

- 'A' - EASEMENT TO DRAIN WATER 1.5 WIDE (A)  
'B' - EASEMENT TO DRAIN WATER 1.4-0.9 WIDE (B)  
'C' - EASEMENT TO DRAIN WATER 2.1-2.6 WIDE (C)  
'D' - EASEMENT FOR ACCESS 3.5 WIDE (D)

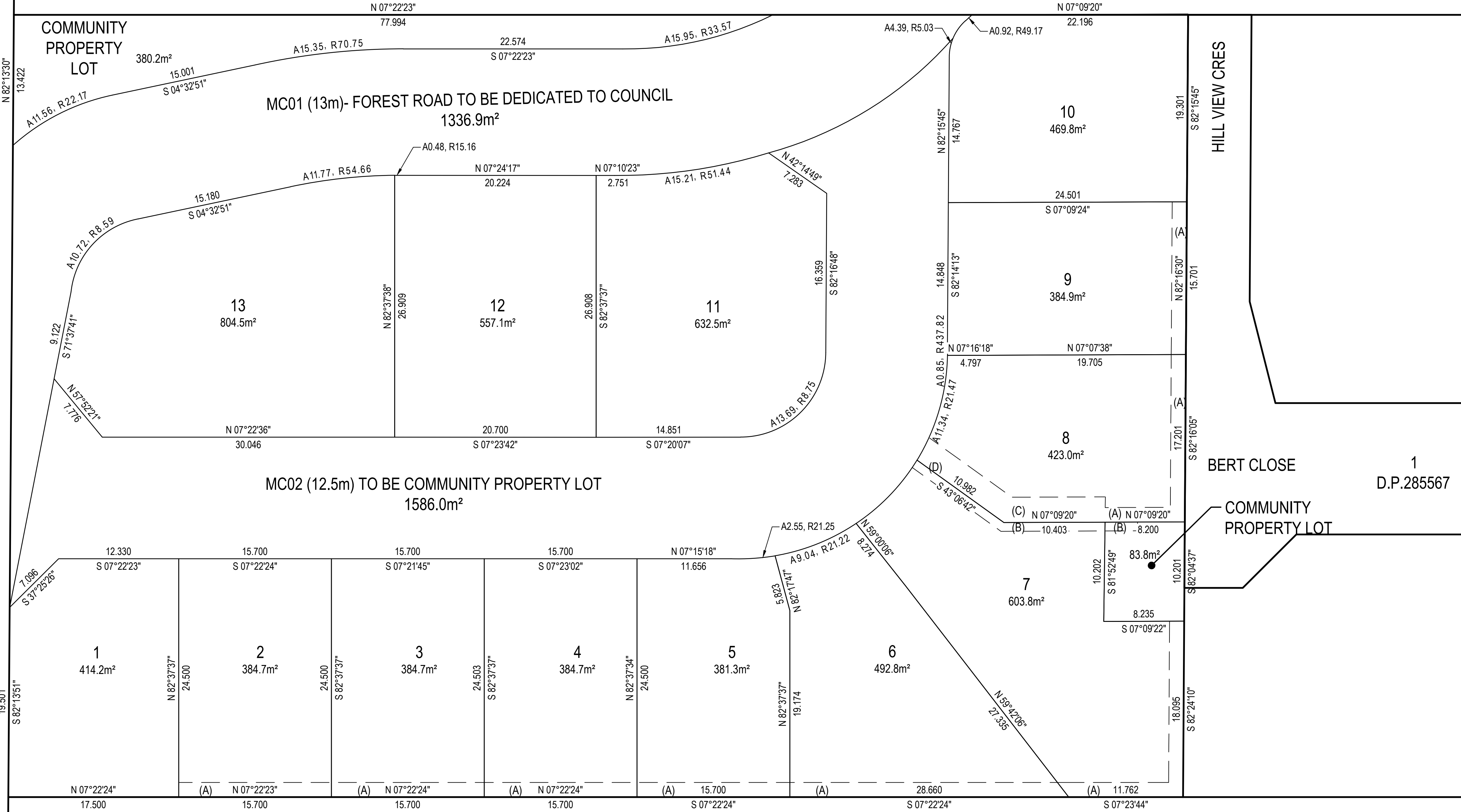
  
northern  
beaches  
council  
**PLANS APPROVED BY THE LAND AND  
ENVIRONMENT COURT OF NSW**  
**PROCEEDINGS NO: 2023/00450443**  
**DATED: 15 April 2025**

EXISTING  
SCHOOL

1  
D.P.1083731

MC04 - FOREST ROAD

1  
D.P.5055



S.P.38285

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

SCALE 1:250 @ A1  
SCALE 1:500 @ A3

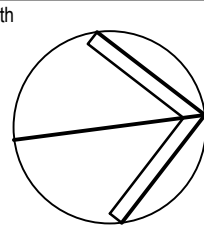


Issue	Description	Date	Drawn	Approved
G	FURTHER UPDATES	04.03.25	VG	GL
F	FURTHER UPDATES	04.03.25	VG	GL
E	FURTHER UPDATES	04.03.25	VG	GL
D	FURTHER UPDATES	04.03.25	VG	GL

1cm at full size

10cm

20cm



Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

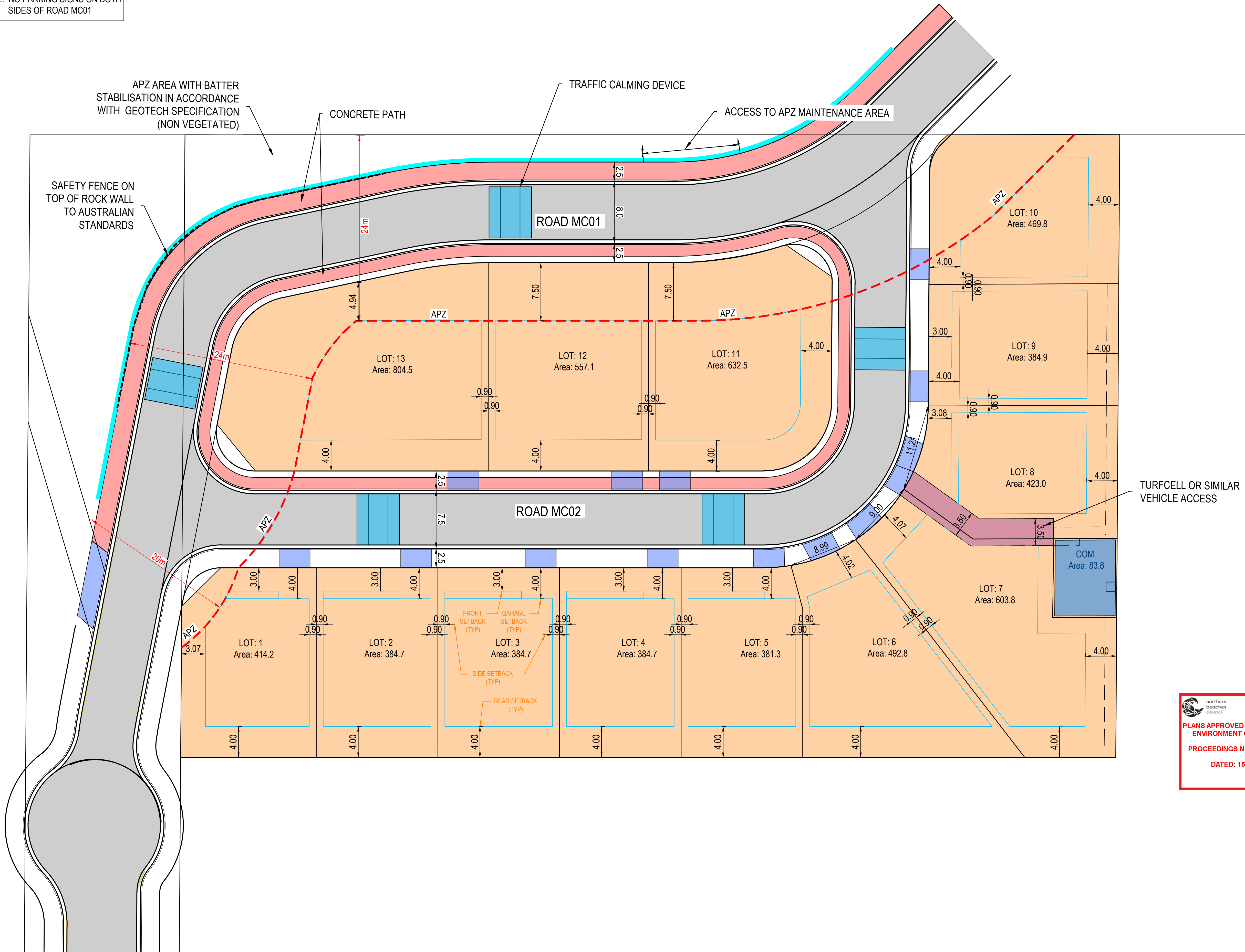
Drawing Title  
**SUBDIVISION PLAN**

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	FEB 25	1:250		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C1.401	G		

NOT FOR CONSTRUCTION

\\BSPR01\Projects\1852710182\1852710182.dwg:25/02/2025 14:41:40:1852710182.dwg

NOTE: NO PARKING SIGNS ON BOTH SIDES OF ROAD MC01



Plans approved by the Land and Environment Court of NSW  
Proceedings No: 2023/00450443  
Dated: 15 April 2025

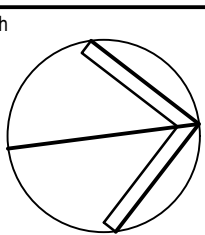
© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by:

H	FURTHER AMENDMENTS	04.03.25	VG	VG
G	FURTHER AMENDMENTS	04.03.25	VG	VG
F	FURTHER AMENDMENTS	04.03.25	VG	VG
E	BUSHFIRE PROTECTION MEASURES UPDATED	11.02.25	VG	VG
Issue	Description	Date	Drawn	Approved

SCALE 1:500 @ A1  
SCALE 1:1000 @ A3

0 5 10 20 30 40 50 metres



Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065

SCALE 1:250 @ A1  
SCALE 1:500 @ A3

0 2.5 5 10 15 20 25 metres



ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
RESIDENTIAL SUBDIVISION

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
LOT LAYOUT

Drawn VG	Date Aug-24	Scale AS SHOWN	A1	Q.A. Check	Date
Designed VG	Project No. NSW210416	Dwg. No. SKC11.01	Issue H		

NOT FOR CONSTRUCTION

W:\PROJECTS\RESIDENTIAL\2023\20230416\20230416\_01.dwg  
15/04/2025 11:55pm



LEGEND:

- +RL10.23 FINISHED GROUND LEVEL  
+TOW RL10.99 PROPOSED TOP OF WALL LEVEL  
EXISTING LEVELS - SURVEY  
CADASTRAL BOUNDARY  
PROPOSED ROAD, REFER TO CIVIL ENGINEERS DRAWINGS  
PROPOSED NOMINAL SHARE PATH LOCATION, REFER TO CIVIL ENGINEERS DRAWINGS  
PROPOSED DRIVEWAY CROSSOVER LOCATION, REFER TO CIVIL ENGINEERS DRAWINGS  
PROPOSED LAWN AREA  
PROPOSED ROCK FACE / SANDSTONE BLOCK RETAINING WALL, REFER TO CIVIL ENGINEERS DRAWINGS  
EXISTING LOG RETAINING WALL TO BE RETAINED  
PROPOSED HARDWOOD TIMBER LAWN EDGE  
PROPOSED STORMWATER PITS, REFER TO CIVIL ENGINEERS DRAWINGS  
ASSET PROTECTION ZONE (APZ) SETBACK  
OSD TANK, REFER TO CIVIL ENGINEERS DRAWINGS  
PROPOSED TURFCELL OR SIMILAR VEHICLE ACCESS

PROPOSED STREET TREE NOTES:

- ALL STREET TREES SHALL BE INSTALLED IN ACCORDANCE WITH DCP C4.8 SUBDIVISION - LANDSCAPING ON THE EXISTING AND PROPOSED PUBLIC ROAD RESERVE FRONTAGE TO SUBDIVISION LOTS AND WARRIEWOOD VALLEY RELEASE AREA - MASTERPLAN AND DESIGN GUIDELINES  
- FINAL LOCATION OF STREET TREES SHALL BE DETERMINED ON SITE  
- FINAL SPACINGS OF STREET TREES SHALL BE ADJUSTED ON SITE TO SUIT SUBSURFACE CONDITIONS  
- FINAL LOCATION OF STREET TREES SHALL NOT IMPACT ON PUBLIC UTILITIES. THE APPLICANT/CONTRACTOR SHALL LIAISE WITH THE RELEVANT SERVICE AUTHORITIES ON THE LOCATION AND USE OF SERVICES WITHIN THE PUBLIC ROAD RESERVE. THESE AUTHORITIES MAY BE ABLE TO LAY THEIR SERVICES ON THE OPPOSITE SIDE OF THE ROAD, THEREBY PROVIDING LARGER AREAS FOR TREE PLANTING.  
- FINAL LOCATION OF STREET TREES SHALL NOT INTERFERE WITH STREET LIGHT SPILL  
- ALL TREE PITS SHALL BE PROVIDED WITH ADEQUATE SOIL DEPTH  
- ALL IMPORTED SOIL TO ACHIEVE THE REQUIREMENTS OF AS4419 - SOILS FOR LANDSCAPING  
- ALL SOFT EDGES ARE TO BE FINISHED TO APPROPRIATE FALLS AND FLUSH WITH ADJACENT SURFACE TREATMENT  
- ALL MULCH IS TO BE FREE OF DELETERIOUS MATERIAL SUCH AS ROCK, SOIL, WEEDS AND STICKS  
- ADEQUATE DRAINAGE AT BASE OF TREEPIT SHALL BE TO BE PROVIDED



INGLESIDE CHASE RESERVE

ASSET PROTECTION ZONE (APZ) SETBACK AS PER ARCHITECTURALS

APZ AREA WITH BATTER STABILISATION IN ACCORDANCE WITH GEOTECH SPECIFICATION AND VEGETATION MANAGEMENT PLAN

APZ TO BE MANAGED IN ACCORDANCE WITH THE VEGETATION MANAGEMENT PLAN AND THE PBP 2019 (REFER BUSHFIRE REPORT)

PROPOSED ROCK FACE / SANDSTONE BLOCK RETAINING WALL, REFER TO CIVIL ENGINEERS DRAWINGS

SAFETY FENCE ON TOP OF ROCK WALL TO AUSTRALIAN STANDARDS

PROPOSED CONCRETE FOOTPATH TO WESTERN SIDE OF ROAD MC01 AS AGREED WITH COUNCIL

PROPOSED KERB AND GUTTER, REFER TO CIVIL ENGINEERS DRAWING

NOMINAL LOCATION OF PROPOSED 1.5m CONCRETE SHARE PATH TO FUTURE ENGINEERS DETAIL

1-Angophora costata

PROPOSED ROADS, REFER TO CIVIL ENGINEERS DRAWING

NOMINAL LOCATION OF PROPOSED 1.5m CONCRETE SHARE PATH TO FUTURE ENGINEERS DETAIL

PROPOSED DRIVEWAY CROSSOVER LOCATION, REFER TO CIVIL ENGINEERS DRAWING

5-Banksia integrifolia

NOMINAL TREE PIT DIMENSIONS IN ACCORDANCE WITH WARRIEWOOD VALLEY RELEASE AREA - MASTERPLAN AND DESIGN GUIDELINES

19-Ceratopetalum gummiferum

14-Backhousia myrtifolia

17-Melaleuca stypheloides

16-Buckinghamia celsissima

PROPOSED TURFCELL OR SIMILAR VEHICLE ACCESS, REFER TO CIVIL DRAWINGS FOR DIMENSIONS

65-Ficinia nodosa

35-Gahnia aspera

48-Lomandra longifolia

PROPOSED OSD TANK LOCATION, REFER TO CIVIL ENGINEERS DRAWING

NOTE:  
REFER CIVIL DOCUMENTATION PREPARED BY ACOR CONSULTANTS

NOTE:

THE LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND SERVICES SHALL BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS AND PROTECTED AND LEFT UNDISTURBED DURING WORKS.

STREET TREE NOTES:

- FINAL LOCATION OF STREET TREES SHALL BE DETERMINED ON SITE

NOTE:

REFER DWG L/03 - PLANTING SCHEDULE & LANDSCAPE SPECIFICATION FOR PLANTING SCHEDULE FOR PROJECT

I	5/3/25	ISSUED FOR COURT	CV
H	4/3/25	ISSUED FOR COURT	CV
G	28/2/25	ISSUED FOR COURT	CV
F	16/12/24	AMENDED TO SUIT BUSHFIRE ADVICE	CV
E	2/12/24	UPDATED FOR COURT	CV
D	5/7/24	UPDATED FOR COURT	OC
C	17/10/23	UPDATED FOR COUNCIL RESPONSE	OC
B	7/2/23	UPDATED FOR COUNCIL RESUBMISSION	OC
A	7/12/22	AMENDED IN RESPONSE TO COUNCIL PRE-LODGEEMENT MEETING	OC
No.	Date	REVISION	By

Notes:
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. Do not scale from drawings.
3. If in doubt contact Landscape Architect.
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.
5. This plan has been prepared for DA purposes only.
6. All Building Works shall be installed to Structural Engineers detail

Legend:

BMN  
PROPERTY

Drawing:  
**Proposed Public Domain Plan**  
Address:  
4 Forest Road, Warriewood NSW 2102  
Project:  
**Residential Subdivision**  
Client:  
BMN Properties Pty Ltd

