



BASIX® commitments

Assessor	Mr. Daniel Warda
Date	27 / 09 / 24
BASIX Certificate No.	1768512S
NATHERS Certificate No.	0009779877

Project details

Site Address	Lot 4A, 3 Calca Crescent, Forestville NSW 2087
Municipality	Northern Beaches
Reference	29917213

Thermal Comfort

Floors	300mm Waffle pod slab
Cantilevered Floors	R5.0 Insulation to Leisure Suspended Floor Overhang
External Walls	R2.5 Insulation to all external walls (excl. Garage) Medium
Internal Walls	R2.0 Insulation to Laundry, Bath & Garage internal walls shared with habitable areas
Ceilings	R6.0 Insulation to all trussed ceilings over living areas (R5.0 Insulation to Garage Ceiling Joists)
Roof	Roof Tiles Medium
Roof Insulation	Sarking

Windows:

Wideline Awning Windows (Aluminium Framed - EnergyTech Low-E)	U-Value: 4.9	SHGC: 0.55
Wideline Fixed Windows (Aluminium Framed - EnergyTech Low-E)	U-Value: 3.9	SHGC: 0.66
Wideline Sliding Windows (Aluminium Framed - EnergyTech Low-E)	U-Value: 4.5	SHGC: 0.63
Wideline Sliding Door (Aluminium Framed - Double Glazed Argon-Filled Low-e)	U-Value: 2.9	SHGC: 0.55
Wideline Awning Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.5	SHGC: 0.63
Wideline Sliding Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.4	SHGC: 0.76

*Refer to NATHERS Certificate for location and dimensions of windows.

Skylights: N/A

Water


Landscape Area	370m ²
W.C's	4 star
Kitchen Taps	4 star
Shower Heads	3 star (> 7.5 but <= 9 L/min)
Basin Taps	4 star
Alternative Water	1700L Rainwater Tank
Roof Water to Tank	306.6m ²
Alt. Water Uses	Garden Tap, Laundry & WC

Energy

Hot Water	Gas Instantaneous 6 star
Air-Con (Heating)	1-Phase Ducted A/C 3.0 - 3.5
Air-Con (Cooling)	1-Phase Ducted A/C 3.0 - 3.5
Ventilation	As Per Basix Assessment
PV System	3.3kW
Cooking	Gas Cooktop & Electric Oven
Drying	Outdoor Clothesline
Lighting	Primarily LED

Phone: 0488 203 606 Email: giuseppe@energiassessments.com.au ABN: 77 614 736 284

Certificate No. 0009779877
 Scan QR code or follow website link for rating details.
 Assessor name: Daniel Warda
 Accreditation No.: 101182
 Property Address: Calca Crescent, Forestville NSW, 2087
 hstar.com.au/QR/Generate?w=WFGDyfy



AREAS	
SITE:	697.10 m ²
GROUND FLOOR:	169.68 m ²
FIRST FLOOR:	201.01 m ²
GARAGE:	35.22 m ²
PORCH:	9.90 m ²
BALCONY:	N/A m ²
ALFRESCO:	59.24 m ²
TOTAL:	475.05 m ²

SHEET	DESCRIPTION
2.5	ELEVATION SHADOWS
2.4	SHADOW DIAGRAM
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
13	SLAB PLAN
12	WET AREA DETAILS
11	WET AREA DETAILS
10	WET AREA DETAILS
9	FIRST FL ELECTRICAL LAYOUT
8	GROUND FL ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

QUOTE	DATE	QUOTE NUMBER	REV	REV	DATE	AMENDMENTS	BY
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EHI			-				
AIR CONDITIONING			-				
STAIRS			-	F	29.10.24	HYDRAULICS CO-ORDINATED and EXTERNAL COLOURS	M.H.
LANDSCAPE			-	E	23.10.24	A.C. RELOCATED	M.H.
HYDRAULICS			-	D	01.10.24	DA DRAWINGS	MTK/MJ
ENGINEER			-	C	20.09.24	CV1	MJ
PEG OUT			-	B	13.08.24	CONTRACT DRAWINGS	MTK
			-	A	23.07.24	TENDER SITING	NI

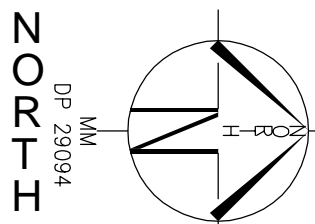
ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

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 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
SARATOGA 48
 Chisholm L/H Garage
 LUXE
 Master Issued: 07.08.24 Revision: A

CLIENT:
 Mr. JOHNSTON
 Mrs. ARATA
 SITE ADDRESS:
 Lot 4A, No. 3, DP:29094
 Calca Crescent
 FORESTVILLE 2087

DA DRAWINGS			
DRAWN: MTK	DATE: 13.08.24	Rev: F	
RATIO @ A3: N/A	CHECKED: CY.		
SHEET: 1	JOB No: 29917213		NSW



APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER

PROVIDE CONCRETE LANDING BY CLARENDON

PROPOSED DRIVEWAY AND GRATED DRAIN BY OWNER AFTER HANDOVER

PROVIDE CONCRETE LANDING AND STEPS BY CLARENDON

EXISTING CROSSOVER TO REMAIN

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____

DATE: _____



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Chisholm
L/H Garage

LUXE

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Calca Crescent
FORESTVILLE 2087

DA DRAWINGS

DRAWN: MTK	DATE: 13.08.24	Rev: F
RATIO @ A3: 1:200	CHECKED: CY.	
SHEET: 2	JOB No: 29917213	NSW

LOT 26 DP 758566
SEC 77 DP 758566

LOT 4A
D.P: 29094
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	697.1 m ²
ROOF AREA	306.6 m ²

LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	370.2 m ² 53.1 %
MIN. REQUIRED BY COUNCIL:	40 %

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	170 m ²
MIN. REQUIRED BY COUNCIL:	60 m ²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	306.6m ²
DRIVEWAY/ PAVED AREAS:	57.7m ²
TOTAL:	364.3m ²
	52.2 %
MAX SITE COVERAGE FOR OSD:	40%

BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	370.2 m ² 53.1 %

- DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION
- DENOTES TREES TO BE PRUNED BY OWNER PRIOR TO CONSTRUCTION

CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	M	ZONE 5

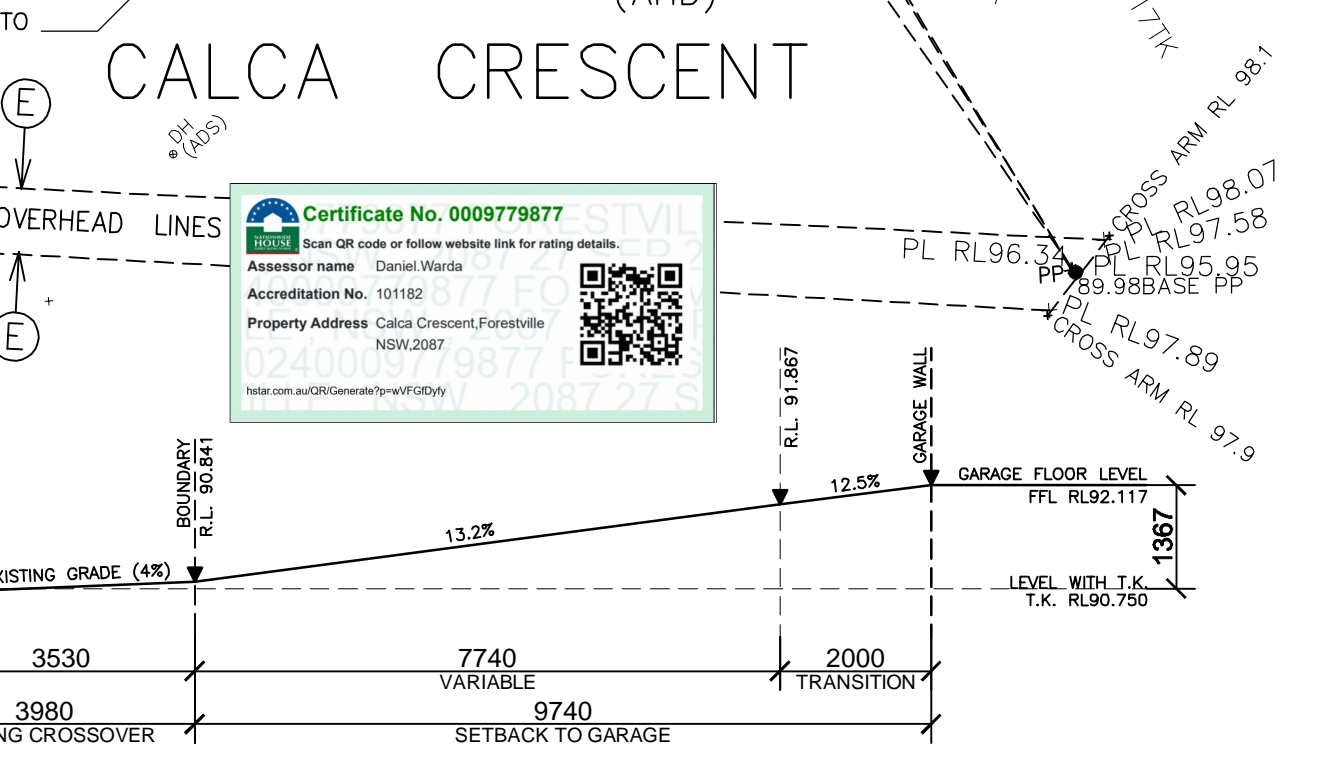
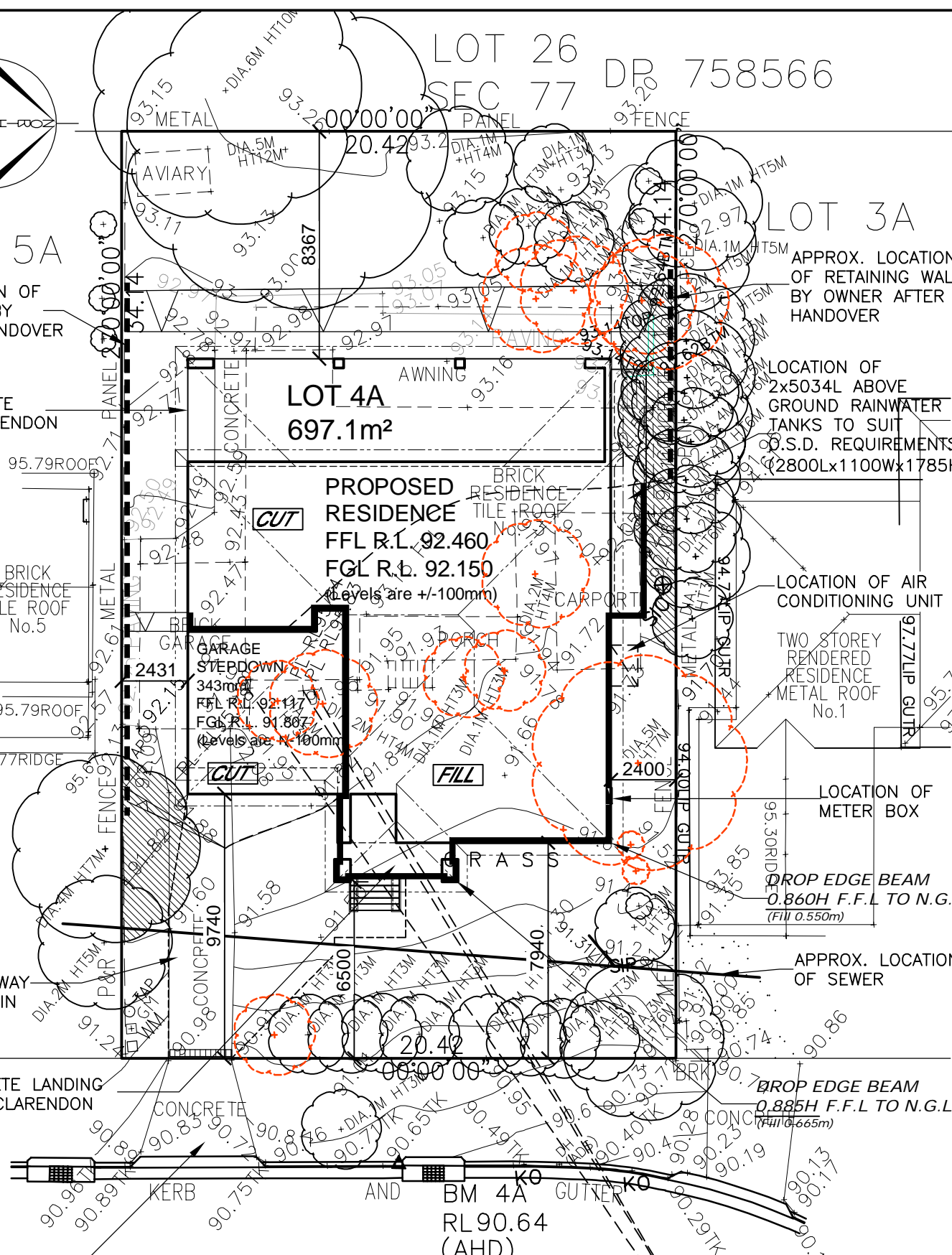
NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

