Rapíd Plans www.rapídplans.com.au P.O. Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobíle: 0414-945-024 Emaíl: gregg@rapídplans.com.au



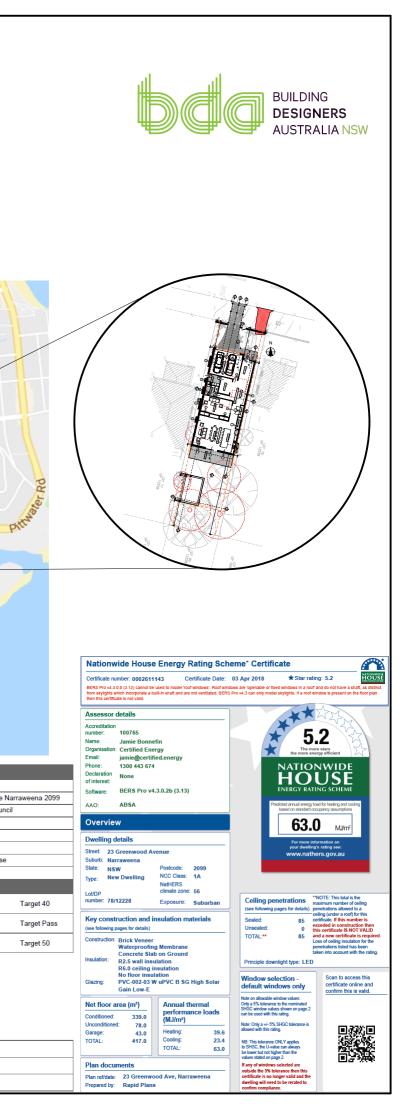
<u>New Dwelling</u>

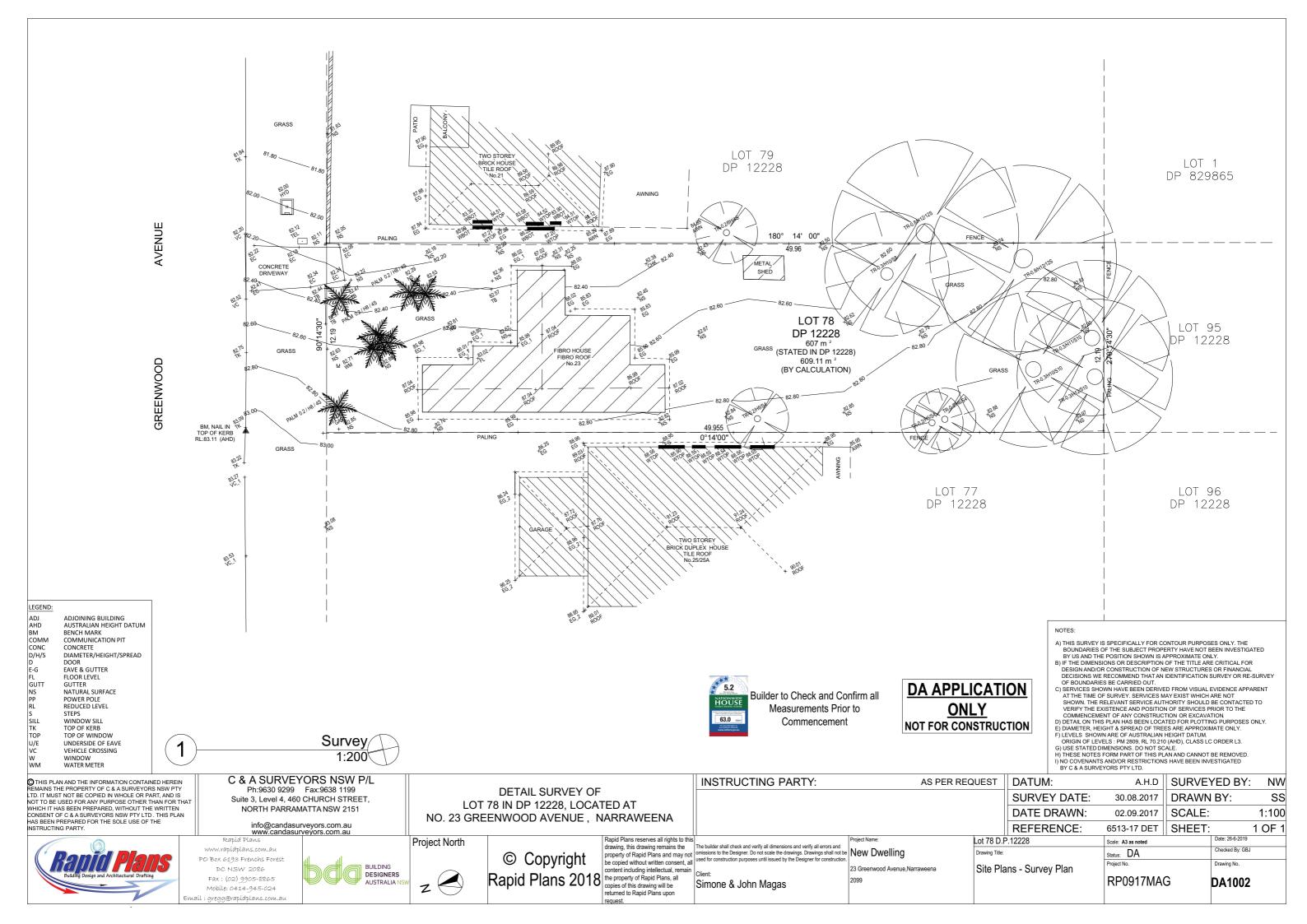
For Simone & John Magas

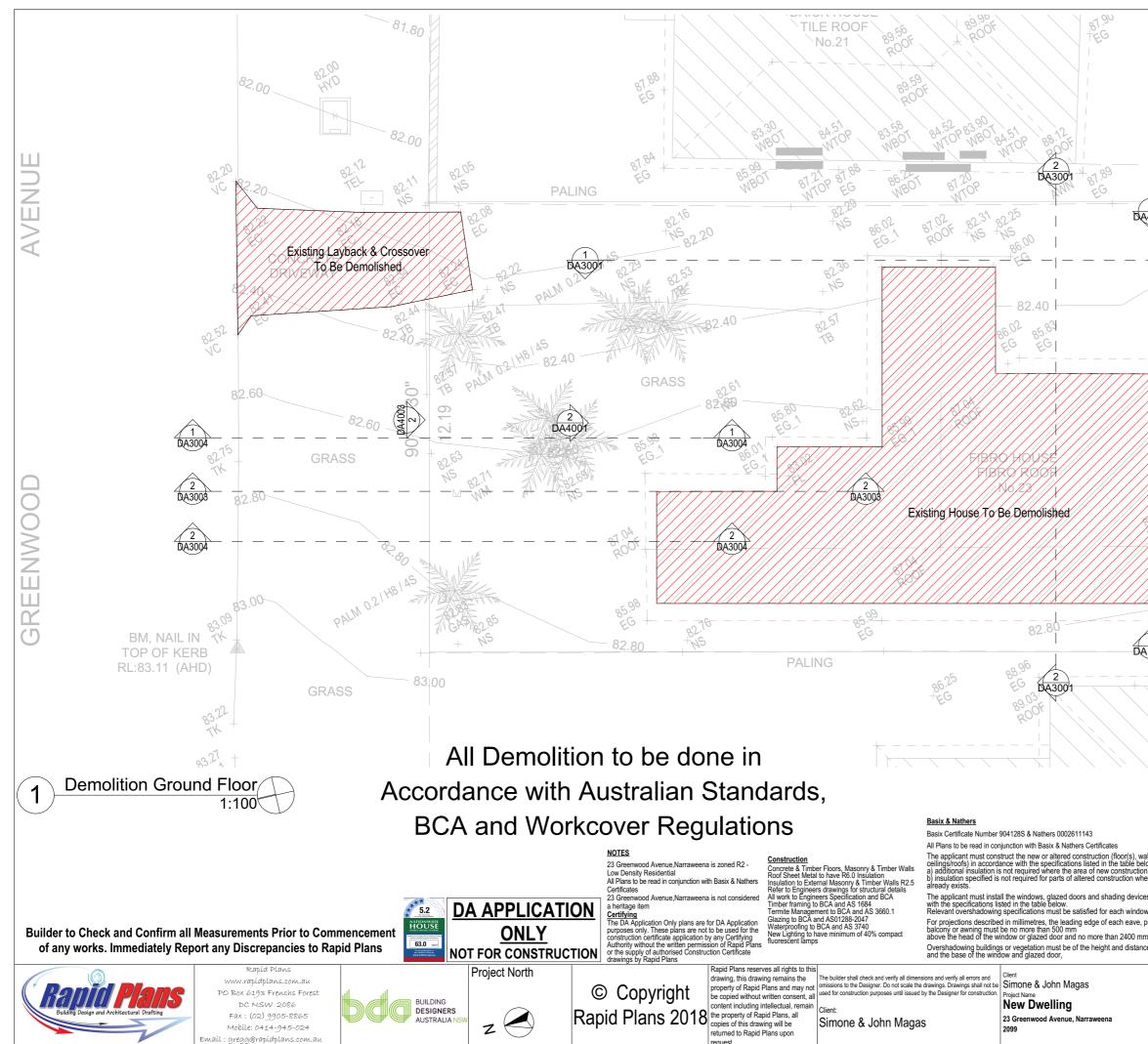
23 Greenwood Avenue, Narraweena

Lot 78 D.P.12228

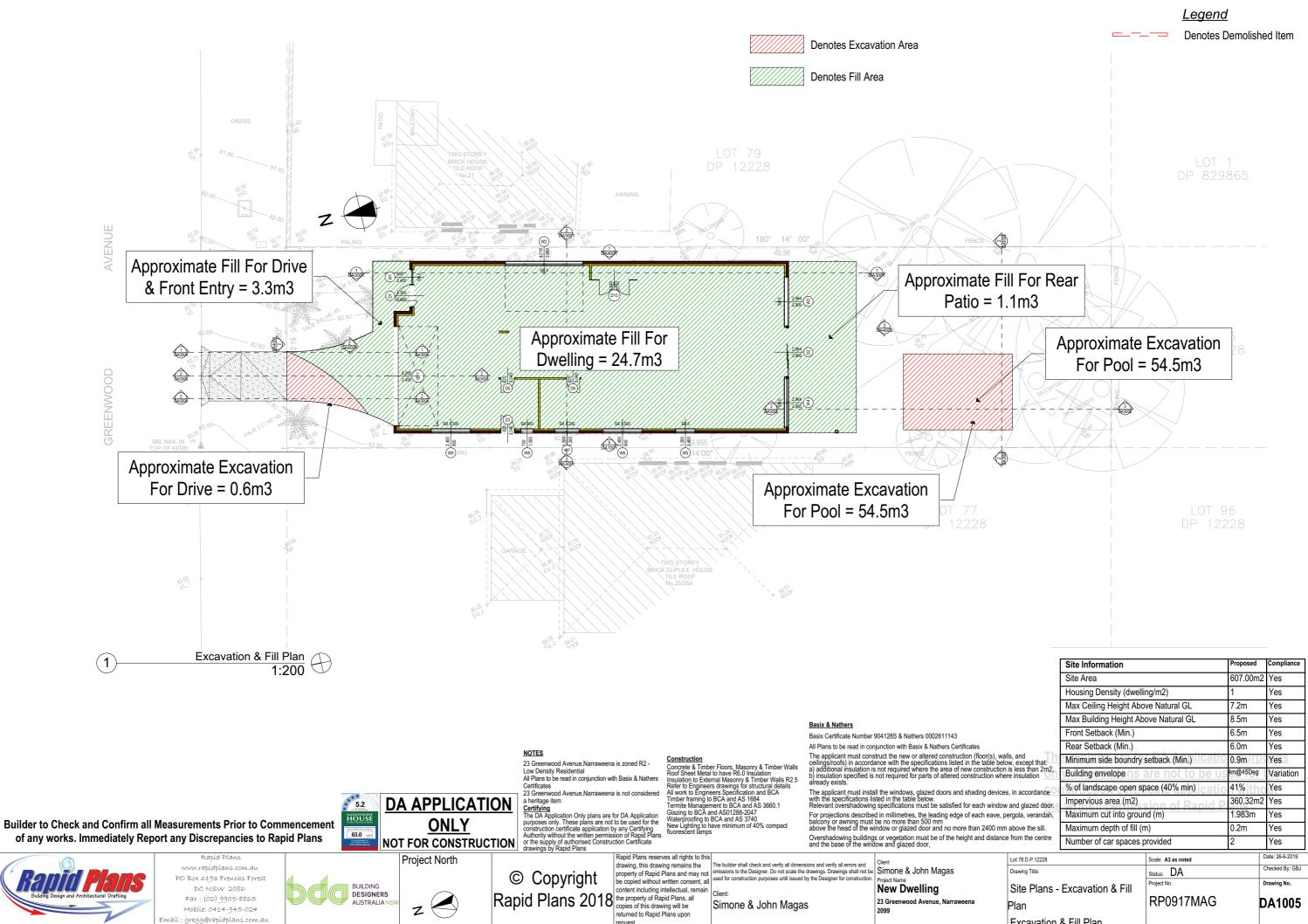
Drawing No:	Description	Issue/Revision	Date	Project Number: RP0917MAG
	Cover Sheet		26-6-2019	
DA1001	A4 Notification Plan		26-6-2019	Cromer
DA1002	Survey Plan		26-6-2019	
DA1003	Site Plan		26-6-2019	
DA1004	Demolition Ground Floor Plan		26-6-2019	
DA1005	Excavation & Fill Plan		26-6-2019	23 Greenwood Avenue
DA1006	Landscape Open Space Plan	\sim	26-6-2019	
DA1007	Landscape Plan		26-6-2019	Narraweena
DA1008	Sediment & Erosion Control Plan		26-6-2019	
DA1009	Waste Management Plan		26-6-2019	McIntosh Rd McIntosh Rd
DA1010	Stormwater Plan		26-6-2019	
DA2001	Ground Floor Plan	Beacon Hill	26-6-2019	Howard Ave
DA2001	First Floor Plan		26-6-2019	Dee Why Beach O
DA2002	Roof Plan		26-6-2019	Dée Why
			26-6-2019	
DA3001	Section 1		\sim	BASIX Certificate Project summary