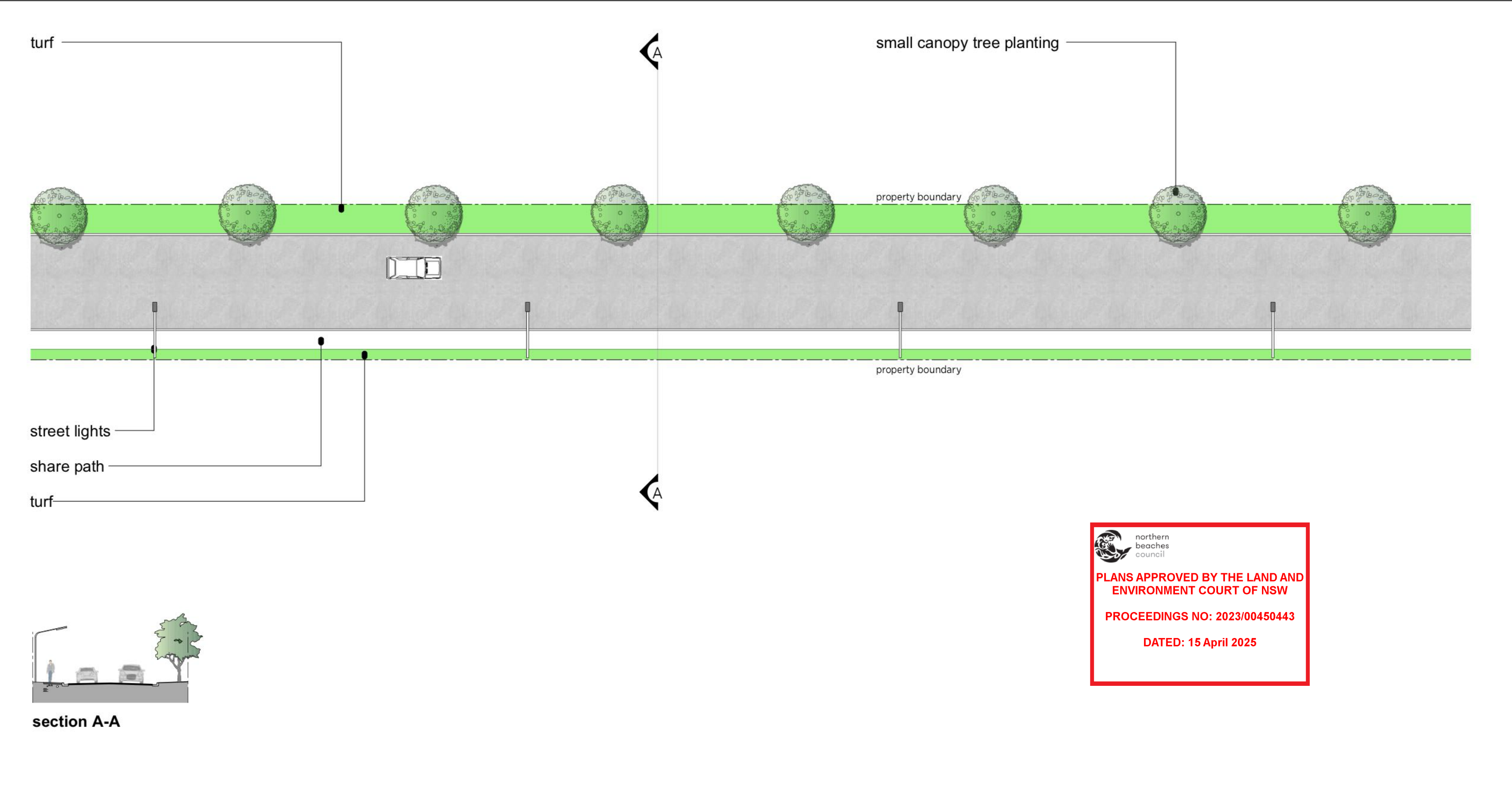
A Total Concept Landscape Architects  
& Swimming Pool Designers  
65 West Street, North Sydney NSW 2060  
T: (02) 9957 5122 E: design@atotalconcept.com.au  
www.atotalconcept.com.au  
atc  
a total concept  
landscape architects & swimming pool designers

Status	
SCALE - 1:300 @ A1	
Drawn By   OC	Dwg Date   17.11.21
Checked By   KR	Plot Date   5/3/25
CAD File Name   Warriewood Subdivision - Rev 5.dwg	

Project No.  
**BMN**  
Drawing No. Rev #  
**L/01 I**  
**OF 4**



WARRIEWOOD VALLEY RELEASE AREA - MASTERPLAN AND DESIGN GUIDELINES - ACCESS STREET



NOTE:

AS PER DCP C4.8 SUBDIVISION - LANDSCAPING ON THE EXISTING AND PROPOSED PUBLIC ROAD RESERVE FRONTAGE TO SUBDIVISION LOTS, THE PROPOSED LANDSCAPE SHALL BE AS FOLLOWS:

- STREET TREES SHALL BE PLACED AT 6-METRE CENTRES
- STREET TREES SHALL ALLOW FOR PEDESTRIAN ACCESS AND NOT INTERFERE WITH EXISTING POWER LINES
- PROPOSED TREES SHALL BE A MINIMUM OF 35-LITRE SIZE
- STREET TREE PLANTING HOLES SHALL BE A MINIMUM OF 1X1M AND BACKFILLED WITH SUITABLE PLANTING MATERIAL
- PROPOSED STREET TREES SHALL BE APPROPRIATELY SUPPORTED AS PER DCP
- EXISTING TREES OVER 3M SHALL BE RETAINED AND PROTECTED AS PER DCP
- TURFED AREAS SHALL BE WEED-FREE SPECIES AND EVEN GRADED TO A MAXIMUM 4% SLOPE

NOTE:

REFER CIVIL DOCUMENTATION PREPARED BY ACOR CONSULTANTS

ACCESS STREET - STREET TREE



Angophora costata




Banksia integrifolia


<div><div><div><div><div>I</div><div>H</div><div>G</div><div>F</div><div>E</div><div>D</div><div>C</div><div>B</div><div>A</div></div><div><div>5/3/25</div><div>4/3/25</div><div>28/2/25</div><div>16/12/24</div><div>2/12/24</div><div>5/7/24</div><div>17/10/23</div><div>7/2/23</div><div>7/12/22</div></div><div><div>ISSUED FOR COURT</div><div>ISSUED FOR COURT</div><div>AMENDED TO SUIT BUSHFIRE ADVICE</div><div>UPDATED FOR COURT</div><div>UPDATED FOR COURT RESPONSE</div><div>UPDATED FOR COUNCIL RESUBMISSION</div><div>AMENDED IN RESPONSE TO COUNCIL PRE-LODGEEMENT MEETING</div></div></div></div><div><div>CV</div><div>CV</div><div>CV</div><div>CV</div><div>OC</div><div>OC</div><div>OC</div><div>OC</div><div>OC</div></div><div><div>Notes:</div><div>1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.</div><div>2. Do not scale from drawings.</div><div>3. If in doubt contact Landscape Architect.</div><div>4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.</div><div>5. This plan has been prepared for DA purposes only.</div><div>6. All Building Works shall be installed to Structural Engineers detail</div></div></div> <div><div>Legend:</div><div><div><div>B</div><div>M</div><div>N</div></div><div>PROPERTY</div></div></div>	<div><div>Drawing:</div><div>Proposed Public Domain Landscape Details</div></div> <div><div>Address:</div><div>4 Forest Road, Warriewood NSW 2102</div></div> <div><div>Project:</div><div>Residential Subdivision</div></div> <div><div>Client:</div><div>BMN Properties Pty Ltd</div></div>	<div><div>A Total Concept Landscape Architects &amp; Swimming Pool Designers</div><div>65 West Street, North Sydney NSW 2060</div><div>1. (02) 9957 5122    E: design@atotalconcept.com.au</div><div>www.atotalconcept.com.au</div></div> <div><div>atc</div><div>a total concept</div><div>landscape architects &amp; swimming pool designers</div></div>	<div><div>Status</div><div>SCALE - AS NOTED</div></div> <div><div>Drawn By</div><div>OC</div><div>Dwg Date</div><div>17.11.21</div></div> <div><div>Checked By</div><div>KR</div><div>Plot Date</div><div>5/3/25</div></div> <div><div>CAD File Name</div><div>Warriewood Subdivision - Rev 3.dwg</div></div>	<div><div>Project No.</div><div>BMN</div></div> <div><div>Drawing No.</div><div>Rev #</div></div> <div><div>L/02 I</div><div>OF 4</div></div>
--	---	--	---	---




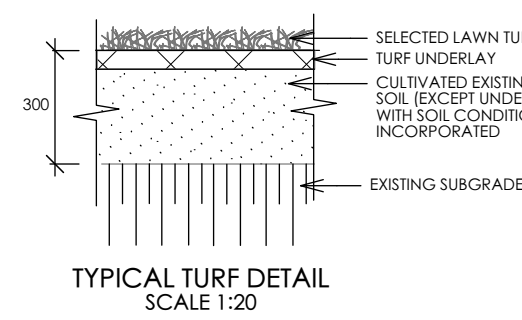
### PLANTING SCHEDULE (ENTIRE PROJECT)




Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
▲▲ Angophora costata	Sydney Red Gum	1	75lt	10000	15000
▲▲ Backhousia myrtifolia	Grey Myrtle, Lancewood	14	100lt	3500	4500
▲▲ Banksia integrifolia	Coastal Banksia	5	100lt	4000	7000
▲▲ Buckinghamia celsissima	Ivory-curl Tree	16	100lt	4000	5500
▲▲ Ceratopetalum gummiferum	NSW Christmas Bush	19	100lt	3500	6000
▲▲ Ficinia nodosa	Knobby Club-rush	65	2.5lt	500	500
▲▲ Gahnia aspera	Saw Sedge	35	2.5lt	700	700
▲▲ Lomandra longifolia	Native Grass	48	2.5lt	900	900
▲▲ Melaleuca stypheloides	Prickly-leaved Paperbark	17	100lt	4000	7000

 INDICATES PROPOSED SCREENING TREES

 INDICATES PROPOSED PLANTING SELECTED FROM THE NORTHERN BEACHES COUNCIL, NATIVE PLANTING GUIDE - PITTSWATER WARD AREA, 2024

 INDICATES PROPOSED PLANTING SELECTED FROM THE NORTHERN BEACHES COUNCIL, WARRIEWOOD VALLEY LANDSCAPE MASTERPLAN AND DESIGN GUIDELINES (PUBLIC DOMAIN), 2018



5/3/25		ISSUED FOR COURT	CV	<b>Notes:</b>  1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work  2. Do not scale from drawings.  3. If in doubt contact Landscape Architect.  4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.  5. This plan has been prepared for DA purposes only.  6. All Building Works shall be installed to Structural Engineers detail	<b>Legend:</b>		Drawing: <b>Planting Schedule &amp; Landscape Details</b>		A Total Concept Landscape Architects <b>&amp; Swimming Pool Designers</b> 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au		Status		Project No.  <b>BMN</b>	
4/3/25		ISSUED FOR COURT	CV				SCALE - AS NOTED				Drawing No. Rev #			
28/2/25		ISSUED FOR COURT	CV				L/03 I				OF 4			
16/12/24		AMENDED TO SUIT BUSHFIRE ADVICE	CV											
2/12/24		UPDATED FOR COURT	CV											
5/7/24		UPDATED FOR COURT	OC											
17/10/23		UPDATED TO COUNCIL RESPONSE	OC											
7/2/23		UPDATED FOR COUNCIL RESUBMISSION	OC											
7/12/22		AMENDED IN RESPONSE TO COUNCIL PRE-LODGEEMENT MEETING	OC											
No.	Date	REVISION	By				Drawing: <b>Planting Schedule &amp; Landscape Details</b>		A Total Concept Landscape Architects <b>&amp; Swimming Pool Designers</b> 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au		Status		Project No.	
							Address: <b>4 Forest Road, Warriewood NSW 2102</b>				SCALE - AS NOTED		Drawing No. Rev #	
							Project: <b>Residential Subdivision</b>				Drawing No. Rev #		L/03 I	
							Client: <b>BMN Properties Pty Ltd</b>				Dwg Date: 17.11.21		OF 4	
											Pilot Date: 5/3/25			
											CAD File Name   Warriewood Subdivision - Rev			



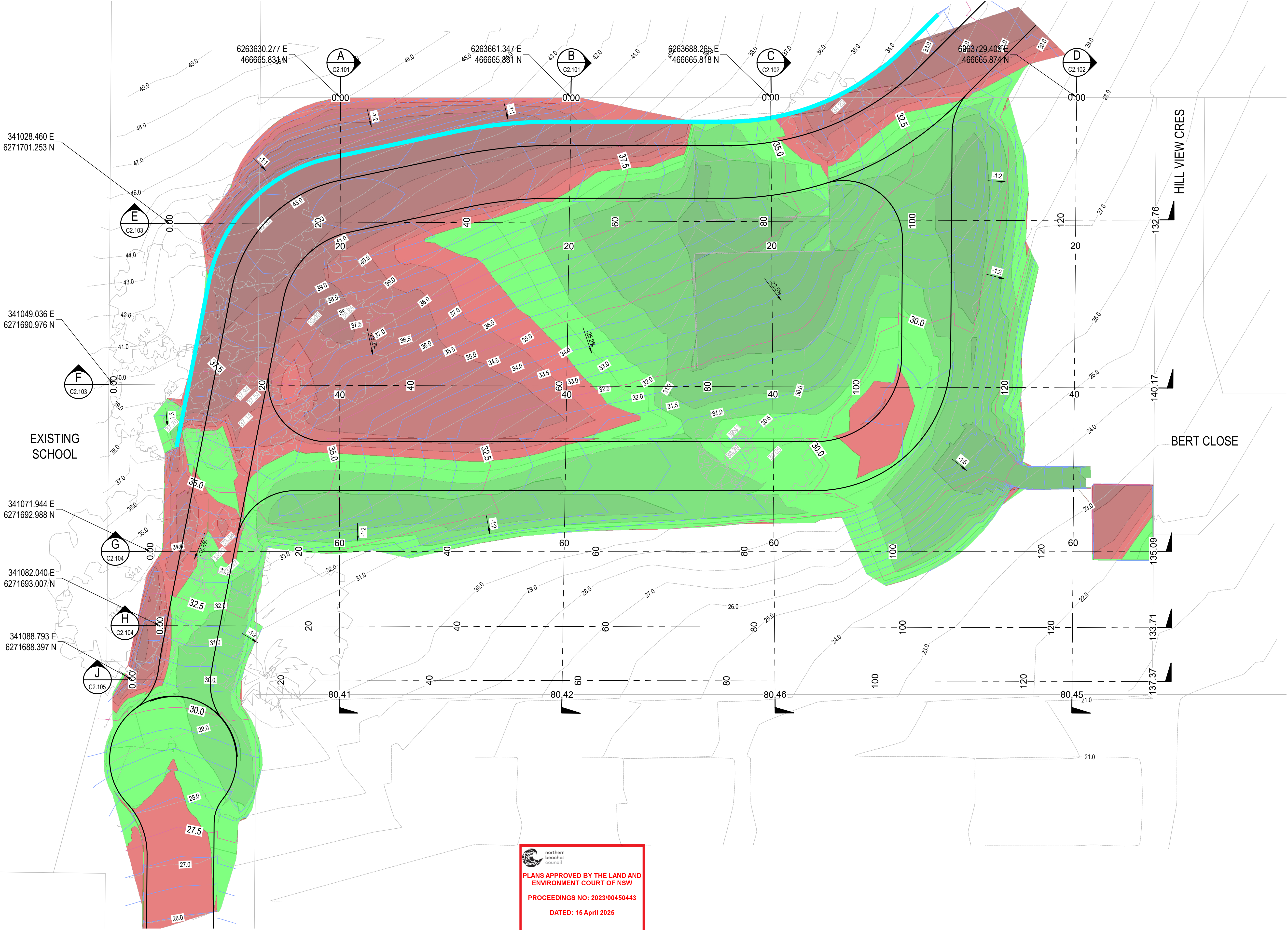
CUT FILL LEGEND			
LOWER VALUE	UPPER VALUE	COLOUR	
-5.00m	to -2.00m		
-2.00m	to -1.00m		
-1.00m	to -0.50m		
-0.50m	to -0.25m		
-0.25m	to 0.00 m		
0.000m	to 0.250m		
0.250m	to 0.500m		
0.500m	to 1.000m		
1.000m	to 2.000m		
2.000m	to 5.000m		

CUT = -2,900m³

FILL = 4,580m³

BALANCE = -1,680m³

- NOTES:
- TENDERERS / CONTRACTORS SHALL UNDERTAKE THEIR OWN INDEPENDENT EARTHWORKS VOLUMES CALCULATIONS - THIS DRAWING IS NOT SUITABLE FOR COSTING PURPOSES DUE TO INHERENT PREVAILING VARIABLES AND MODELLING LIMITATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING;
    - BULKING AND COMPACTION FACTORS
    - APPLIED TOPSOIL DEPTHS
    - SOIL REMEDIATION / AMELIORATION IMPACTS
    - OTHER EARTHWORKS FACTORS AND VOLUMES NOT EXPRESSLY MODELLED, ETC.
  - THE INDICATIVE QUANTITIES PROVIDED ARE MEASURED BETWEEN FINISHED DESIGN SURFACE LEVELS AND NATURAL SURFACE LEVELS.
  - THE DOCUMENTED EARTHWORKS EXCLUDES ALL OTHER EARTHWORKS CONSIDERATIONS INCLUDING BUT NOT LIMITED TO;
    - BULKING AND COMPACTION FACTORS
    - UTILITY SERVICES AND STORMWATER TRENCHING
    - PAVEMENT BOXING AND
    - STRUCTURAL FOUNDATIONS, ETC.
  - DESIGN CONTOURS SHOWN REPRESENT FINISHED SURFACE LEVELS.



 northern beaches council

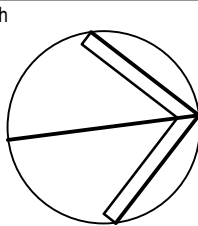
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00450443

DATED: 15 April 2025

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES					
H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	
G	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
F	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG	
E	ISSUE FOR DA	17.07.24	RP	VG	
Issue	Description	Date	Drawn	Approved	



Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

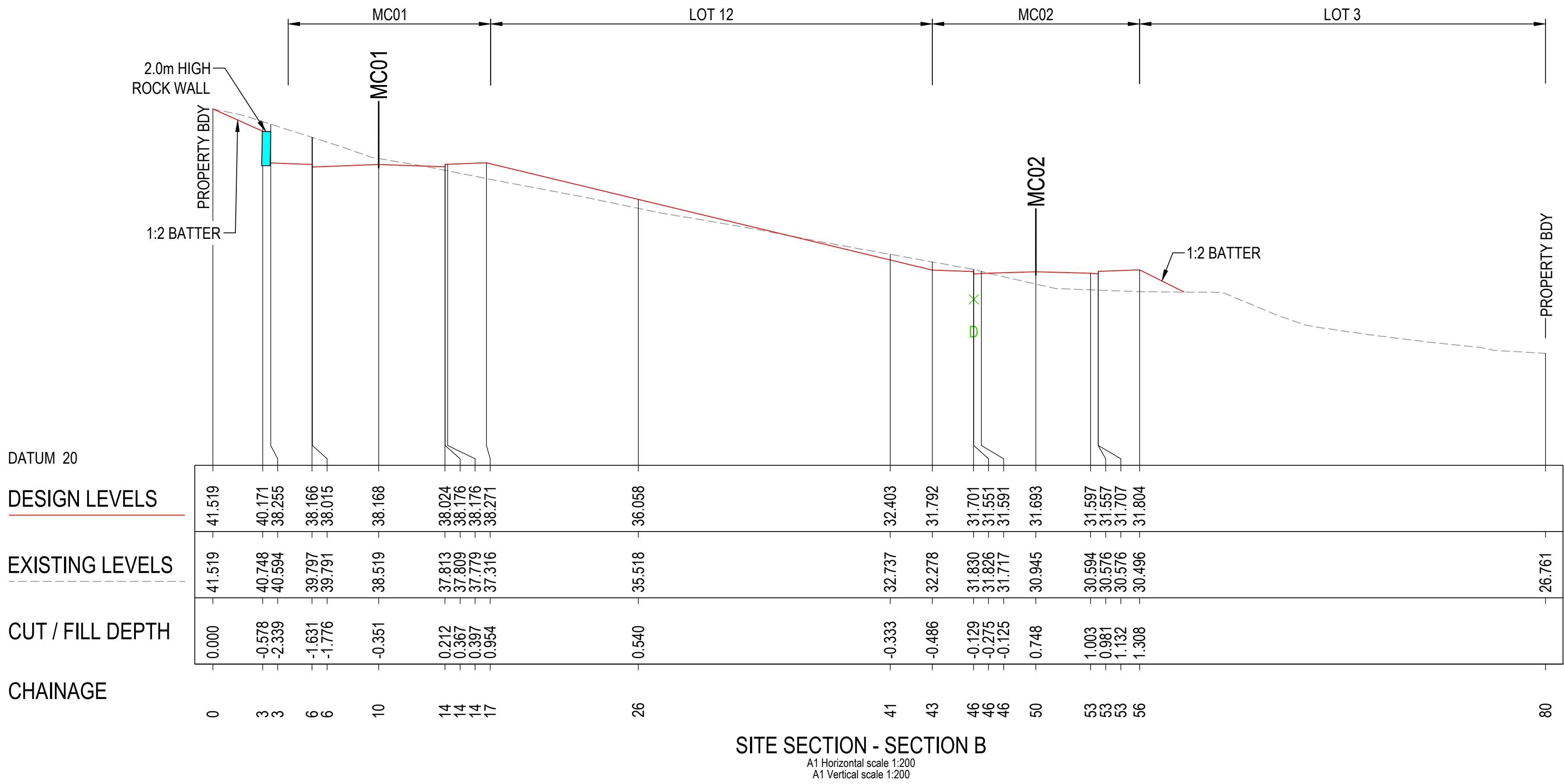
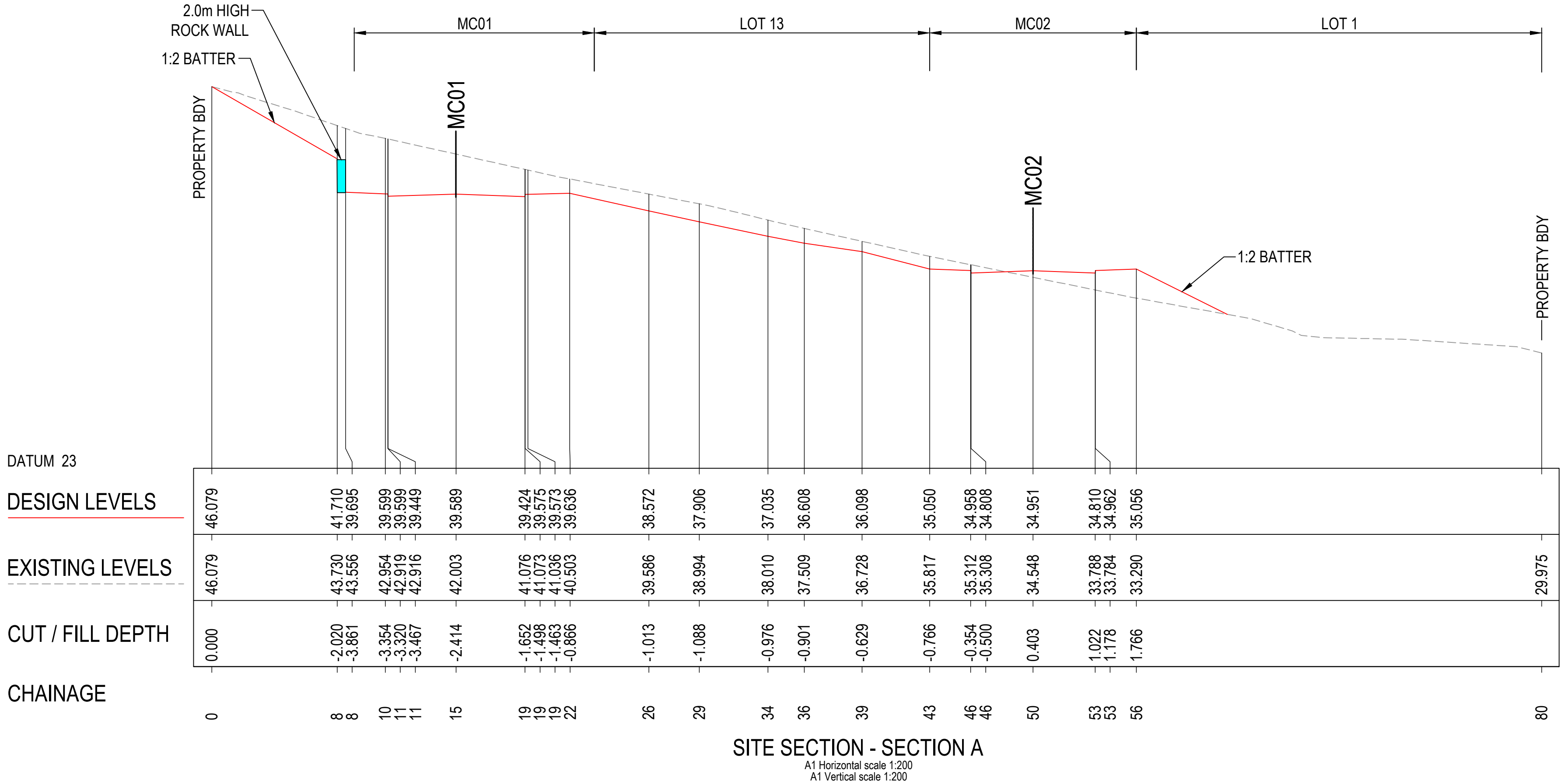
Drawing Title  
**BULK EARTHWORKS PLAN**

Drawn RG	Date JUN 22	Scale 1:250	A1	Q.A. Check JR	Date
Designed VG	Project No. NSW210416	Dwg. No. C2.001	Issue H		

NOT FOR CONSTRUCTION



 northern beaches council  
**PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW**  
**PROCEEDINGS NO: 2023/00450443**  
**DATED: 15 April 2025**



© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

SCALE 1:200 @ A1  
SCALE 1:400 @ A3



This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
G	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
F	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG	
E	ISSUE FOR COUNCIL REVIEW	17.07.24	RP	VG	
Issue Description		Date	Drawn	Approved	

Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

**ACOR Consultants Pty Ltd**

Unit 10, Level 1, No.1 Maitland Place

Baulkham Hills NSW 2153

T +61 2 9634 6311



Project

**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
**BULK EARTHWORKS  
SITE SECTION  
SHEET 1**

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C2.101	H		

NOT FOR CONSTRUCTION



 northern beaches council  
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW  
PROCEEDINGS NO: 2023/00450443  
DATED: 15 April 2025

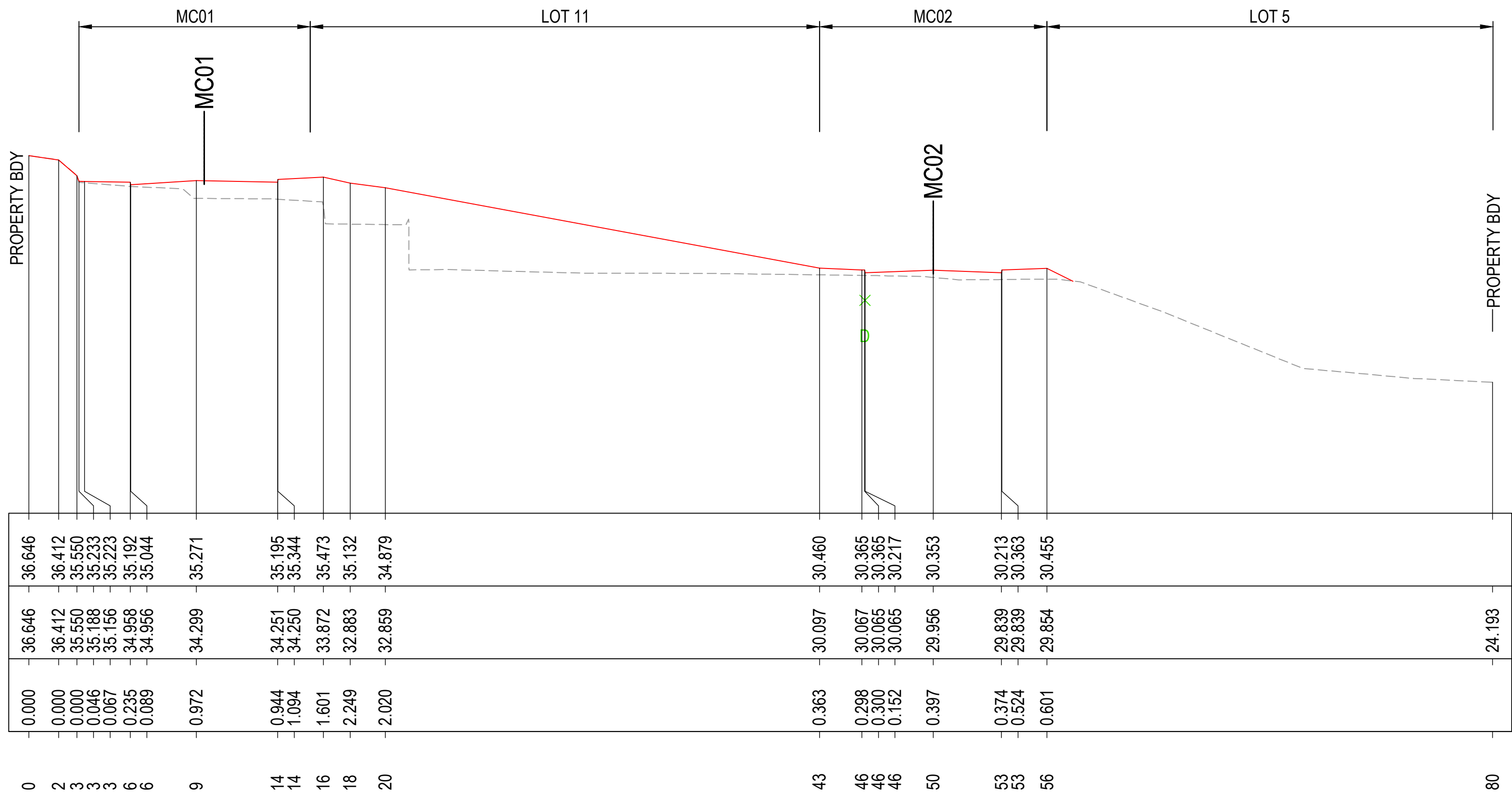
DATUM 17

DESIGN LEVELS

EXISTING LEVELS

CUT / FILL DEPTH

CHAINAGE



SITE SECTION - SECTION C

A1 Horizontal scale 1:200  
A1 Vertical scale 1:200

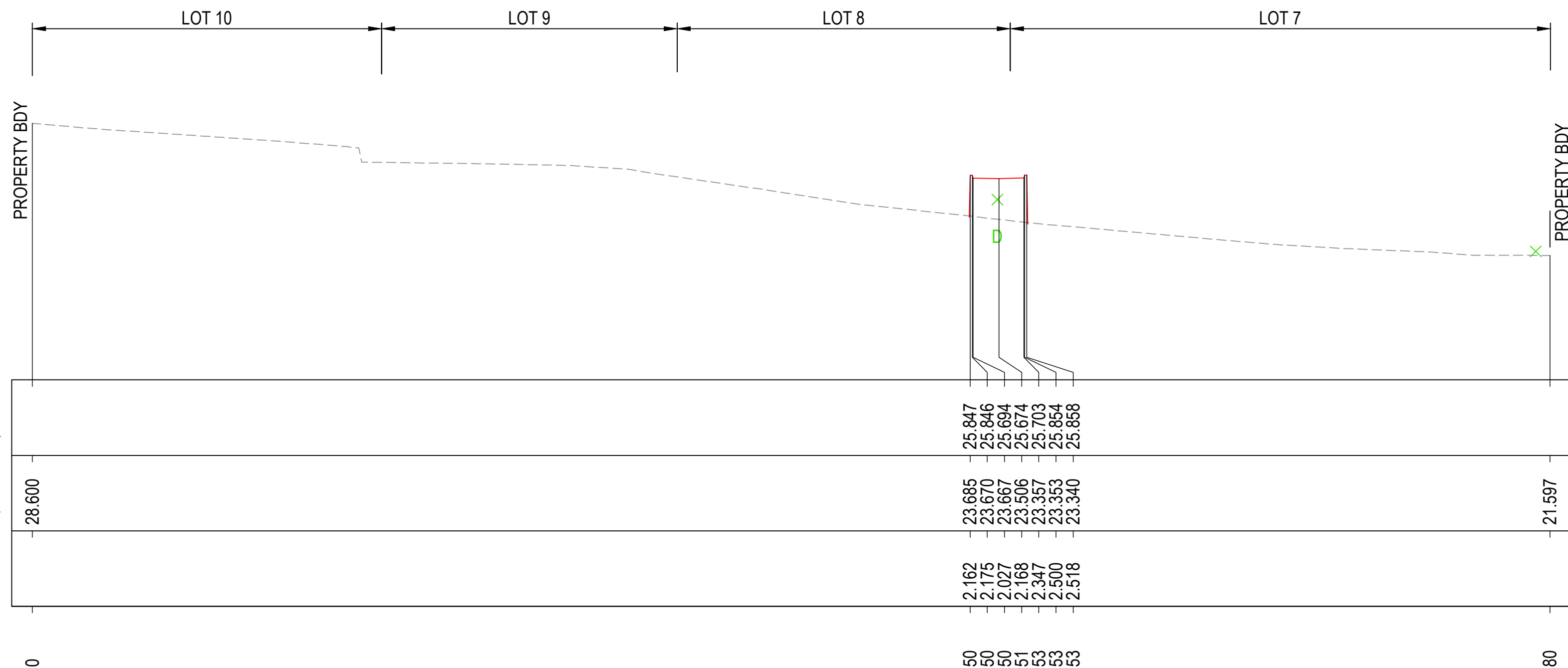
DATUM 15

DESIGN LEVELS

EXISTING LEVELS

CUT / FILL DEPTH

CHAINAGE



SITE SECTION - SECTION D

A1 Horizontal scale 1:200  
A1 Vertical scale 1:200

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd, ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

SCALE 1:200 @ A1  
SCALE 1:400 @ A3



This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
G	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
F	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG	
E	ISSUE FOR COUNCIL REVIEW	17.07.24	RP	VG	
Issue Description		Date	Drawn	Approved	

Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project

**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

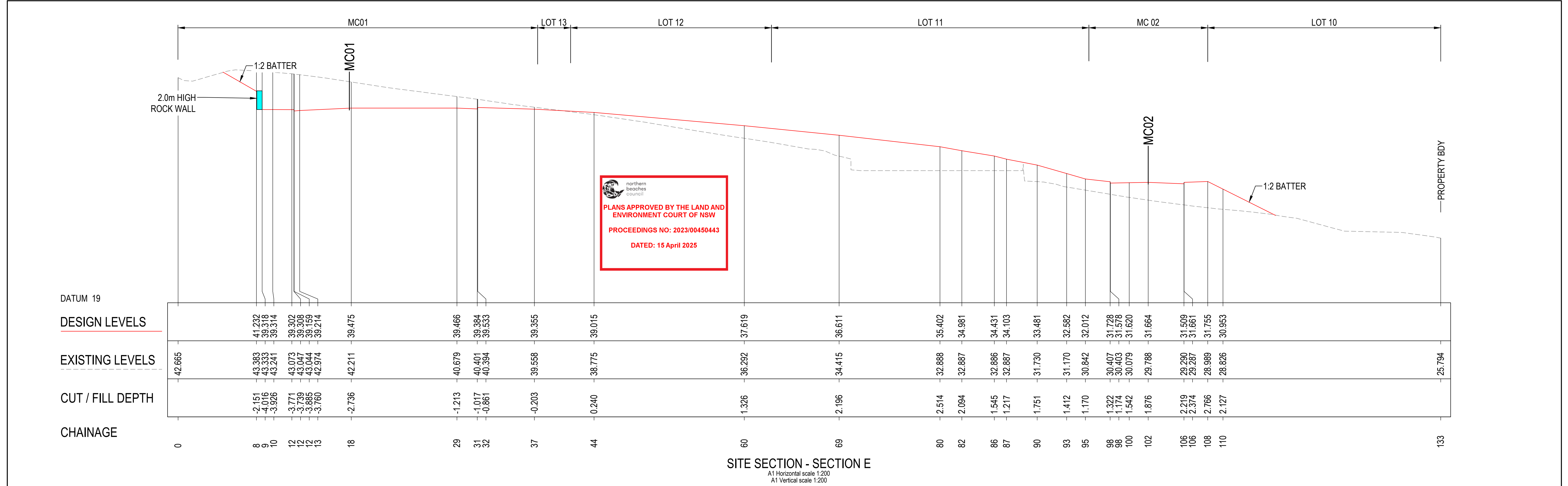
Drawing Title  
**BULK EARTHWORKS  
SITE SECTION  
SHEET 2**

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C2.102	H		

NOT FOR CONSTRUCTION

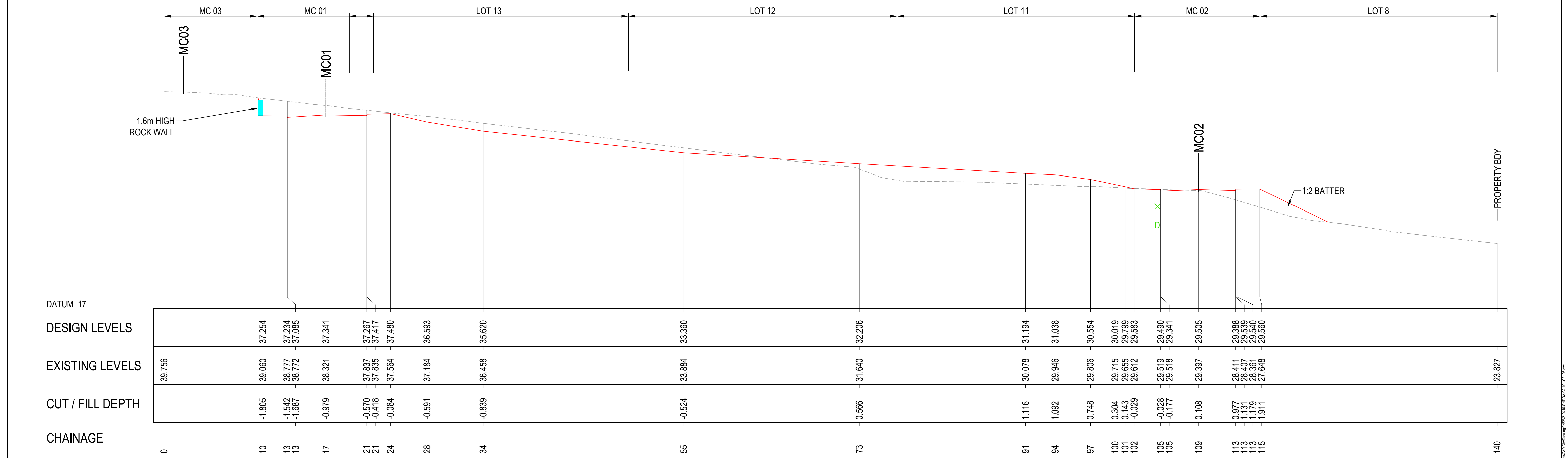
W:\Projects\2024\240624\240624\_BulkEarthworks\240624\_BulkEarthworks\_SiteSection\_Sheet2.dwg 14.06.24 14:02:10 14.06.24 14:02:10