NOTE:
OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

****B.A.S.****
(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT

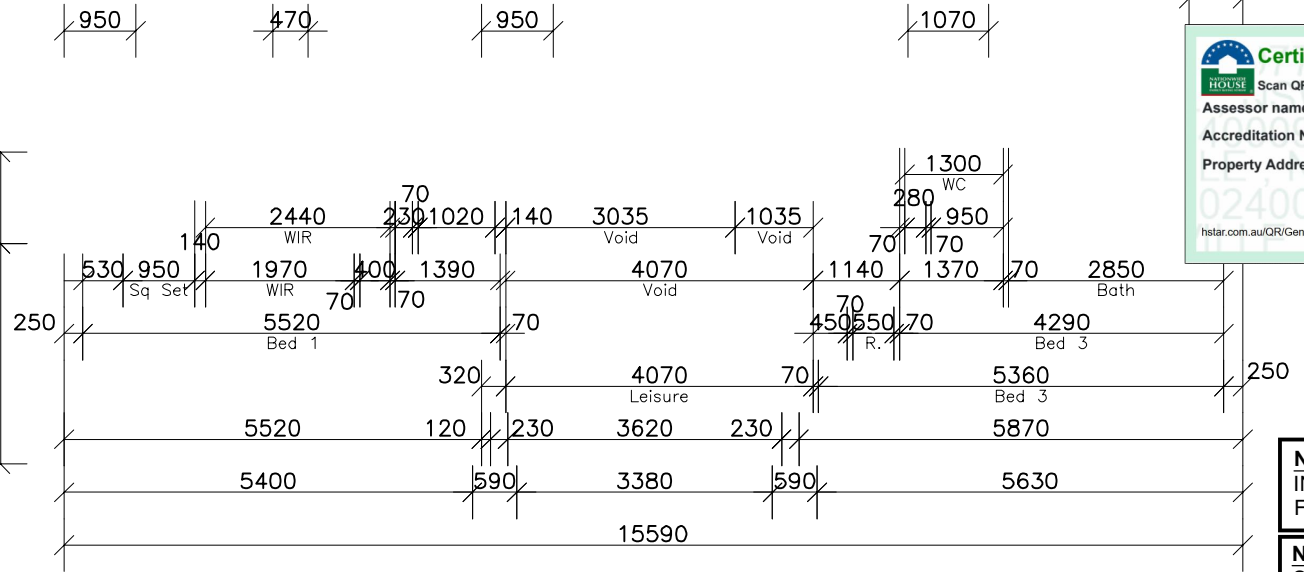
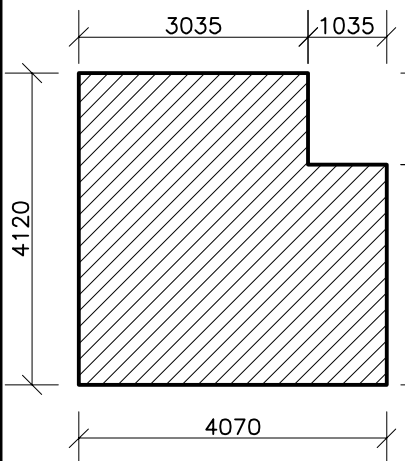
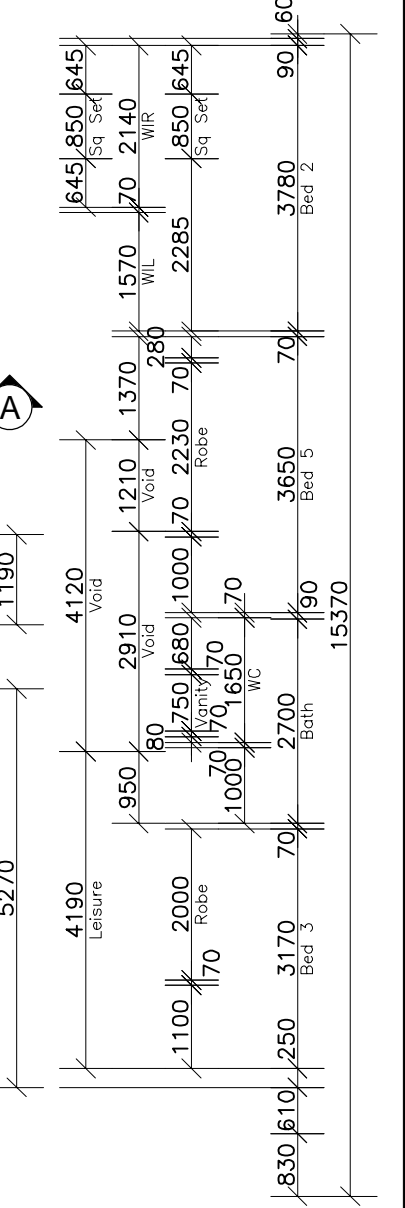
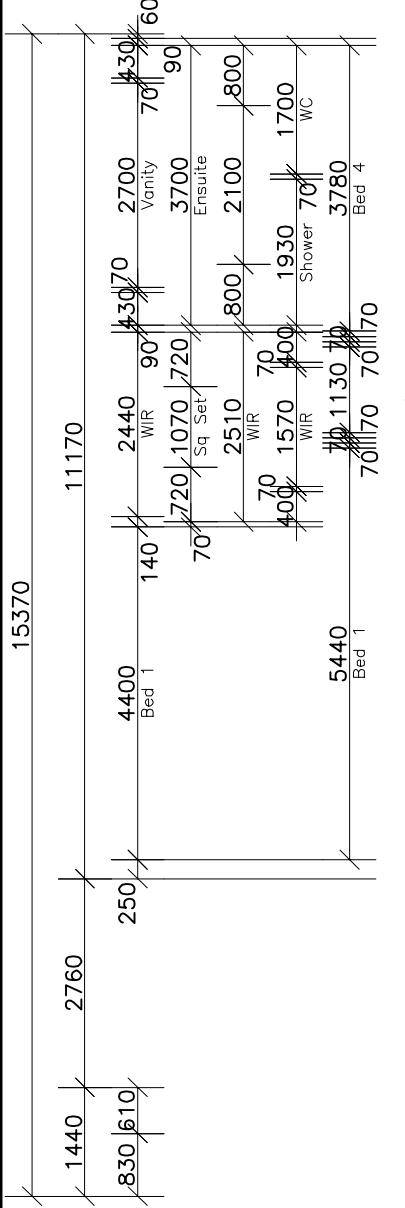
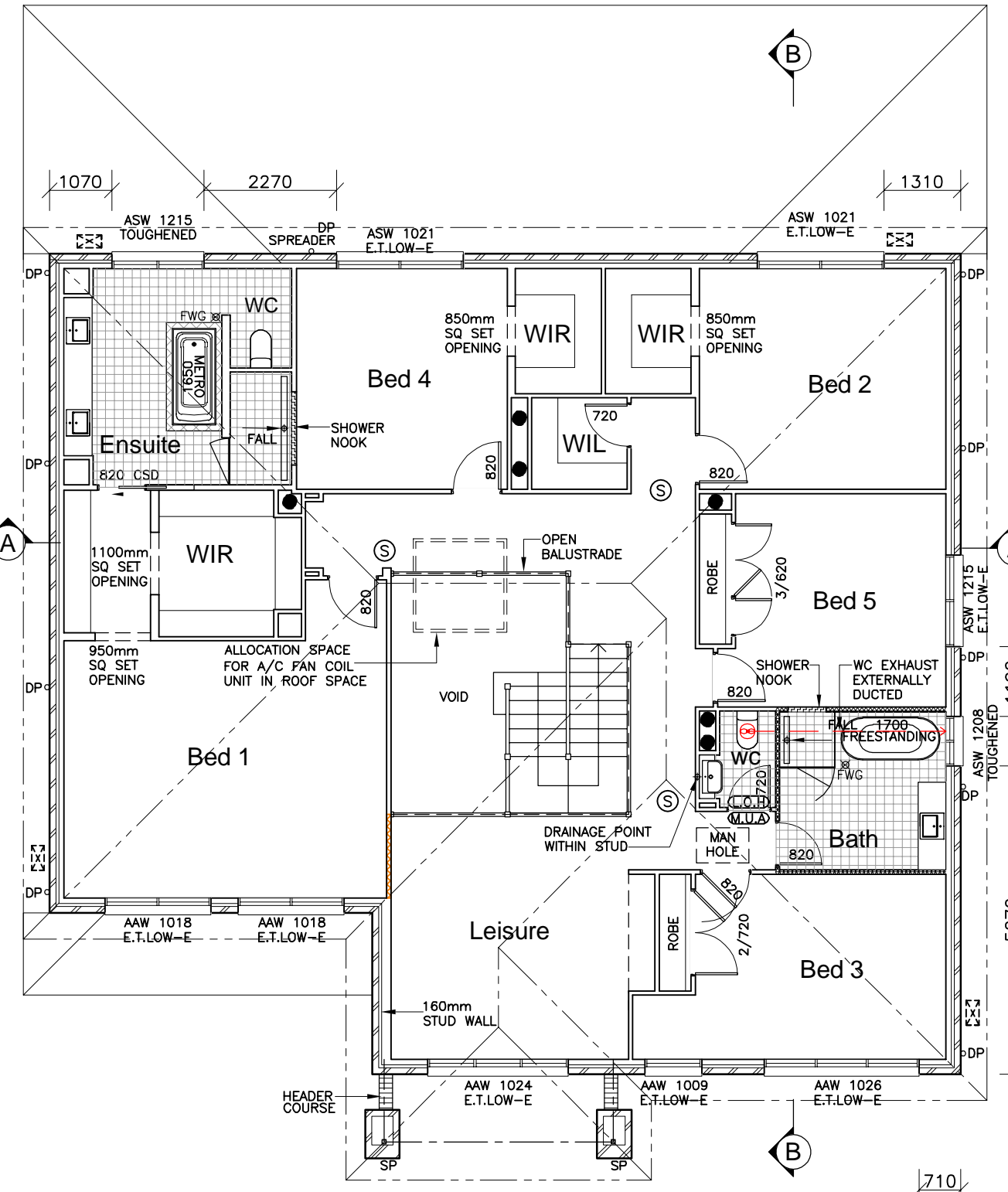
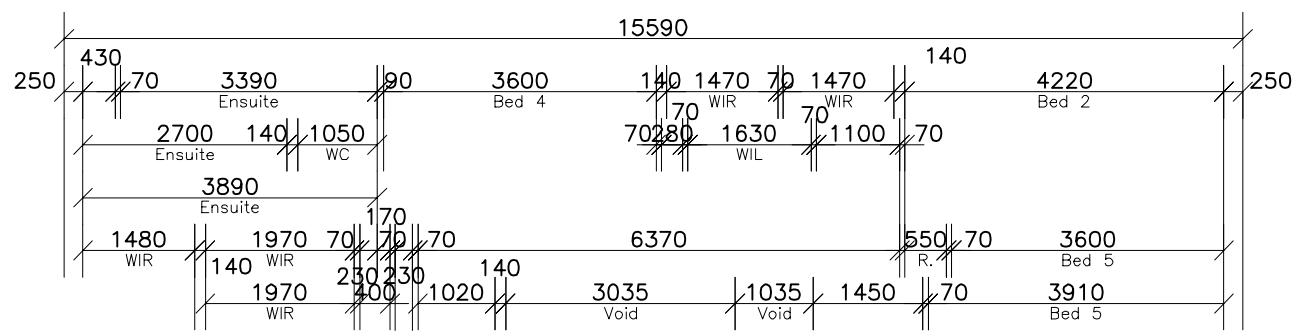
**STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS



DRIVEWAY GRADIENT PROFILE
SCALE - 1:100

	SMOKE ALARM
	EXHAUST FAN
	DOWN PIPE LOCATION
	TELESCOPIC STEEL POST
	LIFT OFF HINGES
	MAKE-UP AIR VENT
	EAVE VENTS
	EXHAUST FAN WITH RUN-ON TIMER
	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
	LINEAR FLOOR WASTE
	LOAD BEARING WALLS
	AIR CONDITIONING DUCT

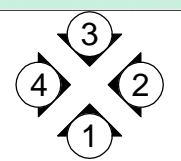
- NOTES**
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY
 - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
 - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
 - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)



Certificate No. 0009779877

Scan QR code or follow website link for rating details.

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Accreditation No. 101182
Property Address Calca Crescent, Forestville NSW, 2087



NOTE:
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 12 FOR DETAILS

PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY and BATHROOM (ONLY)

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

FIRST FLOOR PLAN

CLIENT'S SIGNATURE: _____	DATE: _____	PRODUCT: SARATOGA 48 Chisholm L/H Garage LUXE	CLIENT: Mr. JOHNSTON Mrs. ARATA SITE ADDRESS: Lot 4A, No. 3, DP:29094 Calca Crescent FORESTVILLE 2087	DA DRAWINGS DRAWN: MTK DATE: 13.08.24 RATIO @ A3: 1:100 SHEET: 4	Rev: F CHECKED: CY. JOB No: 29917213 NSW
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ClarendonHomes

BL No. 2298C
ABN 18 003 892 706


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
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ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

SOLAR INCLUSION
 * 3.3 KW SMART SOLAR SYSTEM
 * INVERTER

NOTE:
 HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

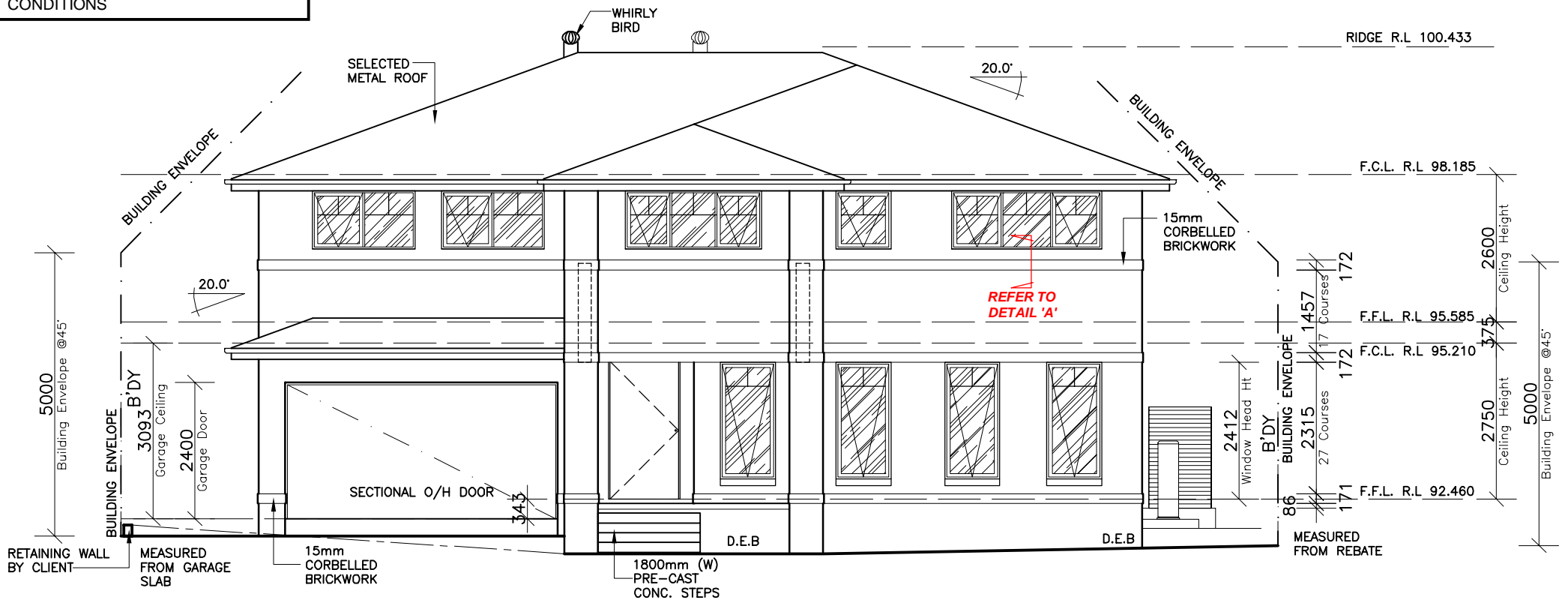
NOTE:
 NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

 DENOTES WINDOWS WITH DOUBLE GLAZED ARGON - FILLED LOW-E GLAZING

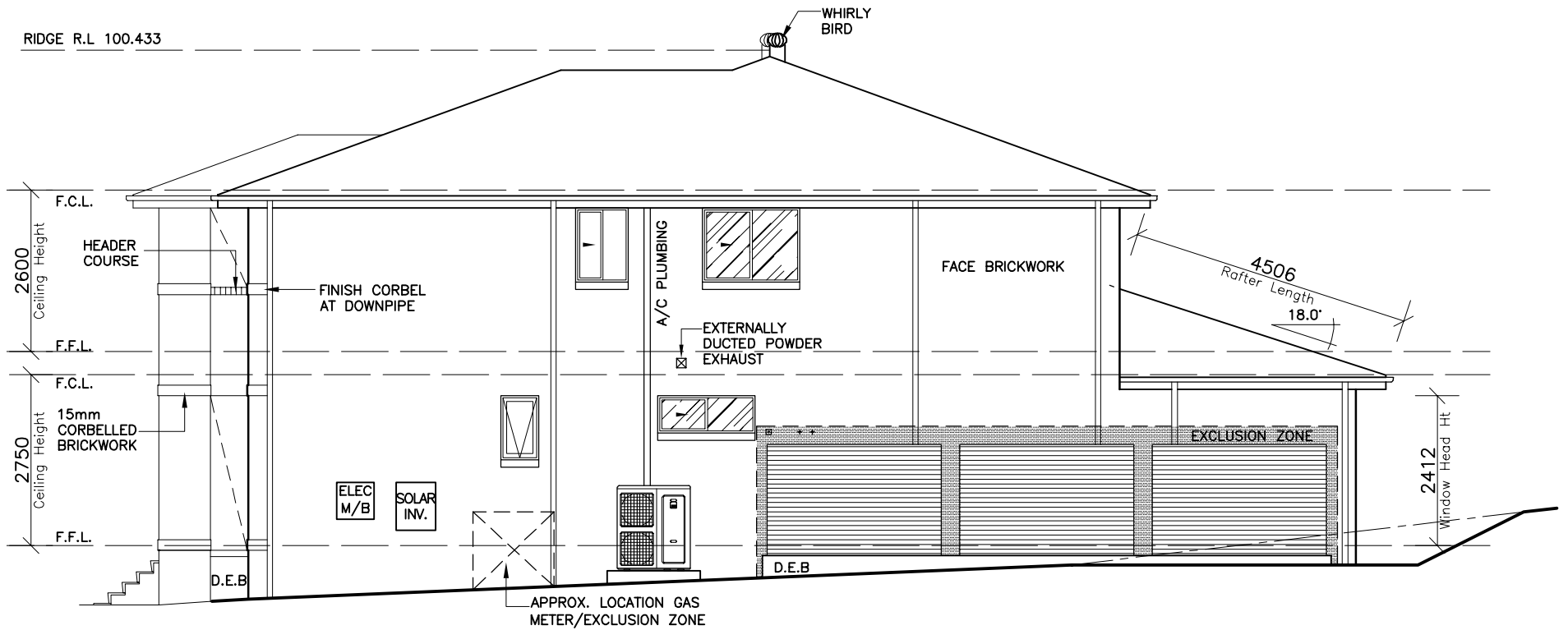
 DENOTES WINDOWS WITH ENERGYTECH LOW-E GLAZING

NOTES:
 FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

HEBEL FLOORING CONSTRUCTION
 (EXCLUDES WET AREAS)



ELEVATION 1
-EAST-



ELEVATION 2
-NORTH-

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
PRODUCT:
SARATOGA 48
 Chisholm
 L/H Garage
 LUXE

CLIENT:
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 Mrs. ARATA
 SITE ADDRESS:
 Lot 4A, No. 3, DP:29094
 Calca Crescent
 FORESTVILLE 2087

DA DRAWINGS

DRAWN: MTK	DATE: 13.08.24	Rev: F
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 5	JOB No: 29917213	NSW

SOLAR INCLUSION
 * 3.3 KW SMART SOLAR SYSTEM
 * INVERTER

 DENOTES WINDOWS WITH DOUBLE GLAZED ARGON - FILLED LOW-E GLAZING

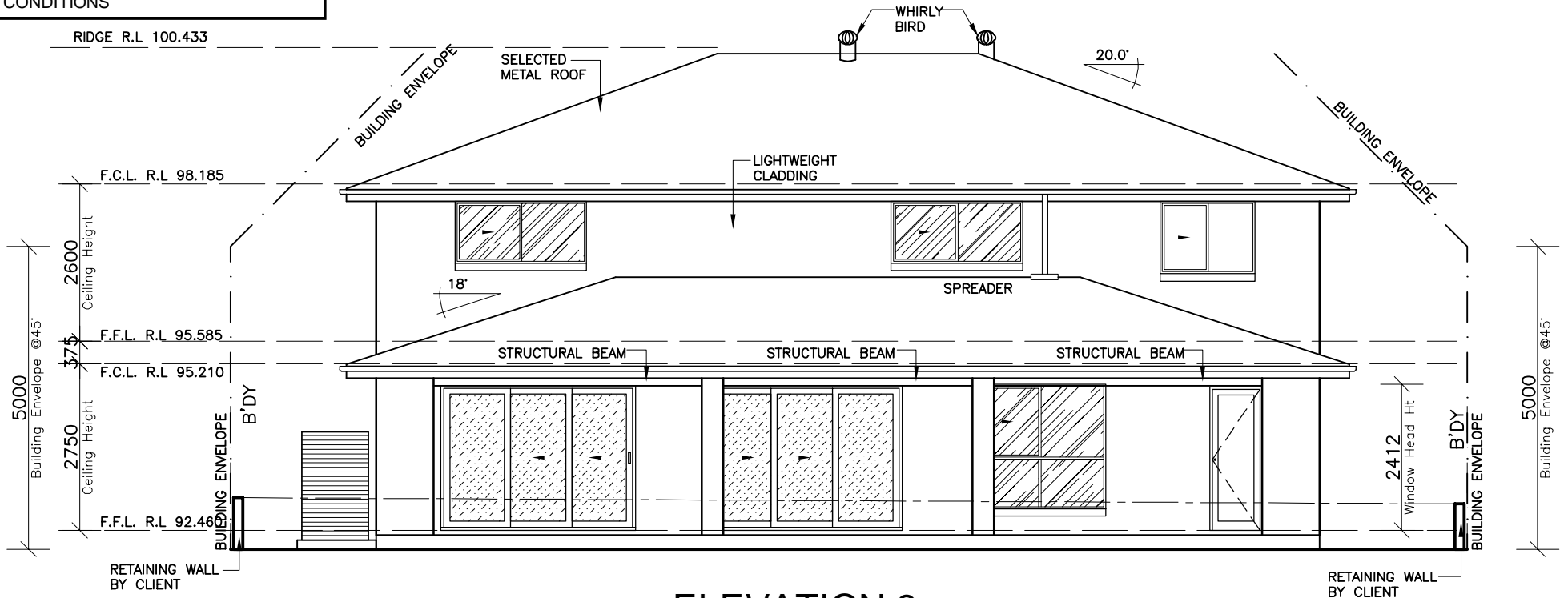
 DENOTES WINDOWS WITH ENERGYTECH LOW-E GLAZING

