



# NEWPORT MARINA AND RESIDENTIAL DEVELOPMENT

122-128 CRESCENT RD & 55-57 THE AVENUE  
DP210342, DP503390, DP545339 & DP556902  
ESSEX DEVELOP

## SUBDIVISION DEVELOPMENT APPLICATION 20220005: DRAWING LIST

DRAWING LIST

NUMBER	SHEET NAME
AD-DA900	COVER PAGE
AD-DA901	LOCATION PLAN
AD-DA902	DEMOLITION PLAN
AD-DA903	ARCHITECTURAL ENVELOPE PLAN
AD-DA904	ARCHITECTURAL ENVELOPE SECTIONS
AD-DA905	SUBDIVISION PLAN
AD-DA906	OVERLAY DEMO & NEW

GENERAL NOTES

1. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM SCOTT CARVER OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS
3. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
4. ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
5. ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION
6. DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING STRUCTURE, SERVICES, BUILDING FABRIC AND SITE FEATURES.
7. ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE SUBJECT TO LATEST REQUIREMENT AND ARE TO BE USED AS A GUIDE ONLY



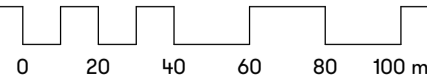
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[Nom. Architect]	DOUG SOUTHWELL /7362	
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[Print Date]	8/06/2022 10:24:39 AM	
History		
Rev#]	[Description]	[Date]dd mm yy
1	SUBDIVISION DA	07.06.2022



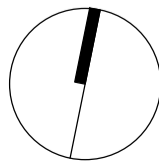
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[Project] NEWPORT MARINA AND RESIDENTIAL DEVELOPMENT

[Client] ESSEX DEVELOP



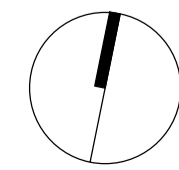
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LOCATION PLAN

