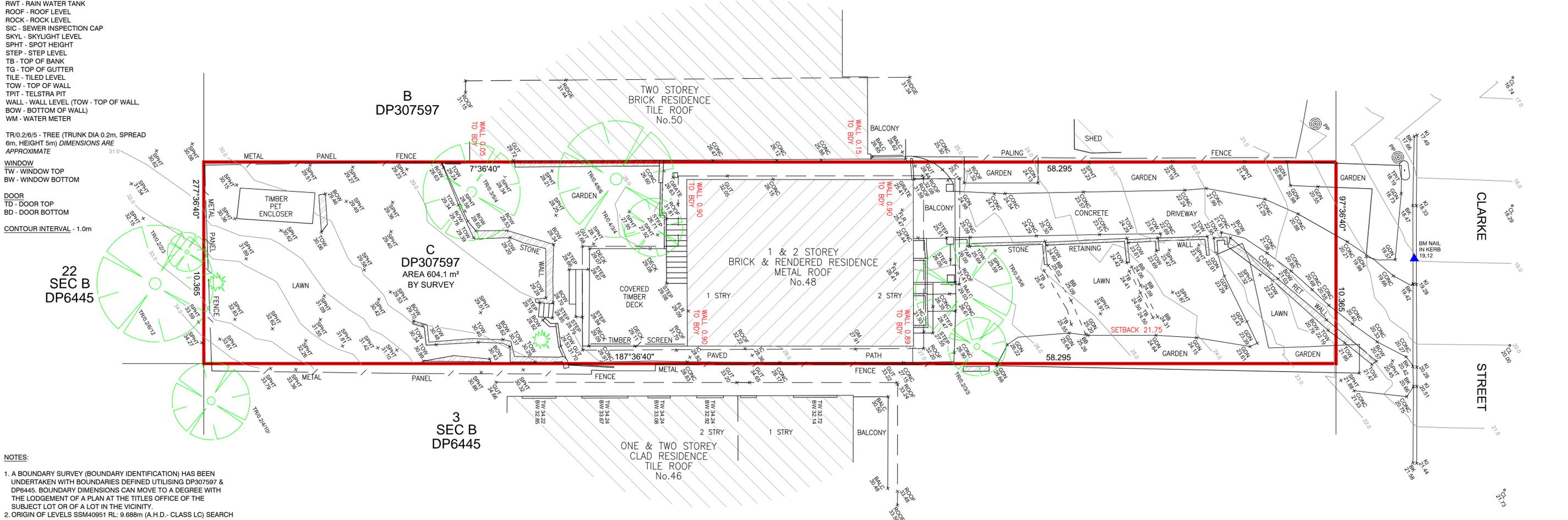


**LEGEND**

- AWN - AWNING
- DECK - DECK LEVEL
- BALC - BALCONY LEVEL
- BS - BOTTOM OF BANK
- CHM - CHIMNEY LEVEL
- CL - ROAD CENTER LINE LEVEL
- CONC - CONCRETE SURFACE LEVEL
- DECK - DECK LEVEL
- EPIT - ELECTRICAL PIT
- ELEC - ELECTRICAL SUBSTATION
- TPIT - TELECOMMUNICATION PIT
- FCETOP - FENCE TOP LEVEL
- FLR - FLOOR LEVEL
- GAS - GAS METER
- GATE - GATE
- GDN - GARDEN LEVEL
- GRATE - GRATED PIT LEVEL
- GRV - GRAVEL LEVEL
- HC - HOUSE CONNECTION
- HYD - HYDRANT
- IC - INSPECTION CAP
- KT - TOP OF KERB LEVEL
- KI - KERB INVERT LEVEL
- LP - LIGHT POLE
- LIGHT - SKYLIGHT LEVEL
- OPIT - OPTUS PIT LEVEL
- PAV - PAVING LEVEL
- PIT - PIT SURFACE LEVEL
- POOL - POOL LEVEL
- RWT - RAIN WATER TANK
- ROOF - ROOF LEVEL
- ROCK - ROCK LEVEL
- SIC - SEWER INSPECTION CAP
- SKYL - SKYLIGHT LEVEL
- SPHT - SPOT HEIGHT
- STEP - STEP LEVEL
- TB - TOP OF BANK
- TG - TOP OF GUTTER
- TILE - TILED LEVEL
- TOW - TOP OF WALL
- TPIT - TELSTRA PIT
- WALL - WALL LEVEL (TOW - TOP OF WALL, BOW - BOTTOM OF WALL)
- WM - WATER METER

- TR(0.2/6/5 - TREE (TRUNK DIA 0.2m, SPREAD 6m, HEIGHT 5m) DIMENSIONS ARE APPROXIMATE
- WINDOW
- TW - WINDOW TOP
- BW - WINDOW BOTTOM
- DOOR
- TD - DOOR TOP
- BD - DOOR BOTTOM
- CONTOUR INTERVAL - 1.0m



- NOTES:**
1. A BOUNDARY SURVEY (BOUNDARY IDENTIFICATION) HAS BEEN UNDERTAKEN WITH BOUNDARIES DEFINED UTILISING DP307597 & DP6445. BOUNDARY DIMENSIONS CAN MOVE TO A DEGREE WITH THE LODGEMENT OF A PLAN AT THE TITLES OFFICE OF THE SUBJECT LOT OR OF A LOT IN THE VICINITY.
  2. ORIGIN OF LEVELS SSM40951 RL: 9.688m (A.H.D.- CLASS LC) SEARCH DATED 30/06/2022.
  3. BEARINGS ARE ON MGA GRID NORTH.
  4. DIMENSIONED STRUCTURES (IN RED) ARE IN RELATION TO THIS BOUNDARY SURVEY.
  5. RELATIONSHIP OF OTHER IMPROVEMENTS, DETAIL AND ADJOINING BUILDINGS TO THE BOUNDARY, IF CRITICAL, WILL REQUIRE FURTHER SURVEY. IF ANY FENCING OR BUILDING NEAR THE SUBJECT BOUNDARIES IT IS RECOMMENDED THAT THE BOUNDARIES BE PHYSICALLY MARKED BY A REGISTERED SURVEYOR.
  6. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ONLY. DIAL BEFORE YOU DIG AND ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
  7. ROOF AND EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
  8. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
  9. THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS ARE NOT TO SCALE AND ARE INDICATIVE ONLY.

WALL TO BOUNDARIES AS SHOWN IN RED

*Andrew Korompay*  
**ANDREW KOROMPAY** ID No.SU000114  
 Surveyor Registered under The Surveying Act, 2002.

REVISION	BY	REVISION DESCRIPTION	DATE
0	AK	INITIAL ISSUE	26/07/22

**PLAN OF DETAIL OVER  
 No 48 CLARKE STREET  
 NARRABEEN NSW 2101**



**TRUENORTH SURVEY GROUP**  
 A.B.N. 97 106 447 198  
 Registered Consulting Surveyors  
 16/9 Narabang Way  
 Belrose NSW 2085  
 Tel : (02) 9450 0868  
 Mob : (0412) 353 784  
 Email : andrew@truenorthsurveys.com.au

SCALE: 1:100 @ A1; 1:200 @ A3	DATE: 26/07/2022	
CLIENT: MICHAEL & STEPHANIE TOPHAM	DATUM: AHD	
JOB No. 2566		
DRAWN	CHECKED	APPROVED
LP/JL	GP	AK
DRAWING No. 2566		REVISION 0