

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

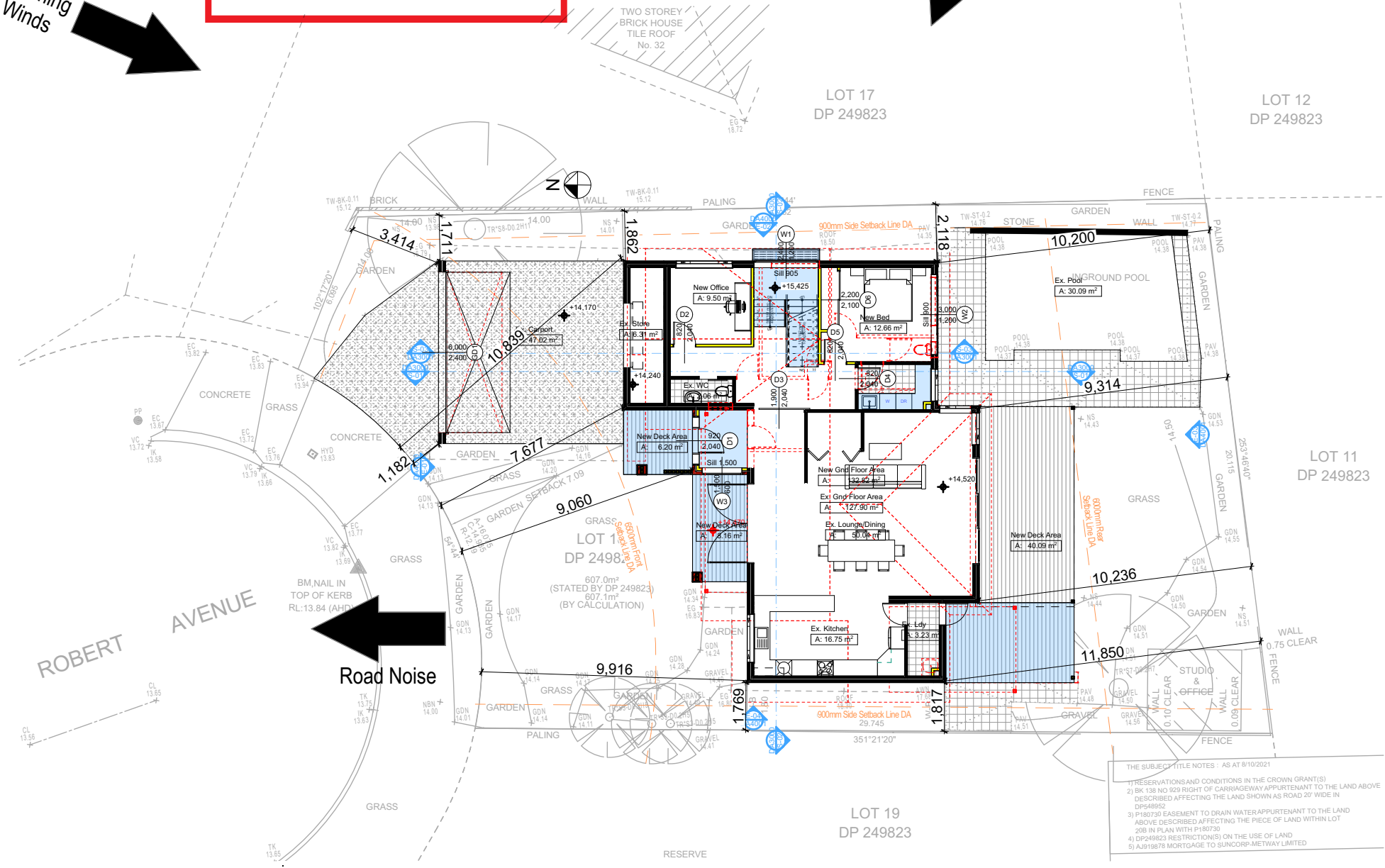
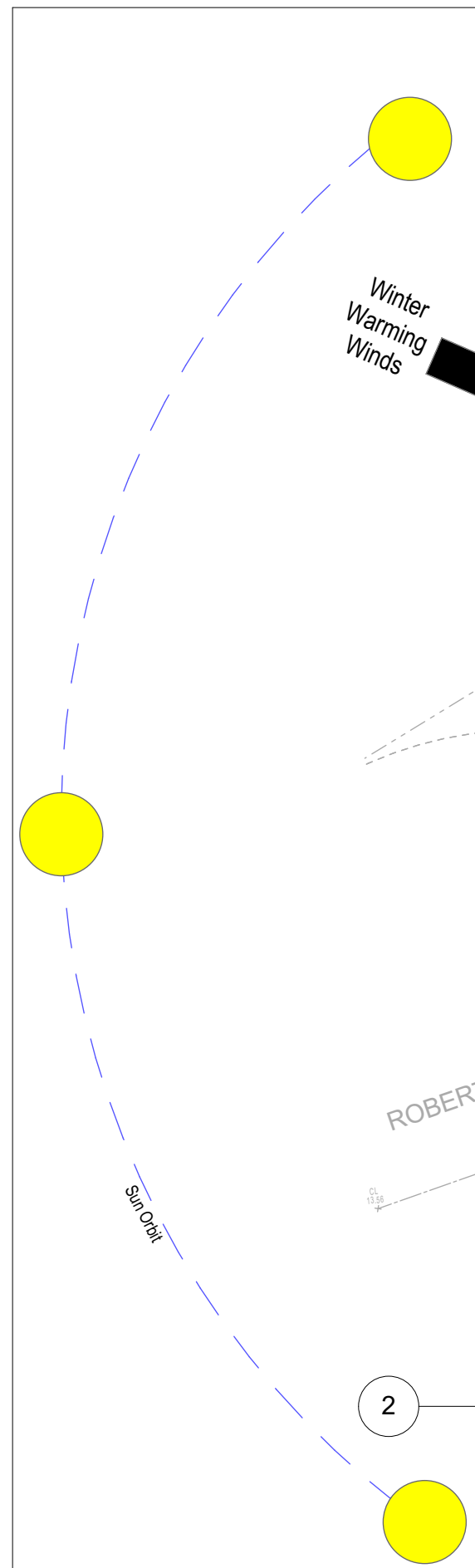
DA2023/0412



northern beaches council

Summer Cooling Winds

Winter Warming Winds



SITE PLAN
1:200

NO EXCAVATION OR FILL PLAN DUE TO NO PROPOSED EXCAVATION OR FILL

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² . b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

Wendy P. Jones
PO Box 6239 Pymble NSW 1500
Tel: (02) 9350-8845 Mobile: 0414-545-024
Email: wendy@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density

34 Robert Avenue North Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Slab & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1906-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m². b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP01223MOH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE:
SITE AND LOCATION SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	28/2/23

DRAWING NO.
DA1003

Plot Date: 28/02/2023
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Wall Legend