DA3002	Section Pool		26-6-2019	Building Sustainability Index www.basix.nsw.gov.au Project name Magas Street address 23 Greenwood Avenue
DA3003	Section Drive 1		26-6-2019	Single Dwelling Local Government Area Northern Beaches Cou
DA3004	Section Drive 2		26-6-2019	Certificate number: 904128S Plan type and plan number deposited 12228
DA4001	Elevations 1		26-6-2019	Lot no. 78 Section no
				This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the
DA4002	Elevations 2		26-6-2019	commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated Project score
DA4003	Elevation Front Fence		26-6-2019	06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au Water 40
DA5001	Perspective		26-6-2019	Secretary Thermal Comfort V Pass
DA5002	Material & Colour Sample Board		26-6-2019	Date of issue: Wednesday, 26 June 2019 To be valid, this certificate must be lodged within 3 months of the date of issue.
DA5003	June 21st Shadow - 9am		26-6-2019	Planning &
DA5004	June 21st Shadow - 12pm		26-6-2019	- NSW Planning & Environment
DA5005	June 21st Shadow - 3pm		26-6-2019	
DA5006	Wall Elevation Shadow No.21		26-6-2019	
DA5007	Wall Elevation Shadow No.25/25A		26-6-2019	Certificate Prepared by
			26-6-2010	Name / Company Name: Rapid Plans
DA5008	Basix Certificate		26-6-2019	ABN (if applicable): 43150064592