SITE SECTION - SECTION E

A1 Horizontal scale 1:200  
A1 Vertical scale 1:200



SITE SECTION - SECTION F

A1 Horizontal scale 1:200  
A1 Vertical scale 1:200

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd, ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

SCALE 1:200 @ A1  
SCALE 1:400 @ A3

0 2 4 8 12 16 20 metres

Client

**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065

**ACOR**  
CONSULTANTS

ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

**ACOR Consultants Pty Ltd**

Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311

Project

**RESIDENTIAL SUBDIVISION**

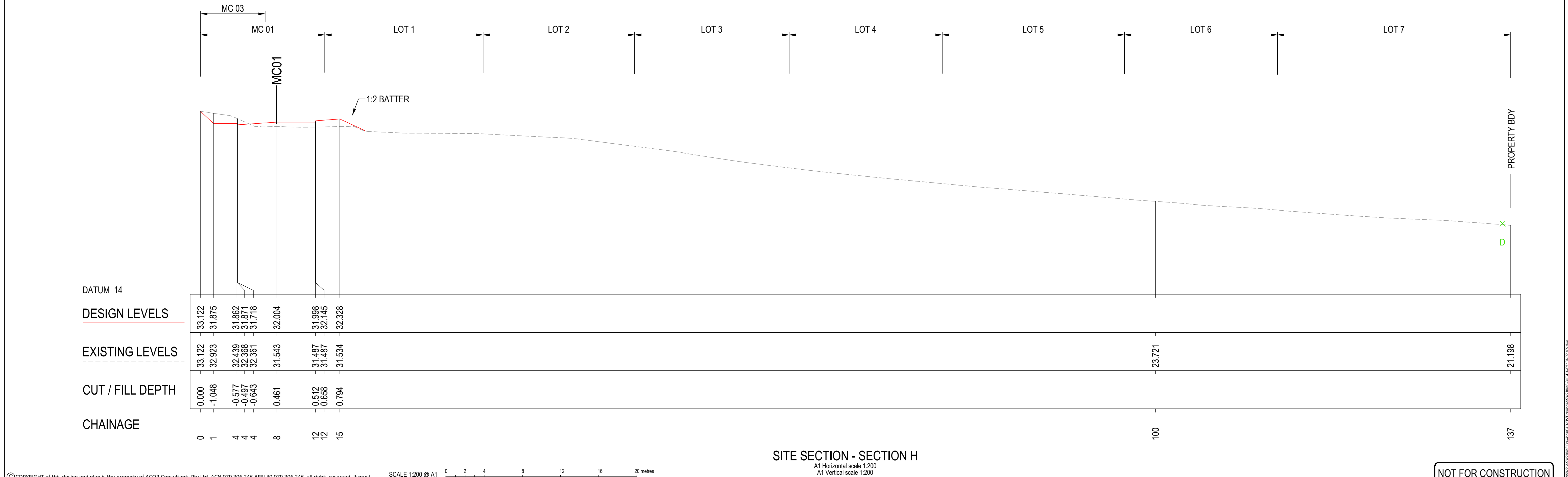
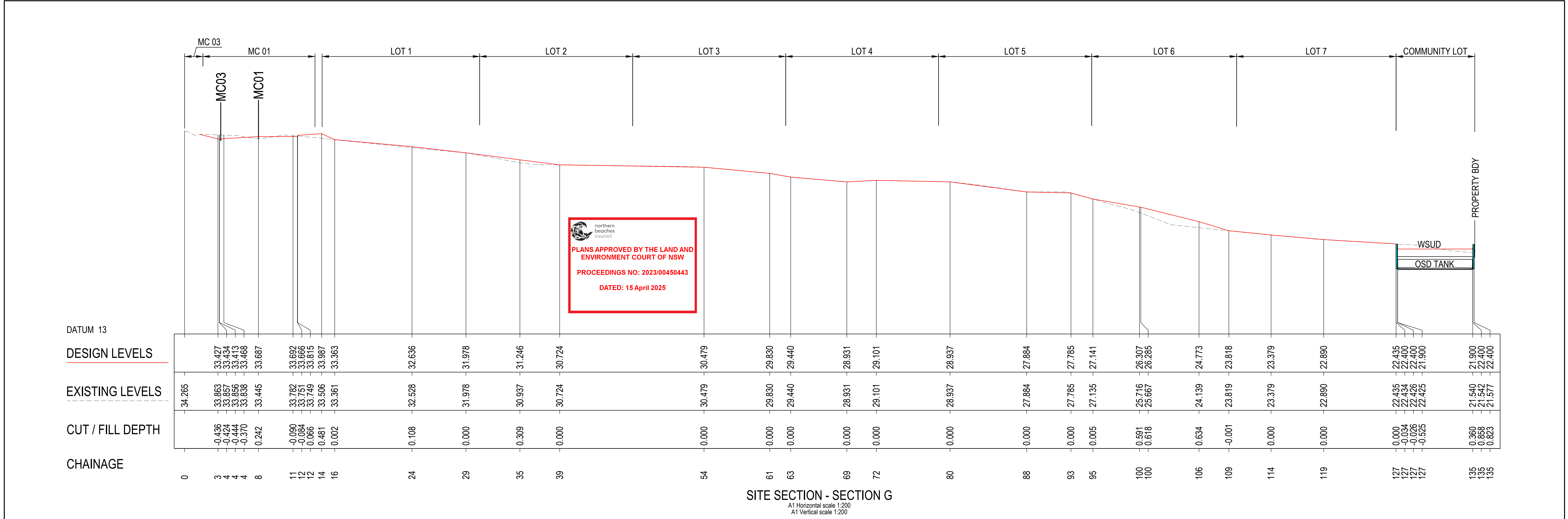
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title

**BULK EARTHWORKS  
SITE SECTION  
SHEET 3**

Drawn	Date	Scale	A1	G.A. Check	Date
UF	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C2.103	H		





© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

SCALE 1:200 @ A1  
SCALE 1:400 @ A3

0 2 4 8 12 16 20 metres

Client  
**BMN PROPERTIES PTY LTD**  
133 ALEXANDER STREET  
CROWS NEST NSW 2065

**ACOR CONSULTANTS**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311

Project  
**RESIDENTIAL SUBDIVISION**  
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
**BULK EARTHWORKS  
SITE SECTION  
SHEET 4**

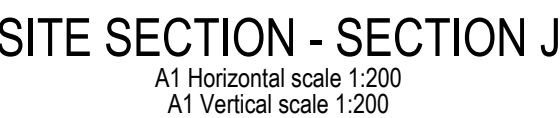
Drawn UF	Date JUN 22	Scale AS SHOWN	A1	Q.A. Check JR	Date
Designed VG	Project No. <b>NSW210416</b>	Dwg No. C2.104		Issue H	

NOT FOR CONSTRUCTION

Issue Description Date Drawn Approved

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG
G	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG
F	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG
E	ISSUE FOR COUNCIL REVIEW	17.07.24	RP	VG





Drawing Title				
BULK EARTHWORKS				
SITE SECTION				
SHEET 5				
Drawn	Date	Scale	A1	G.A. Check
UF	JUN 22	AS SHOWN		JR
Designed	Project No.		Dwg. No.	Issue
VG	NSW210416		C2.105	H

NOT FOR CONSTRUCTION

Mar 05, 2025 - 4:47 pm

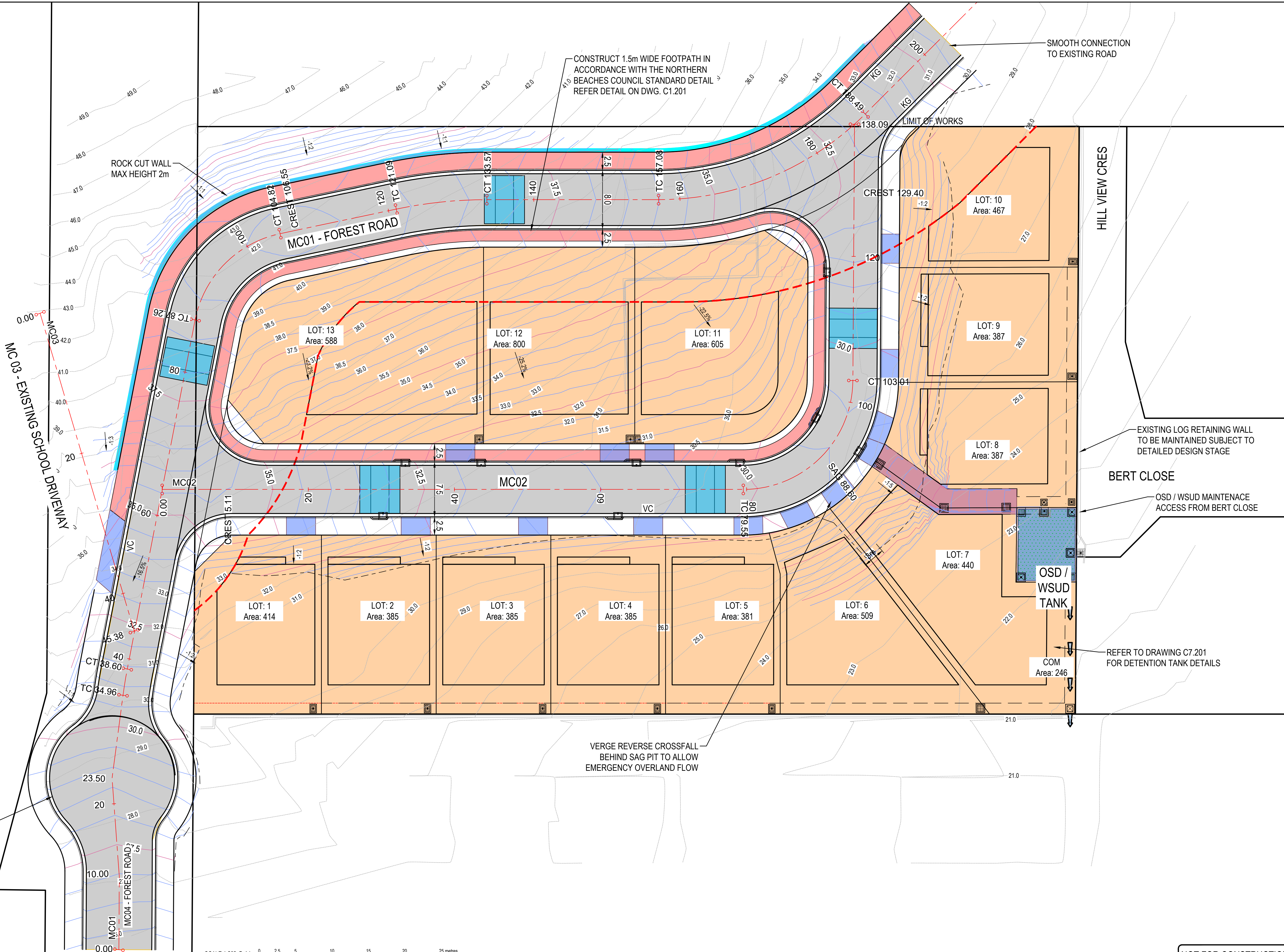


northern  
beaches  
council

PLANS APPROVED BY THE LAND AND  
ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00450443

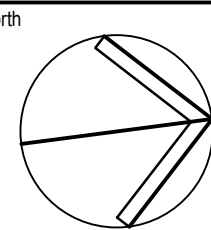
DATED: 15 April 2025



© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG
F	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG
E	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG
D	ISSUE FOR DA	17.07.24	RP	VG
Issue	Description	Date	Drawn	Approved



Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

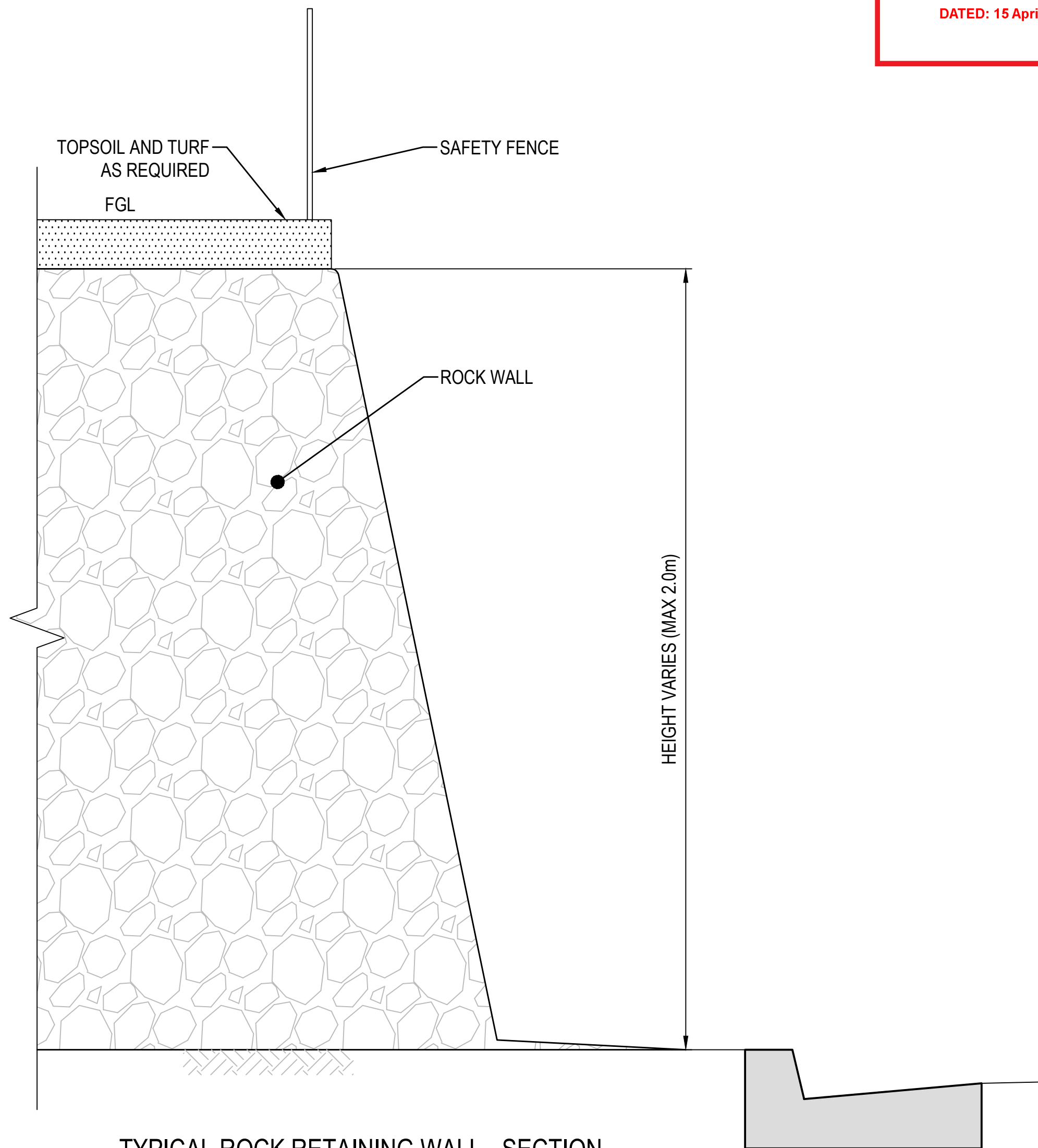
Drawing Title  
**GENERAL ARRANGEMENT  
SITEWORKS AND GRADING PLAN**

Drawn UF	Date JUN 22	Scale 1:250	A1	Q.A. Check JR	Date
Designed VG	Project No. NSW210416	Dwg. No. C3.001	Issue H		

