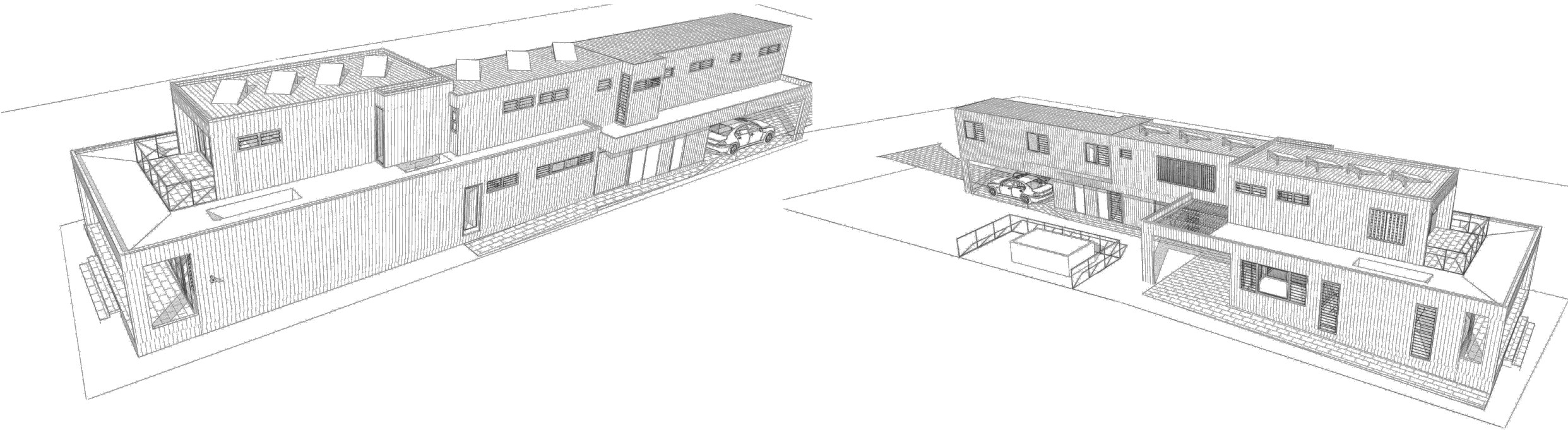


CONTENTS

|      |                                    |
|------|------------------------------------|
| DA1  | PERSPECTIVES, MATERIALS & FINISHES |
| DA2  | SURVEY                             |
| DA3  | SITE ANALYSIS & WASTE MNGMNT PLAN  |
| DA4  | GROUND FLOOR PLAN                  |
| DA5  | FIRST FLOOR PLAN                   |
| DA6  | ROOF PLAN                          |
| DA7  | ELEVATIONS, N S                    |
| DA8  | ELEVATIONS, E W                    |
| DA9  | SECTIONS D-D, E-E                  |
| DA10 | OPEN SPACE AND LANDSCAPING PLAN    |
| DA11 | SOLAR JUNE 21 - 9AM                |
| DA12 | SOLAR JUNE 21 - 12PM               |
| DA13 | SOLAR JUNE 21 - 3PM                |
| DA14 | BASIX                              |