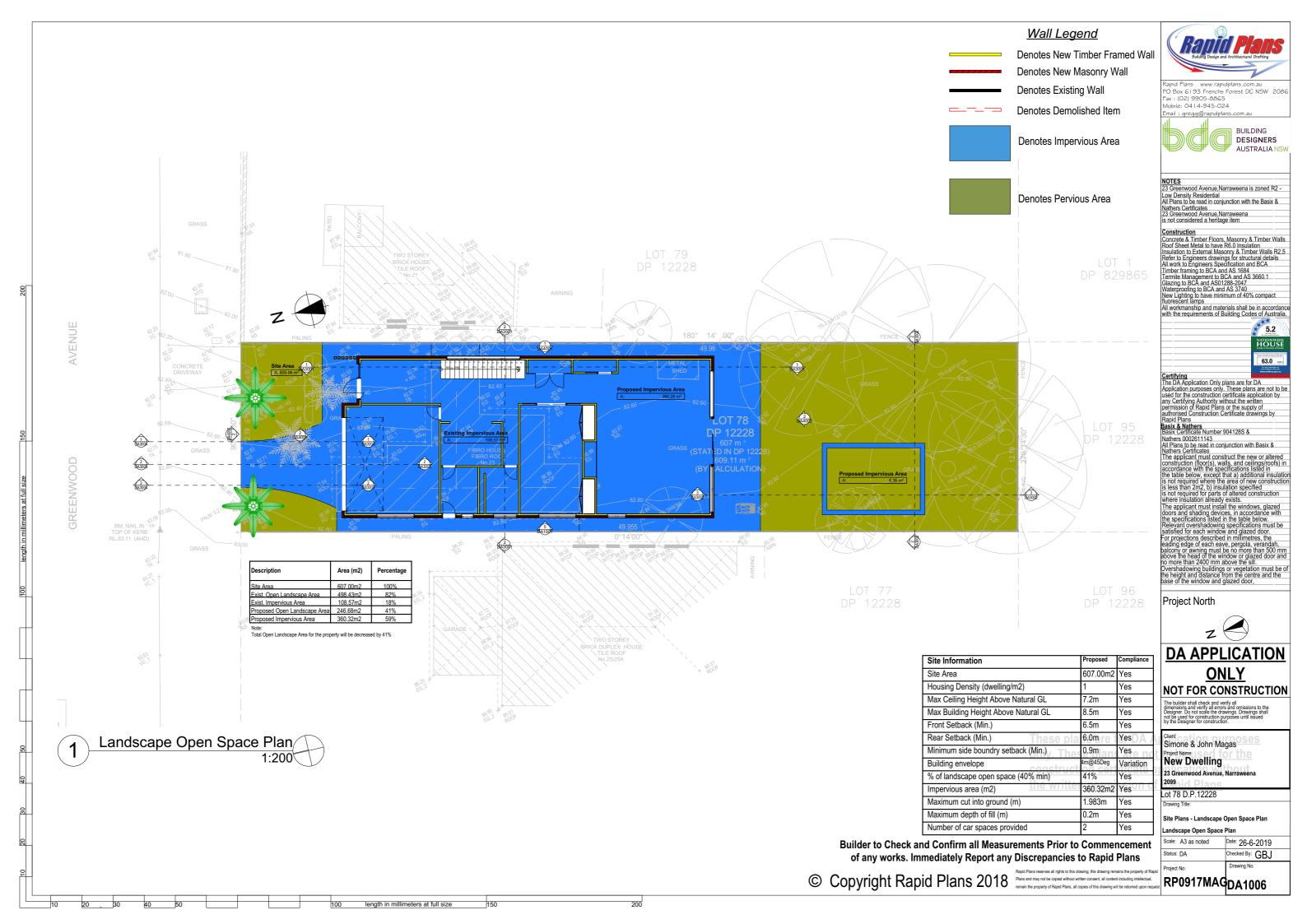


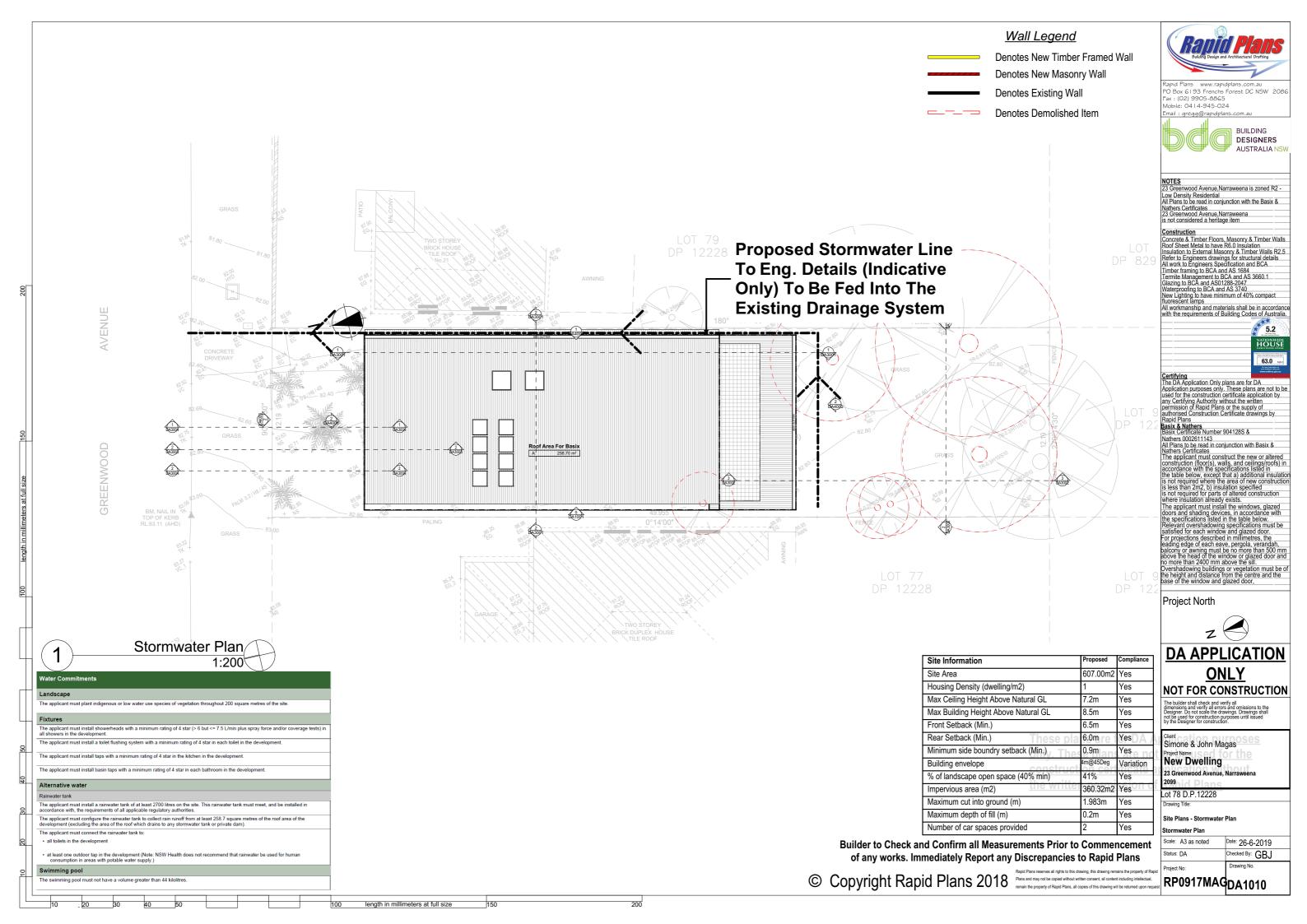


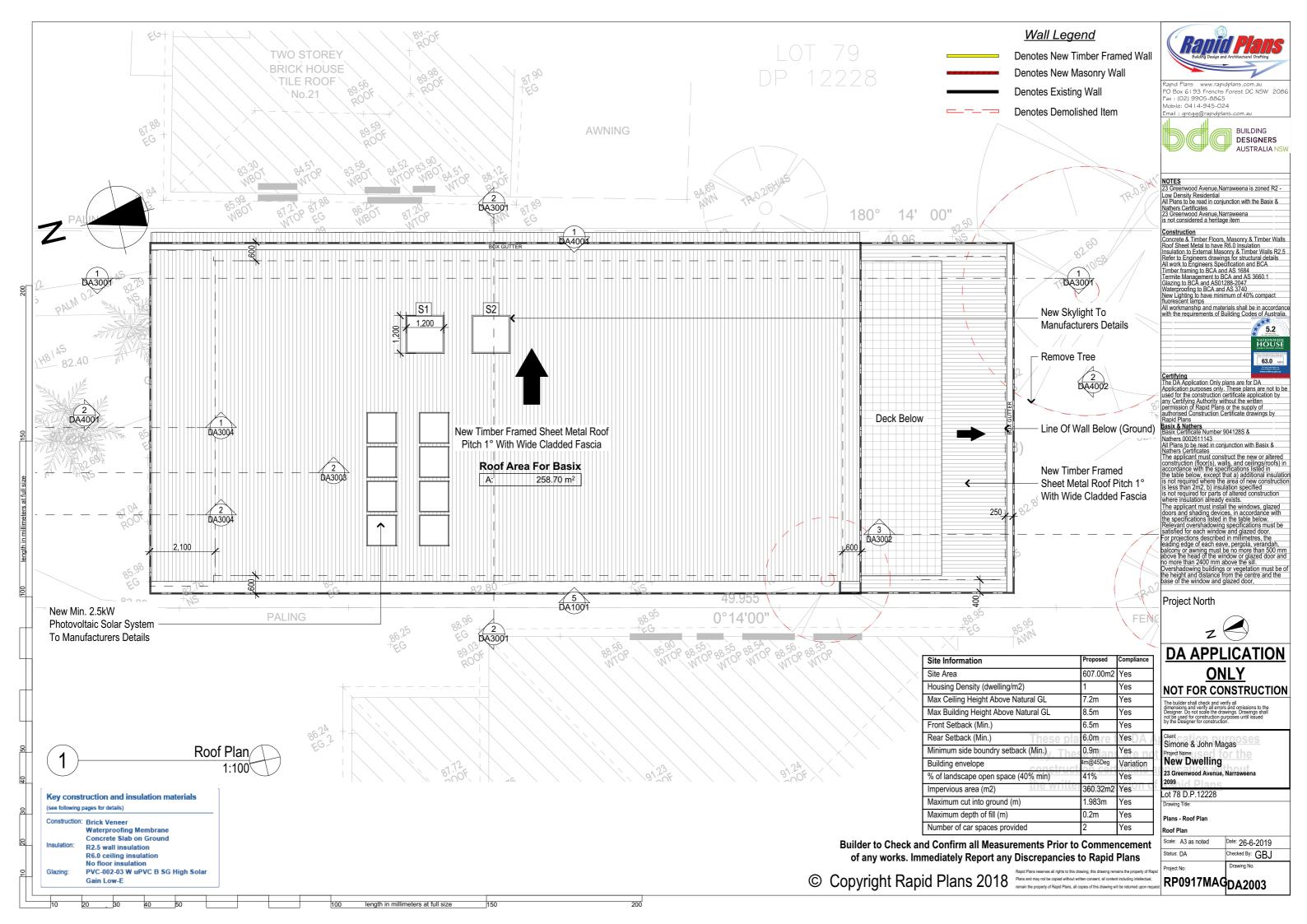
		Legend	<u>d</u>	
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NTC NTC	JP 83 TOP 80.	OP 88. OP STOP	80.70P 8	NTOP /
	Site Information		Proposed 607.00m	Compliance 2 Yes
			1007.00m	2 Yes Yes
	Site Area Housing Density (dwelli	ing/m2)	1	res
	Site Area Housing Density (dwelli Max Ceiling Height Abo	ve Natural GL	7.2m	Yes
	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab	ve Natural GL	7.2m 8.5m	Yes Yes
	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.)	ve Natural GL	7.2m 8.5m 6.5m	Yes Yes Yes
and event that	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.)	ove Natural GL	7.2m 8.5m	Yes Yes
less than 2m2,	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.)	ove Natural GL	7.2m 8.5m 6.5m 6.0m	Yes Yes Yes Yes
less than 2m2, insulation	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry	ve Natural GL ove Natural GL setback (Min.)	7.2m 8.5m 6.5m 6.0m 0.9m	Yes Yes Yes Yes Yes
less than 2m2, insulation	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2)	ve Natural GL ove Natural GL setback (Min.)	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m	Yes Yes Yes Yes Yes Variation Yes 2 Yes
less than 2m2, insulation in accordance nd glazed door. gola, verandah,	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2) Maximum cut into grour	ve Natural GL ove Natural GL setback (Min.) pace (40% min) nd (m)	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m 1.983m	Yes Yes Yes Yes Yes Variation Yes 2 Yes Yes
less than 2m2, insulation in accordance nd glazed door, gola, verandah, bove the sill.	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2) Maximum cut into grour Maximum depth of fill (r	ve Natural GL ove Natural GL setback (Min.) pace (40% min) nd (m) n)	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m 1.983m 0.2m	Yes Yes Yes Yes Yes Variation Yes 2 Yes Yes Yes
less than 2m2, insulation in accordance diglazed door, gola, verandah, bove the sill. rom the centre	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2) Maximum cut into grour	ve Natural GL ove Natural GL setback (Min.) are not to be u bace (40% min) and (m) m) provided	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m 1.983m	Yes Yes Yes Yes Yes Variation Yes 2 Yes Yes
less than 2m2, insulation in accordance gola, verandah, bove the sill. rom the centre	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2) Maximum cut into grour Maximum depth of fill (r	ve Natural GL ove Natural GL setback (Min.) pace (40% min) nd (m) n)	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m 1.983m 0.2m	Yes Yes Yes Yes Yes Variation Yes Yes Yes Yes Yes
less than 2m2, insulation in accordance diglazed door, gola, verandah, bove the sill. rrom the centre ot 78 D.P. 12228 trawing Title:	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2) Maximum cut into grour Maximum depth of fill (r	ve Natural GL ove Natural GL setback (Min.) Dace (40% min) m) provided Scale: A3 as noted Status: DA Project No.	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m 1.983m 0.2m	Yes Yes Yes Yes Yes Variation Yes Yes Yes Yes Yes Date: 26-6-2019
and except that: less than 2m2, insulation in accordance gola, verandah, bove the sill. rom the centre at 78 D.P.12228 Drawing Title: Site Plans - Cloor Plan	Site Area Housing Density (dwelli Max Ceiling Height Abo Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open sp Impervious area (m2) Maximum cut into grour Maximum depth of fill (n Number of car spaces p	ve Natural GL ove Natural GL setback (Min.) are not to be u bace (40% min) are not to be u bace (40% min) m) porovided Scale: A3 as noted Status: DA	7.2m 8.5m 6.5m 6.0m 0.9m 4m@45Deg 41% 360.32m 1.983m 0.2m 2	Yes Yes Yes Yes Yes Variation Yes Yes Yes Yes Yes Date: 26-6-2019 Checked By: GBJ

