TO BE DEMOLISHED AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE CT DRYER DB ELEC BOARD RP RENDER + PAINT DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PV PHOTO VOLTAGE T TIMBER RWI RAINWATER HEAD ST STONE WM WASH MACHINE		■ EXISTING BUILDING ■ CONCRETE ■ MASONRY ■ FRAMING ■ GROUND ■ GRAVEL / LOOSE FILL ■ INSULATION ■ STONE		■ CONCRETE ■ BLOCK / BRICK ■ RENDER ■ STONE / PAVING ■ TIMBER ■ GLAZING ■ SOFT LANDSCAPING ■ GRAVEL / PEBBLES		35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>MHNDU Design Union Pty Ltd. ABN 94 003 717 682</small>		Nominated Architect Bridn Meyerson NSW Registration Number 4907		MAXIMUM BUILDING HEIGHT DIAGRAMS PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		17/10/2024 SCALE: NTS @ A3 DRAWN BY: JD CHECKED: AEH		24-091 DA9301 DA01	
REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA																					



REV				INIT.				DATE				REVISION DETAILS				GENERAL NOTES												DA LEGEND												MATERIAL CUT												MATERIAL SURFACE												BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)												ARCHITECT:												DRAWING TITLE:												PROJECT NUMBER:												DWG 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ABN 94 003 717 682</small>												Nominated Architect Bridn Meyerson NSW Registration Number 4907												DRAWING TITLE: ARTISTIC IMPRESSION PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118												PROJECT NUMBER: 24-091 ISSUE DATE: 17/10/2024 SCALE: NTS @ A3												REVISION: DA01 CHECKED: 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LEGEND:

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
- DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW EXCEEDING COMPLYING ENVELOPE
- DENOTES AREA OF PROPOSED REDUCTION OF BUILDING SHADOW (STRUCTURES TO BE DEMOLISHED)
- DENOTES OUTLINE & SHADOW OF COMPLYING ENVELOPE (CALC. FROM SETBACKS, BUILDING HEIGHT LIMIT & WALL HEIGHT LIMIT)

NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY CMS SURVEYORS REF NO. 14689C DATED 4/10/24 & PLANS & MODELS SUPPLIED BY MHNDU REV. PRO1 DATED 4-10-24