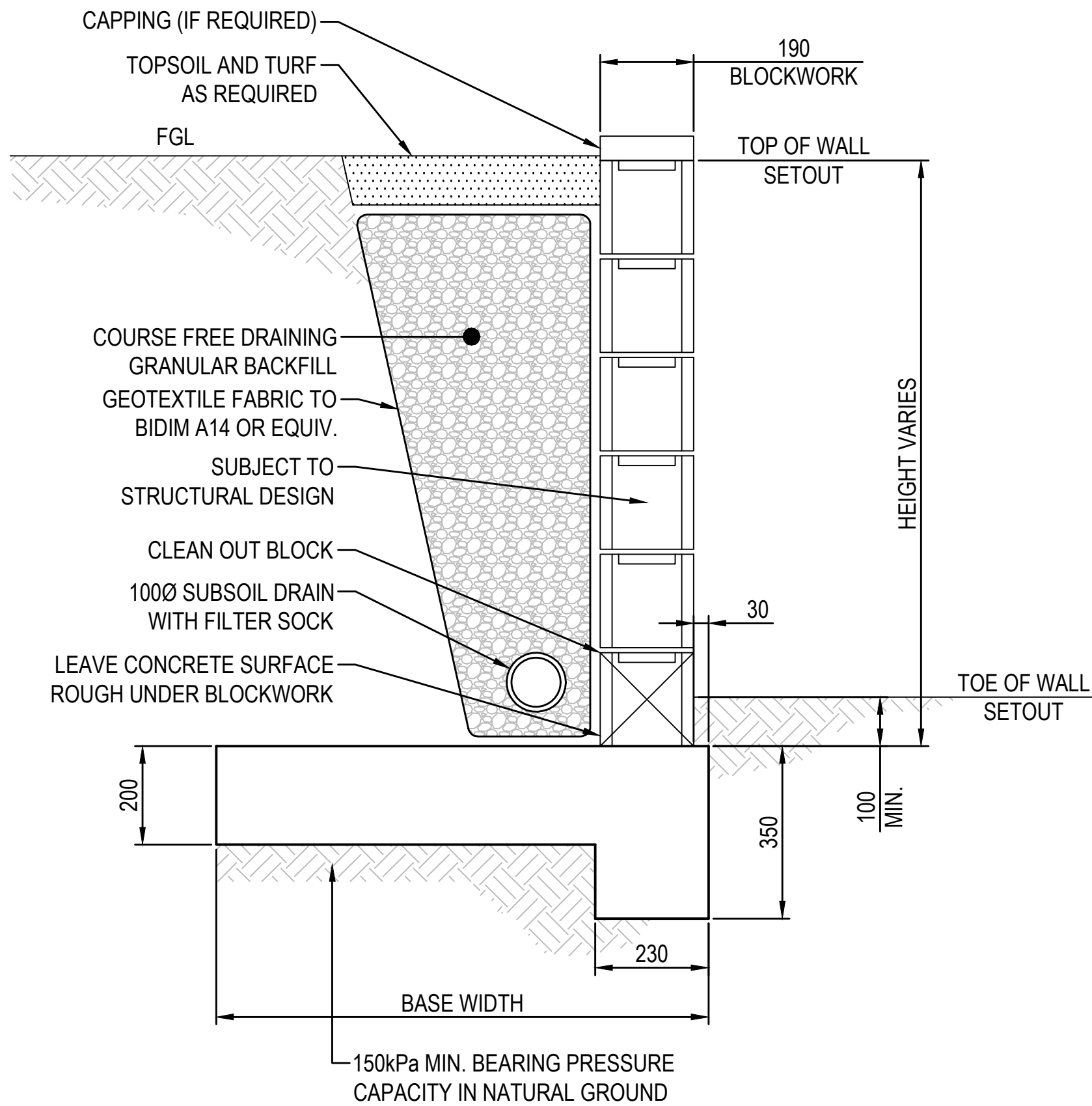
NOT FOR CONSTRUCTION



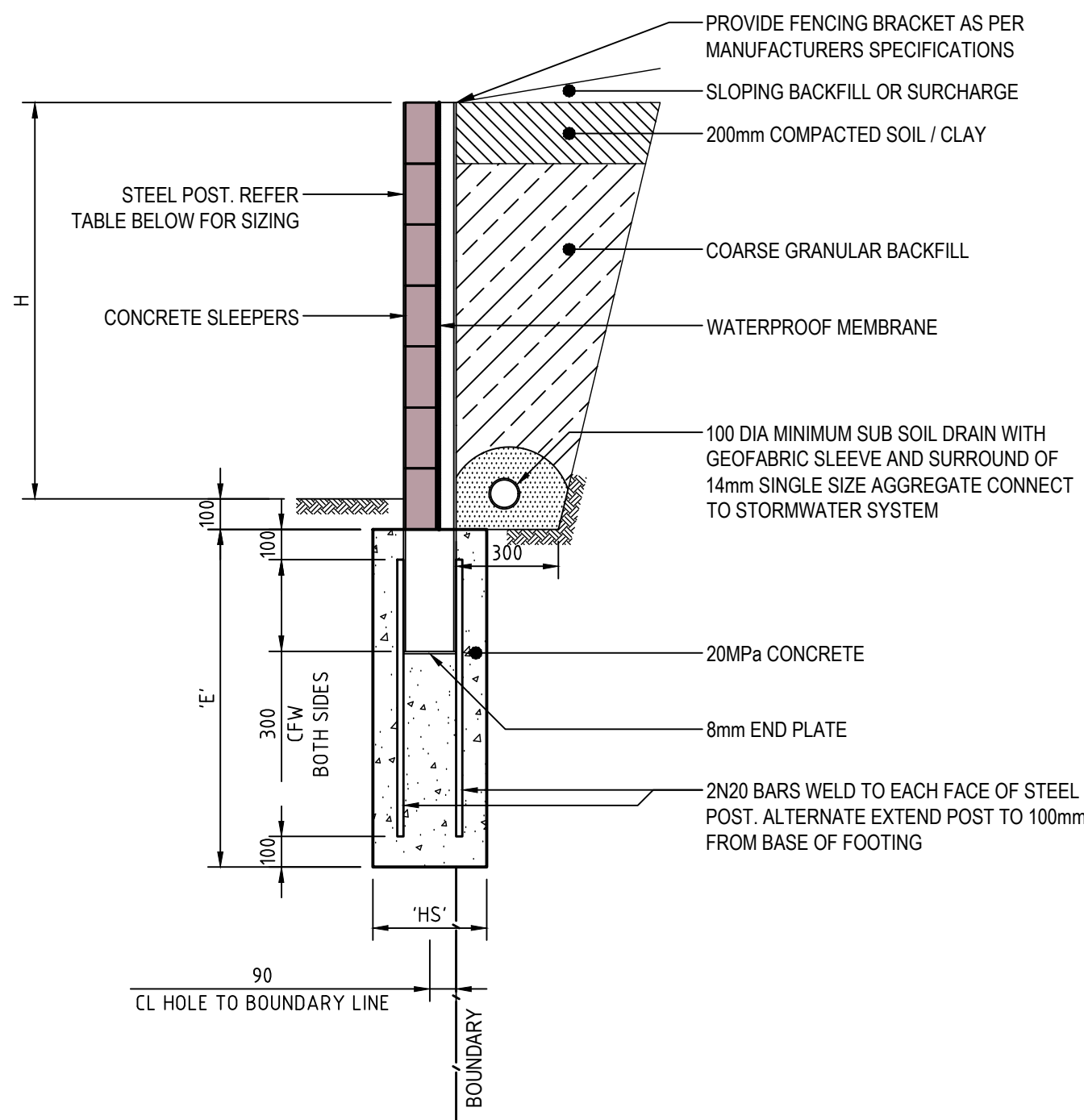
northern beaches council  
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW  
PROCEEDINGS NO: 2023/00450443  
DATED: 15 April 2025



TYPICAL ROCK RETAINING WALL - SECTION  
(HEIGHT UP TO 2.0m MAX.)  
NOT TO SCALE



TYPICAL RETAINING WALL - SECTION  
NOT TO SCALE



TYPICAL SLEEPER RETAINING WALL DETAIL  
SCALE 1:20

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
F	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
E	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG	
D	ISSUE FOR DA	17.07.24	RP	VG	
Issue	Description	Date	Drawn	Approved	

Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
RESIDENTIAL SUBDIVISION  
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
RETAINING WALL  
NOTES AND DETAILS

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	NOV 22	NOT TO SCALE		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C4.101	H		

NOT FOR CONSTRUCTION

W:\Projects\2024\241016\241016\_01\_Retaining Wall\241016\_01\_Retaining Wall.dwg  
Nov 05 2025 - 14:59pm

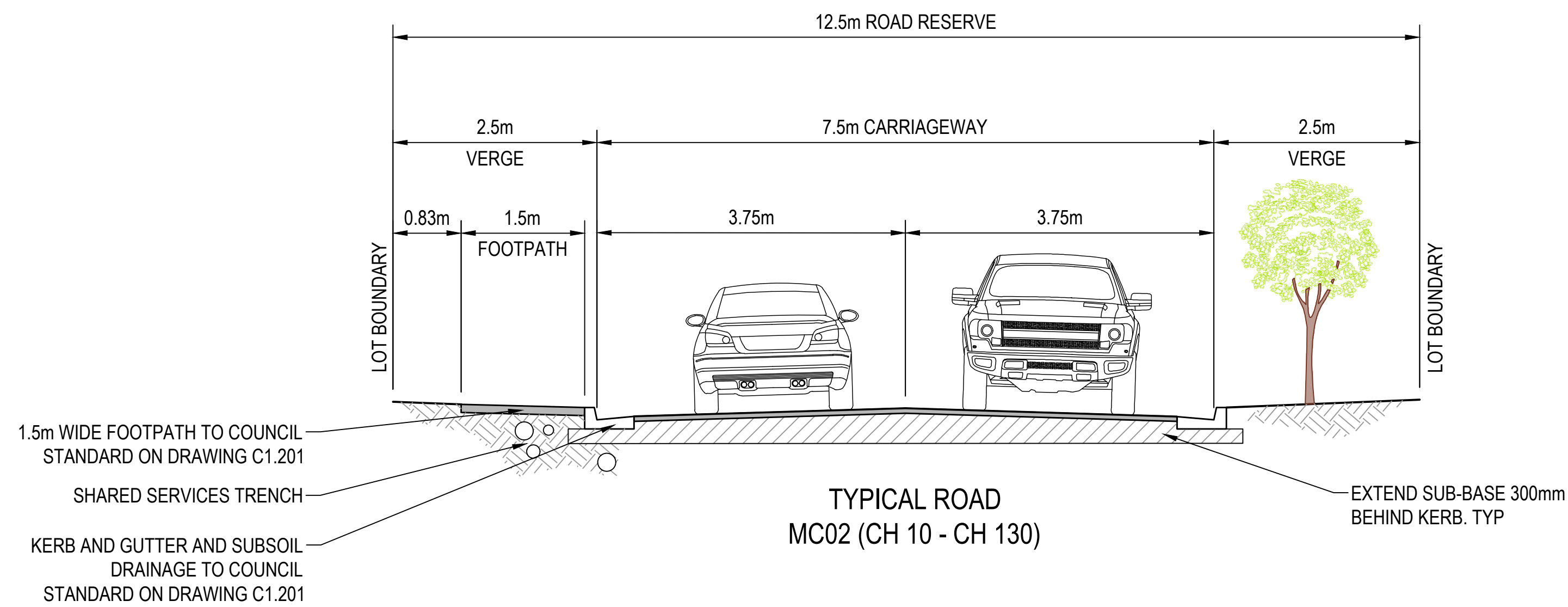


 northern  
beaches  
council

**PLANS APPROVED BY THE LAND AND  
ENVIRONMENT COURT OF NSW**

**PROCEEDINGS NO: 2023/00450443**

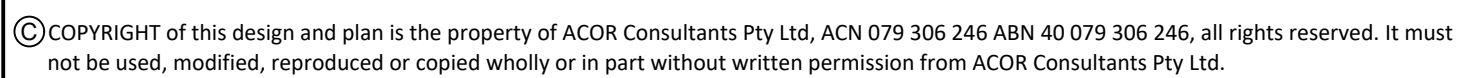
**DATED: 15 April 2025**



NOT FOR CONSTRUCTION

Drawing Title				
ROAD DESIGN				
TYPICAL ROAD CROSS SECTION				
Drawn	Date	Scale	A1	Q.A. Check
UF	JUN 22	AS SHOWN		JR
Designed	Project No.		Dwg. No.	Issue
VG	NSW210416		C5.101	H





[NOT FOR CONSTRUCTION]

Drawn UF	Date JUN 22	Scale AS SHOWN	A1	Q.A. Check JR	Date
Designed VG	Project No. NSW210416			Dwg. No. C5.201	Issue H

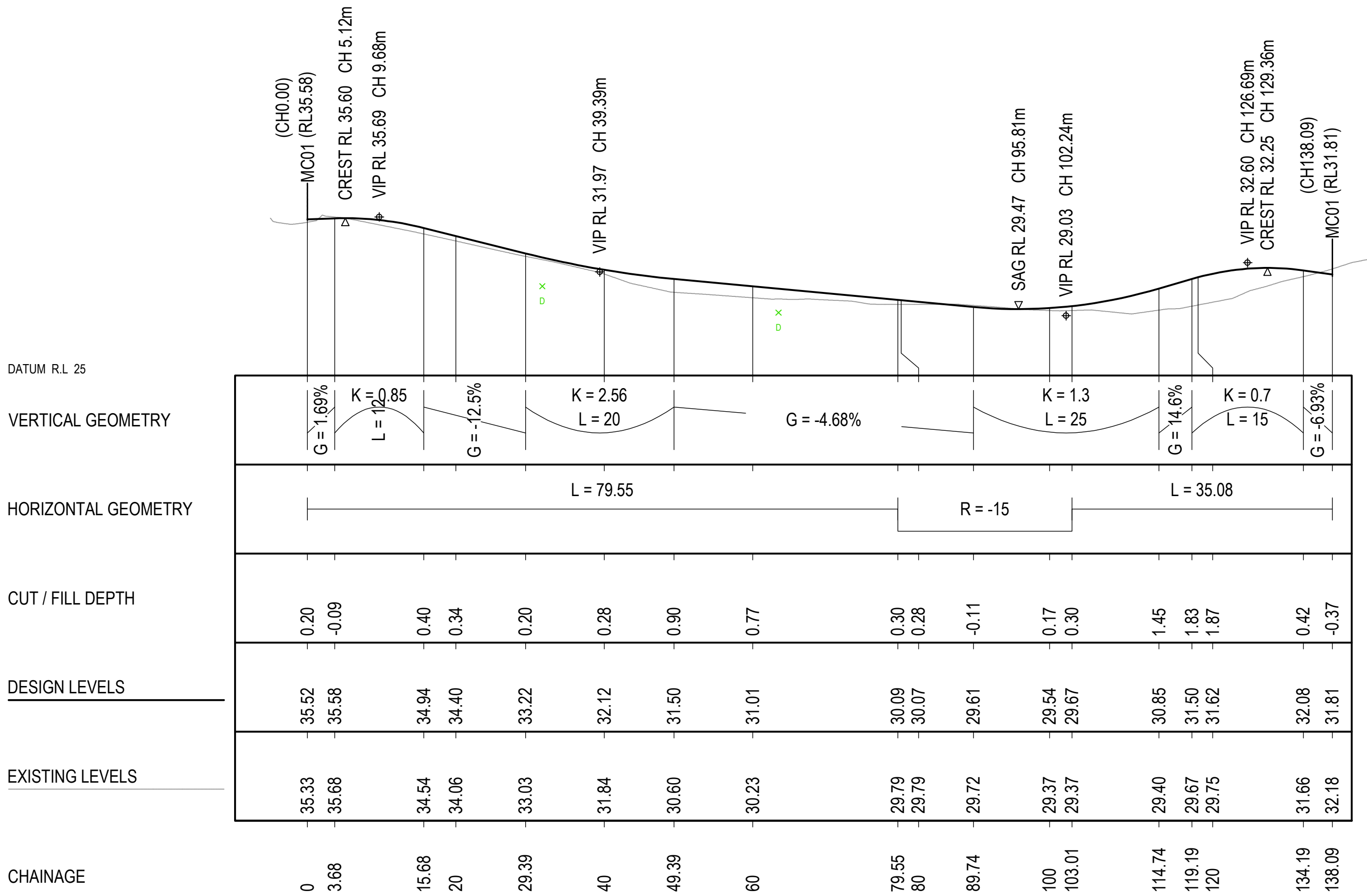


northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00450443

DATED: 15 April 2025



© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

SCALE 1:500 @ A1  
SCALE 1:1000 @ A3



SCALE 1:250 @ A1  
SCALE 1:500 @ A3



NOT FOR CONSTRUCTION

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
G	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
F	ISSUE FOR COUNCIL REVIEW	22.08.24	VG	VG	
E	ISSUE FOR COUNCIL REVIEW	07.08.24	VG	VG	
Issue	Description	Date	Drawn	Approved	

Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
RESIDENTIAL SUBDIVISION

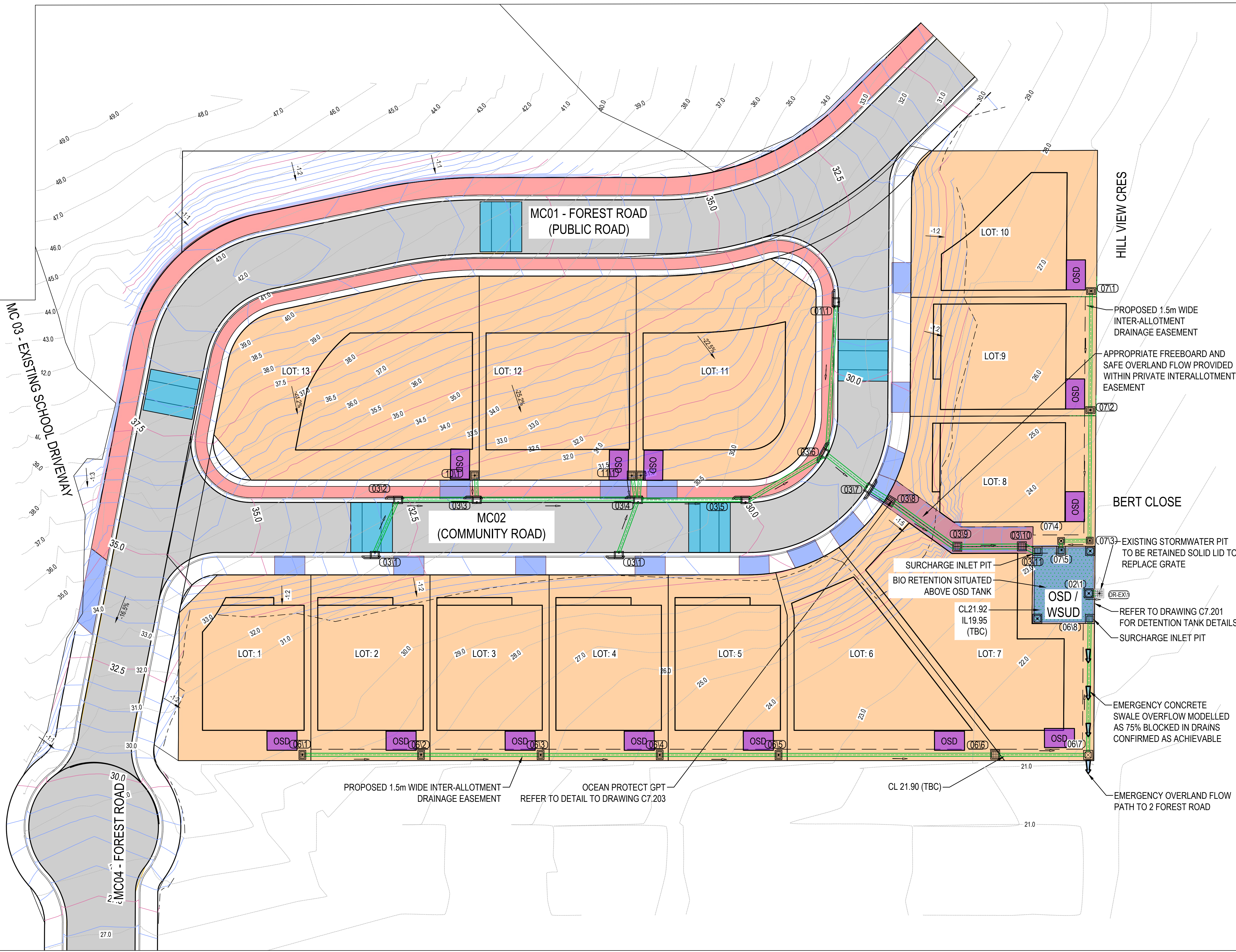
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
ROAD DESIGN  
LONGITUDINAL SECTIONS  
SHEET 2

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C5.202	H		



 northern beaches council  
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW  
PROCEEDINGS NO: 2023/00450443  
DATED: 15 April 2025



EXISTING SCHOOL

HILL VIEW CRES

BERT CLOSE

EXISTING STORMWATER PIT TO BE RETAINED SOLID LID TO REPLACE GRATE

REFER TO DRAWING C7.201 FOR DETENTION TANK DETAILS

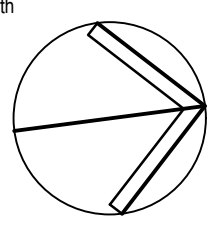
EMERGENCY CONCRETE SWALE OVERFLOW MODELLED AS 75% BLOCKED IN DRAINS CONFIRMED AS ACHIEVABLE

EMERGENCY OVERLAND FLOW PATH TO 2 FOREST ROAD

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES					
H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	
G	ISSUE FOR LEC REVIEW	04.03.25	VG	GL	
F	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
E	ISSUE FOR DA	16.12.24	RP	VG	
Issue	Description	Date	Drawn	Approved	

SCALE 1:250 @ A1  
SCALE 1:500 @ A3



Client  
**BMN PROPERTIES PTY LTD**  
  
133 ALEXANDER STREET  
CROWS NEST NSW 2065



**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311

Project  
**RESIDENTIAL SUBDIVISION**  
  
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title STORMWATER MANAGEMENT PLAN					
Drawn UF	Date JUN 22	Scale 1:250	A1	Q.A. Check JR	Date
Designed VG	Project No. NSW210416	Dwg. No. C7.001		Issue H	