[Dwg No] AD-DA901 [Rev] 1



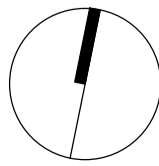


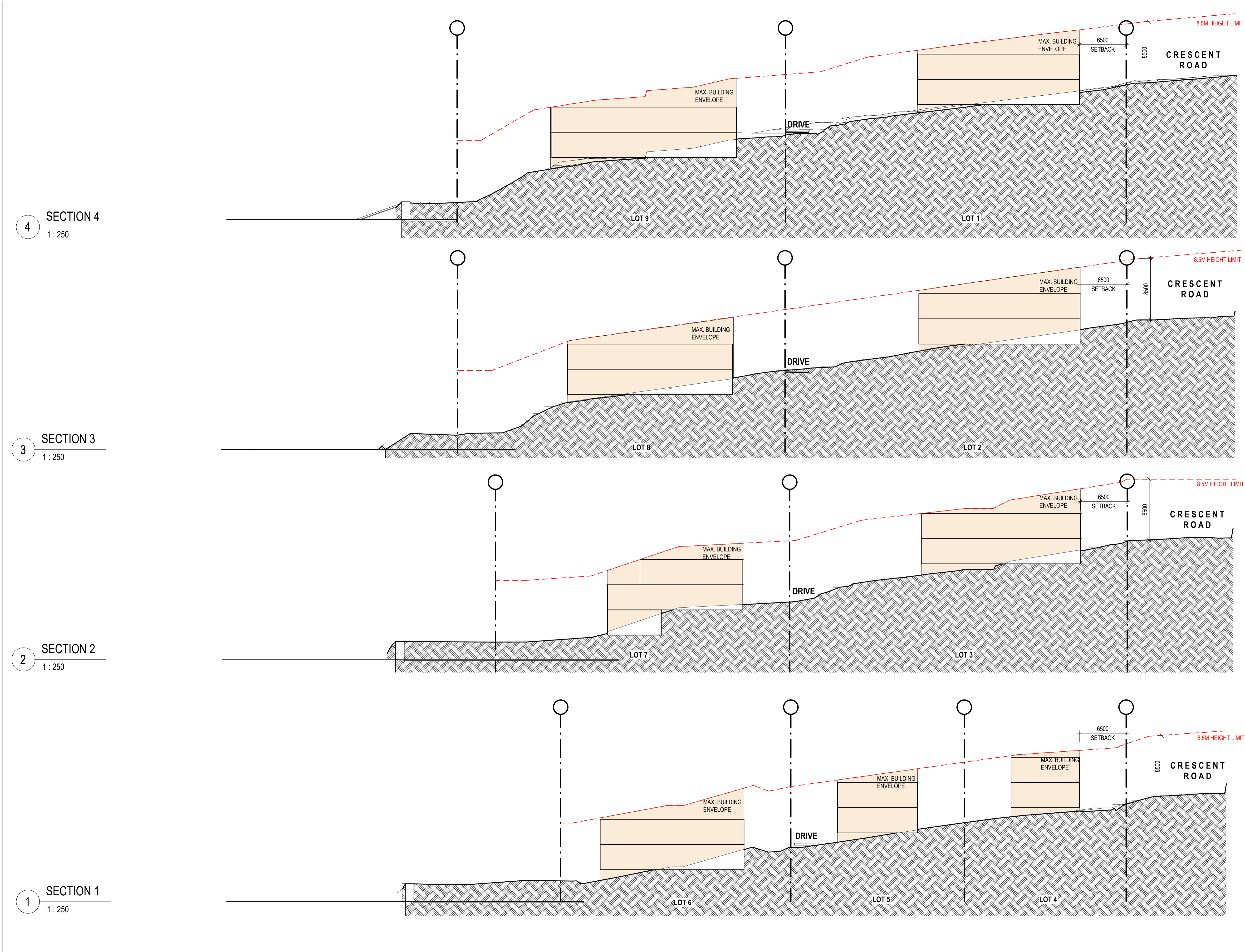
**LEGEND**

- BOUNDARY LINE
- HIGH WATER MARK
- FORESHORE SETBACK
- RIGHT OF WAY
- DRAINAGE EASEMENTS  
REFER TO SITEWORKS AND  
DRAINAGE PLAN FROM BG&E
- UNDERGROUND CABLE EASEMENT  
REFER TO PROPOSED UNDERGROUND  
SERVICES PLAN FROM IGS
- INDICATIVE BUILDING FOOTPRINT  
SUBJECT TO FUTURE DWELLING DA
- INDICATIVE LANDSCAPED AREA
- BUILDING SETBACK
- TREE TO REMAIN

FOR DETAILED ARBORIST REPORT  
REFER TO REPORT 6322 BY RAINTREE  
CONSULTING - DATED 25.05.2022

BASED ON SURVEY BY BOXALL DATED  
05.05.2022 - DRAWING NO. 11369-001-A





[Status]	PRELIMINARY	
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[Rev#]	[Description]	[Date]dd.mm.yy
1	SUBDIVISION DA	07.06.2022

LEGEND	
	BOUNDARY LINE
	HIGH WATER MARK
	FORESHORE SETBACK
	RIGHT OF WAY
	DRAINAGE EASEMENTS REFER TO SITEWORKS AND DRAINAGE PLAN FROM BG&E
	UNDERGROUND CABLE EASEMENT REFER TO PROPOSED UNDERGROUND SERVICES PLAN FROM IGS

BASED ON SURVEY BY BOXALL DATED  
05.05.2022 - DRAWING NO. 11369-001-A



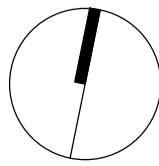
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[Project] NEWPORT MARINA AND RESIDENTIAL DEVELOPMENT

[Client] ESSEX DEVELOP

0 2.5 5 7.5 10 12.5 m

[Scale] 1 : 250 @ A1



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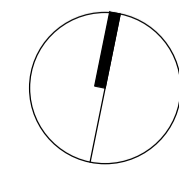
SUBDIVISION PLAN