1 Shadowing June 21st 9.00am
1 : 300

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919
info@caddraftnsw.com.au

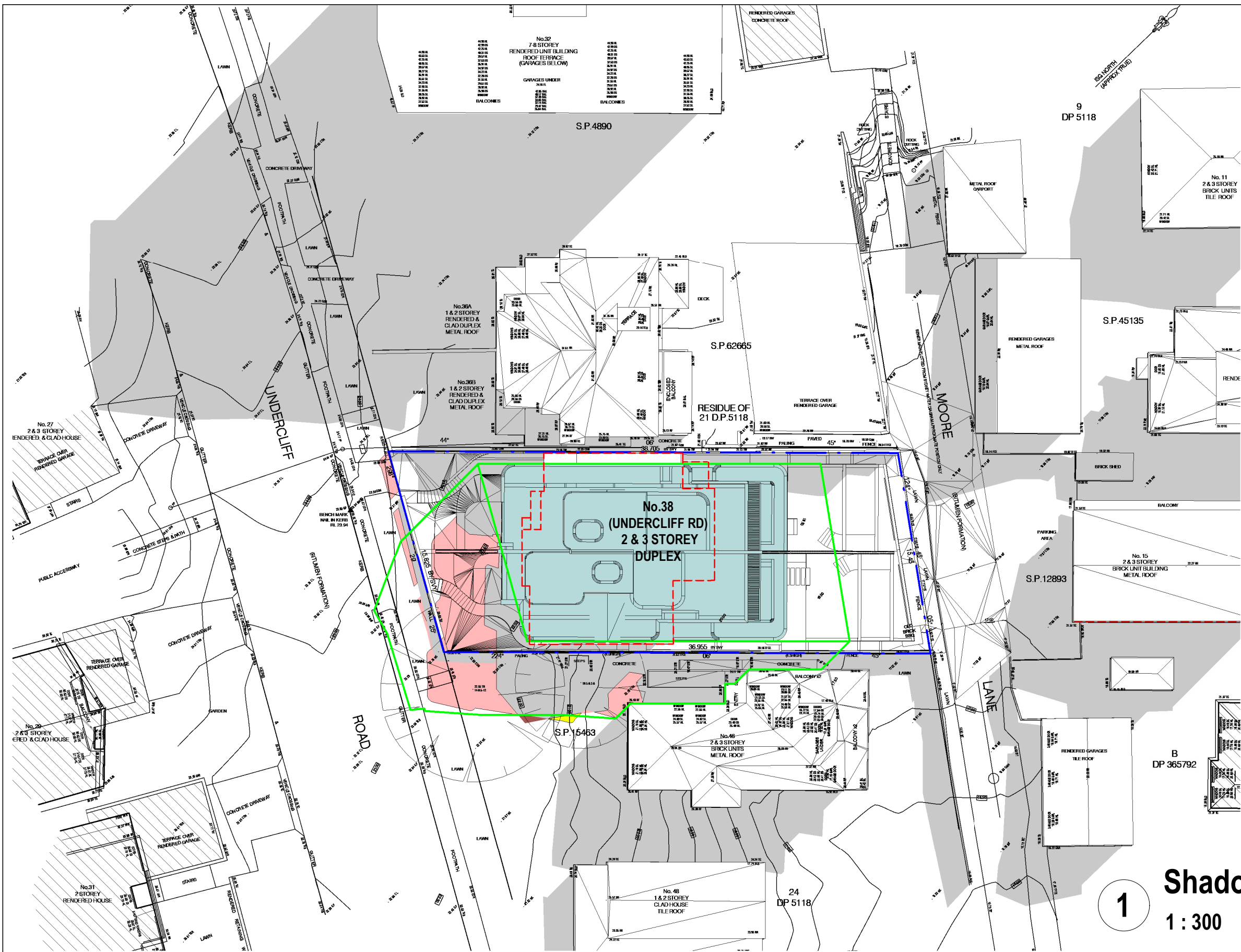
No.	Description	Date
A	DA SUBMISSION	14-10-24

SHADOW DIAGRAMS
No.38 UNDERCLIFF RD,
FRESHWATER

CLIENT: ED EVE

Shadowing June 21st 9.00am

Project number	24-254	A100
Date	14-10-2024	
Drawn by	KP	
Checked by	JD	
Scale		1 : 300



- LEGEND:**
- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
 - DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
 - DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
 - DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW
 - DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW EXCEEDING COMPLYING ENVELOPE
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NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY CMS SURVEYORS REF NO. 14689C DATED 4/10/24 & PLANS & MODELS SUPPLIED BY MHNDU REV. PRO1 DATED 4-10-24

1 **Shadowing June 21st 12.00pm**
1 : 300

Cad Draft P/L

ABN 27 083 288 153

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LILYFIELD, NSW
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date
A	DA SUBMISSION	14-10-24

SHADOW DIAGRAMS
No.38 UNDERCLIFF RD,
FRESHWATER

CLIENT: ED EVE

Shadowing June 21st 12.00pm

Project number	24-254	A101
Date	14-10-2024	
Drawn by	KP	
Checked by	JD	Scale
		1 : 300



LEGEND:

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
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NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY CMS SURVEYORS REF NO. 14689C DATED 4/10/24 & PLANS & MODELS SUPPLIED BY MHNDU REV. PRO1 DATED 4-10-24