NOT FOR CONSTRUCTION



LEGEND

LOT CATCHMENT  
- ROOF CATCHMENT 0.463ha  
- ROOF CATCHMENT 0.154ha

ROAD CATCHMENT  
0.1715ha

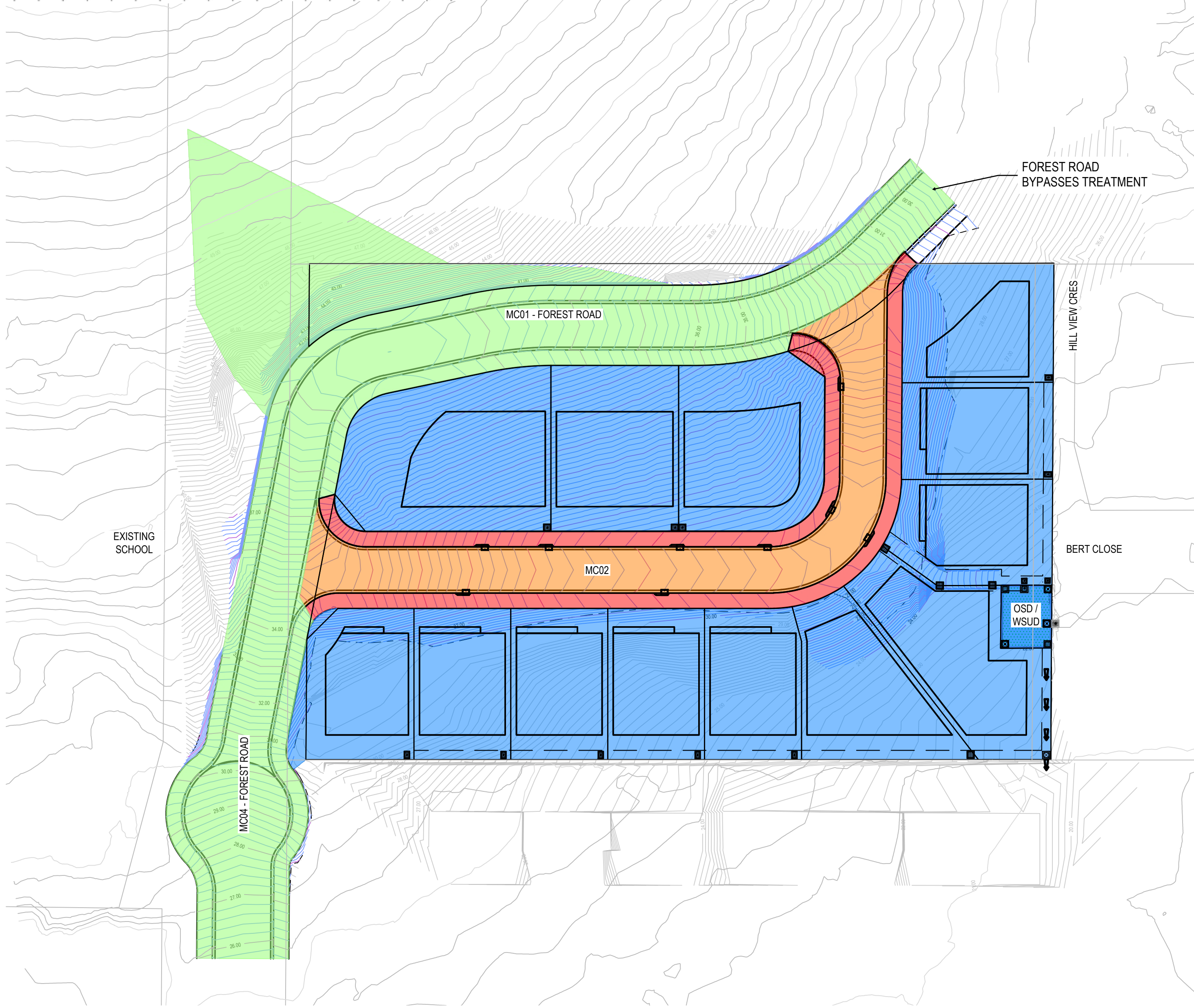
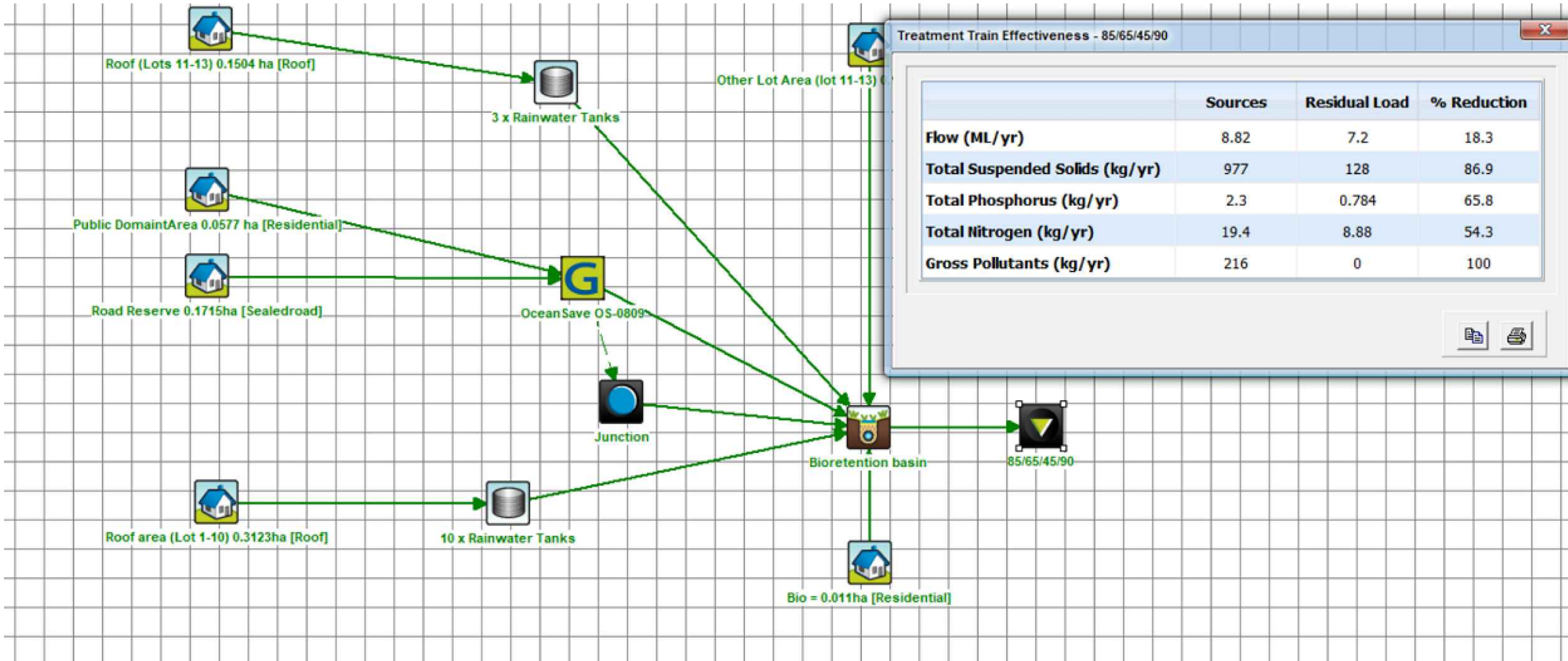
PUBLIC DOMAIN CATCHMENT  
0.0577ha

northern  
beaches  
council

PLANS APPROVED BY THE LAND AND  
ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00450443

DATED: 15 April 2025

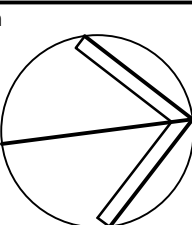


© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG
D	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG
D	ISSUE FOR DA	17.07.24	RP	VG
C	ISSUE FOR DA	16.10.23	ROB	VG
Issue	Description	Date	Drawn	Approved

SCALE 1:500 @ A1  
SCALE 1:1000 @ A3



Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311

Project  
RESIDENTIAL SUBDIVISION  
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
STORMWATER MANAGEMENT  
CATCHMENT PLAN

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	JUN 22	1:500		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C7.101	H		

NOT FOR CONSTRUCTION



LEGEND

BIO-RETENTION AREA

OSD TANK

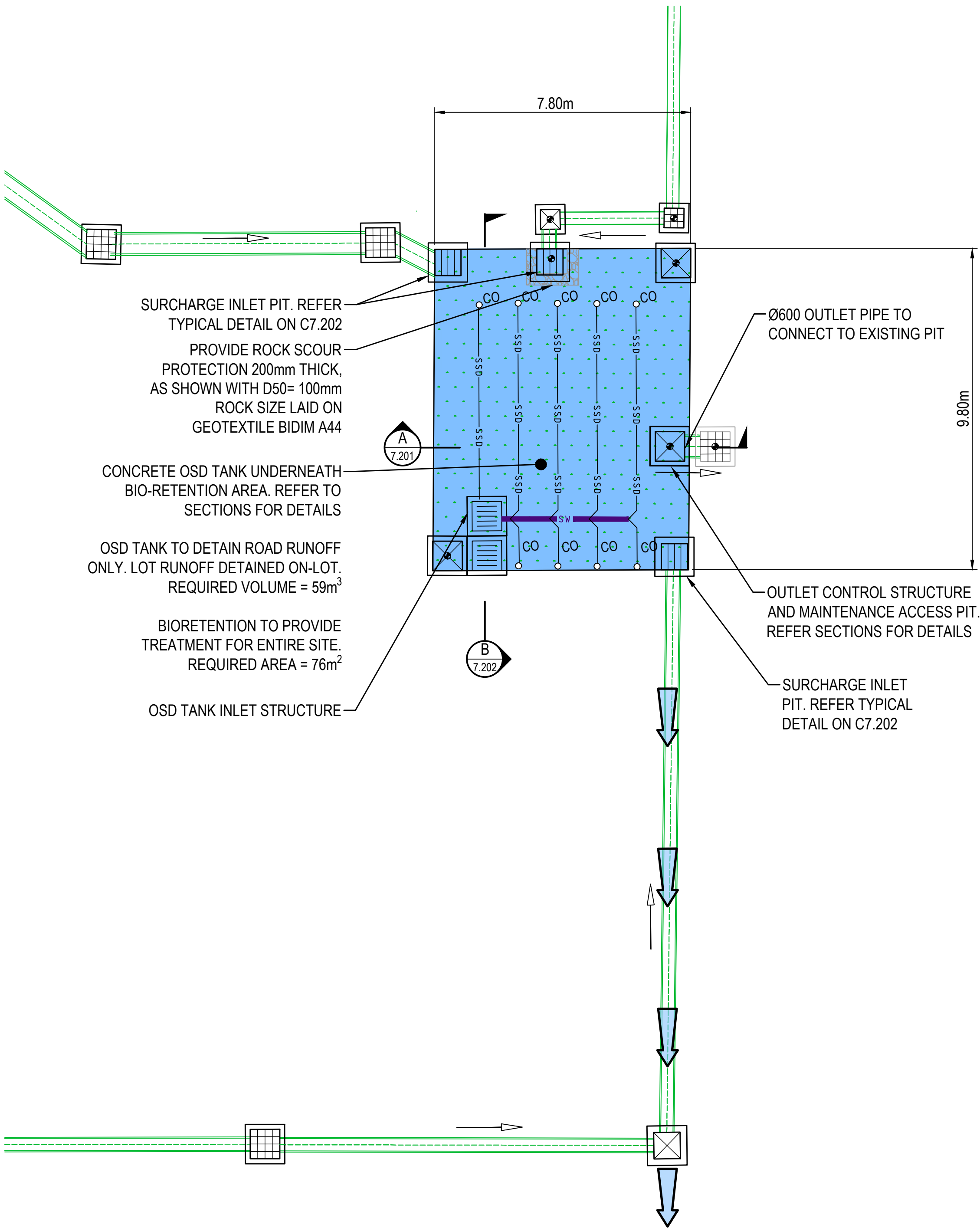
SCOUR PROTECTION

northern beaches council

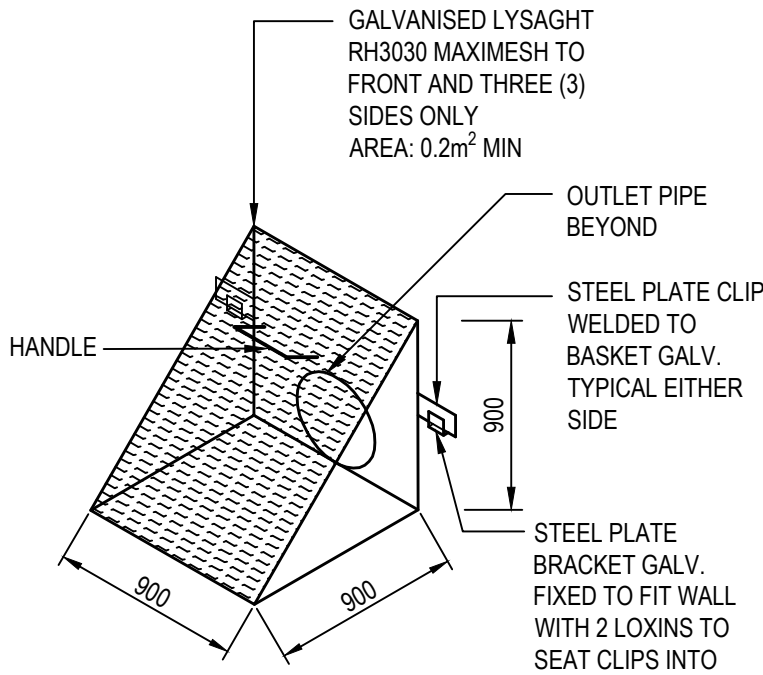
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00450443

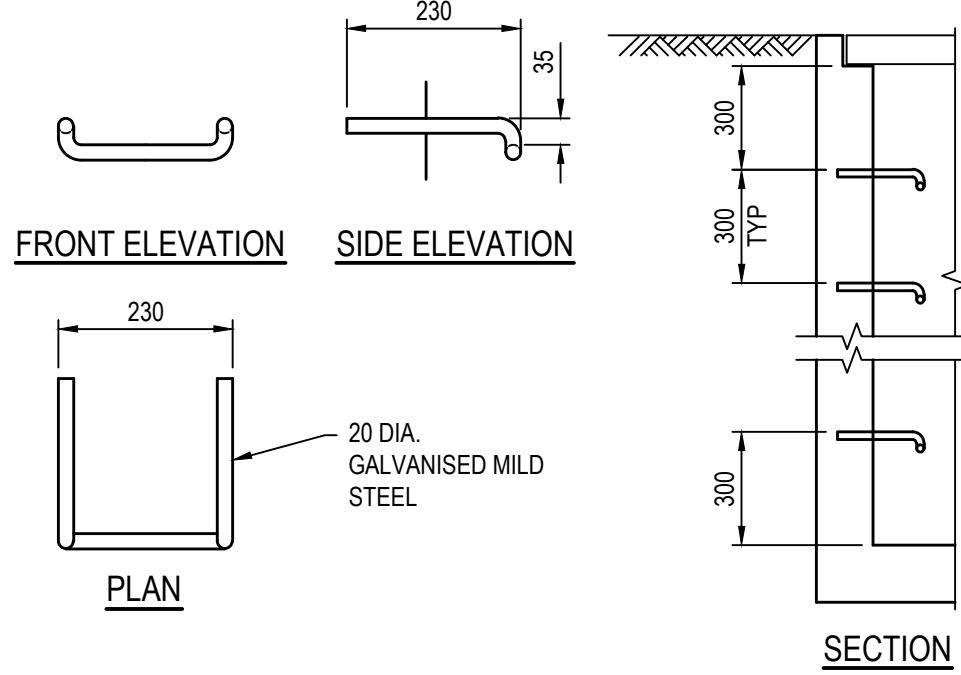
DATED: 15 April 2025



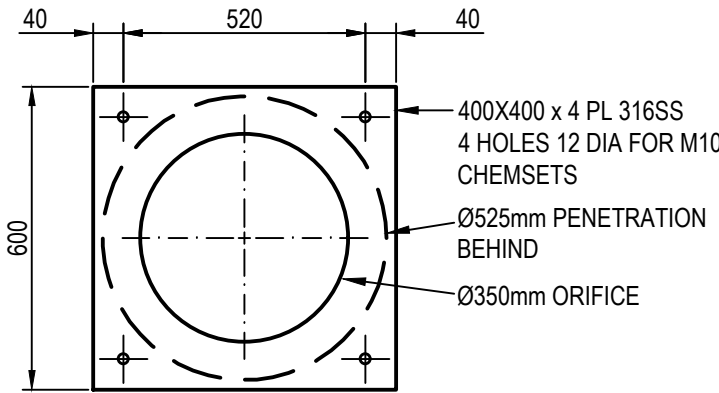
PLAN OF OSD/BIO-RETENTION  
SCALE: 1:100



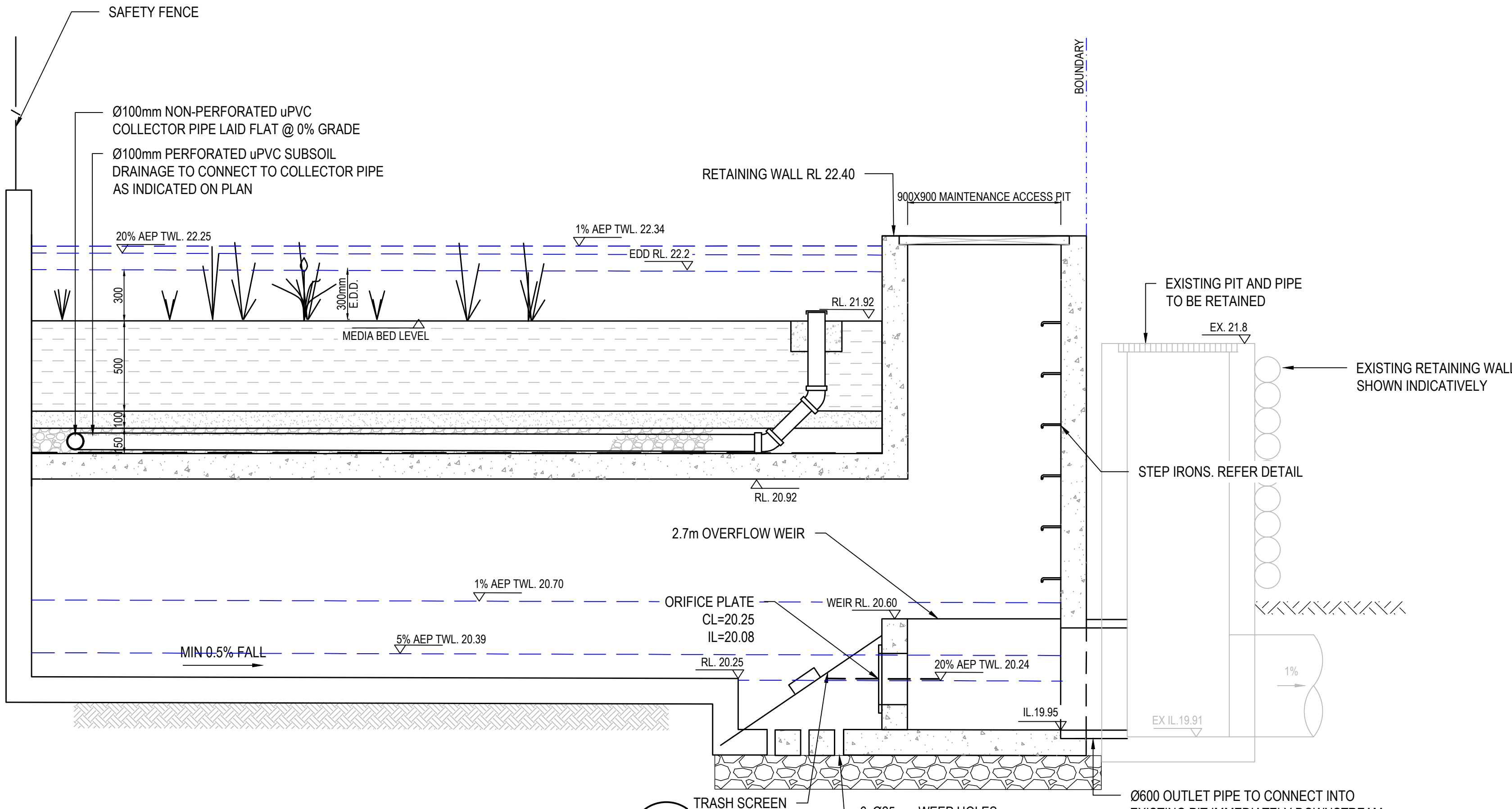
TRASH SCREEN DETAIL  
NOT TO SCALE



STEP IRON DETAIL  
NOT TO SCALE



OSD ORIFICE PLATE  
SCALE 1:10



OSD TANK SECTION A  
NTS  
C7.201

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES					
H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
D	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
D	ISSUE FOR DA	17.07.24	RP	VG	
C	ISSUE FOR DA	16.10.23	ROB	VG	
Issue	Description	Date	Drawn	Approved	

