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	-	PRE-DA MEETING 1	02/07/20					DRAWING SERIES:	
	-	DA LODGEMENT	27/11/20					PROPOSAL	
	A	±4.55 LODGEMENT	21/10/21					SERIES	
								DRAWING NO.:	REV. :
			DRAWING :						
			<p>PROPOSED LOWER GROUND / BASEMENT FLOOR PLAN</p>		<p>DA-02</p>	<p>A</p>			



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0867

DA SUBMISSION DRAWING
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GENERAL NOTES

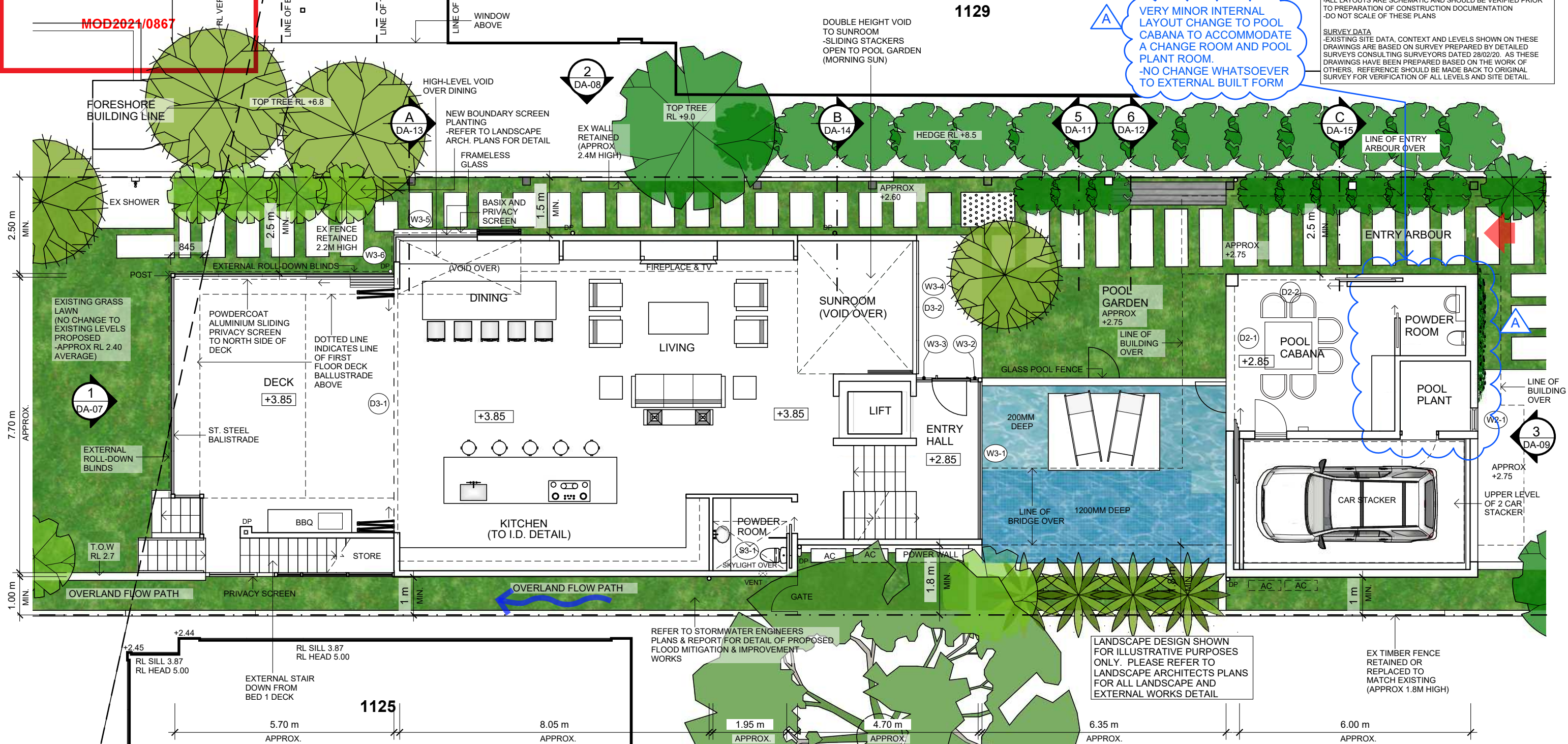
SCHEMATIC DESIGN
-THESE DRAWINGS HAVE BEEN PREPARED FOR DA LODGEMENT
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SURVEY DATA
-EXISTING SITE DATA, CONTEXT AND LEVELS SHOWN ON THESE
DRAWINGS ARE BASED ON SURVEY PREPARED BY DETAILED
SURVEYS CONSULTING SURVEYORS DATED 28/02/20. AS THESE
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BASIX COMMITMENT NOTE