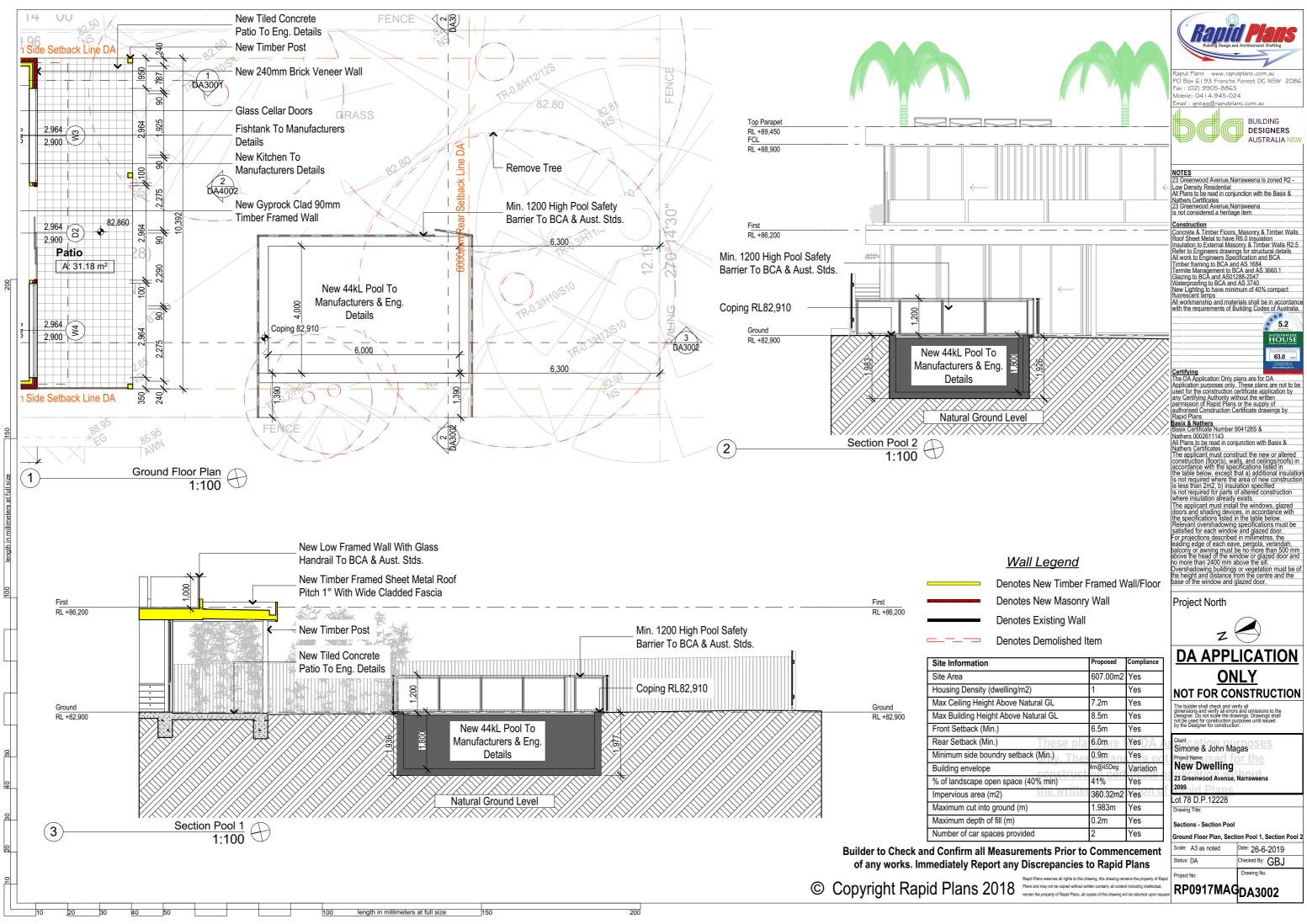


	Site Information		Proposed	Compliance
	Site Area	607.00m2	Yes	
	Housing Density (dwel	lling/m2)	1	Yes
	Max Ceiling Height Ab	ove Natural GL	7.2m	Yes
	Max Building Height Al	bove Natural GL	8.5m	Yes
	Front Setback (Min.)		6.5m	Yes
	Rear Setback (Min.)		6.0m	Yes
valls, and elow, except that: on is less than 2m2,	Minimum side boundry	tio 0.9m 10	Yes	
on is less than 2m2, here insulation	Building envelope	4m@45Deg	Variation	
ces, in accordance	% of landscape open s	tio 41% the	Yes	
ow and glazed door.	Impervious area (m2)	360.32m2	Yes	
, pergola, verandah,	Maximum cut into grou	cut into ground (m)		Yes
nm above the sill.	Maximum depth of fill (m)		0.2m	Yes
nce from the centre	Number of car spaces provided		2	Yes
Lot 78 D.P.12228		Scale: A3 as noted		Date: 26-6-2019
Drawing Title:		Status: DA		Checked By: GBJ
Site Plans -	Site Plans - Excavation & Fill Plan			Drawing No.
			RP0917MAG	
Excavation	& Fill Plan			



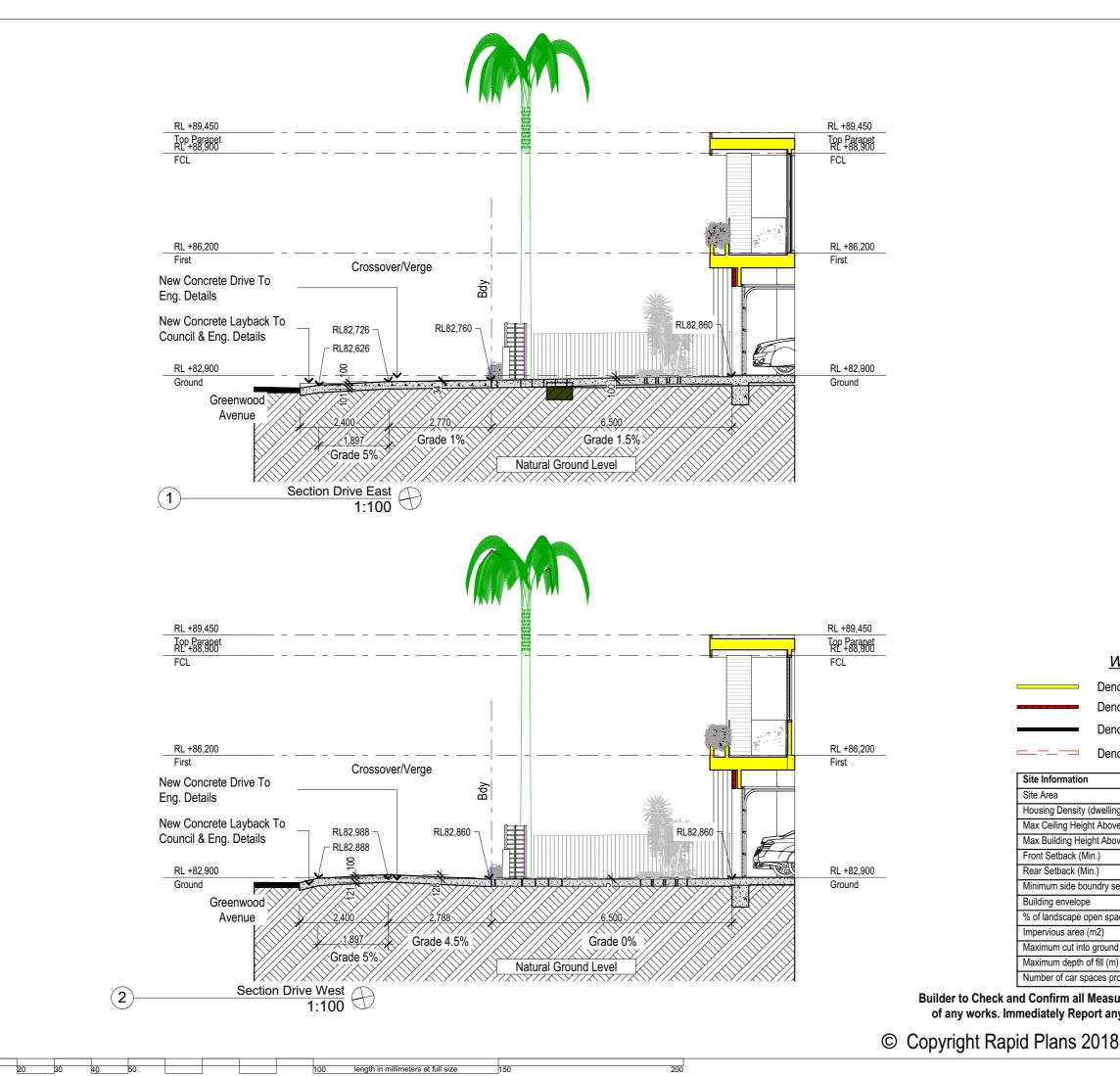






Ground Floor Plan, Section Pool 1, Section Pool 2						
Scale: A3 as noted	Date: 26-6-2019					
Status: DA	Checked By: GBJ					
Project No:	Drawing No.					
RP0917MAG	DV3005					

	Proposed	Compliance
	607.00m2	Yes
dwelling/m2)	1	Yes
t Above Natural GL	7.2m	Yes
ht Above Natural GL	8.5m	Yes
ı.)	6.5m	Yes
.) These pla	6.0m re 1	YesDA
ndry setback (Min.)	0.9m	Yes
constructi	4m@45Deg	Variation
en space (40% min)	41%	Yes
n2) <u>the writter</u>	360.32m2	Yes
ground (m)	1.983m	Yes
fill (m)	0.2m	Yes
ces provided	2	Yes



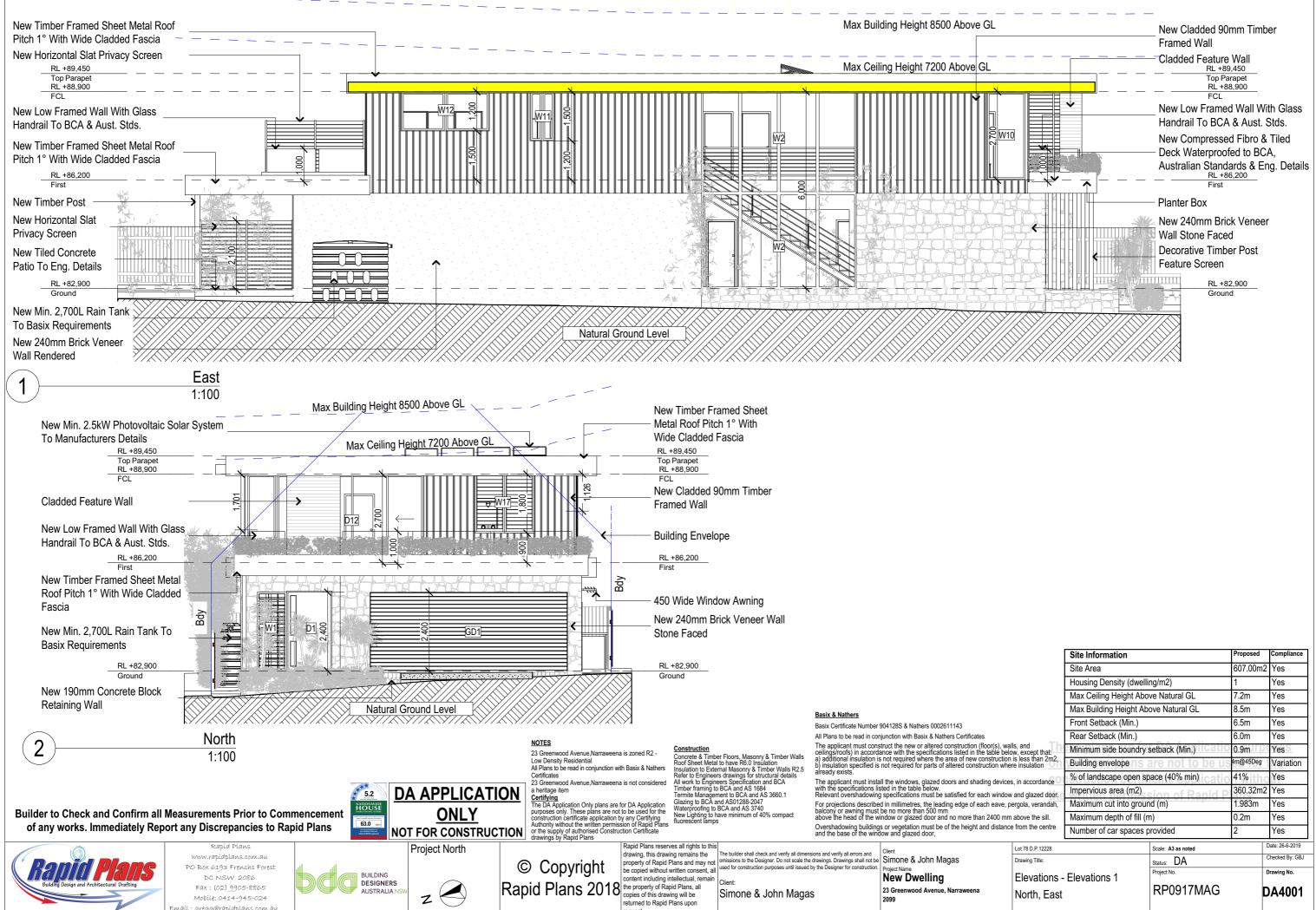
Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- **Denotes Existing Wall**
- Denotes Demolished Item