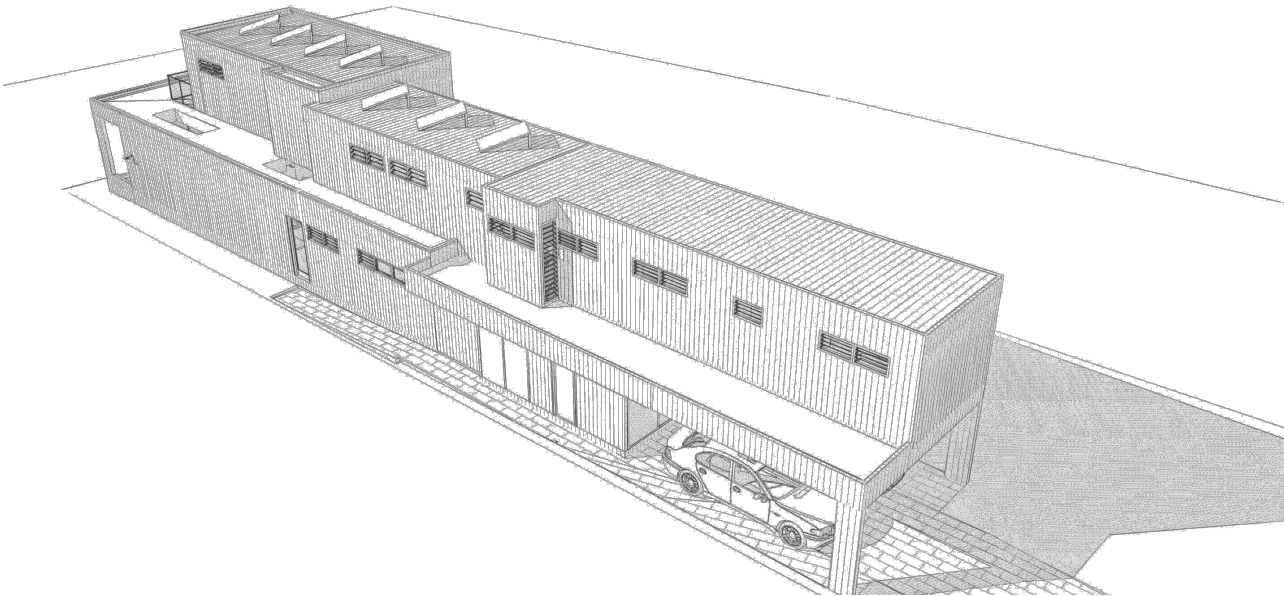
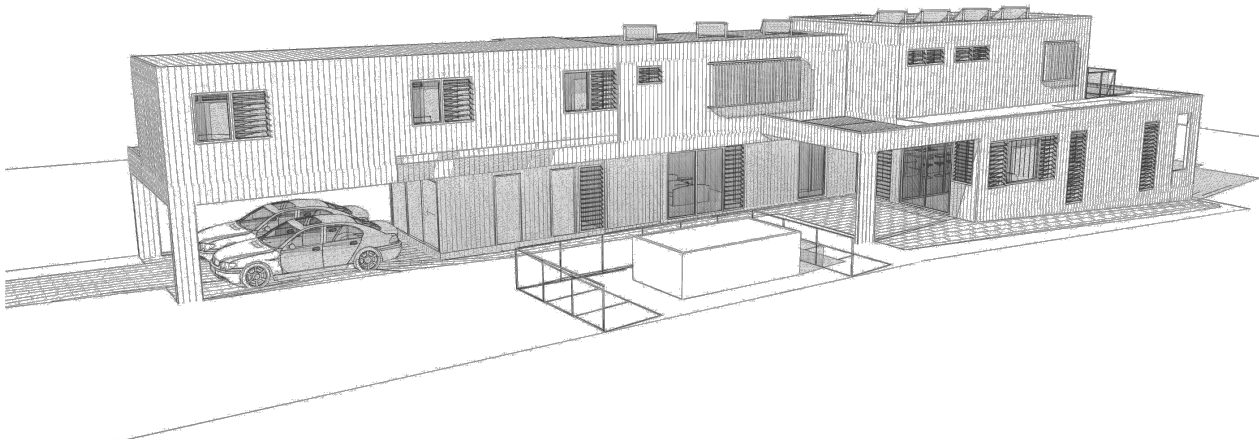