Shadowing June 21st 3.00pm
1 : 300

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

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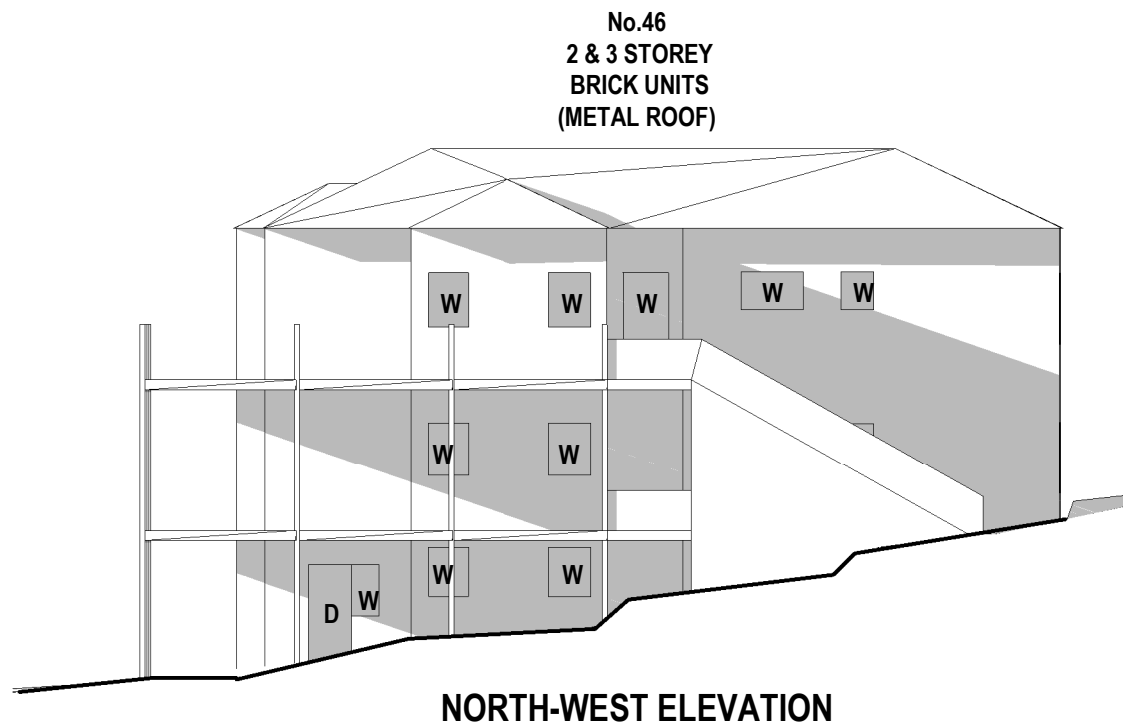
No.	Description	Date
A	DA SUBMISSION	14-10-24