	Proposed	Compliance
	607.00m2	Yes
dwelling/m2)	1	Yes
t Above Natural GL	7.2m	Yes
ht Above Natural GL	8.5m	Yes
n.)	6.5m	Yes
n.) These pl	a 6.0m re 1	Yes
ndry setback (Min.)	es ^{0.9m} ans	Yes
constru	4m@45Deg	Variation
en space (40% min)	41%	Yes
m2) <u>the write</u>	360.32m2	Yes
ground (m)	1.983m	Yes
f fill (m)	0.2m	Yes
ices provided	2	Yes

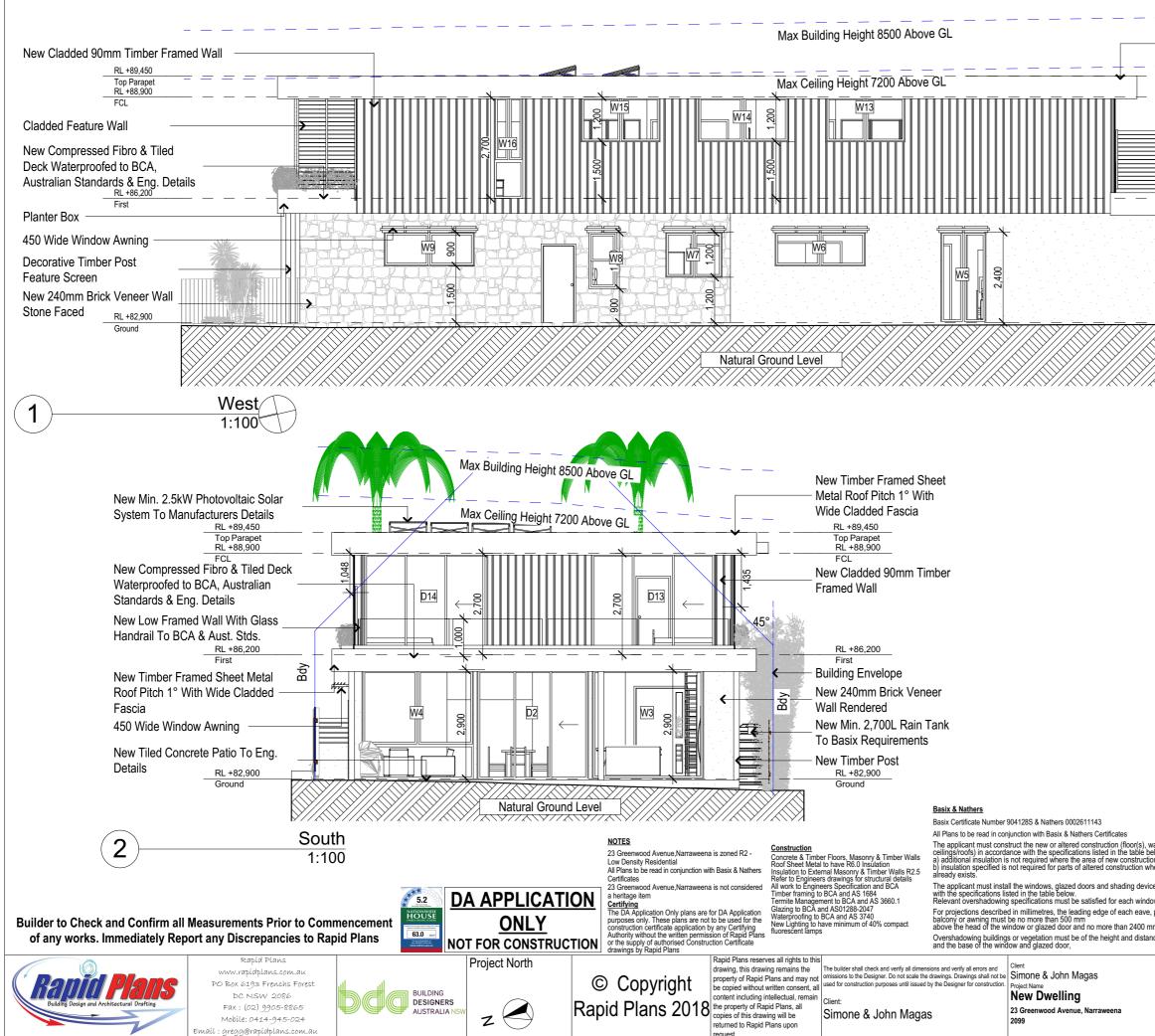
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans





equest

		Site Information		Proposed	Compliance
		Site Area	607.00m	2 Yes	
		Housing Density (dwelling	ng/m2)	1	Yes
		Max Ceiling Height Abo	ve Natural GL	7.2m	Yes
		Max Building Height Abo	ove Natural GL	8.5m	Yes
		Front Setback (Min.)		6.5m	Yes
		Rear Setback (Min.)	6.0m	Yes	
elo	ls, and w, except that:	Minimum side boundry s	0.9m	Yes	
on	is less than 2m2, re insulation	Building envelope S	4m@45Deg	Variation	
	in accordance	% of landscape open sp	41% h	Yes	
	and glazed door.	Impervious area (m2)	360.32m	2 Yes	
	ergola, verandah,	Maximum cut into groun	1.983m	Yes	
nm	above the sill.	Maximum depth of fill (m	0.2m	Yes	
nce	from the centre	Number of car spaces provided		2	Yes
	Lot 78 D.P.12228		Scale: A3 as noted		Date: 26-6-2019
	Drawing Title:		Status: DA		Checked By: GBJ
	Elevations -	Elevations 1			Drawing No.
	North, East		RP0917MAG		DA4001



New Timber Framed Sheet Metal Roof Pitch 1° With Wide Cladded Fascia RL +89.450 Top Parapet RL +88,900 FCL New Horizontal Slat Privacy Screen New Timber Framed Sheet Metal Roof Pitch 1° With Wide Cladded Fascia RL +86,200 First New Horizontal Slat Privacy -Screen New Timber Post 10 RL +82,900 ~ Ground 777/////// New 240mm Brick Veneer Wall Rendered

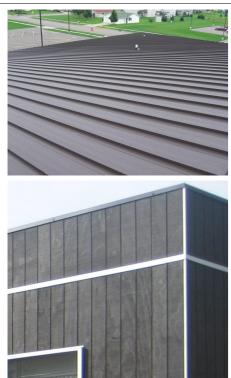
	Site Information	Proposed	Compliance	
	Site Area		607.00m2	Yes
	Housing Density (dwelli	ing/m2)	1	Yes
	Max Ceiling Height Abo	ove Natural GL	7.2m	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Yes
	Front Setback (Min.)		6.5m	Yes
	Rear Setback (Min.)	6.0m	Yes	
valls, and elow, except that: on is less than 2m2,	Minimum side boundry	0.9m	Yes	
on is less than 2m2, here insulation	Building envelope	4m@45Deg	Variation	
ces, in accordance	% of landscape open sp	6 41% the	Yes	
ow and glazed door.	Impervious area (m2)	360.32m2	Yes	
pergola, verandah,	Maximum cut into groui	1.983m	Yes	
nm above the sill.	Maximum depth of fill (m)		0.2m	Yes
nce from the centre	Number of car spaces provided		2	Yes
Lot 78 D.P.12228		Scale: A3 as noted		Date: 26-6-2019
Drawing Title:		Status: DA		Checked By: GB.
Elevations -	Elevations 2	Project No.		Drawing No.
South, Wes		RP0917MAG	C)A4002



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	Ranti Plane
	Building Design and Architectural Drafting
	Rapid Plans www.rapidplans.com.au
	PO Box 6193 Frenchs Forest DC NSW 2086
	Fax : (02) 9905-8865 Mobile: 0414-945-024
	Email : gregg@rapidplans.com.au
	al al
	BUILDING
	DESIGNERS
	AUSTRALIA NSW
	NOTES 23 Greenwood Avenue, Narraweena is zoned R2 -
	Low Density Residential All Plans to be read in conjunction with the Basix &
	All Plans to be read in conjunction with the Basix & Nathers Certificates
	23 Greenwood Avenue,Narraweena is not considered a heritage item
	Construction
	Concrete & Timber Floors, Masonry & Timber Walls Roof Sheet Metal to have R6.0 Insulation
	Insulation to External Masonry & Timber Walls R2.5 Refer to Engineers drawings for structural details
	All work to Engineers Specification and BCA
	Termite Management to BCA and AS 1084
	Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740
	ivew Lighting to have minimum of 40% compact
	fluorescent lamps All workmanship and materials shall be in accordance
	with the requirements of Building Codes of Australia.
	5.2
	Problem invariance and the second sec
	63.0 Kind
	Certifying
	The DA Application Only plans are for DA Application purposes only. These plans are not to be
	used for the construction certificate application by any Certifying Authority without the written
	permission of Rapid Plans or the supply of
	authorised Construction Certificate drawings by Rapid Plans
	Basix & Nathers Basix Certificate Number 904128S &
	All Plans to be read in conjunction with Basix & Nathers Certificates The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below accent the table additional inerticities
	The applicant must construct the new or altered
	accordance with the specifications listed in
	the table below, except that a) additional insulation is not required where the area of new construction
	is less than 2m2, b) insulation specified
	where insulation already exists.
	accordance with the specification's listed in the table below, except that a) additional insulation is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specification listed in the table below.
	the specifications listed in the table below.
	Relevant overshadowing specifications must be satisfied for each window and glazed door.
	For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
	balcony or awning must be no more than 500 mm
	above the head of the window or glazed door and no more than 2400 mm above the sill.
	Overshadowing buildings or vegetation must be of the height and distance from the centre and the
	base of the window and glazed door,
	Project North
	Z
	DA APPLICATION
	NOT FOR CONSTRUCTION
	The builder shall check and verify all
	The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
	by the Designer for construction purposes until issued by the Designer for construction.
	Client antion number of
1	Simone & John Magas
t	Project Name used for the
, i	New Dwelling
1	23 Greenwood Avenue, Narraweena
f	2099 nid Plans
-	Lot 78 D.P.12228
	Drawing Title:
	Sunstudy - Perspective
	Perspective South-East, Perspective North-East