1:100 @ A1



Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
RESIDENTIAL SUBDIVISION  
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
STORMWATER MANAGEMENT  
DETAILS  
SHEET 1

Drawn HB	Date JUN 22	Scale AS SHOWN	A1	Q.A. Check JR	Date
Designed HB	Project No. NSW210416	Dwg. No. C7.201	Issue H		

NOT FOR CONSTRUCTION



FILTER MEDIA SPECIFICATION:

THE FILTER MEDIA SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

1. pH BETWEEN 5.5 TO 7.5
2. ELECTRICAL CONDUCTIVITY (EC) < 1.2 dS/m
3. ORGANIC MATTER CONTENT < 5% w/w
4. ORTHOPHOSPHATE CONTENT <= 40 mg/kg
5. TOTAL NITROGEN CONTENT = 400 mg/kg
6. TOTAL SILT & CLAY CONTENT (<0.05mm) < 3% w/w
7. MINIMUM HYDRAULIC CONDUCTIVITY AS DEFINED BY ASTM F1815-06 OF 200mm/h (ACTUAL, NOT PREDICTED)
8. MAXIMUM HYDRAULIC CONDUCTIVITY AS DEFINED BY ASTM F1815-06 OF 400mm/h (ACTUAL, NOT PREDICTED).

THE FILTER MEDIA SHALL BE WELL GRADED AND GENERALLY BE A LOAMY SAND AND BE FREE OF CONTAMINANTS SUCH AS RUBBISH, DELETERIOUS MATERIAL, TOXICANTS, DECLARED PLANTS AND WEEDS AND SHOULD NOT BE HYDROPHOBIC.

THE COARSE SAND TRANSITION LAYER SHALL BE OF A CLEAN WELL GRADED SAND/COARSE SAND MATERIAL CONTAINING LITTLE OR NO FINES.

THE DRAINAGE LAYER SHALL BE OF A CLEAN FINE GRAVEL CONSISTED OF 5-7 mm WASHED SCREENINGS.

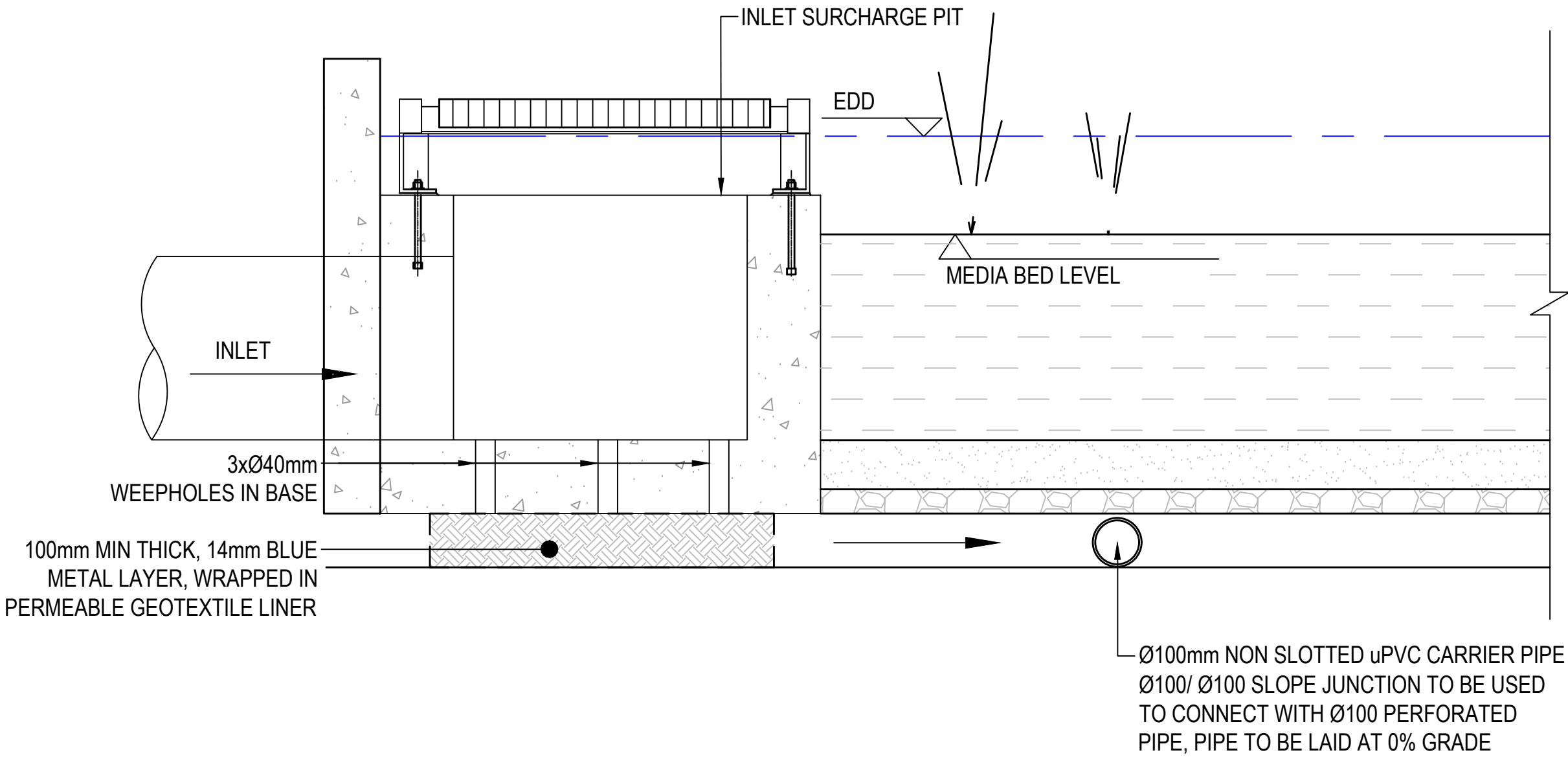
BIO-RETENTION PLANTING PLAN:

ALL BATTER SLOPES ARE TO BE TURFED.

BIO-RETENTION BASIN FILTER MEDIA IS TO BE PLANTED OUT AT 5 PLANTS/ m² WITH SPECIES FROM THE FOLLOWING MIX:

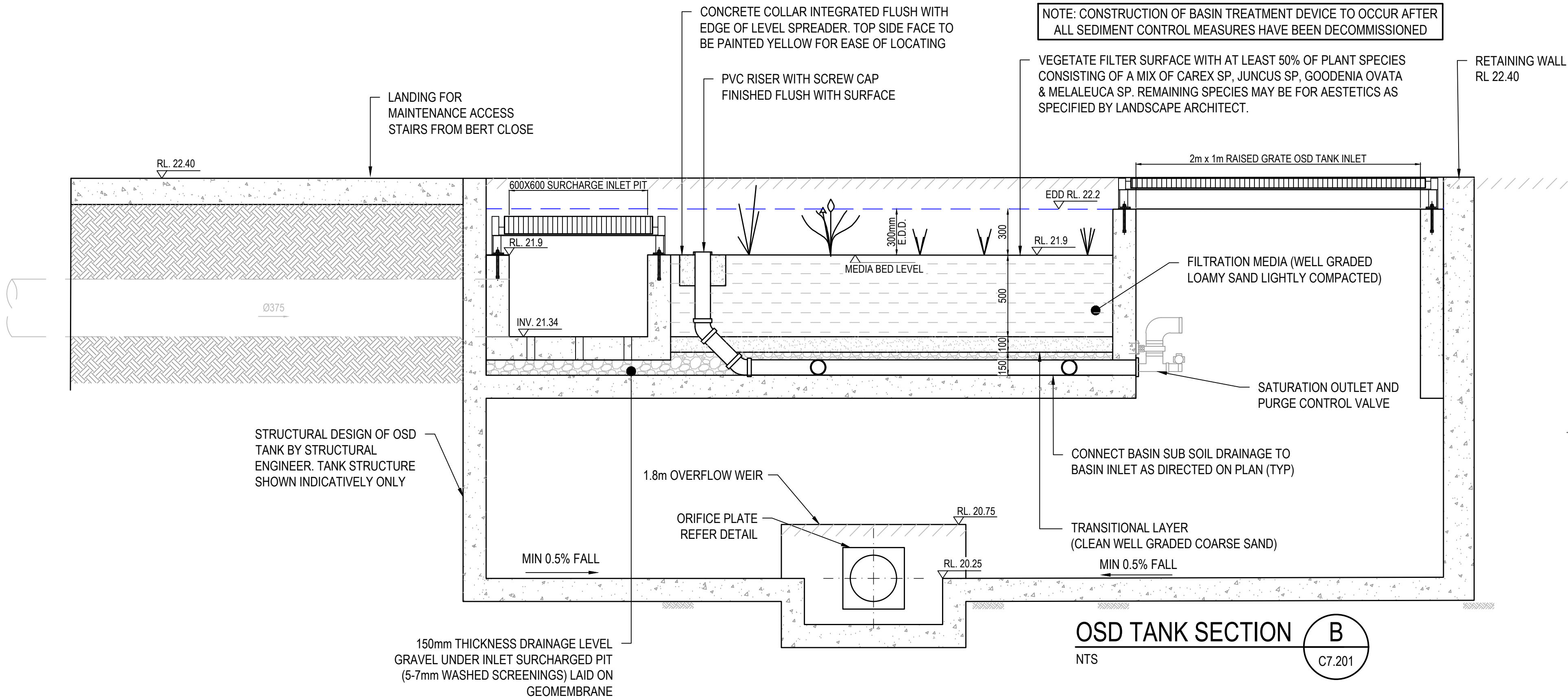
- BAUMEA JUNCEA
- CAREX APPRESSA
- CAREX FASCICULARIS
- CYPERUS EXALTATUS
- CAREX POLYSTACHYUS
- GAHNIA SIEBERANA
- JUNCUS PRISMATOCARPUS
- JUNCUS USITATUS
- LOMANDRA LONGIFOLIA
- PASPALUM DISTICHUM
- SCHOENUS BREVIFOLIUS

NOTE:  
CLEAN OUT POINTS TO BE PROVIDED AT  
END OF EVERY SUBSOIL DRAINAGE LINE



TYPICAL SURCHARGE INLET PIT DETAIL

NTS



OSD TANK SECTION B

NTS

B

C7.201

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
D	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
D	ISSUE FOR DA	17.07.24	RP	VG	
C	ISSUE FOR DA	16.10.23	ROB	VG	
Issue	Description	Date	Drawn	Approved	

Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
**STORMWATER MANAGEMENT  
DETAILS  
SHEET 2**

Drawn	Date	Scale	A1	Q.A. Check	Date
HB	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.		Issue	
HB	NSW210416	C7.202		H	

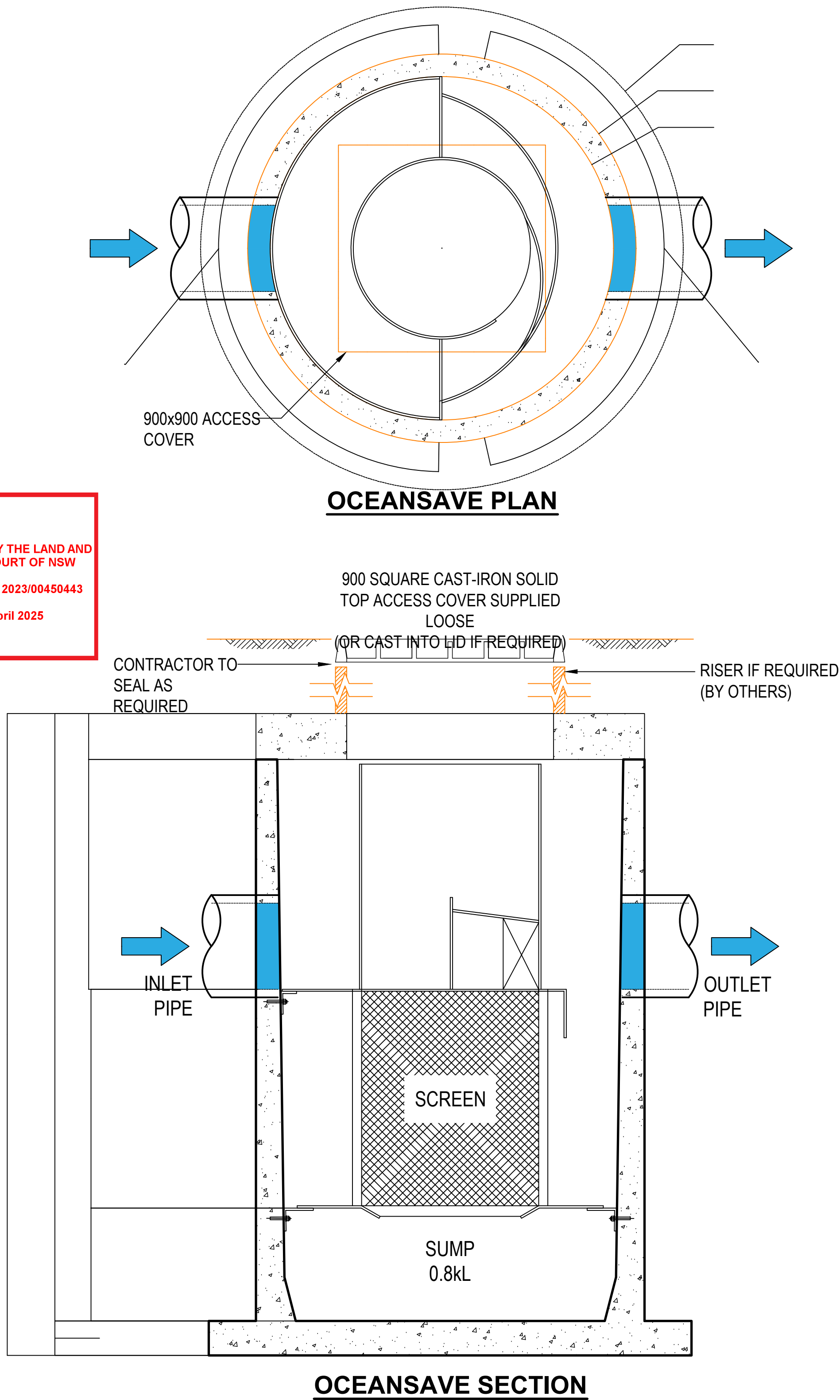
NOT FOR CONSTRUCTION

\\BCH\Projects\2023\210416\210416-01\Drawings\210416-01-02-01\210416-01-02-01.dwg, 15/06/2025, 4:47 PM



NOT FOR CONSTRUCTION

 **northern beaches council**  
**PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW**  
**PROCEEDINGS NO: 2023/00450443**  
**DATED: 15 April 2025**

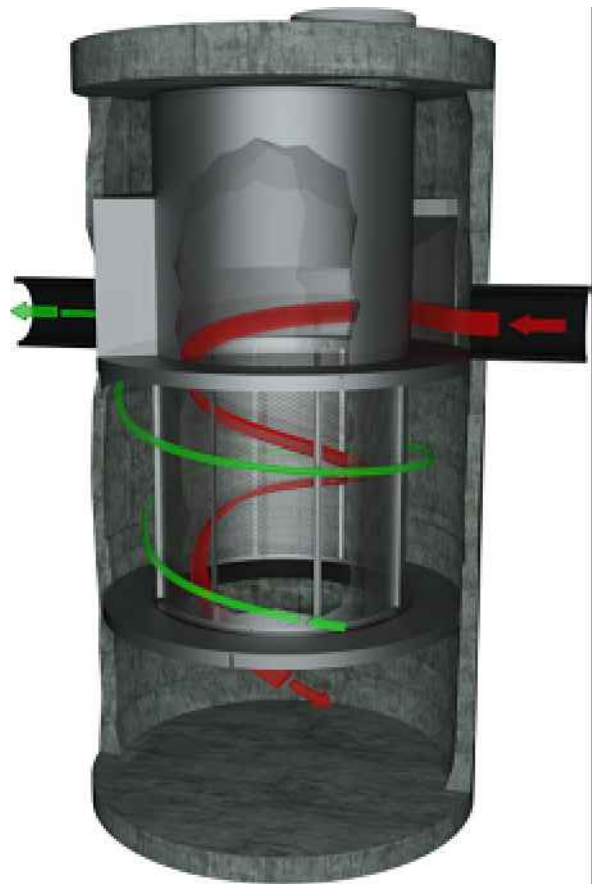


LAST MODIFIED: 16-12-24

OCEANSAVE DESIGN TABLE

TO BE INSTALLED ONLINE THE TOTAL INLET PIPE FLOW RATE MUST BE LESS THAN THE SPECIFIED UNITS LISTED MAXIMUM TOTAL FLOW RATE; THE UNIT MUST BE PLACED OFFLINE WHERE THE INLET FLOW RATE EXCEEDS THIS VALUE.