NOTE:
 HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

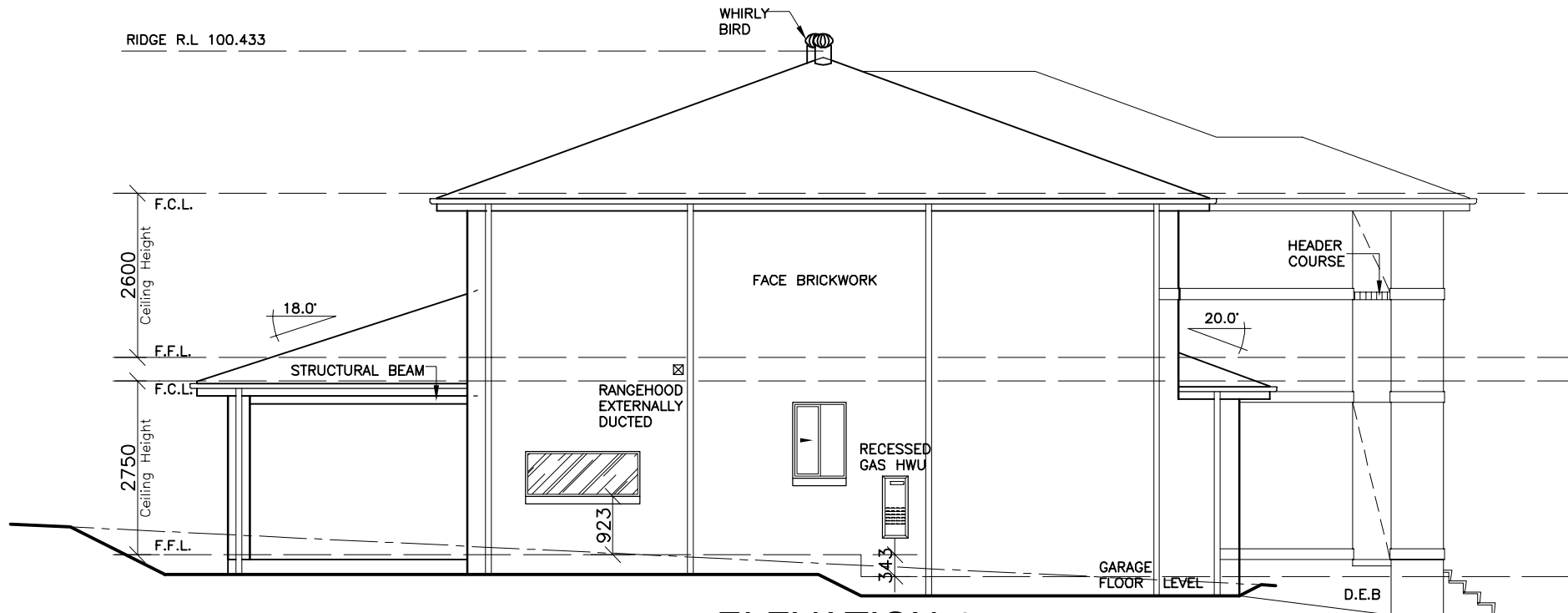
NOTE:
 NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

NOTES:
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CDN 21.010-21.080

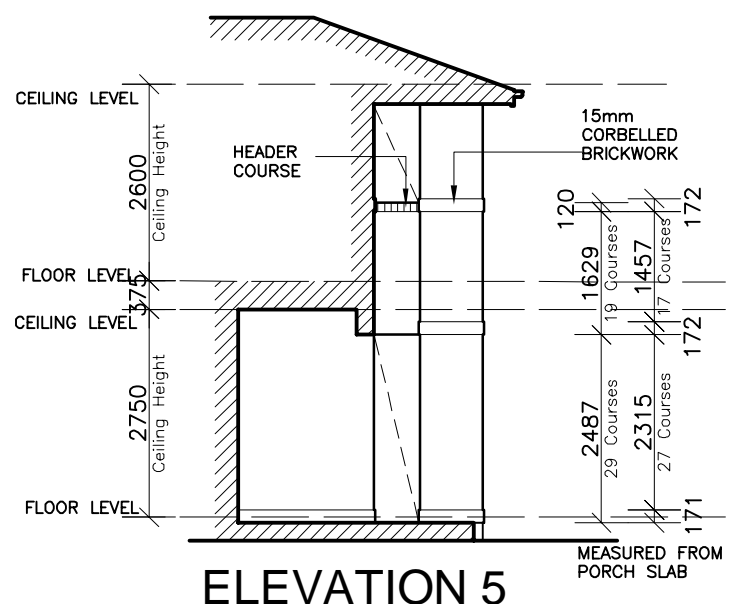
HEBEL FLOORING CONSTRUCTION
 (EXCLUDES WET AREAS)



ELEVATION 3
-WEST-



ELEVATION 4
-SOUTH-



ELEVATION 5

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ClarendonHomes

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SHEET: 6	JOB No: 29917213	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND & FIRST FLOOR TO BE 2340mm(H)

HEBEL FLOORING CONSTRUCTION
(EXCLUDES WET AREAS)

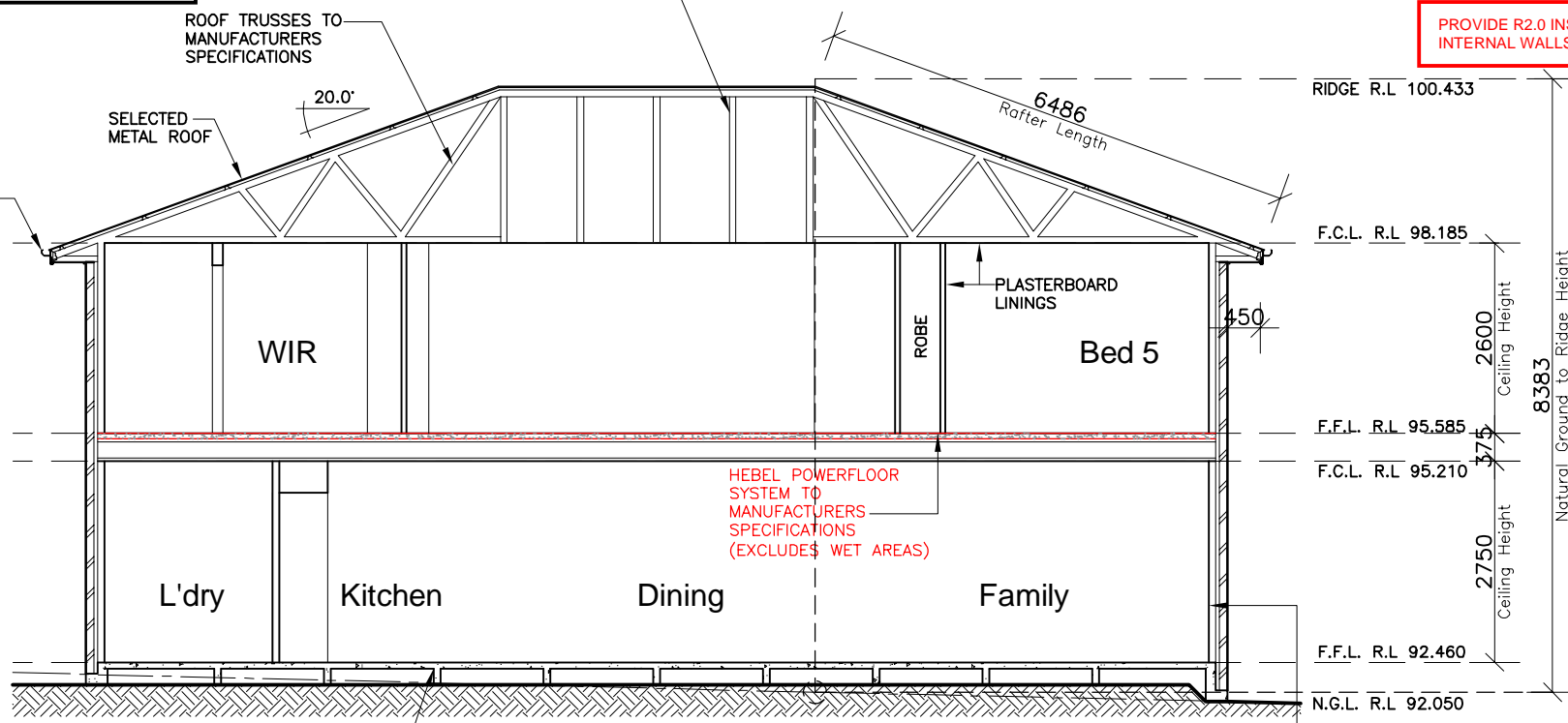
PROVIDE R2.0 INSULATION BATTS TO INTERNAL WALLS OF LAUNDRY AND BATH

PROVIDE R6.0 INSULATION BATTS TO CEILINGS OF LIVING AREAS ONLY (EXCLUDING GARAGE & ALFRESCO)

ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS

SELECTED METAL ROOF

METAL FASCIA & GUTTER



SECTION A-A.