[Dwg No] AD-DA905

[Rev] 1



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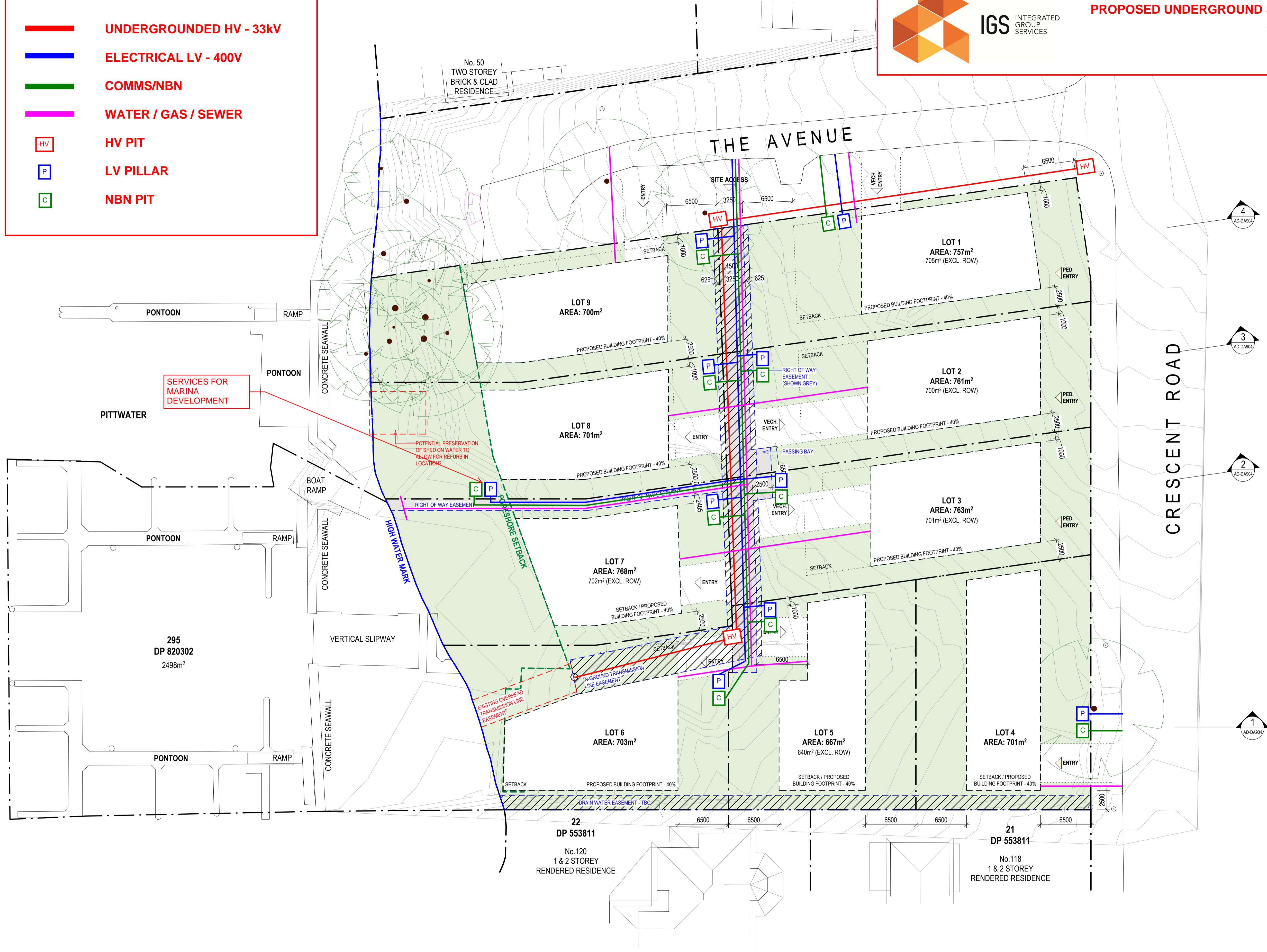
# LEGEND

- UNDERGROUNDED HV - 33kV
- ELECTRICAL LV - 400V
- COMMS/NBN
- WATER / GAS / SEWER
- HV PIT
- LV PILLAR
- NBN PIT



**PROPOSED UNDERGROUND SERVICES**  
27.05.2022

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[Nom. Architect]	DOUG SOUTHWELL /7362	
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[Print Date]	26/05/2022 2:05:16 PM	
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A	DRAFT SUBDIVISION	28.04.2022
B	DRAFT SUBDIVISION	03.05.2022
C	DRAFT SUBDIVISION	19.05.2022
D	DRAFT SUBDIVISION	26.05.2022



# LEGEND

- BOUNDARY LINE
- DEMOLITION
- HIGH WATER MARK
- FORESHORE SETBACK
- INDICATIVE BUILDING FOOTPRINT
- BUILDING SETBACK
- INDICATIVE LANDSCAPED AREA
- EASEMENT
- RIGHT OF WAY

EXISTING EASEMENTS  
A. TRANSMISSION LINE  
B. RIGHT OF CARRIAGEWAY  
C. DRAIN WATER (1.83M WIDE)

NEW EASEMENTS  
TBC

BASED ON SURVEY BY BOXALL DATED  
10.02.2022 - DRAWING NO. 11369-001