Scale: A3 as noted Date: 26-6-2019 Status: DA Checked By: GBJ Drawing No. roject No RP0917MAGDA5001



Denotes Sheet Metal Roof (Typical). Owner To Confirm Colour



Denotes Sandstone Facing To Masonry Wall (Typical). Owner To Confirm Colour



Denotes Tiled Deck (Typical). Owner To Confirm Colour

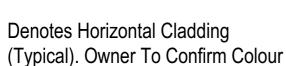




Denotes Vertical Cladding(Typical). **Owner To Confirm Colour**



Denotes Glass Panel Deck Handrail (Typical). Owner To Confirm Colour





Denotes Alloy Doors & Windows (Typical). Owner To Confirm Colour



Denotes Rendered Wall (Typical). Owner To Confirm Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Rapid Plans www.rapidolans.com.au PO Box 6193 Frenchs Forest DC NSW 2086 Fax : (02) 9905-8865 Mobile: 0414-945-024 areaa@rapidplans.com

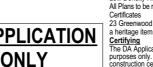


z 🗲

BUILDING

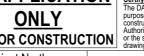
DESIGNERS

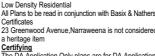
AUSTRALIA N



NOTES

23 Greenv





ood Avenue,Narraweena is zoned R2

Masonry & Timber Walls R2.5 wings for structural dot-" and BCA nber framing to BCA and AS 1684 rmite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 vvaterproofing to BCA and AS 3740 New Lighting to have minimum

Basix & Nathers

Basix Certificate Number 904128S & Nathers 0002611143 All Plans to be read in conjunction with Basix & Nathers Certificates

The applicant must construct the new or altered construction (floor(s), w ceilings/roofs) in accordance with the specifications listed in the table be a) additional insulation is not required where the area of new c) insulation specified is not required for parts of altered co already exists

The applicant must install the windows, glazed doors and shading device with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window For projections described in millimetres, the leading edge of each eave, must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mn Overshadowing buildings or vegetation must be of the height and distant and the base of the window and glazed door,

Rapid Plans reserves all rights to this The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction. drawing, this drawing remains the property of Rapid Plans and may not © Copyright be copied without written consent, all New Dwelling content including intellectual, remain Rapid Plans 2018 the property of Rapid Plans, all 23 Greenwood Avenue Simone & John Magas copies of this drawing will be urned to Rapid Plans upon

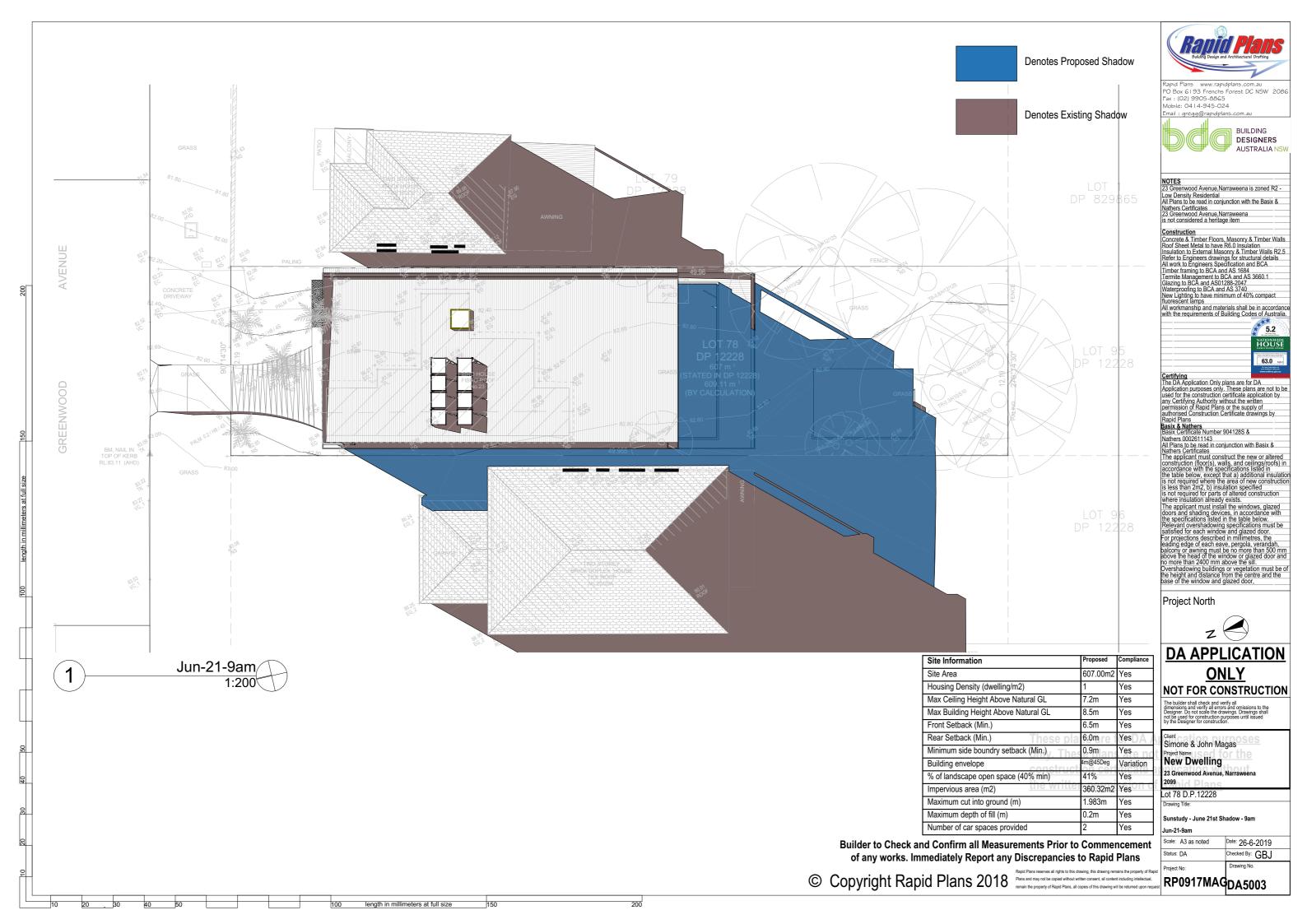


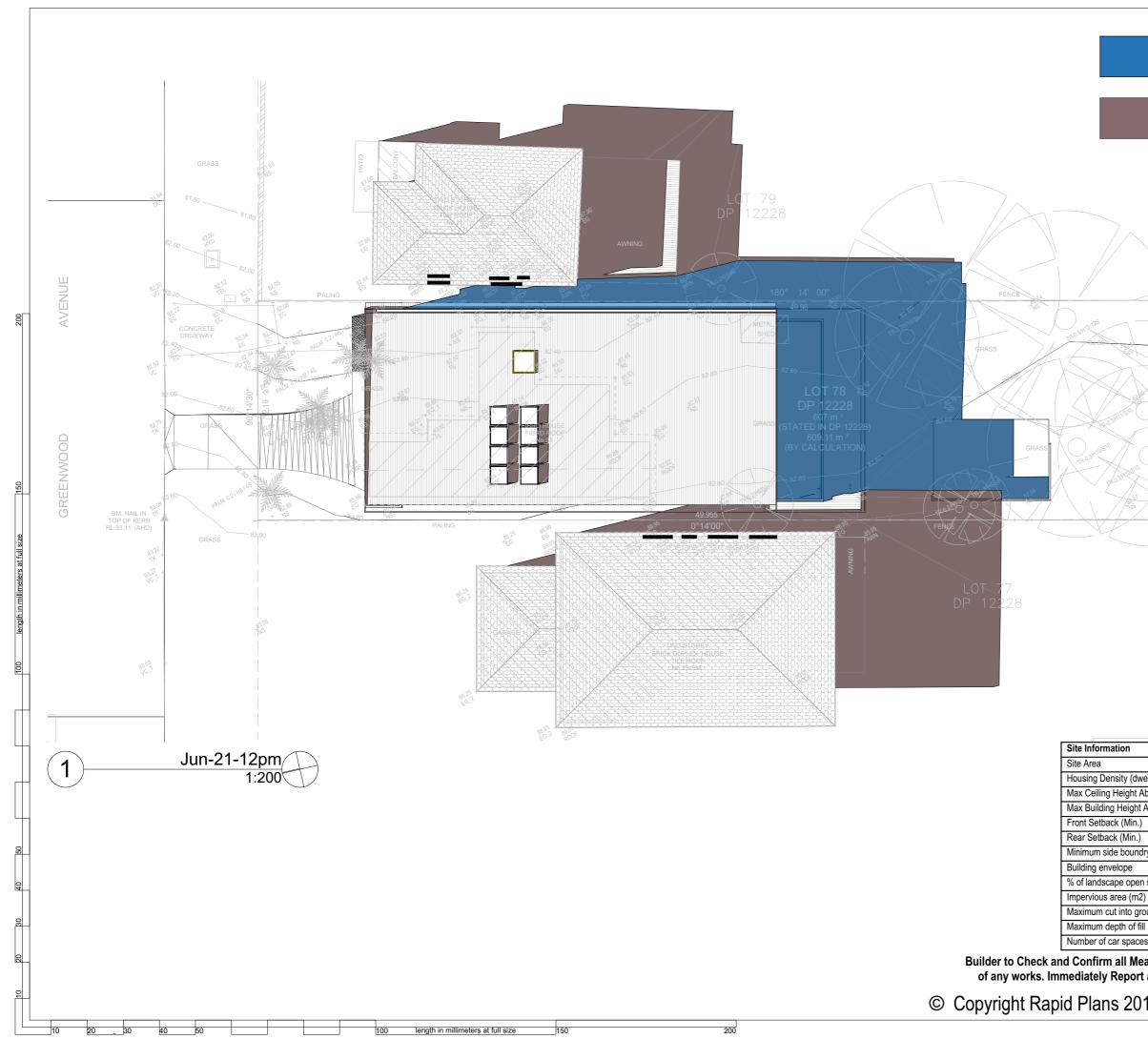


Denotes Rendered Masonry Wall With Horizontal Slat Fence (Typical). Owner To **Confirm Colour**