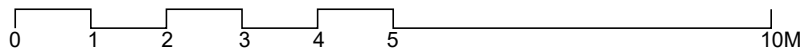
SWIMMING POOL MUST NOT HAVE
A VOLUME GREATER THAN 19.8
KILOLITRES AND BE OUTDOORS

VERY MINOR INTERNAL
LAYOUT CHANGE TO POOL
CABANA TO ACCOMMODATE
A CHANGE ROOM AND POOL
PLANT ROOM.
-NO CHANGE WHATSOEVER
TO EXTERNAL BUILT FORM



PROPOSED GROUND FLOOR PLAN (ENTRY LEVEL)

SCALE - APPROX. 1:100 AT A3



REFER TO DA-21 & DA-22 FOR WINDOW,
GLAZED DOOR AND SKYLIGHT SCHEDULE
AND BASIX COMMITMENTS

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Tregale & Associates
Architects & Urban Designers



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Reg. Architect - Matthew Tregale NSW 7415

CLIENT :

DR & MRS KENNEDY
1127 BARRENJOEY ROAD,
PALM BEACH NSW 2108

PROJECT :

NEW DETACHED DWELLING
AT 1127 BARRENJOEY ROAD PALM BEACH NSW 2108
(LOT D IN DP 313630)

DRAWING :

**PROPOSED GROUND FLOOR
PLAN
(ENTRY LEVEL)**



Date: 03/04/20

DRAWING SERIES:
**PROPOSAL
SERIES**

DRAWING NO.:

DA-03

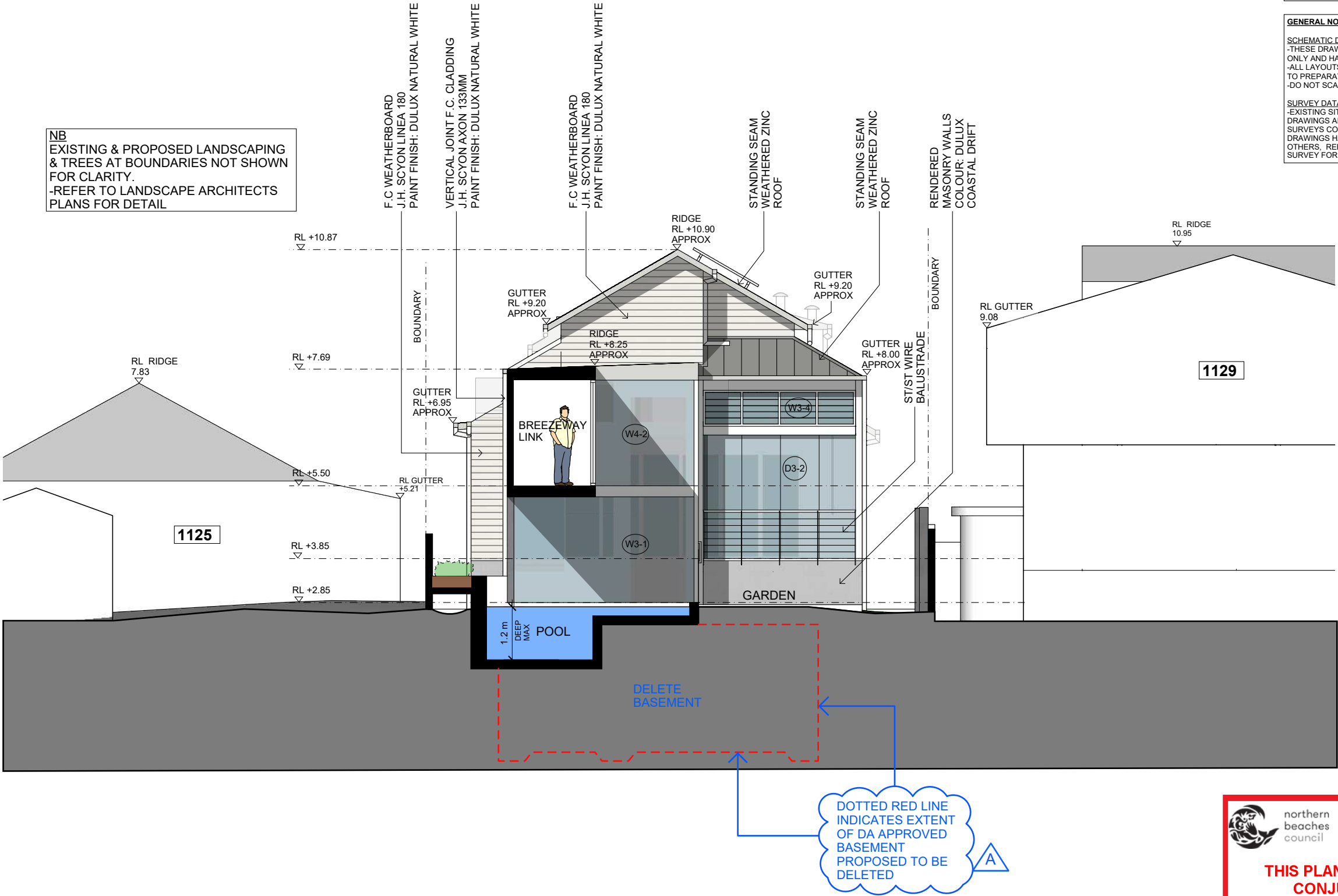
REV.:

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SECTION / ELEVATION 5 - EAST ELEVATION (FACING BEACH PAVILION)
SCALE - APPROX 1 : 100 @A3

REFER TO BUILDING COLOURS & MATERIALS BOARD DA-20 FOR FURTHER DETAIL OF EXTERNAL MATERIALS AND FINISHES.