Denotes Existing Wall
Denotes Demolished Item



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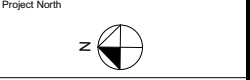
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NOTES
34 Robert Avenue North Manly is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Site & Framed Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A483455.02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



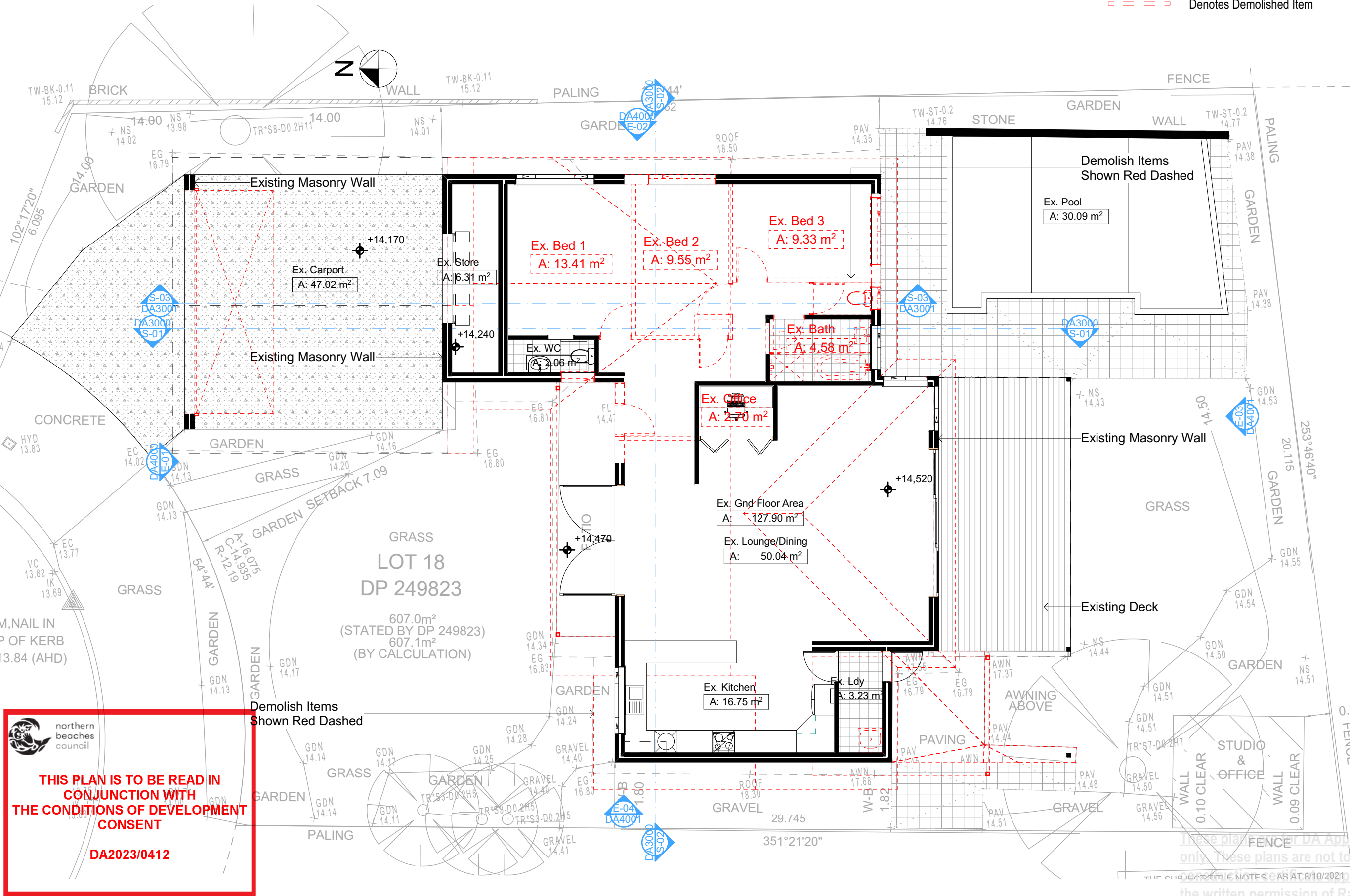
Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RPD12240H
Project Status DA

Client: Selena Mohr
Site: 34 Robert Avenue North Manly

DRAWING TITLE: Demolition Ground Floor Plan
PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 28/2/23
DRAWING NO. DA1006