PROVIDE R2.5 INSULATION BATTS TO EXTERNAL WALLS OF LIVING AREAS ONLY (INCLUDING WALLS BETWEEN GARAGE & LIVING)

PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

NOTE:
CLIENT TO INSTALL CEILING FANS TO FAMILY, LIVING & LEISURE AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED

RIBBED RAFT SLAB TO ENGINEER'S DETAILS

6476 Rafter Length

SELECTED METAL ROOF

ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS

PROVIDE R6.0 INSULATION BATTS TO CEILINGS OF LIVING AREAS ONLY (EXCLUDING GARAGE & ALFRESCO)

METAL FASCIA & GUTTER

RIDGE R.L. 100.433

F.C.L. R.L. 98.185

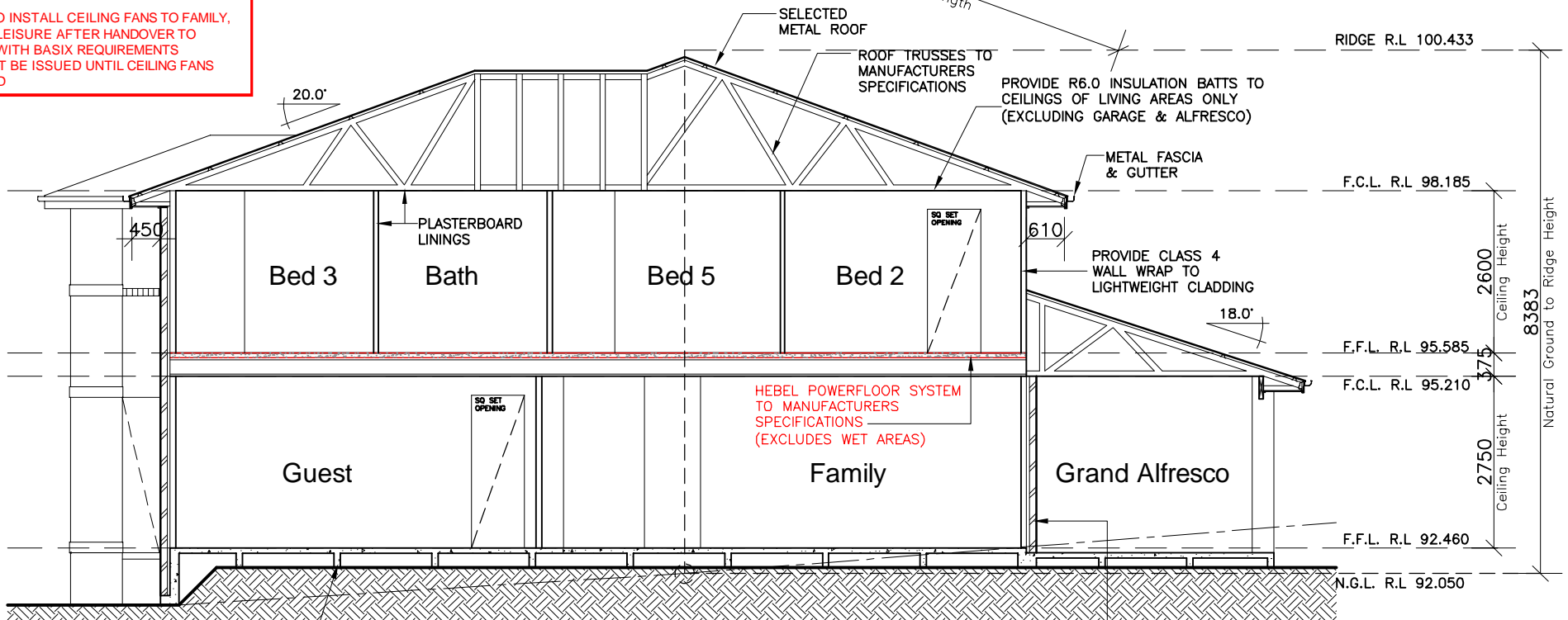
F.F.L. R.L. 95.585

F.C.L. R.L. 95.210

F.F.L. R.L. 92.460

N.G.L. R.L. 92.050

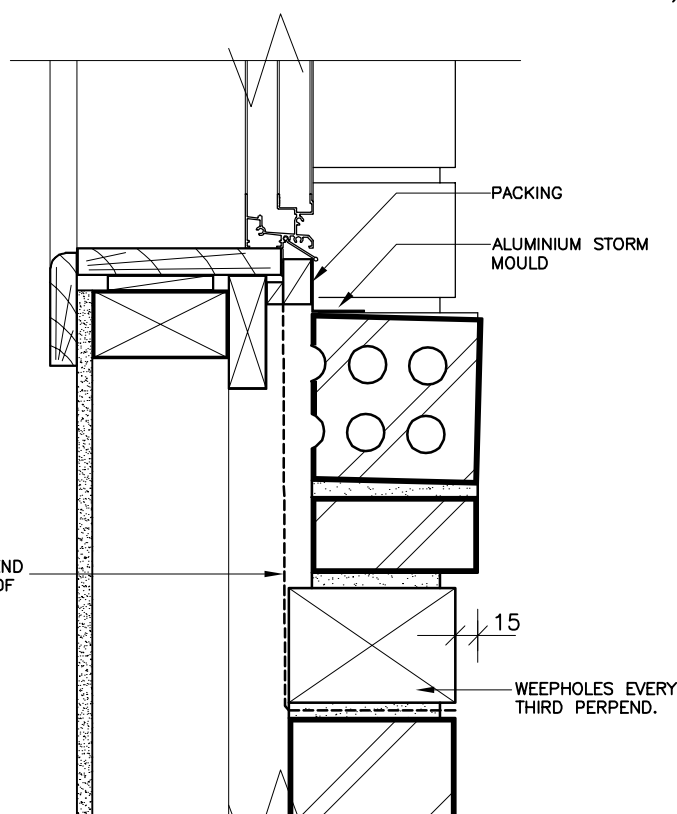
2600 Ceiling Height
2750 Ceiling Height
8383 Natural Ground to Ridge Height



SECTION B-B.

PROVIDE R2.5 INSULATION BATTS TO EXTERNAL WALLS OF LIVING AREAS ONLY (INCLUDING WALLS BETWEEN GARAGE & LIVING)

RIBBED RAFT SLAB TO ENGINEER'S DETAILS



DETAIL 'A'

SCALE: 1:5

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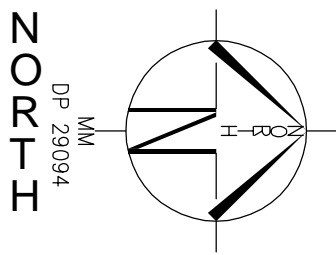
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Calca Crescent
FORESTVILLE 2087

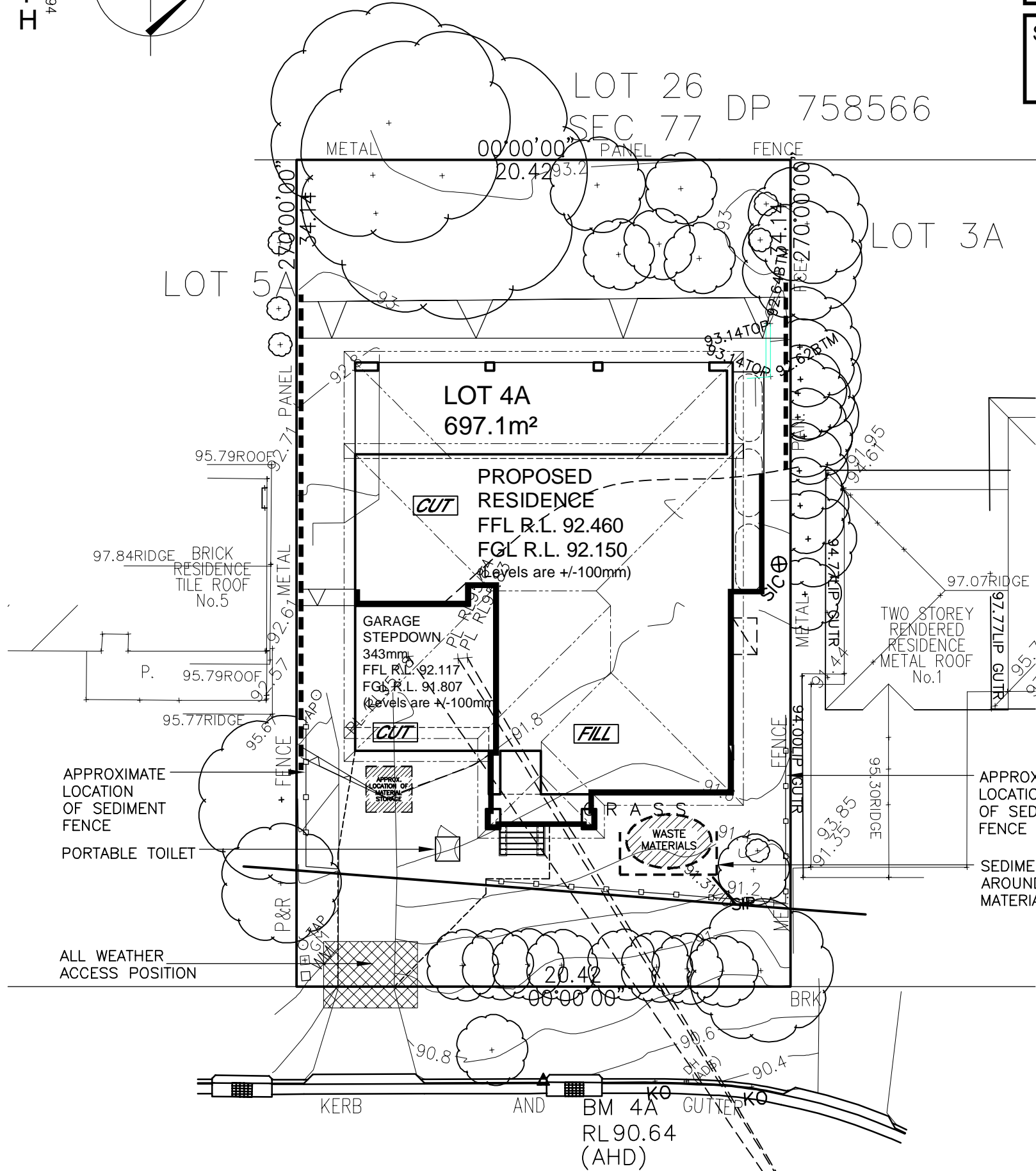
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RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 7	JOB No: 29917213	NSW



LOT 4A
D.P: 29094
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



CALCA CRESCENT

NOTE:
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
 NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
 Bl No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

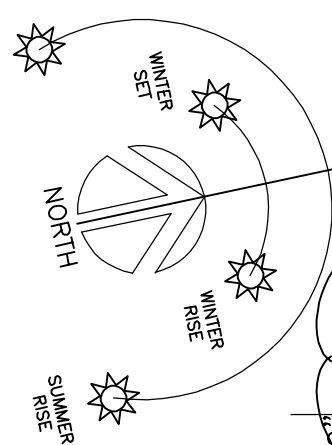
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 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
SARATOGA 48
 Chisholm
 L/H Garage
 LUXE

CLIENT:
 Mr. JOHNSTON
 Mrs. ARATA
 SITE ADDRESS:
 Lot 4A, No. 3, DP:29094
 Calca Crescent
 FORESTVILLE 2087

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SHEET: 2.1	JOB No: 29917213	NSW