REFER DA-16 TO DA-19 INCLUSIVE FOR 3D SKETCH IMAGE MASSING MODEL VIEWS

REFER TO DA-21 & DA-22 FOR WINDOW, GLAZED DOOR AND SKYLIGHT SCHEDULE AND BASIX COMMITMENTS

 northern beaches council

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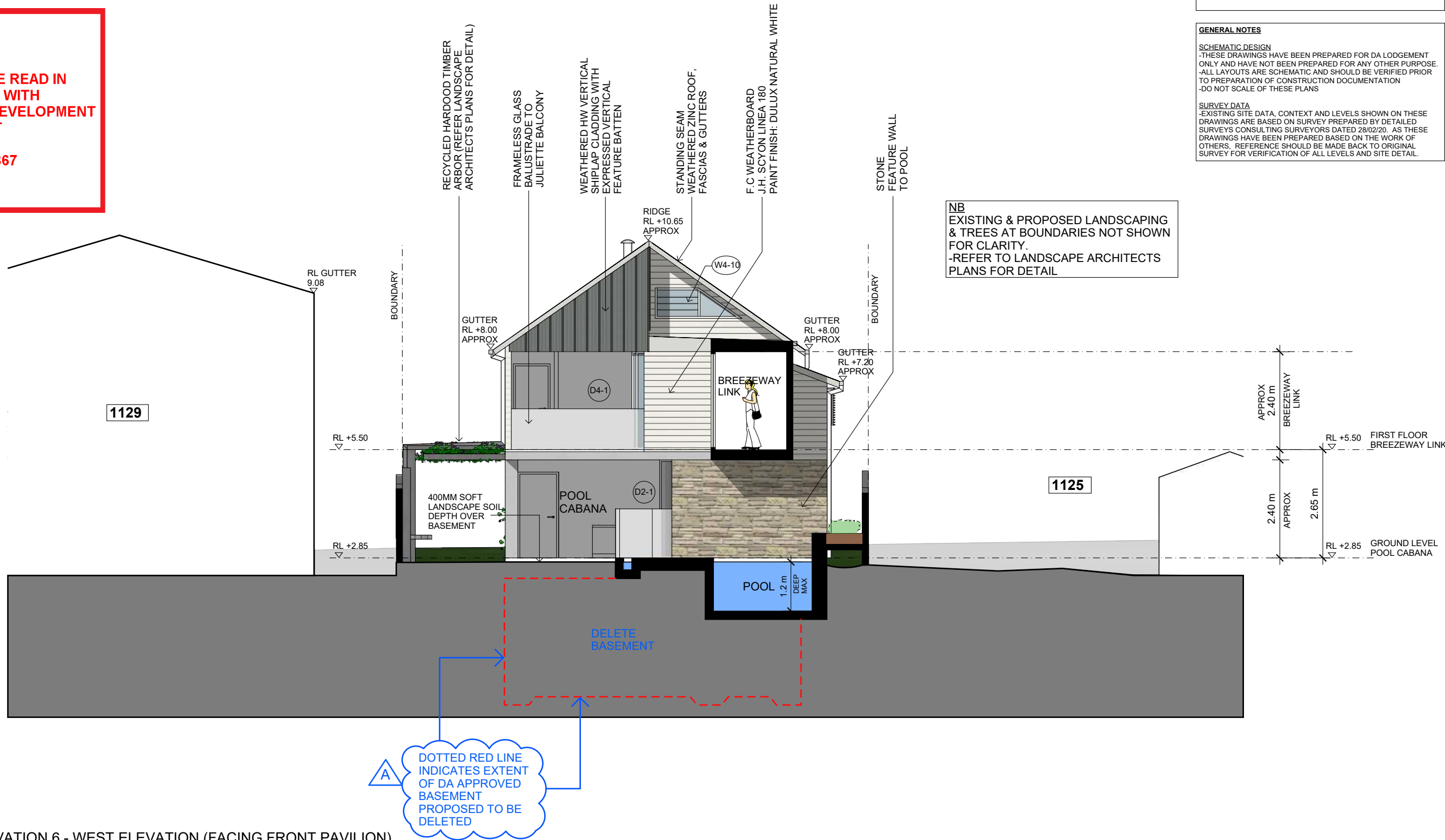
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							DA-11	A
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SECTION / ELEVATION 6 - WEST ELEVATION (FACING FRONT PAVILION)
SCALE - APPROX 1 : 100 @A3

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							DA-12	A
							SECTION / ELEVATION 6 - WEST ELEVATION (FACING FRONT PAVILION)	