Plot Date: 28/02/2023
Sheet Size: A3

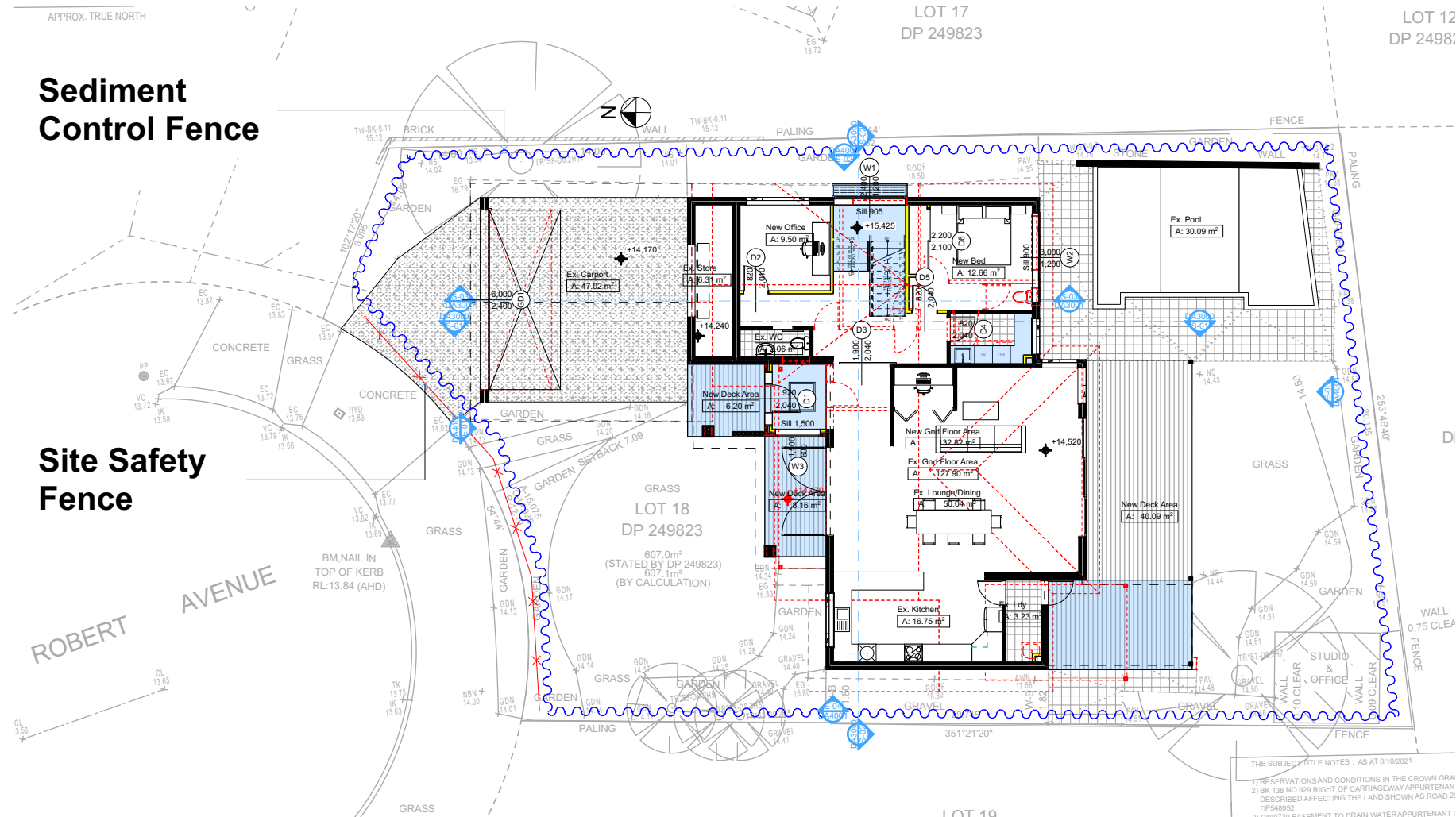


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DA2023/0412

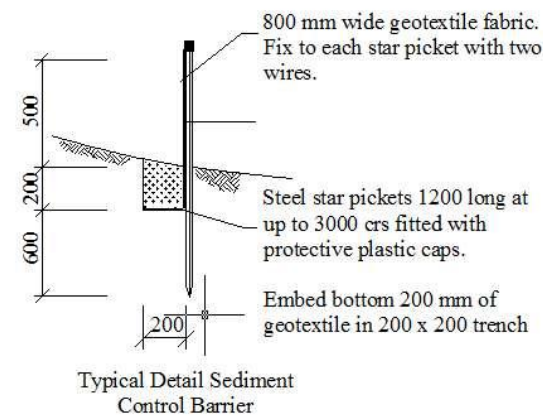
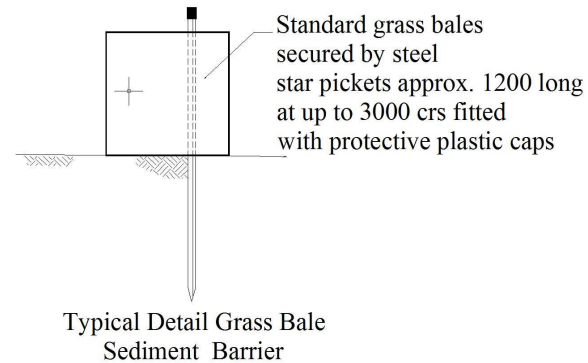
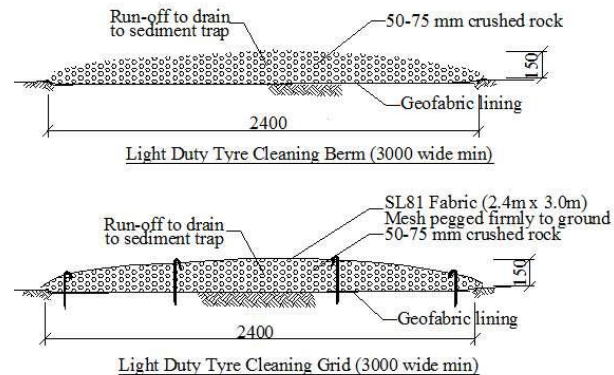
DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



2 SEDIMENT & EROSION CONTROL PLAN
1:200



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0412



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beaches
council

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NOTES

34 Robert Avenue North Manly is zoned R2 Low Density

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction

Site & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1019.2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

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Basic

Basic Certificate Number A483455.02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

z

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RPD122MCH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE

- 28/2/23

DRAWING NO.
DA1011

Plot Date: 28/02/2023
Sheet Size: A3

28/02/2023
Page 2 of 2

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 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/0412

Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



Rapid Plans

Building Design and Architectural Drafting

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NOTES

34 Robert Avenue North Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction

Slab & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

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Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans
Project North
Drawn Checked GBJ Plot Date: 28/02/2023 Project NO.: RPD122MOH Project Status DA
Client Selena Mohr
Site: 34 Robert Avenue North Manly

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	28/2/23
DRAWING NO.	DA1013
Plot Date:	28/02/2023
Sheet Size: A3	

**Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement**

**Proposed Stormwater Line To Be Fed
Into The Existing Drainage System**

4

STORMWATER PLAN
1:200




**Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement**

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Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Wall Legend

 Denotes New Timber Framed Wall
 Denotes New Masonry Wall
 Denotes Existing Wall
 Denotes Demolished Item



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NOTES
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34 Robert Avenue North Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Sub & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Association and BCA
Time for terms to BCA and AS 1594
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1028:2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Certification
The DA Application Only plans are for DA Application purposes only. The plans are not valid for the construction application application by the DA Certifying Authority without the written permission of Rapi Plans or the applicant's authorized Construction Certificate drawings by Rapi Plans.

Basic Certificate Number BAH45455; 02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered insulation (if applicable) in accordance with the specifications with the specifications listed in the table below, except that all additional insulation (if applicable) must be of the same type and thickness as the insulation specified is not required for parts of altered construction where insulation already exists.

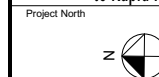
For all new construction, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each case.

For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 2400 mm above the finished ground level. The maximum height of any wall or screen must be no more than 2400 mm above the sill.

The wings of any roof must be no more than the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comments
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	45m2	Yes
	4mDeg	
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO. RP0122MOH
Project Status DA