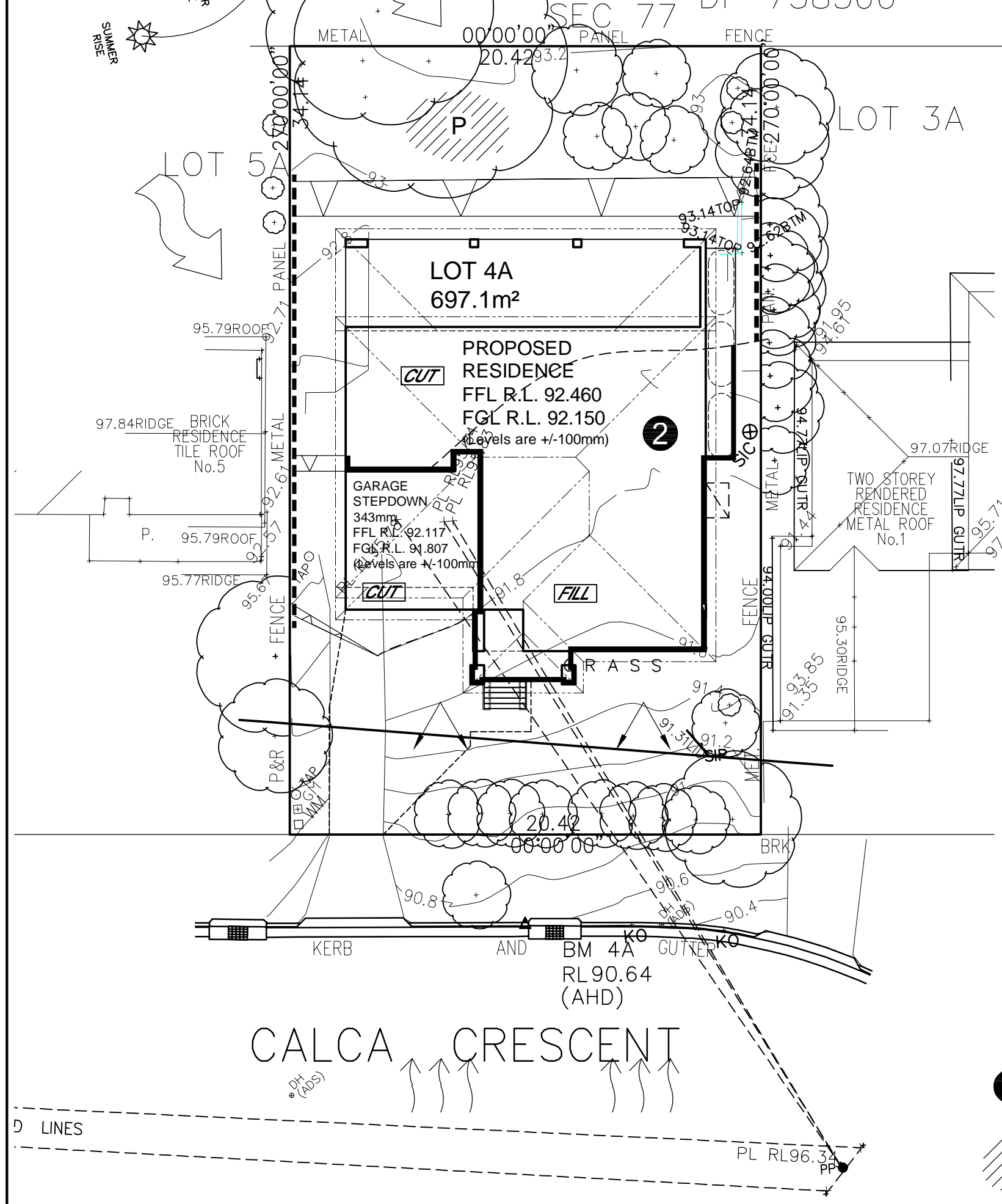
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LOT 4A
D.P: 29094
L.G.A: NORTHERN BEACHES

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LOT 26 DP 758566
SEC 77



CALCA CRESCENT

- NUMBER OF STOREYS
- PRINCIPAL PRIVATE OPEN SPACE
- MAIN VIEWS
- NOISE IMPACT
- PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

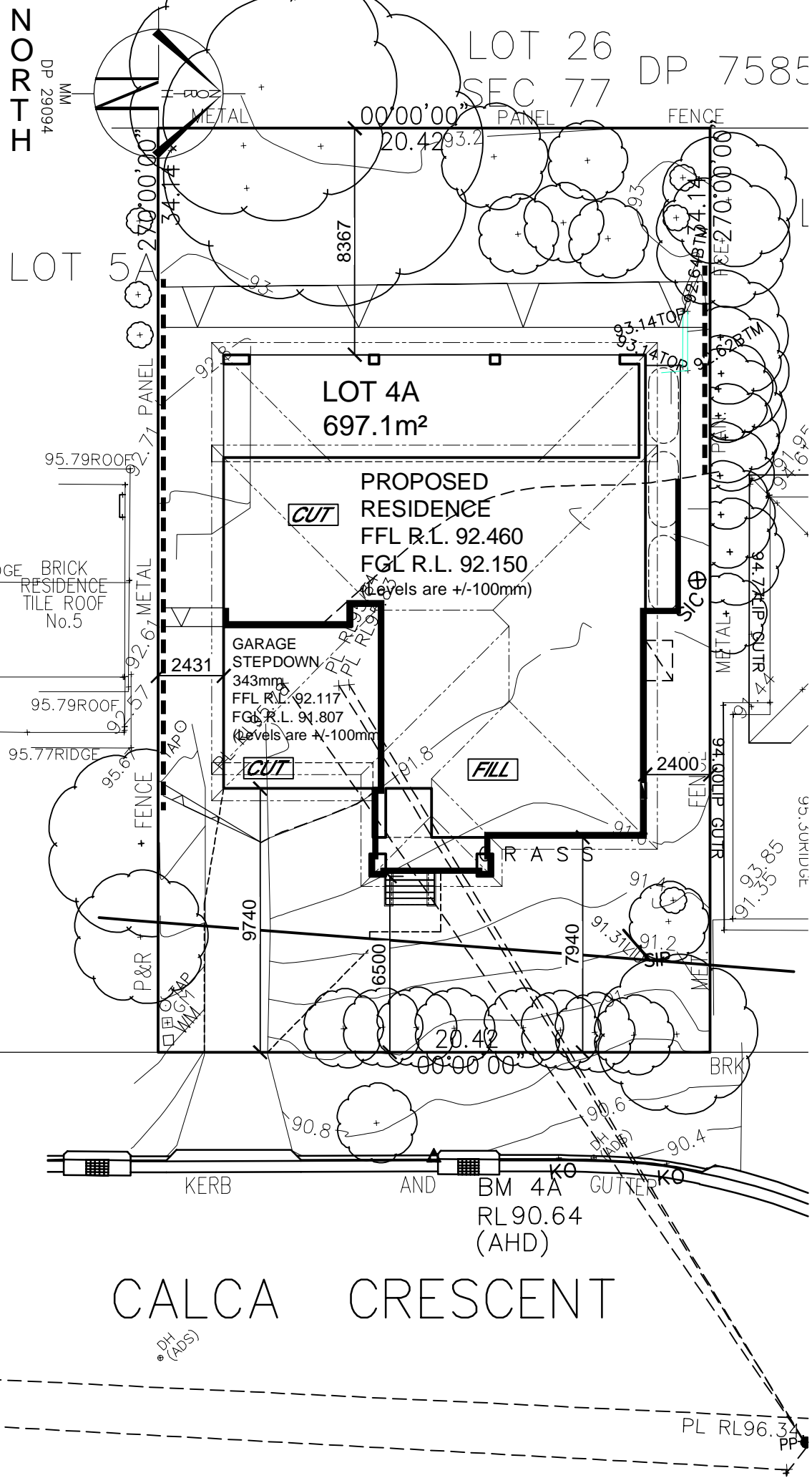
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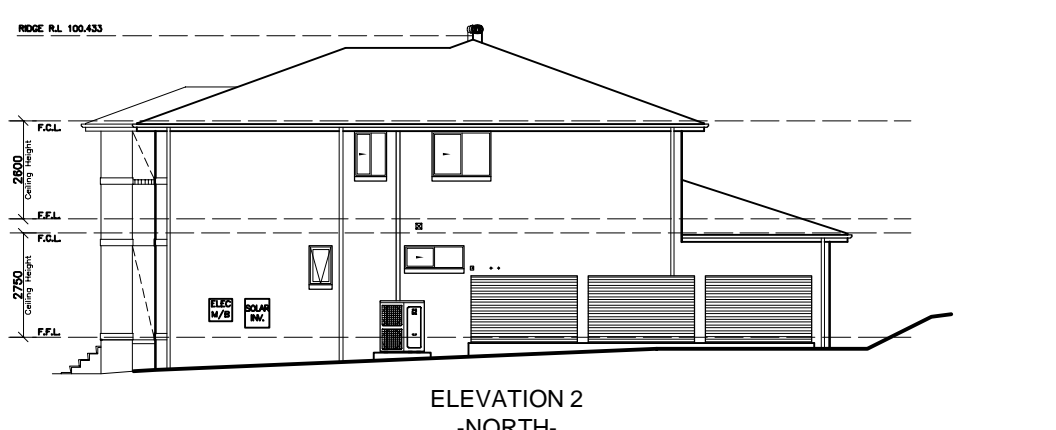
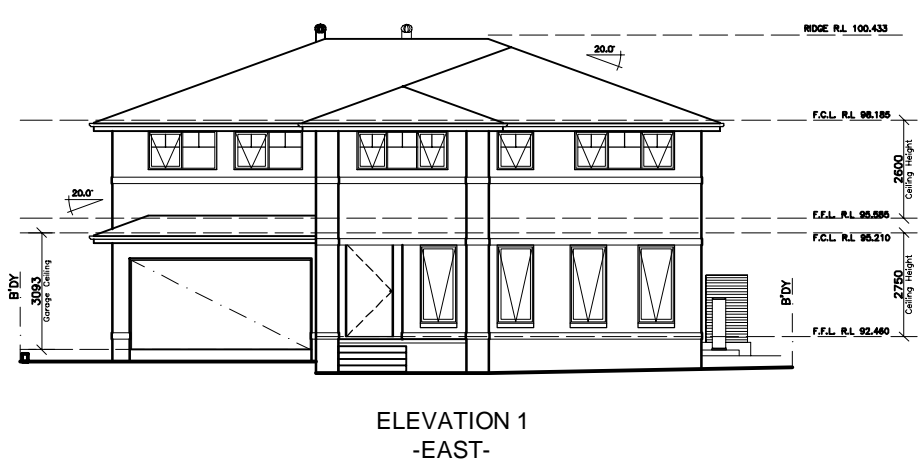
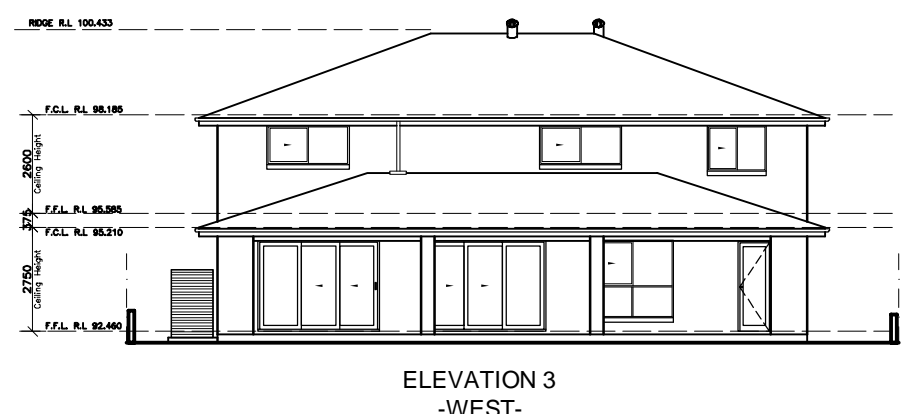
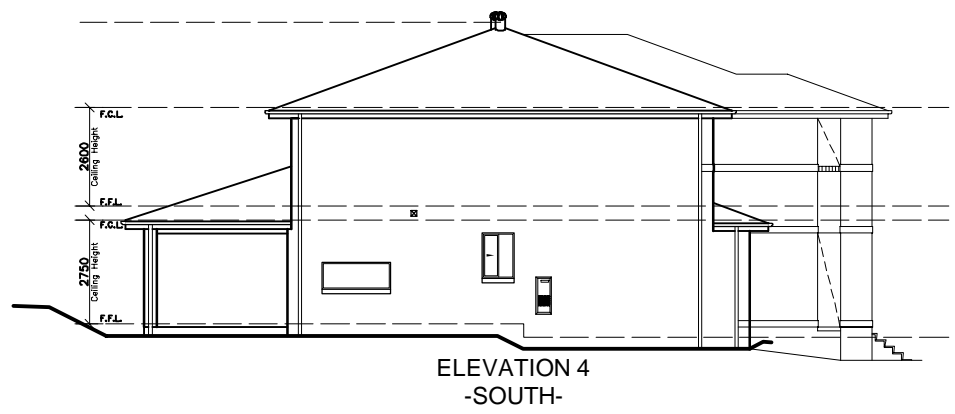
CLIENT:
 Mr. JOHNSTON
 Mrs. ARATA
 SITE ADDRESS:
 Lot 4A, No. 3, DP:29094
 Calca Crescent
 FORESTVILLE 2087