SHADOW DIAGRAMS
No.38 UNDERCLIFF RD,
FRESHWATER

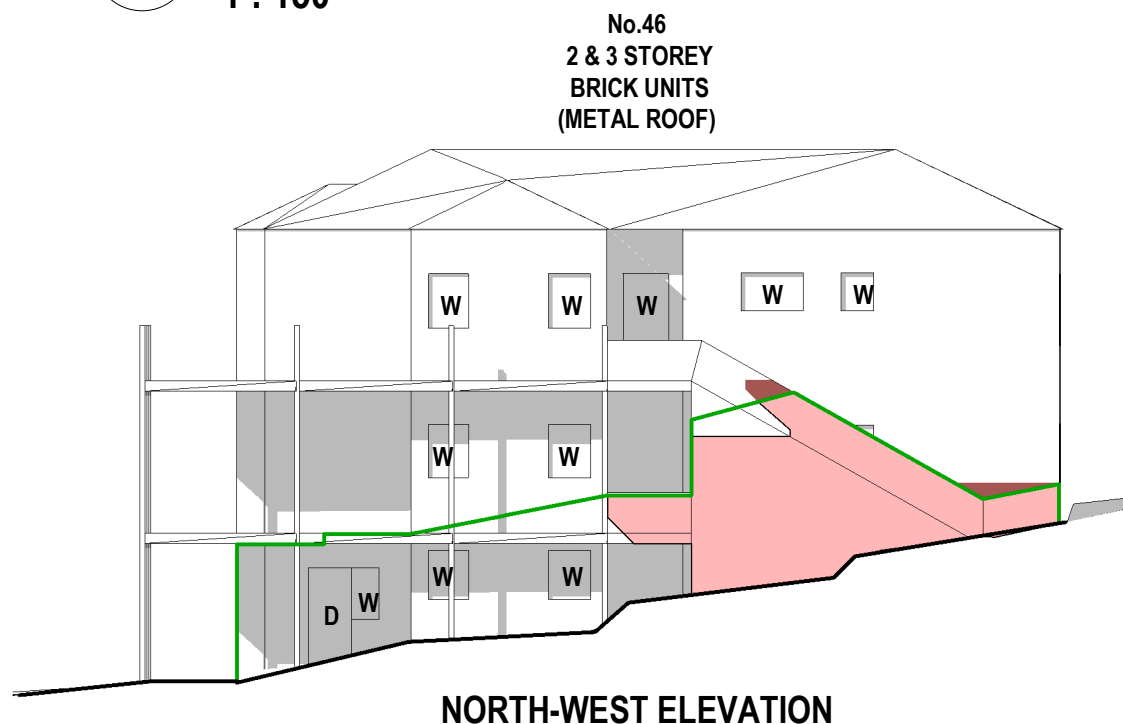
CLIENT: ED EVE

Shadowing June 21st 3.00pm

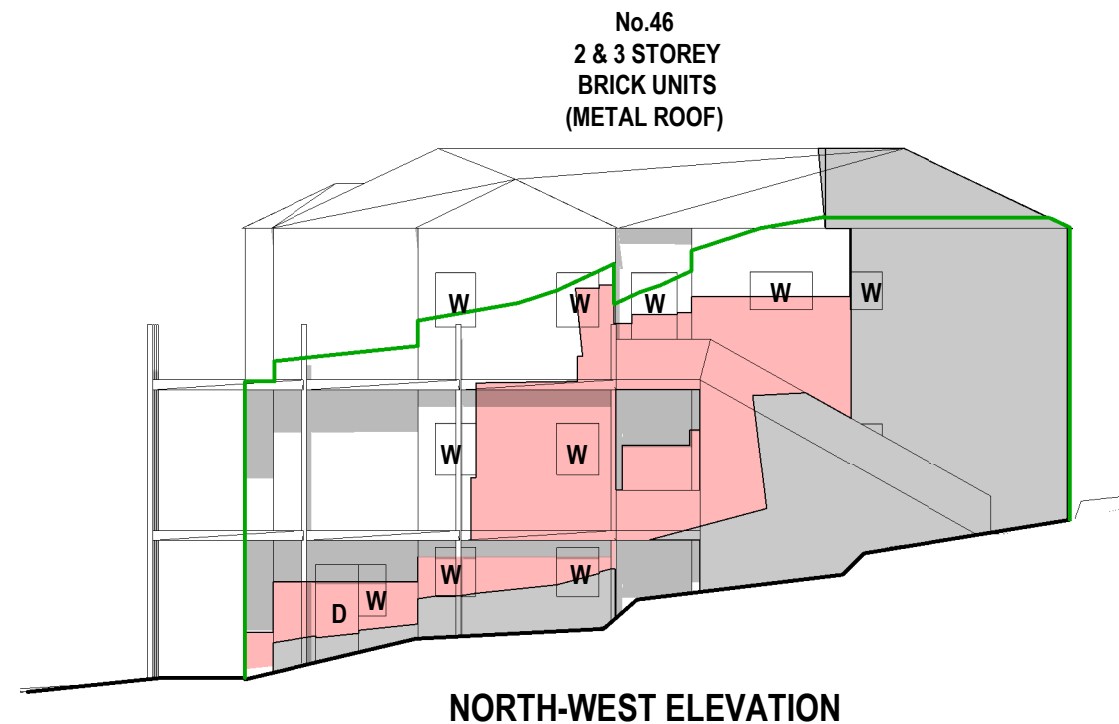
Project number	24-254	A102
Date	14-10-2024	
Drawn by	KP	
Checked by	JD	Scale
		1 : 300



1 June 21st 9.00am
1 : 150



2 June 21st 12.00pm
1 : 150



3 June 21st 3.00pm
1 : 150

LEGEND:

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
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NOTE:

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SHADOW ANALYSIS CONSULTANTS
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No.	Description	Date
A	DA SUBMISSION	14-10-24

SHADOW DIAGRAMS
No.38 UNDERCLIFF RD,
FRESHWATER

CLIENT: ED EVE

June 21st - Elevational Shadows

Project number	24-254	A103	
Date	14-10-2024		
Drawn by	KP		
Checked by	JD	Scale	As indicated