Client	Selena Mohr
Site:	34 Robert Avenue North Manly

DRAWING TITLE : PLANS
GROUND FLOOR

PROJECT NAME : **Alterations & Additions**

REVISION NO. _____ DATE _____

- **28/2/23**

DRAWING NO. **DA2001**

Plot Date: **28/02/2023**

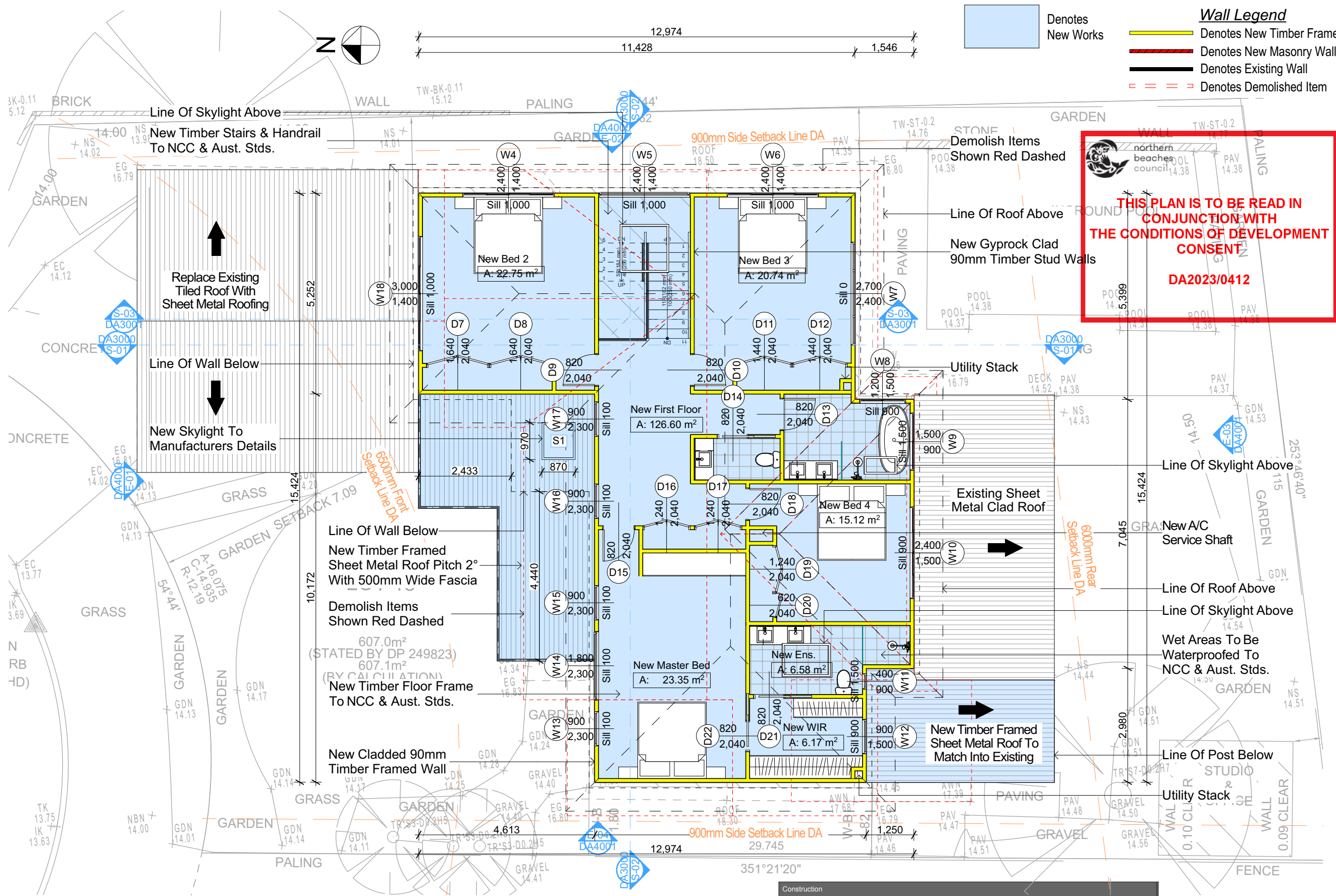
Sheet Size: A3

First Current: John MOORE
First 2 pin

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/0412

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2023/0412

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NOTES

34 Robert Avenue North Marly is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Roof Framing to have R1.08 Insulation. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS1288.2017. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

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Basic

Basic Certificate Number A483455.02

All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RPD122MCH
Project Status DA

Client: Selenia Mohr

Site: 34 Robert Avenue North Marly

DRAWING TITLE: PLANS FIRST FLOOR

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 28/2/23

DRAWING NO. DA2002

Plot Date: 28/02/2023
Sheet Size: A3

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

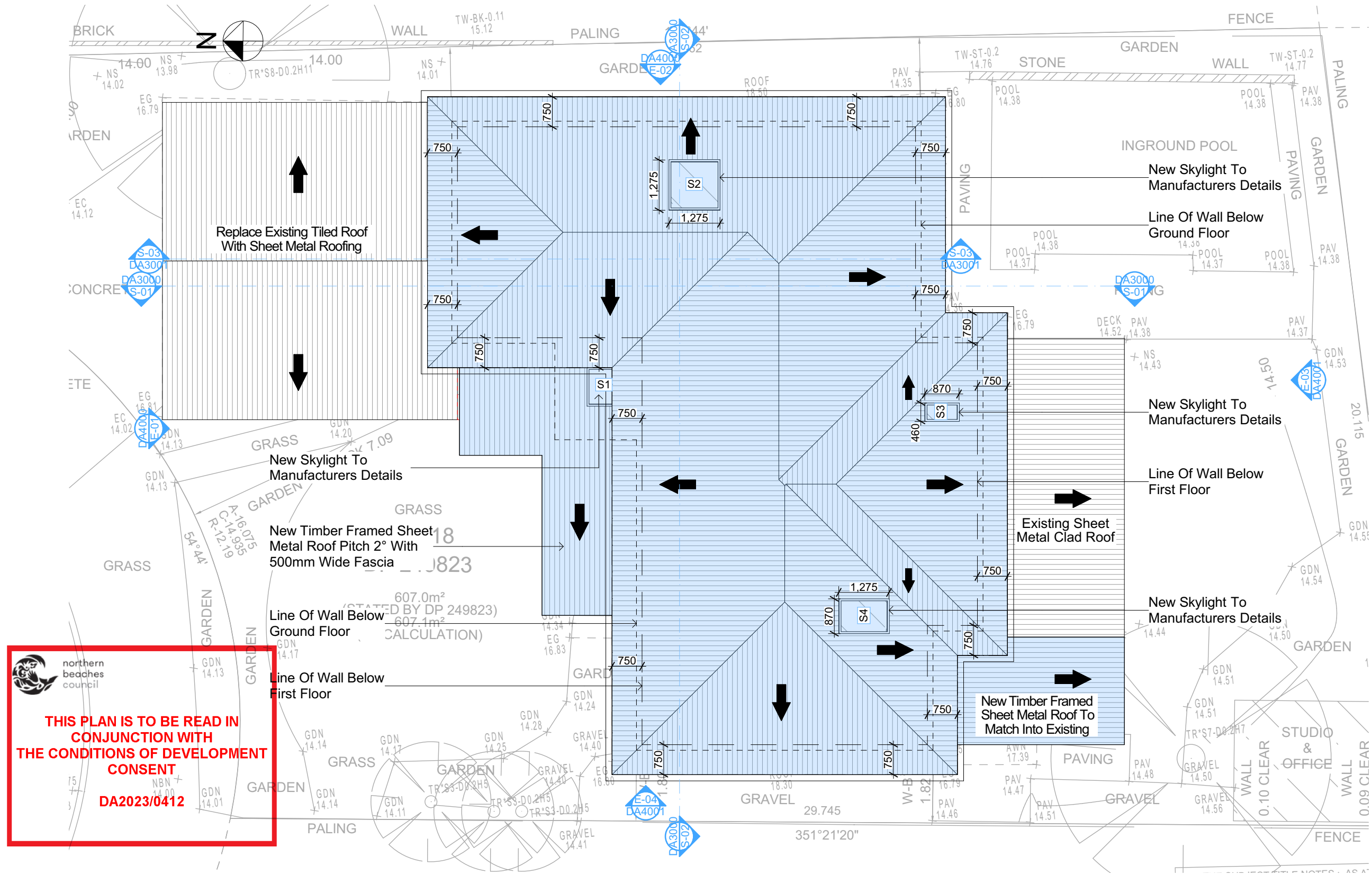
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans








 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0412

4

Roof Plan
1:100

-  Denotes New Works
- Wall Legend**
-  Denotes New Timber Framed Wall
-  Denotes New Masonry Wall
-  Denotes Existing Wall
-  Denotes Demolished Item

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.85	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.63	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.4	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S4	1.11	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Client: Selsena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE: **PLANS ROOF**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 28/2/23

DRAWING NO. **DA2003**

Plot Date: 28/02/2023

Sheet Size: A3


Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA


ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction

Slab & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029:2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Skylights

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

z

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RPD122MCH
Project Status DA

Client: Selsena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE: **PLANS ROOF**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

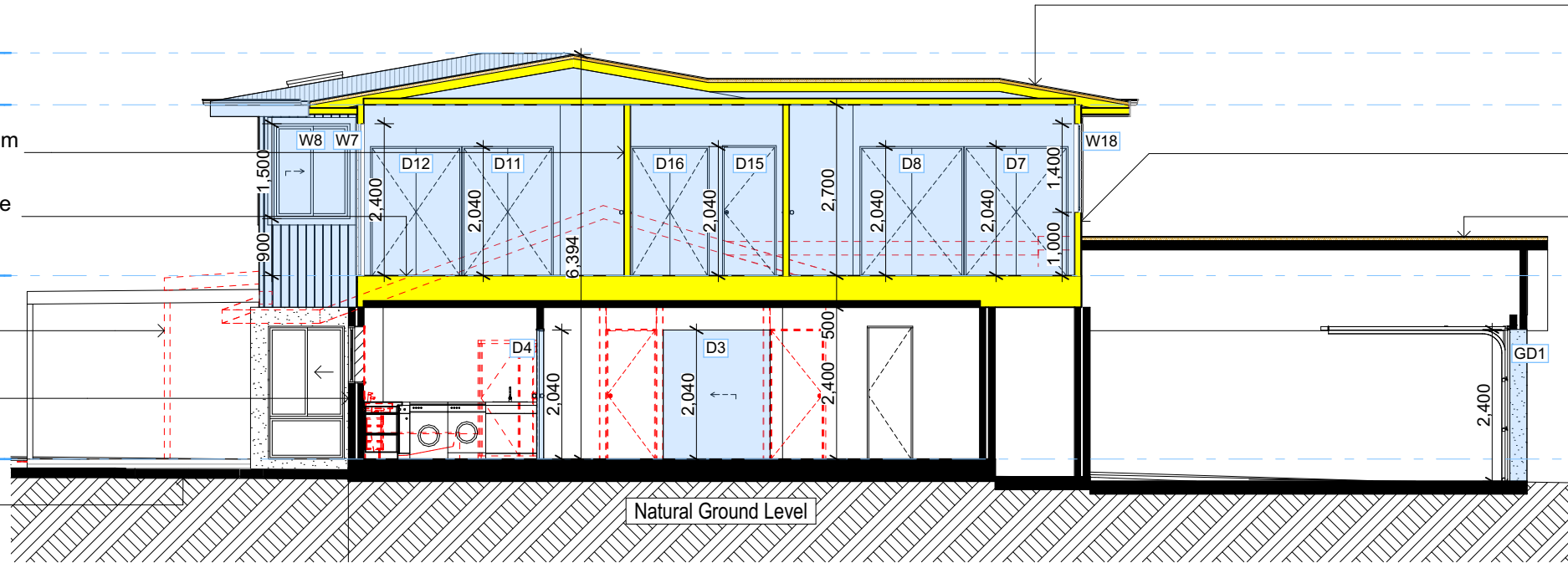
- 28/2/23

DRAWING NO. **DA2003**

Plot Date: 28/02/2023

Sheet Size: A3

+20,940
5 ROOF
+20,120
4 FCL
New Gyprock Clad 90mm
Timber Stud Walls
New Timber Floor Frame
To NCC & Aust. Stds.
+17,420
3 FIRST FLOOR
Demolish Items
Shown Red Dashed
Existing Masonry Wall
+14,520
2 GROUND FLOOR
Existing Paving



New Timber Framed Sheet
Metal Roof Pitch 10°
+20,940
5 ROOF
+20,120
4 FCL
New Cladded 90mm
Timber Framed Wall
Replace Existing Tiled Roof
With Sheet Metal Roofing