TREATABLE FLOWRATE [L/s]	68
MAXIMUM TOTAL FLOWRATE [L/s]	368
WEIR HEIGHT [mm]	400



SITE SPECIFIC DATA REQUIREMENTS

TOTAL FLOWRATE THROUGH INLET [L/s]			
PIPE DATA:	I.L.	MATERIAL	DIAMETER
INLET PIPE			
OUTLET PIPE			
UPPER TANK WEIGHT		TBA	
LOWER TANK WEIGHT		TBA	

NOTE: TANK SUPPLIED IN TWO PARTS; PARTS A & B TO BE JOINED ON SITE

GENERAL NOTES

- OCEANSAVE WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF THE PROJECT.
- PRECAST STRUCTURE SUPPLIED WITH CORE HOLES TO SUIT OUTER DIAMETER OF NOMINATED PIPE SIZE / MATERIAL.
- PRECAST STRUCTURE SHALL MEET W80 WHEEL LOAD RATING ASSUMING A MAXIMUM EARTH COVER OF 2.0m AND A GROUND WATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER TO CONFIRM ACTUAL GROUNDWATER ELEVATION. PRECAST STRUCTURE SHALL BE IN ACCORDANCE WITH AS3600.
- ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE. REFER TO OPERATION AND MAINTENANCE MANUAL FOR GUIDELINES AND ACCESS REQUIREMENTS.
- SITE SPECIFIC PRODUCTION DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
- DRAWING NOT TO SCALE.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATION AND SHALL BE SPECIFIED BY THE SITE CIVIL ENGINEER.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING DETAIL PROVIDED SEPARATELY).
- CONTRACTOR TO INSTALL AND LEVEL THE STRUCTURE, APPLY SEALANT TO ALL JOINTS AND TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET PIPES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT SCREEN & SEPARATION CYLINDER COMPONENTS DURING INSTALLATION



PHONE: 1300 354 722      www.oceanprotect.com.au

OCEAN PROTECT  
OCEANSAVE 0809  
SPECIFICATION DRAWING

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd, ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
D	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
D	ISSUE FOR DA	17.07.24	RP	VG	
C	ISSUE FOR DA	16.10.23	ROB	VG	
Issue	Description	Date	Drawn	Approved	

Client  
**BMN PROPERTIES PTY LTD**

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

**ACOR Consultants Pty Ltd**  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
**RESIDENTIAL SUBDIVISION**

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
**STORMWATER MANAGEMENT  
DETAILS  
SHEET 3**

Drawn	Date	Scale	A1	Q.A. Check	Date
HB	JUN 22	NOT TO SCALE		JR	
Designed	Project No.	Dwg. No.	Issue		
HB	NSW210416	C7.203	H		

NOT FOR CONSTRUCTION

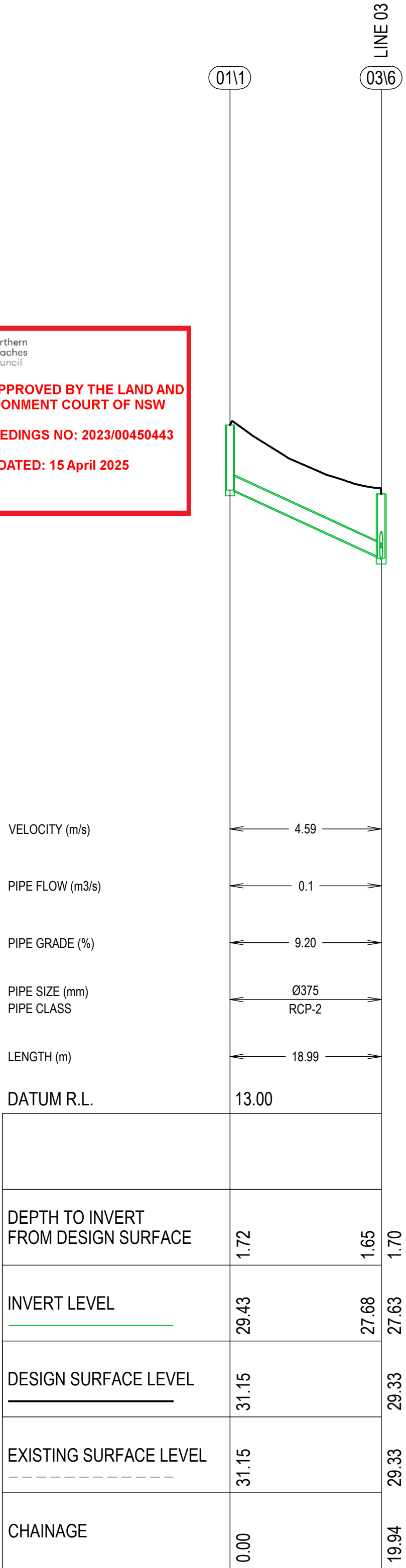


HGL SHOWN IS 5% AEP

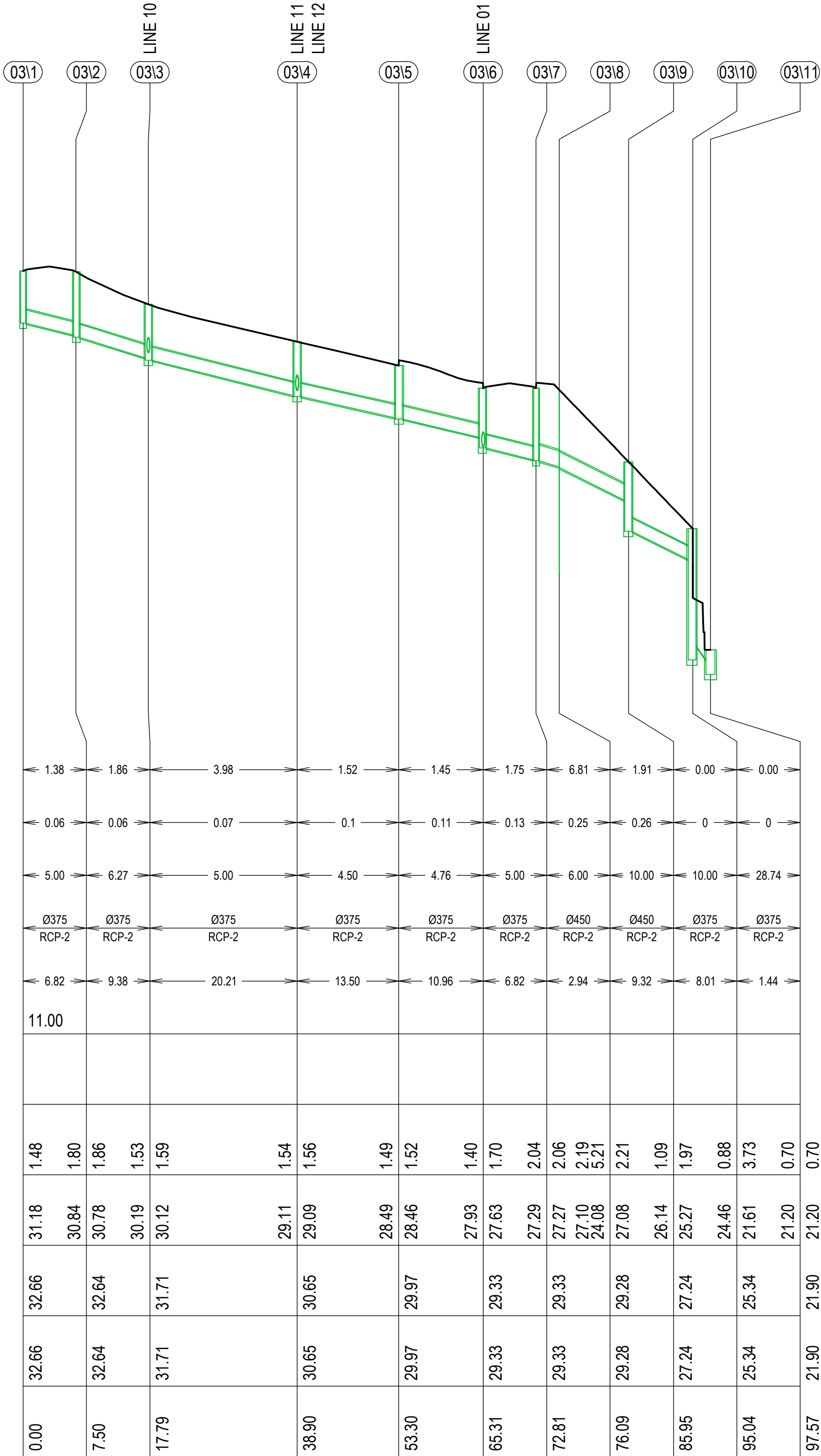


northern  
beaches  
council

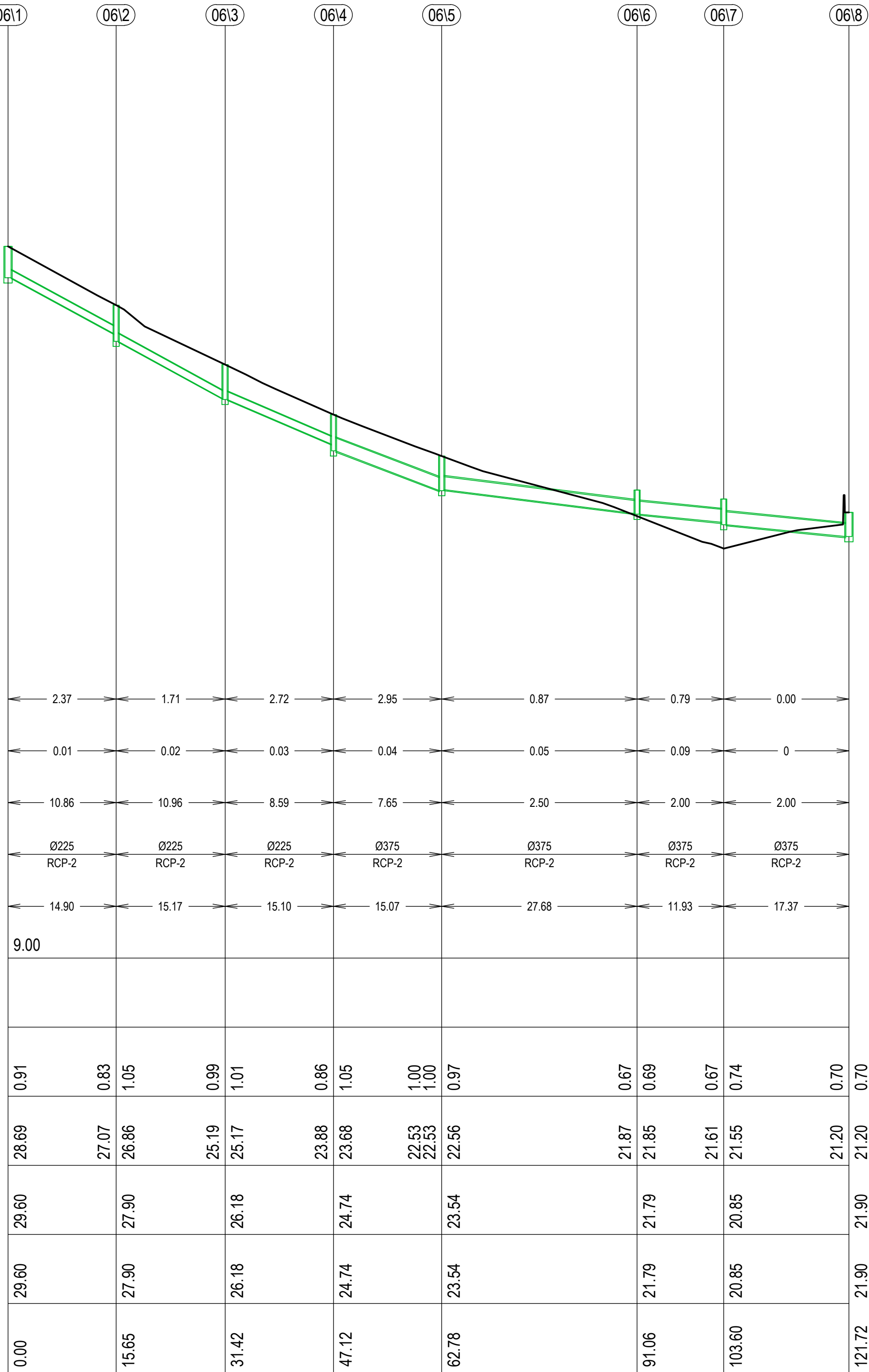
PLANS APPROVED BY THE LAND AND  
ENVIRONMENT COURT OF NSW  
PROCEEDINGS NO: 2023/00450443  
DATED: 15 April 2025



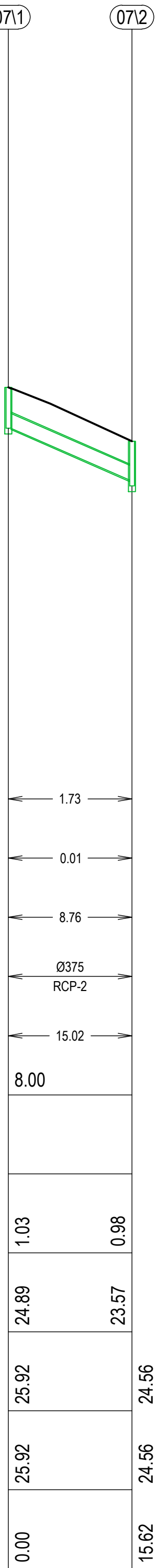
LINE 01



LINE 03



LINE 06



LINE 07

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

HORIZONTAL SCALE 1:500 @ A1



VERTICAL SCALE 1:100 @ A1



NOT FOR CONSTRUCTION

This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by: JOSH RHODES			
H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG
D	ISSUE FOR LEC REVIEW	16.12.24	JK/DW
D	ISSUE FOR DA	17.07.24	RP
C	ISSUE FOR DA	16.10.23	ROB
Issue	Description	Date	Drawn
			Approved

Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project

RESIDENTIAL SUBDIVISION

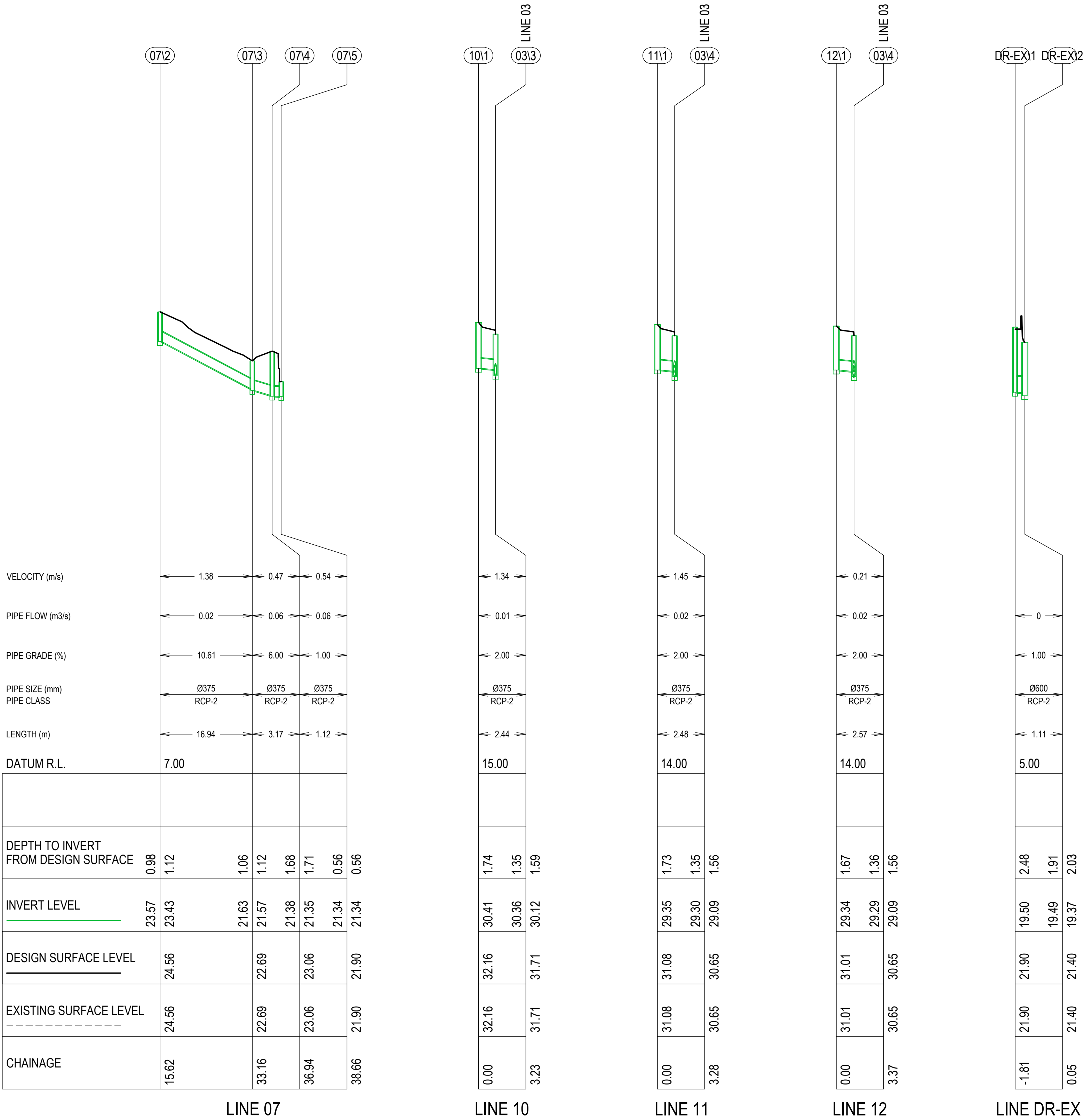
4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
STORMWATER MANAGEMENT  
DRAINAGE LONGITUDINAL SECTIONS  
SHEET 1

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.		Issue	
VG	NSW210416	C7.401		H	



HGL SHOWN IS 5% AEP



northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00450443

DATED: 15 April 2025

© COPYRIGHT of this design and plan is the property of ACOR Consultants Pty Ltd. ACN 079 306 246 ABN 40 079 306 246, all rights reserved. It must not be used, modified, reproduced or copied wholly or in part without written permission from ACOR Consultants Pty Ltd.

HORIZONTAL SCALE 1:500 @ A1



VERTICAL SCALE 1:100 @ A1



NOT FOR CONSTRUCTION

H	ISSUE FOR LEC APPROVAL	05.03.25	VG/RG	VG	North
D	ISSUE FOR LEC REVIEW	16.12.24	JK/DW	VG	
D	ISSUE FOR DA	17.07.24	RP	VG	
C	ISSUE FOR DA	16.10.23	ROB	VG	
Issue	Description	Date	Drawn	Approved	

Client  
BMN PROPERTIES PTY LTD

133 ALEXANDER STREET  
CROWS NEST NSW 2065



ACOR Consultants Pty Ltd  
Unit 10, Level 1, No.1 Maitland Place  
Baulkham Hills NSW 2153  
T +61 2 9634 6311



Project  
RESIDENTIAL SUBDIVISION

4 FOREST ROAD  
WARRIEWOOD, NSW 2102

Drawing Title  
STORMWATER MANAGEMENT  
DRAINAGE LONGITUDINAL SECTIONS  
SHEET 2

Drawn	Date	Scale	A1	Q.A. Check	Date
UF	JUN 22	AS SHOWN		JR	
Designed	Project No.	Dwg. No.	Issue		
VG	NSW210416	C7.402	H		