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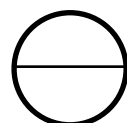
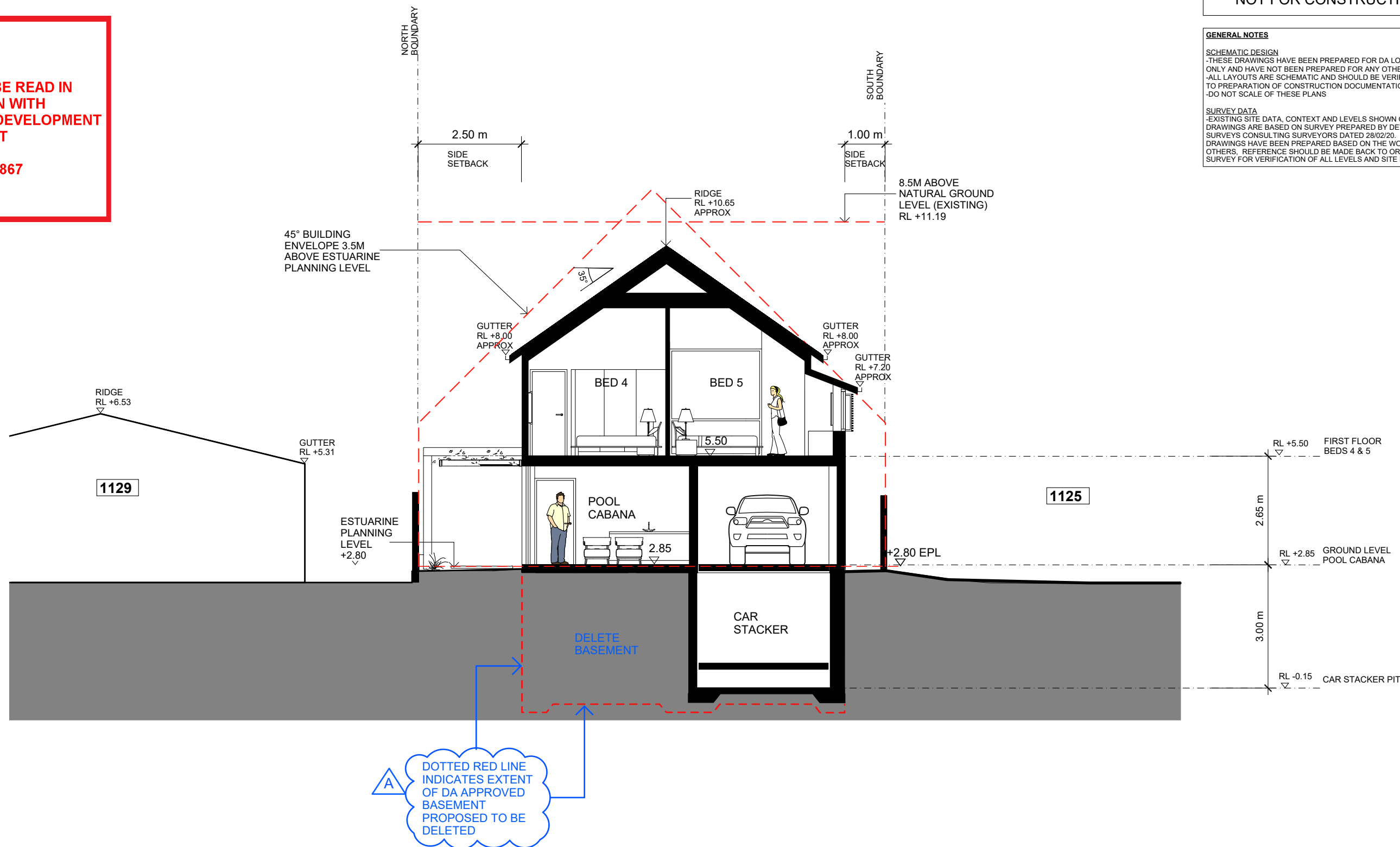
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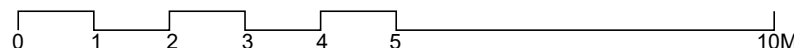
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DIAGRAMMATIC SECTION C - C

SCALE - APPROX. 1:100 AT A3



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DRAWING :

DIAGRAMMATIC SECTION C - C

Date: 03/04/20

DRAWING SERIES:

**PROPOSAL
SERIES**

DRAWING NO.:

DA-15

REV. :

A