+17,420
3 FIRST FLOOR
+14,520
2 GROUND FLOOR
GD1
2,400

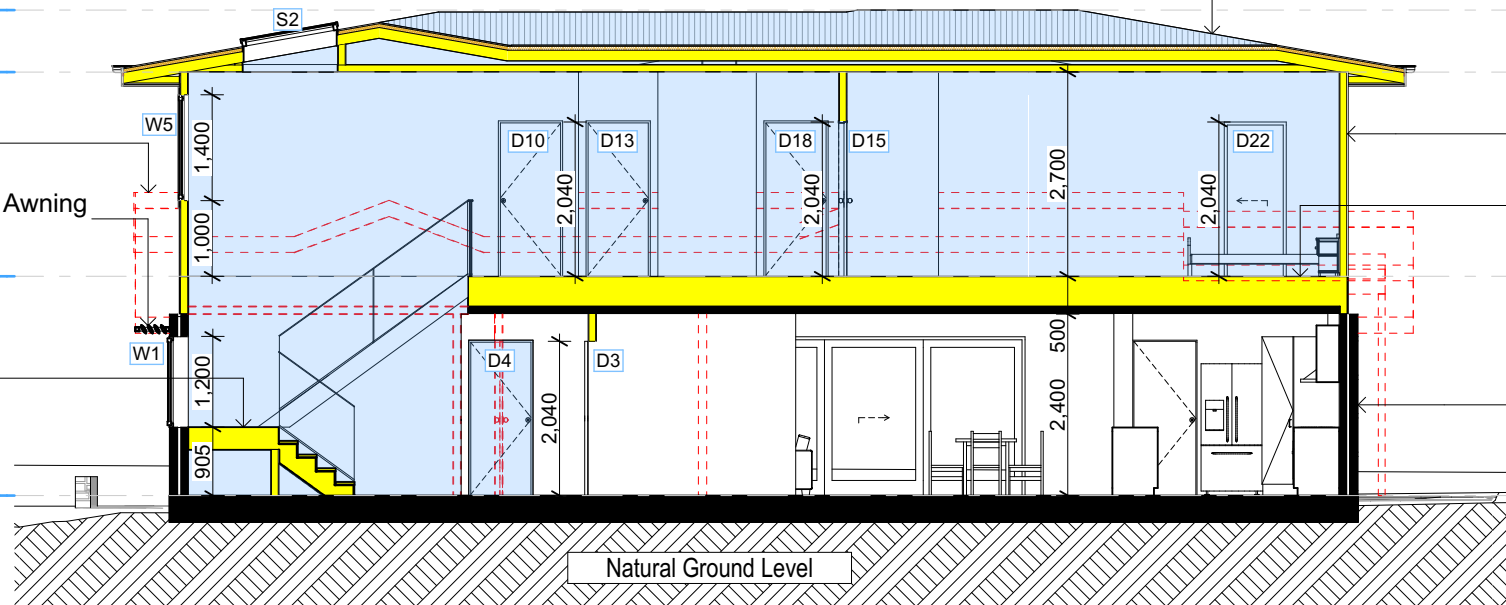


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0412

S-01
SECTION 1
1:100

+20,940
5 ROOF
+20,120
4 FCL
Demolish Items
Shown Red Dashed
New Min. 450mm Wide Awning
To Basix Requirements
+17,420
3 FIRST FLOOR
New Timber Stairs
& Handrail To
NCC & Aust. Stds.
+14,520
2 GROUND FLOOR



New Timber Framed Sheet
Metal Roof Pitch 10°
+20,940
5 ROOF
+20,120
4 FCL
New Cladded 90mm
Timber Framed Wall
New Timber Floor Frame
To NCC & Aust. Stds.
+17,420
3 FIRST FLOOR

Existing Masonry Wall
+14,520
2 GROUND FLOOR

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)
Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.1m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
34 Robert Avenue North Manly is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
34 Robert Avenue North Manly is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A483455_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

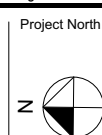


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 28/02/2023
Project NO. RP0122MOH
Project Status DA
Client: Selena Mohr
Site: 34 Robert Avenue North Manly
Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 1
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 28/2/23
DRAWING NO.
DA3000

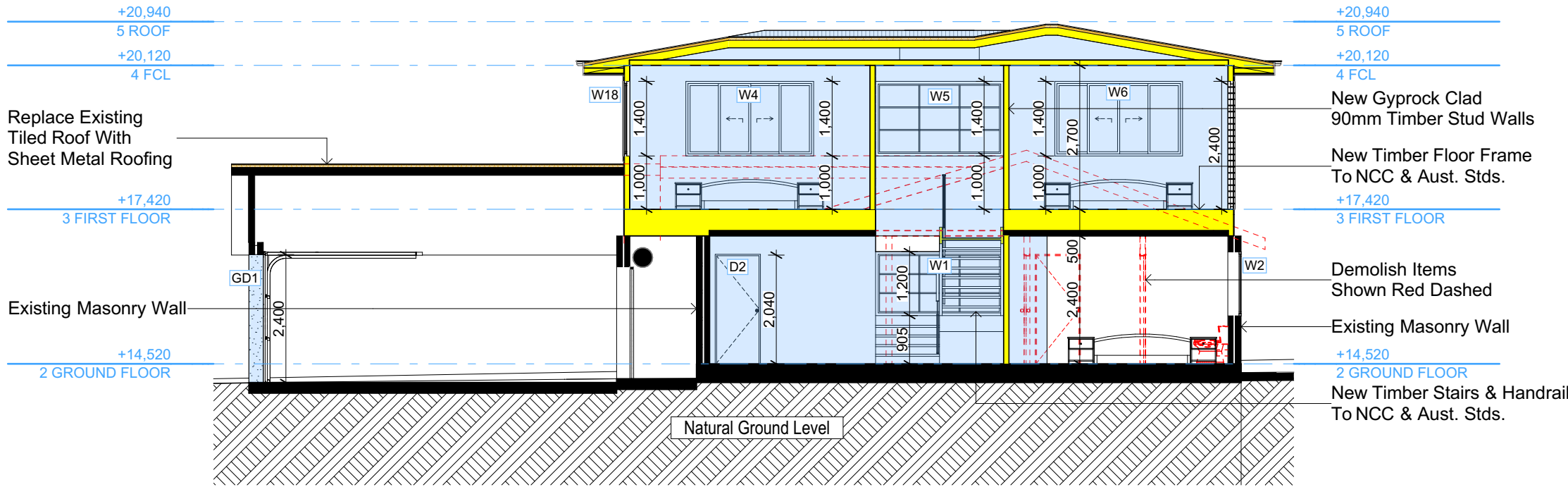
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



S-03
-

SECTION 3
1:100



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0412

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

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NOTES

34 Robert Avenue North Manly is zoned R2 Low Density

34 Robert Avenue North Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Slab & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10798-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

z

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP0122MCH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE : SECTIONS
SECTION 2