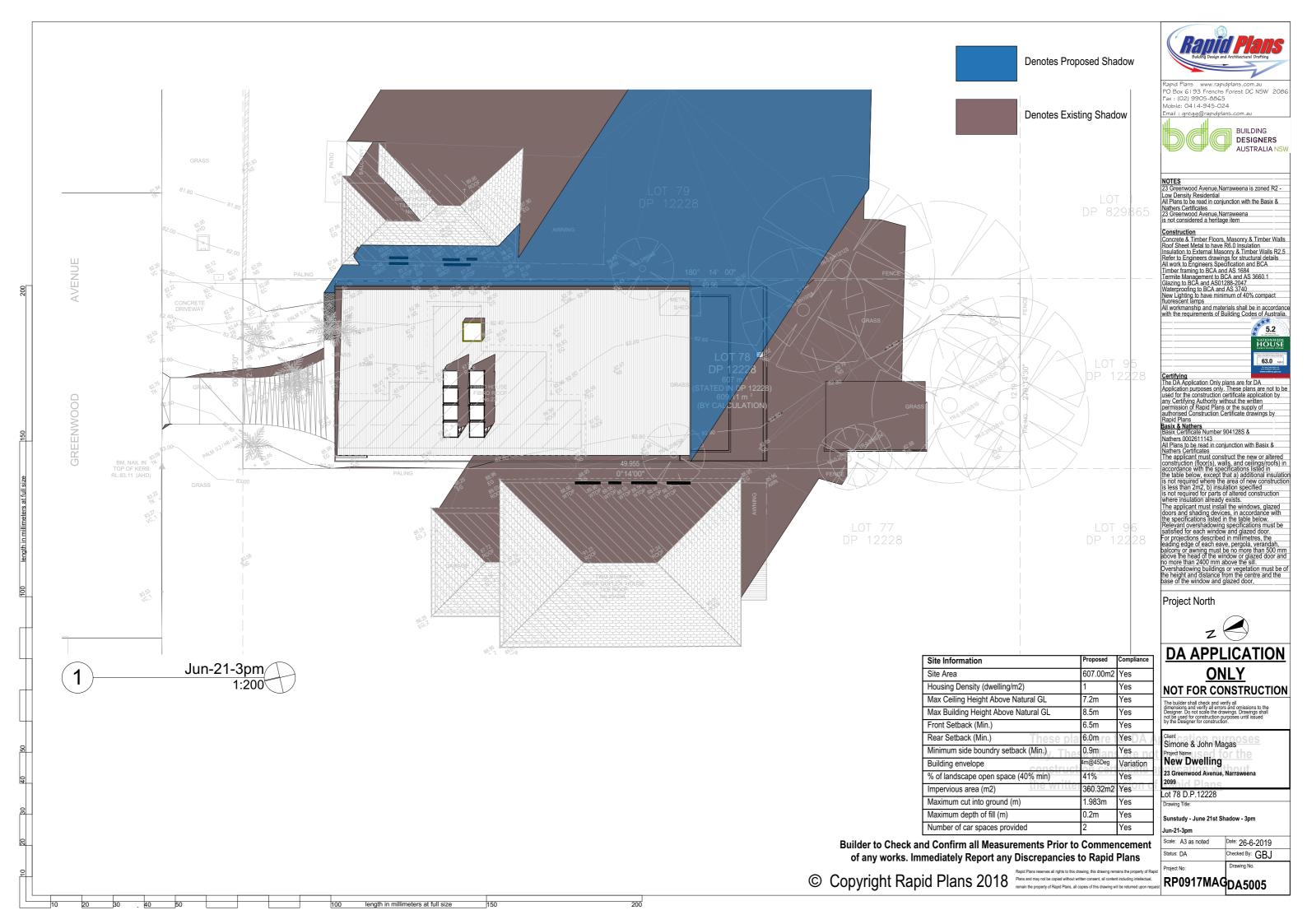
Denotes Concrete Drive (Typical). Owner To Confirm Colour

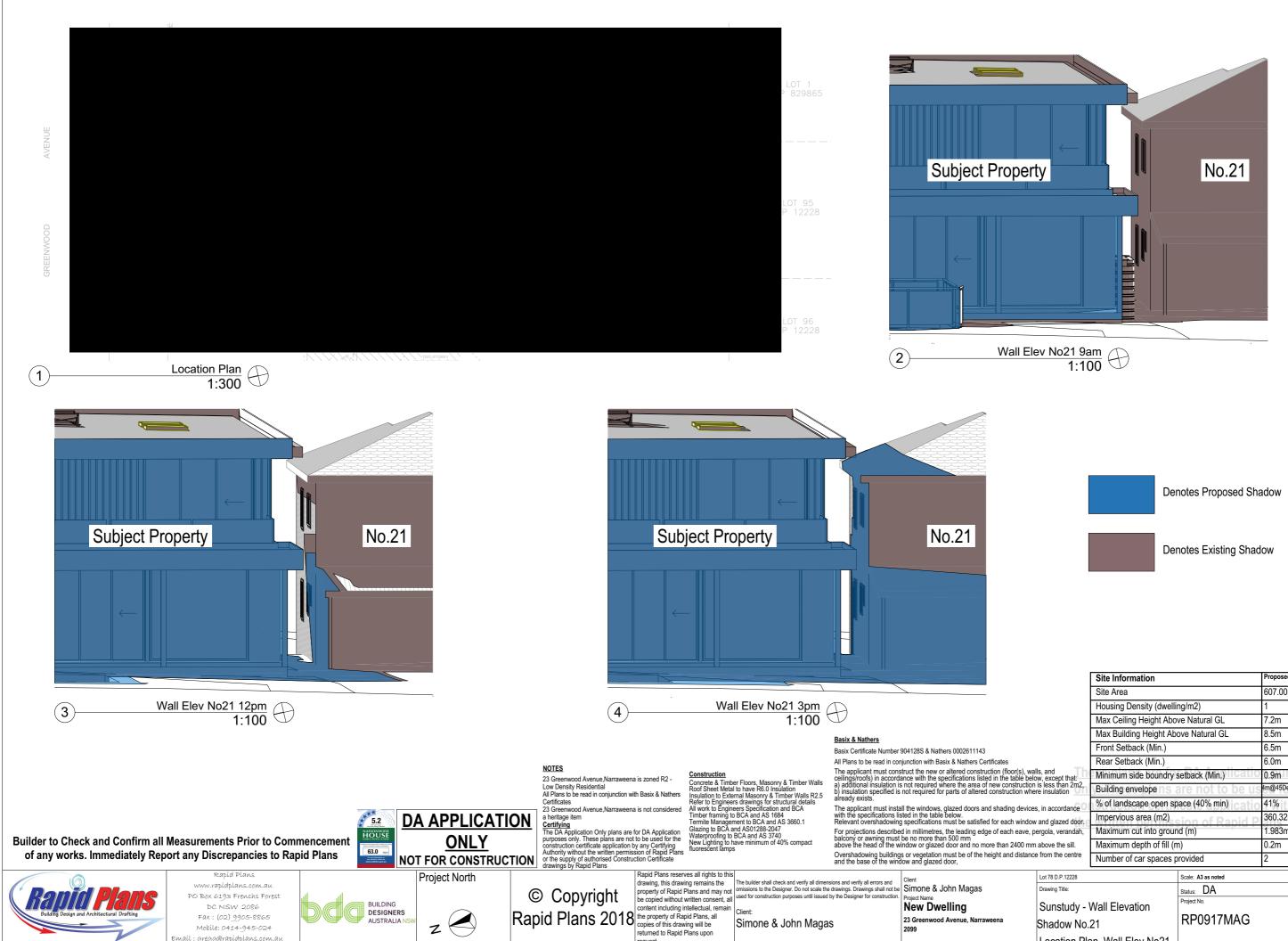
	Site Information		Proposed	Compliance
	Site Area		607.00m2	2 Yes
	Housing Density (dwelli	ing/m2)	1	Yes
	Max Ceiling Height Abo	ve Natural GL	7.2m	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Yes
	Front Setback (Min.)		6.5m	Yes
	Rear Setback (Min.)	6.0m	Yes	
alls, and low, except that: n is less than 2m2,	Minimum side boundry	0.9m I D	Yes	
n is less than 2m2, ere insulation	Building envelope	4m@45Deg	Variation	
es, in accordance	% of landscape open sp	io 41% the	Yes	
w and glazed door.	Impervious area (m2)	360.32m2	? Yes	
pergola, verandah,		Aaximum cut into ground (m)		Yes
m above the sill.	Maximum depth of fill (m)		0.2m	Yes
ce from the centre	Number of car spaces p	Number of car spaces provided		Yes
Lot 78 D.P.12228	•	Scale: A3 as noted		Date: 26-6-2019
Drawing Title:		Status: DA	DA	
Sunstudy -	Material & Colour	Project No.		Drawing No.
Sample Boa		RP0917MAG	Γ	DA5002