DA DRAWINGS		
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SHEET: 2.2	JOB No: 29917213	NSW



LOT 4A
D.P: 29094
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
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CLIENT'S SIGNATURE: _____ DATE: _____

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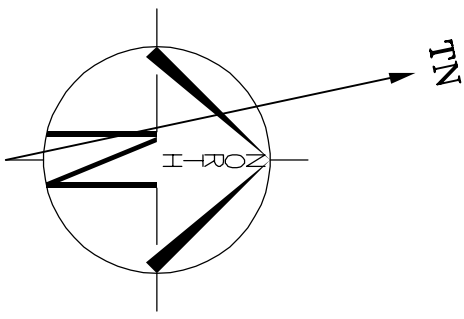
PRODUCT:
SARATOGA 48
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LUXE

CLIENT:
Mr. JOHNSTON
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DP 29094

DP 29094



LOT 4A
D.P: 29094
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 26
SEC 77 DP 758566

Shadow outline for JUN21-9.00am

LOT 5A

LOT 4A
697.1m²

LOT 3A

Shadow outline for JUN21-12.00pm

97.84RIDGE
BRICK
RESIDENCE
TILE ROOF
No.5

TWO STOREY
RENDERED
RESIDENCE
METAL ROOF
No.1

Shadow outline for JUN21-3.00pm

CALCA CRESCENT

NE OF OVERHEAD LINES

SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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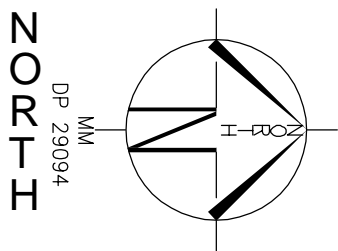
PRODUCT:
SARATOGA 48
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L/H Garage

LUXE

CLIENT:
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FORESTVILLE 2087

DA DRAWINGS

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RATIO @ A3: 1:200	CHECKED: CY.	
SHEET: 2.4	JOB No: 29917213	NSW

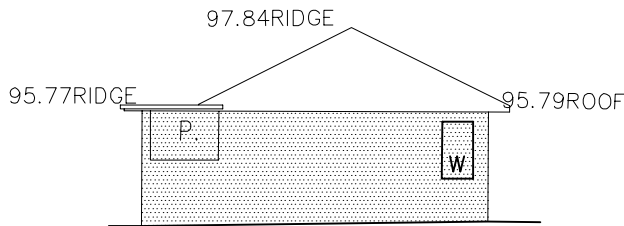


LOT 4A
D.P: 29094
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
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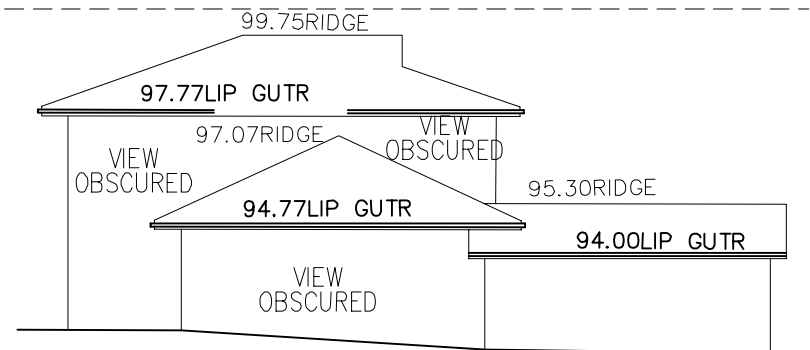
LOT 5A

PROPOSED
 RIDGE R.L 100.433



LOT 5A ELEVATION

LOT 3A

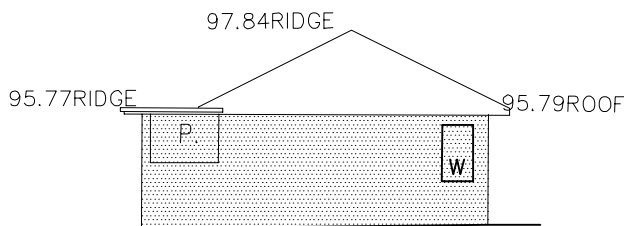


LOT 3A ELEVATION

Shadow outline for JUN21-9.00am

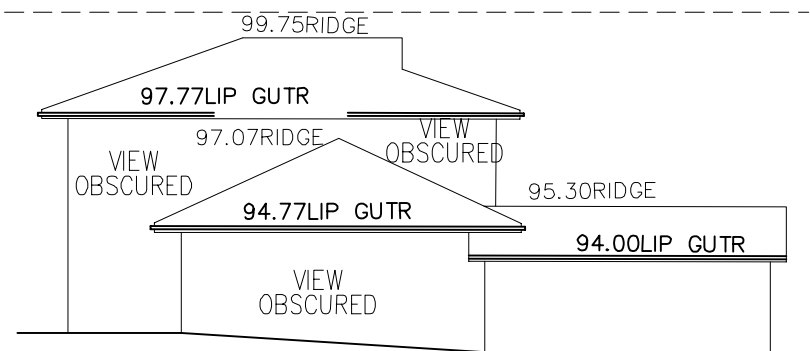
LOT 5A

PROPOSED
 RIDGE R.L 100.433



LOT 5A ELEVATION

LOT 3A

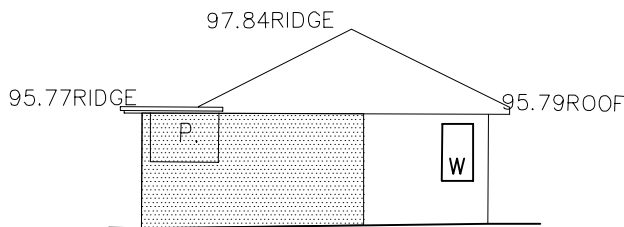


LOT 3A ELEVATION

Shadow outline for JUN21-12.00pm

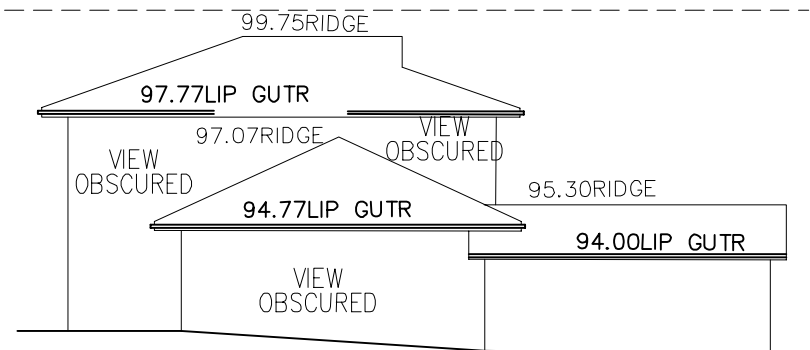
LOT 5A

PROPOSED
 RIDGE R.L 100.433



LOT 5A ELEVATION

LOT 3A



LOT 3A ELEVATION

Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

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 ABN 18 003 892 706

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 Chisholm
 L/H Garage

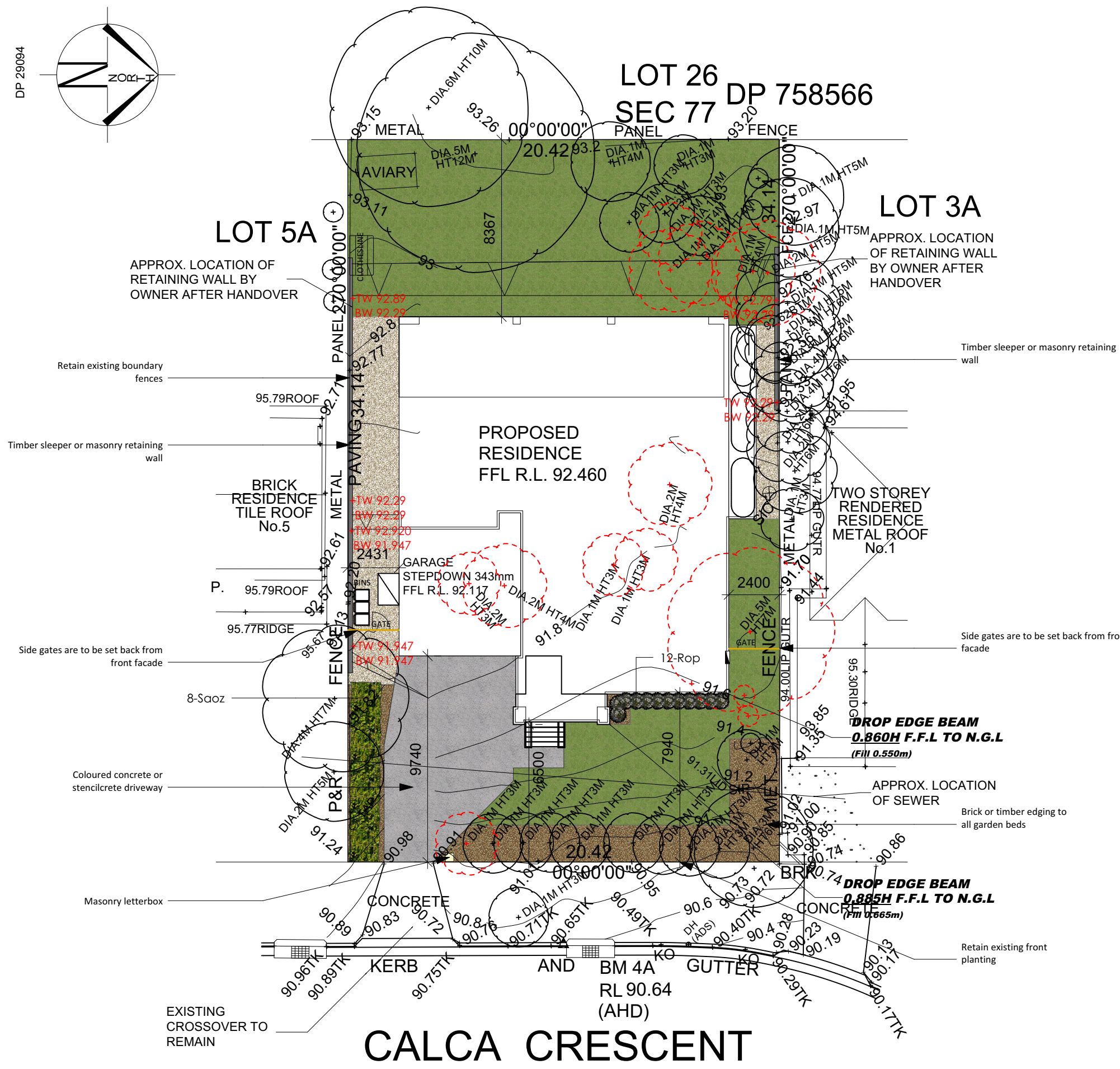
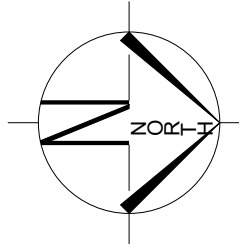
 LUXE

CLIENT:
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 Mrs. ARATA
 SITE ADDRESS:
 Lot 4A, No. 3, DP:29094
 Calca Crescent
 FORESTVILLE 2087









DA DRAWINGS

DRAWN: MTK	DATE: 13.08.24	Rev: F
RATIO @ A3: 1:200	CHECKED: CY.	
SHEET: 2.5	JOB No: 29917213	NSW

DP 29094




Legend

-  Colour / Stencil Concrete
-  Mulched Paths
-  Planting Areas
-  Lawn Areas
-  Retaining Wall
-  1800mm High Boundary Fencing
-  Existing Trees To Be Removed
-  Existing Trees To Be Retained

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	25/09/24

Drafted: JS	Scale: 1:200 
Sheet: 1 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
- See Architects drawings for site levels, setbacks and extent of cut and fill.
 - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 - All relevant Australian standards are to be adhered to.
 - Any structural items are to be installed as per the manufacturer/engineers specifications.
 - This plan is indicative only and not for construction purposes.