PROJECT NAME : Alterations & Additions

REVISION NO. DATE
- 28/2/23

DRAWING NO. DA3001

Plot Date: 28/02/2023
Sheet Size: A3

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

New Timber Framed Sheet
Metal Roof Pitch 10°

+20,940

5 ROOF

+20,120

4 FCL

New Cladded 90mm
Timber Framed Wall

Building Envelope

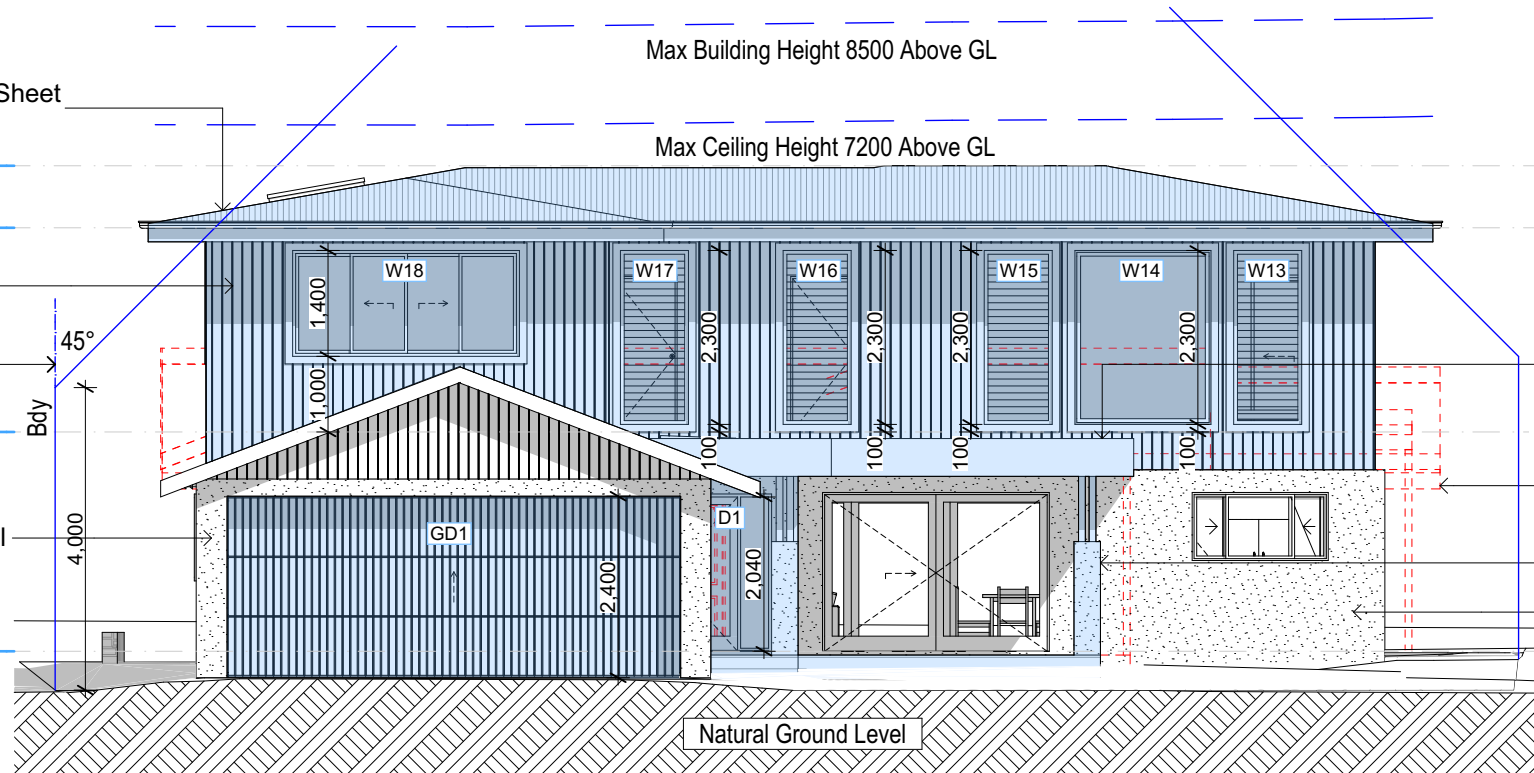
+17,420

3 FIRST FLOOR

Existing Masonry Wall

+14,520

2 GROUND FLOOR



E-01

North
1:100

New Timber Framed
Sheet Metal Roof Pitch 2°
With 500mm Wide Fascia

+17,420

3 FIRST FLOOR

Demolish Items
Shown Red Dashed

New Masonry Column With
Timber Post On Top

Existing Masonry Wall

+14,520

2 GROUND FLOOR

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/0412

New Skylight To
Manufacturers Details

+20,940

5 ROOF

+20,120

4 FCL

New Cladded 90mm
Timber Framed Wall

Existing Sheet
Metal Clad Roof

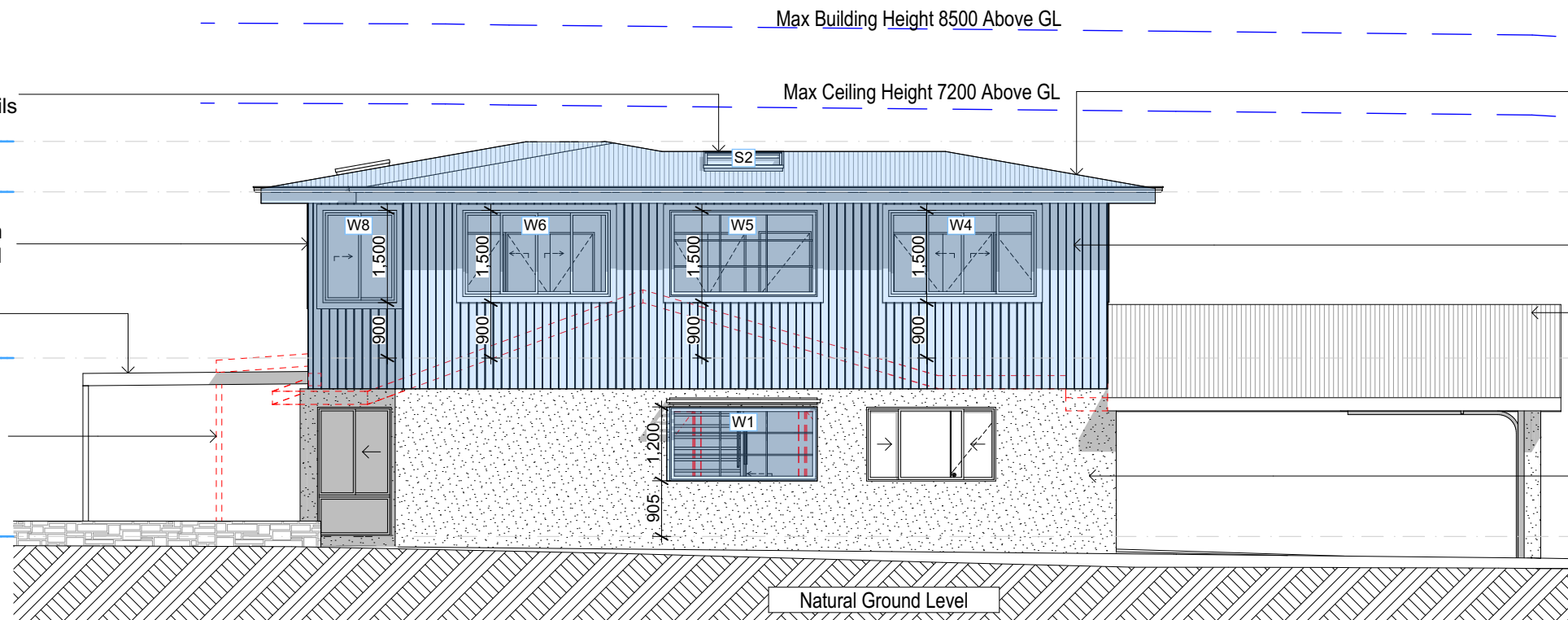
+17,420

3 FIRST FLOOR

Demolish Items
Shown Red Dashed

+14,520

2 GROUND FLOOR



E-02

East
1:100

New Timber Framed Sheet
Metal Roof Pitch 10°

+20,940

5 ROOF

+20,120

4 FCL

New Cladded 90mm
Timber Framed Wall

Replace Existing Tiled Roof
With Sheet Metal Roofing

+17,420

3 FIRST FLOOR

Existing Masonry Wall

+14,520

2 GROUND FLOOR

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
34 Robert Avenue North Manly is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A483455_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

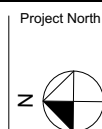


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
28/02/2023
RP0122MOH
DA

Client
Site:

Selena Mohr
34 Robert Avenue North Manly

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

-

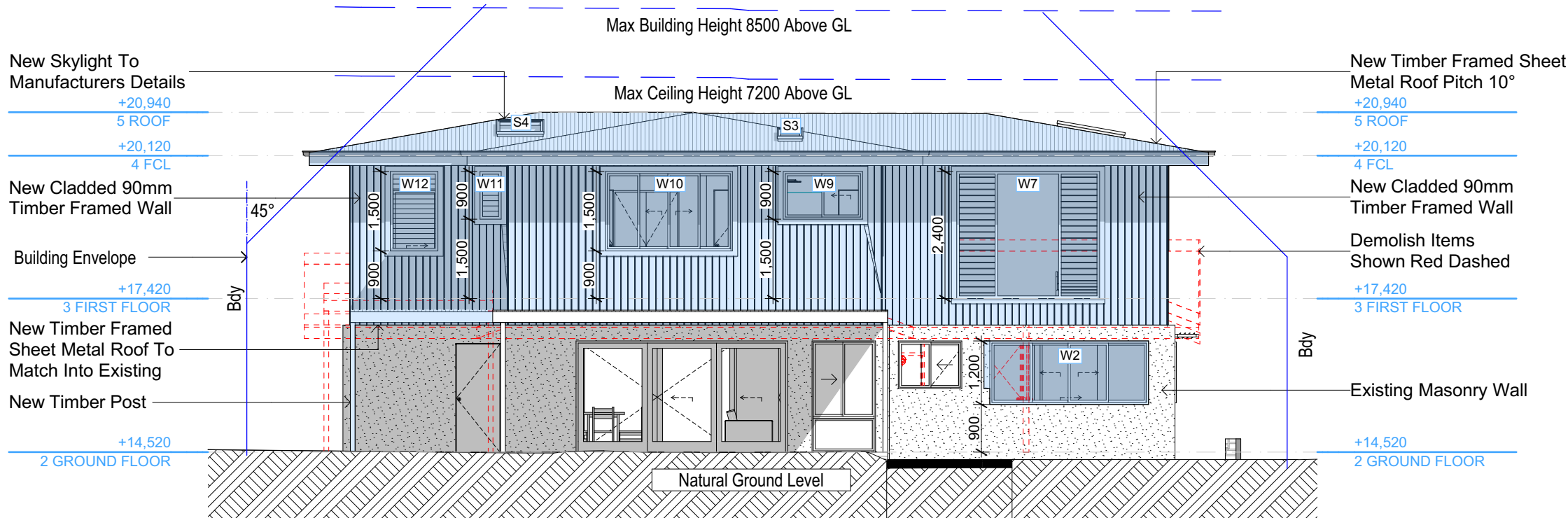
DATE:

28/2/23

DRAWING NO.

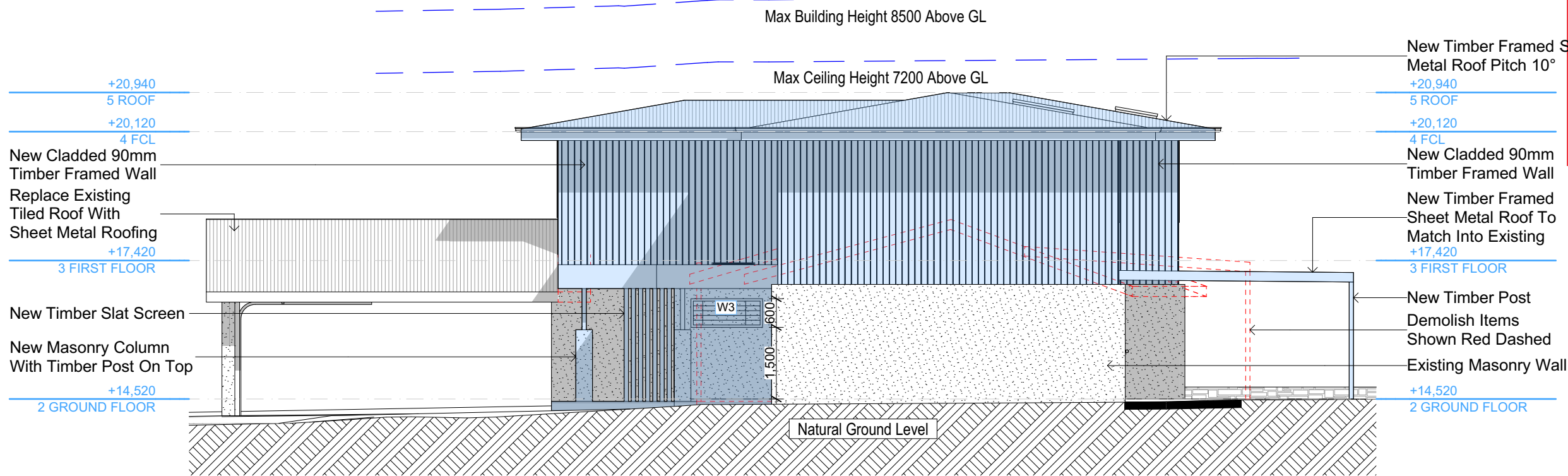
DA4000

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



E-03

South
1:100



E-04

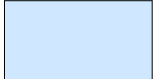
West
1:100

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)


 northern beaches council


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT


DA2023/0412


 Denotes New Works

Wall Legend

 Denotes New Timber Framed Wall

 Denotes New Masonry Wall

 Denotes Existing Wall

 Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY


NOT FOR CONSTRUCTION

NOTES
34 Robert Avenue North Manly is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
34 Robert Avenue North Manly is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps


Basix
Basix Certificate Number A483455_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.




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Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
28/02/2023
RP0122MOH
DA

Client
Site:

Selena Mohr
34 Robert Avenue North Manly

Sheet Size: A3

DRAWING TITLE :

**ELEVATIONS
ELEVATIONS 2**

PROJECT NAME :

Alterations & Additions

REVISION NO.

-

DATE:
28/2/23

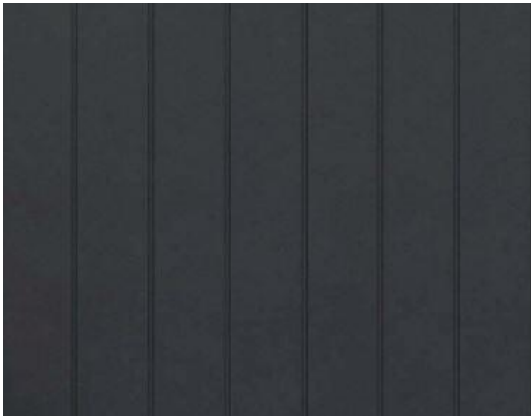
DRAWING NO.
DA4001



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Skylight (Typical).
Owner To Confirm Type & Colour



Denotes Vertical Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Window Awning (Typical).
Owner To Confirm Type & Colour

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.88	0	0	eave/verandah/ pergola/ balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/0412

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NOTES
34 Robert Avenue North Manly is zoned R2 Low Density
34 Robert Avenue North Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Slab & Framed Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A483455_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP0122MCH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE SHADOW PLANS
**MATERIAL & COLOUR
SAMPLE BOARD**

PROJECT NAME:
**Alterations &
Additions**

REVISION NO. DATE
- 28/2/23
DRAWING NO.
DA5002

Plot Date: 28/02/2023
Sheet Size: A3