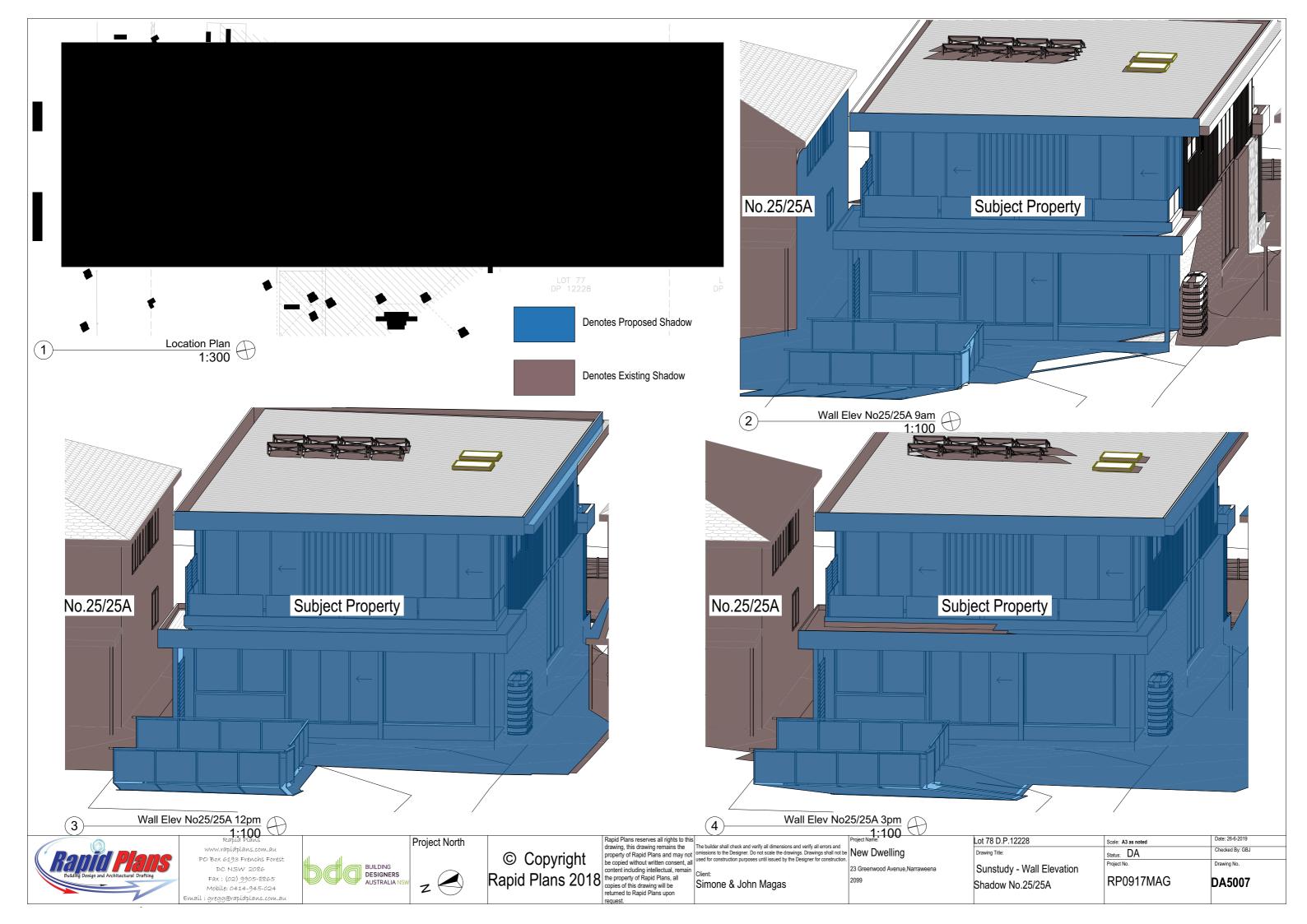
Denotes Pro	posed Sha	idow		and Architectural Drafting apidplans.com.au ths Forest DC NSW 20
Denotes Exis	sting Shad	ow	Fax: (02) 9905-88 Mobile: 0414-945- Email: gregg@rapid	65 024
	LOT)P 8298	1 865		Narraweena is zoned R2 - al onjunction with the Basix & Narraweena tage item
FENDE			Concrete & Timber Floo Roof Sheet Metal to ha Insulation to External M Refer to Engineers dra All work to Engineers S Timber framing to BCA Termite Management to Glazing to BCA and AS Waterproofing to BCA and New Lighting to haven fluorescent lamps All workmanship and m	lasonry & Timber Walls R2 wings for structural details pecification and BCA and AS 1684 o BCA and AS 3660.1 01288-2047
504.30 u	LOT 9 DP 122	5 28	Certifying The DA Application On	y plans are for DA
			used for the constructic any Certifying Authority permission of Rapid Pla authorised Construction Rapid Plans Basix Certificate Numb Basix Certificate Numb Nathers 0002611143 All Plans to be read in c Nathers Certificates The applicant must cc construction (floor(s), accordance with the s	ans or the supply of n Certificate drawings by er 9041285 & conjunction with Basix & wnstruct the new or alterer walls, and ceilings/roofs) neeficrations lister in lister in
	LOT 9 DP 122	6 28	is less than 2m2, b) in is not required for part where insulation alrea The applicant must in doors and shading de the specifications liste Relevant overshadow satisfied for each winc For projections descrift eading edge of each e balcony or awning mui above the head of the no more than 2400 mr Overshadowing building	Is of altered construction idy exists. stall the windows, glazed vices, in accordance with d in the table below. ing specifications must b fow and glazed door. bed in millimetres, the eave, pergola, verandah, st be no more than 500 r window or glazed door a
			Project North	id glazed door,
	Drawood	Comuliance	DA APP	
	Proposed 607.00m2	Compliance Yes		NLY
g/m2)	1	Yes		
e Natural GL	7.2m	Yes		
ve Natural GL	8.5m	Yes	The builder shall check and dimensions and verify all e Designer. Do not scale the not be used for constructio by the Designer for constru	drawings. Drawings shall n purposes until issued
	6.5m	Yes		
I hese pla	6.0m e	Yes	Client Simone & John M	Magas
etback (Min.)	0.9m 4m@45Deg	Yes Variation	Project Name New Dwellin	tor the
ace (40% min)	41%	Yes	23 Greenwood Avenu	ue, Narraweena
the writte	360.32m2	Yes	2099	<u>s</u>
i (m)	1.983m	Yes	Lot 78 D.P.12228 Drawing Title:	
	0.2m	Yes	Sunstudy - June 21st	Shadow - 12pm
)		M.		•
) ovided	2	Yes	Jun-21-12pm	
	1-		Jun-21-12pm Scale: A3 as noted Status: DA	Date: 26-6-2019 Checked By: GBJ

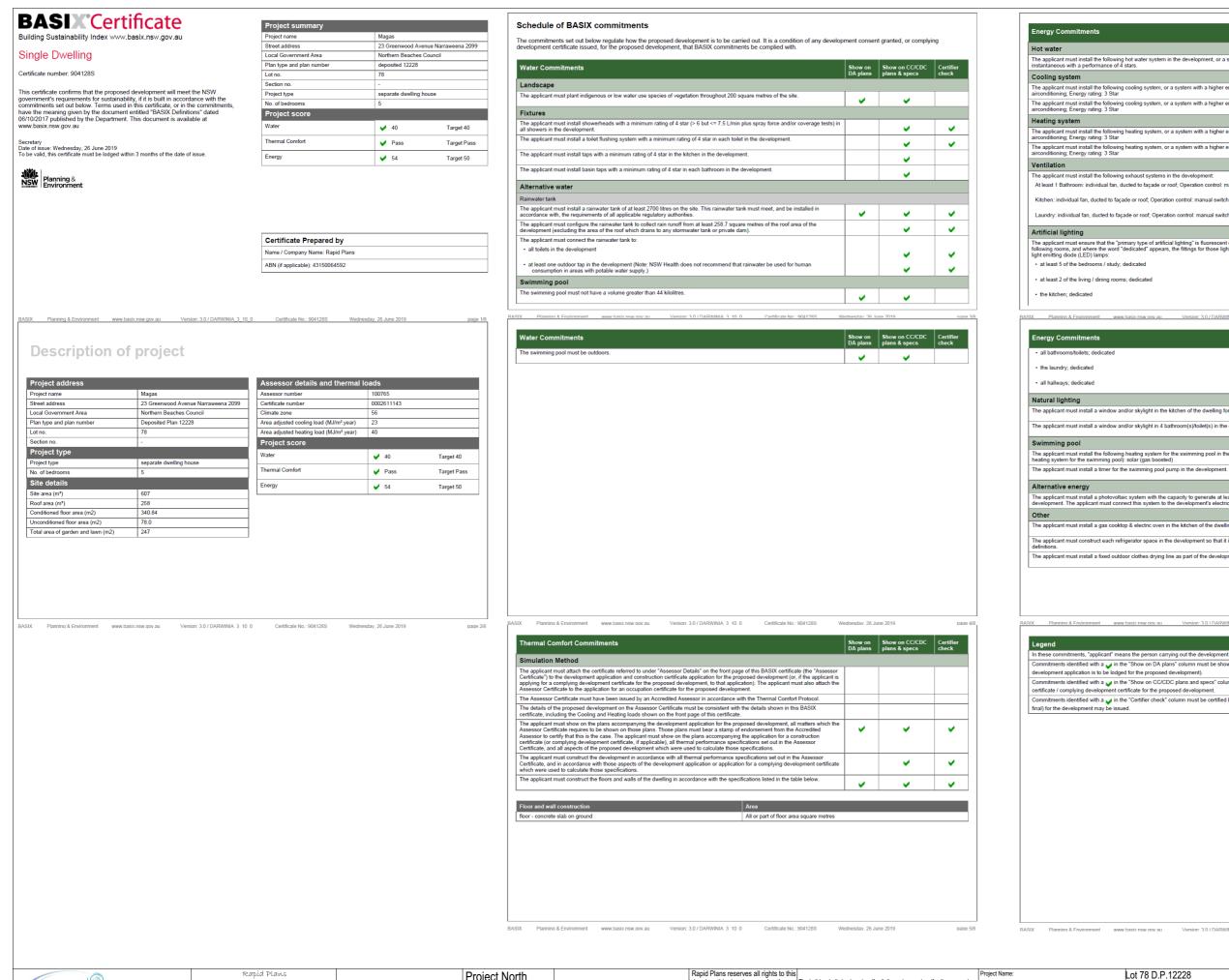




request.

	Site Information		Proposed	Compliance
	Site Area	607.00m2	2 Yes	
	Housing Density (dwelli	ng/m2)	1	Yes
	Max Ceiling Height Abo	ve Natural GL	7.2m	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Yes
	Front Setback (Min.)		6.5m	Yes
	Rear Setback (Min.)		6.0m	Yes
valls, and elow, except that: on is less than 2m2,	Minimum side boundry	0.9m	Yes	
on is less than 2m2, here insulation	Building envelope	4m@45Deg	Variation	
ces, in accordance	% of landscape open sp	41%	Yes	
ow and glazed door.	Impervious area (m2)	360.32m2	2 Yes	
, pergola, verandah,	Maximum cut into grour	o ground (m)		Yes
nm above the sill.	Maximum depth of fill (m) Number of car spaces provided		0.2m	Yes
nce from the centre			2	Yes
Lot 78 D.P.12228		Scale: A3 as noted		Date: 26-6-2019
Drawing Title:		Status: DA		Checked By: GBJ
Sunstudy - Wall Elevation Shadow No.21		Project No.		Drawing No.
		RP0917MAG	1	DA5006
Location Pla	an, Wall Elev No21			







www.rapidplans.com.au PO Box 6193 Frenchs Forest DC NSW 2086 Fax : (02) 9905-8865 Mobile: 0414-945-024 naíl · areaa@ratidtilans.com au



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roiect Name drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all used for construction purposes until issued by the Designer to construction. content including intellectual, remain Client: 23 Greenwood Avenue, Narraweena 2099 Simone & John Magas returned to Rapid Plans upon

Show on DA plans	Show on CC/CDC plans & specs	Certifier check
~	~	~
	~	~
	~	~
	~	~
	~	~
	v	v .
	v	v .
	v	~
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	j j	j.
	DA plans	DA plans plans & specs

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
		 Image: A second s	~
		 	~
		 Image: A second s	v
light in the kitchen of the dwelling for natural lighting.	~	~	~
light in 4 bathroom(s)/toilet(s) in the development for natural lighting.	~	 Image: A set of the set of the	~
system for the swimming pool in the development (or alternatively must not install any gas boosted)		~	
ning pool pump in the development.		~	
n with the capacity to generate at least 2.5 peak kilowatts of electricity as part of the system to the development's electrical system.	~	~	~
tric oven in the kitchen of the dwelling.		~	
space in the development so that it is "well ventilated", as defined in the BASIX		~	
es drying line as part of the development.		_	

Version: 3.0 / DARWINIA 3 10.0 Certificate No - 904128

Version: 3.0 / DARWINIA 3.10.0

commitments identified with a 🥥 in the "Show on DA plans" column must be shown on the plans accompanying the develo mmitments identified with a 🥡 in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a cons

mmitments identified with a v in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or

,	RP0917MAG	DA5008
Sunstudy - Basix Certificate	Project No.	Drawing No.
Drawing Title:	status: DA	Checked By: GBJ
Lot 78 D.P.12228	Scale: A3 as noted	Date: 26-6-2019
L at 70 D D 10000		Date: 26-6-2019

Certificate No : 904128S

Wednesday 26 June 2019