

LEGEND

AWN - AWNING
DECK - DECK LEVEL
BALC - BALCONY LEVEL
BB - BOTTOM OF BANK
CHM - CHIMNEY LEVEL
CL - ROAD CENTER LINE LEVEL
CONC - CONCRETE SURFACE LEVEL
DECK - DECK LEVEL
EPIT - ELECTRICAL PIT
ELEC - ELECTRICAL SUBSTATION
TPIT - TELECOMMUNICATION PIT
FCETOP - FENCE TOP LEVEL
FLR - FLOOR LEVEL
GAS - GAS METER
GATE - GATE
GDN - GARDEN LEVEL
GRATE - GRATED PIT LEVEL
GRV - GRAVEL LEVEL
HC - HOUSE CONNECTION
HYD - HYDRANT
IC - INSPECTION CAP
KT - TOP OF KERB LEVEL
KI - KERB INVERT LEVEL
LP - LIGHT POLE
LIGHT - SKYLIGHT LEVEL
OPIT - OPTUS PIT LEVEL
PAV - PAVING LEVEL
PIT - PIT SURFACE LEVEL
POOL - POOL LEVEL
RWT - RAIN WATER TANK
ROOF - ROOF LEVEL
ROCK - ROCK LEVEL
SIC - SEWER INSPECTION CAP
SKYL - SKYLIGHT LEVEL
SPHT - SPOT HEIGHT
STEP - STEP LEVEL
TB - TOP OF BANK
TG - TOP OF GUTTER
TILE - TILED LEVEL
TOW - TOP OF WALL
TPIT - TELSTRA PIT
WALL - WALL LEVEL (TOW - TOP OF WALL,
BOW - BOTTOM OF WALL)
WM - WATER METER

TR 0.2/6/5 - TREE (TRUNK DIA 0.2m, SPREAD
6m, HEIGHT 5m) DIMENSIONS ARE
APPROXIMATE

WINDOW
TW - WINDOW TOP
BW - WINDOW BOTTOM

DOOR
TD - DOOR TOP
BD - DOOR BOTTOM

CONTOUR INTERVAL - 1.0m

22
SEC B
DP6445

B
DP307597

C
DP307597
AREA 604.1 m²
BY SURVEY

3
SEC B
DP6445

NOTES:

1. A BOUNDARY SURVEY (BOUNDARY IDENTIFICATION) HAS BEEN UNDERTAKEN WITH BOUNDARIES DEFINED UTILISING DP307597 & DP6445. BOUNDARY DIMENSIONS CAN MOVE TO A DEGREE WITH THE LODGEMENT OF A PLAN AT THE TITLES OFFICE OF THE SUBJECT LOT OR OF A LOT IN THE VICINITY.
2. ORIGIN OF LEVELS SSM40951 RL: 9.688m (A.H.D.- CLASS LC) SEARCH DATED 30/06/2022.
3. BEARINGS ARE ON MGA GRID NORTH.
4. DIMENSIONED STRUCTURES (IN RED) ARE IN RELATION TO THIS BOUNDARY SURVEY.
5. RELATIONSHIP OF OTHER IMPROVEMENTS, DETAIL AND ADJOINING BUILDINGS TO THE BOUNDARY, IF CRITICAL, WILL REQUIRE FURTHER SURVEY. IF ANY FENCING OR BUILDING NEAR THE SUBJECT BOUNDARIES IT IS RECOMMENDED THAT THE BOUNDARIES BE PHYSICALLY MARKED BY A REGISTERED SURVEYOR.
6. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ONLY. DIAL BEFORE YOU DIG AND ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
7. ROOF AND EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
8. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
9. THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS ARE NOT TO SCALE AND ARE INDICATIVE ONLY.

0	AK	INITIAL ISSUE	26/07/22
REVISION	BY	REVISION DESCRIPTION	DATE

PLAN OF DETAIL OVER
No 48 CLARKE STREET
NARRABEEN NSW 2101



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WALL TO BOUNDARIES AS SHOWN IN RED

Andrew Korompay
ANDREW KOROMPAY ID No.SU000114
Surveyor Registered under The Surveying Act, 2002.

SCALE: 1:100 @ A1 : 1:200 @ A3		DATE: 26/07/2022
CLIENT: MICHAEL & STEPHANIE TOPHAM		DATUM: AHD
JOB No. 2566		
DRAWN	CHECKED	APPROVED
LP/JUL	GP	AK
DRAWING No. 2566	REVISION 0	