SITE CALCULATIONS

LOT AREA	697.1 sq m
LANDSCAPED AREA TOTAL	302.9 sq m 43.444%

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Client: **Mr Johnston**
Mrs Arata

Client Signatures:
1.
2.

Job No. **240294**

Drawing: **Landscape Plan**

Address: **Lot 4A, No 3 Calca Crescent**
Forestville NSW

Council/Lodgement:
Northern Beaches/DA

DappleDesigns

Ph: 1300 DAPPLE
(1300 327753)
E: info@dappledesigns.com.au
www.dappledesigns.com.au

Any existing trees are to be protected in accordance with councils Tree Protection Detail

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CALCA CRESCENT

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINED WHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
SHRUBS							
	Rop	RHAPHIOLEPIS 'ORIENTAL PEARL'	INDIAN HAWTHORN	1M X 1M	NO	12	200MM
HEDGES							
	Saoz	SYZYGIUM 'RESILIENCE'	RESILIENCE LILLY PILLY	TRIMMED UP TO 3M	YES	8	200MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER '**HAVEN' BRICK EDGING** OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR '**TREATED TIMBER EDGING** SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

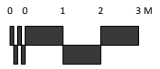
d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	25/09/24

Drafted: JS	Scale: 1:200 
Sheet: 2 of 4	Reference: LP 01

Designed by:

Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

- See Architects drawings for site levels, setbacks and extent of cut and fill.
- This plan shall be read in conjunction with the Hydraulic Engineers drawings.
- All relevant australian standards are to be adhered to.
- Any structural items are to be installed as per the manufacturer/engineers specifications.
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SITE CALCULATIONS

LOT AREA	697.1 sq m	
LANDSCAPED AREA TOTAL	302.9 sq m	43.444%

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Client: **Mr Johnston**
Mrs Arata

Client Signatures:

-
-

Job No. **240294**

Drawing: **Plant List/Specification**

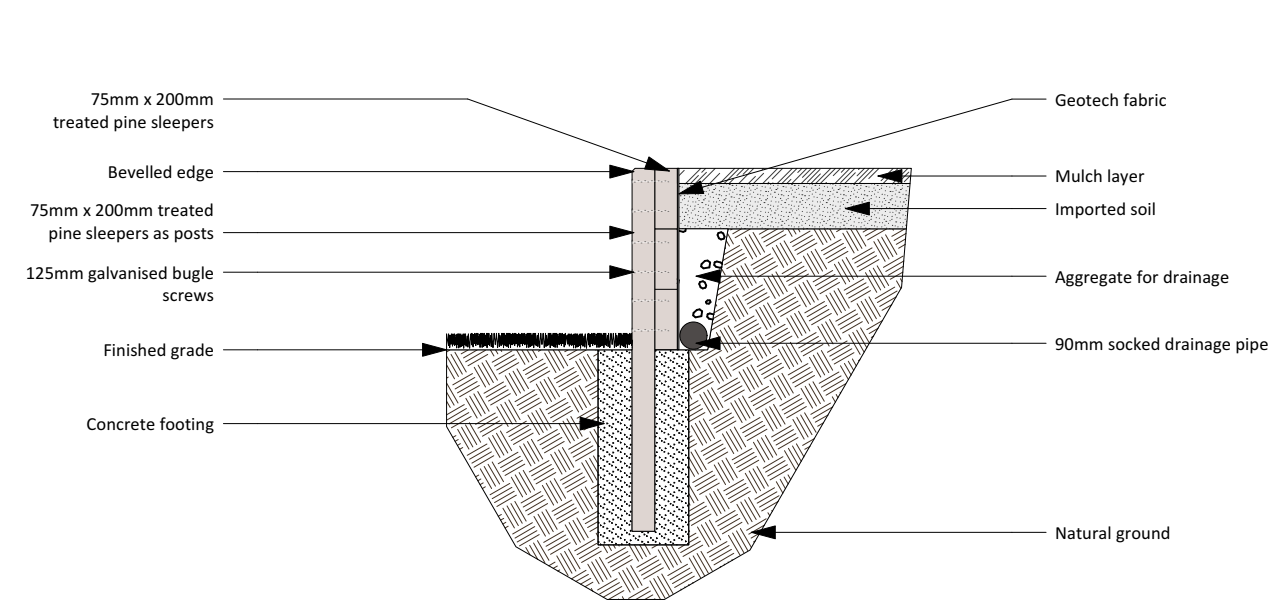
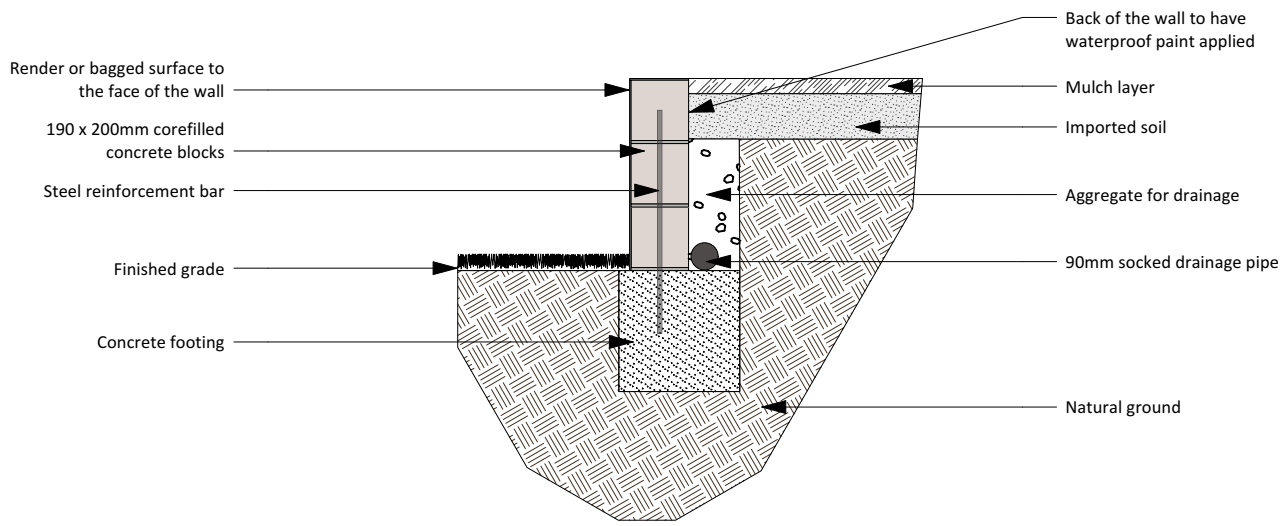
Address: **Lot 4A, No 3 Calca Crescent**
Forestville NSW

Council/Lodgement:
Northern Beaches/DA

DappleDesigns

Ph: 1300 DAPPLE
(1300 327753)
E: info@dappledesigns.com.au
www.dappledesigns.com.au

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DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STRAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STRAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

RENDERED/BAGGED RETAINING WALL DETAIL

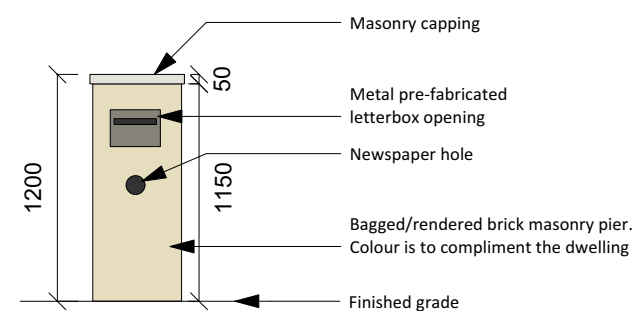
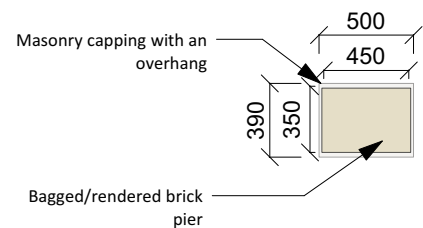
SCALE 1:25

TREATED TIMBER RETAINING WALL DETAIL

SCALE 1:25

TOP VIEW

FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT

LETTERBOX DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	25/09/24

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 3 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
 2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 3. All relevant Australian standards are to be adhered to.
 4. Any structural items are to be installed as per the manufacturer/engineers specifications.
 5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	697.1 sq m	
LANDSCAPED AREA TOTAL	302.9 sq m	43.444%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Johnston**
Mrs Arata

Client Signatures:
1.
2.

Job No. **240294**

Drawing: **Details**

Address: **Lot 4A, No 3 Calca Crescent**
Forestville NSW

Council/Lodgement:
Northern Beaches/DA

DappleDesigns
Ph: 1300 DAPPLE
(1300 327753)
E: info@dappledesigns.com.au
www.dappledesigns.com.au

Revision Schedule

Issue:	Description:	By:	Date:
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Drafted: JS	Scale: 1:200 
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Sheet: 4 of 4	Reference: LP 01
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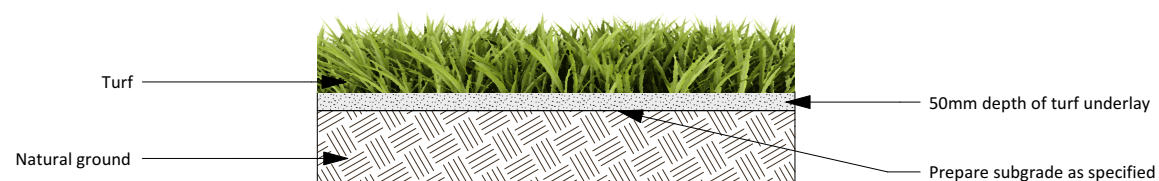
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
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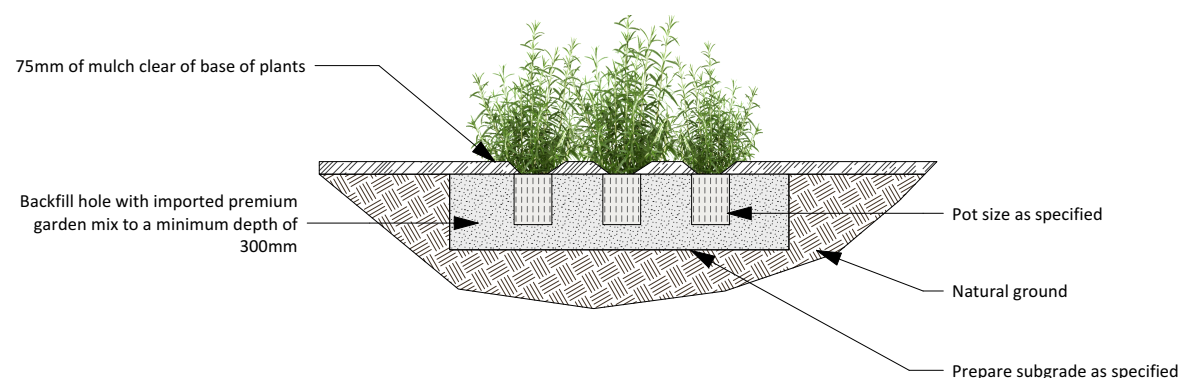
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DETAILS

1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

 TURF LAYING DETAIL
SCALE 1:20



DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
3. WATER THOROUGHLY AFTER PLANTING
4. REFER TO PLAN FOR QUANTITIES AND SPACING

 SHRUB & GROUNDCOVER PLANTING DETAIL
SCALE 1:30