private residence

24 delecta ave, clareville

additions & alterations  
development application

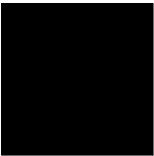
architectural perspectives



WEATHERBOARD  
WEATHERTEX  
MONUMENT or  
TIMBER PAINTED  
BLUE  
or similar



WINDOWS  
POWDERCOATED  
BLACK  
or similar



ROOF  
METAL  
WOODLAND  
GREY  
or similar

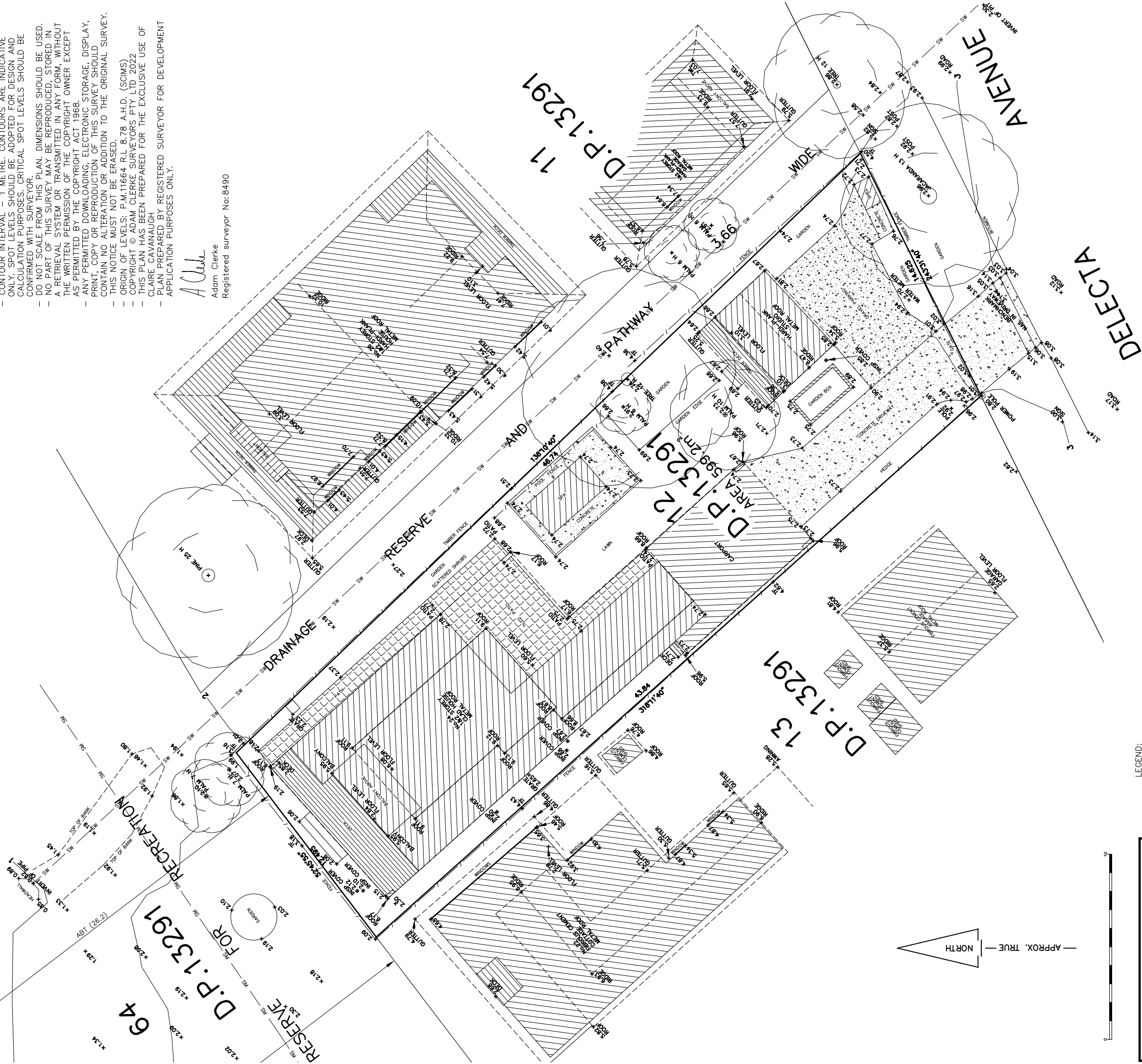


NOTES:

- BOUNDARY SURVEY HAS BEEN UNDERTAKEN, SURVEY MARKS SHOULD BE PLACED IF EXCAVATION, CONSTRUCTION OR STRUCTURES ARE TO BE ERECTED ON OR NEAR THE BOUNDARIES.
- EXCEPT WHERE SHOWN BY DIMENSIONS LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- TREE SPREADS & HEIGHTS ARE INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN SHOWN.
- UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.
- NOTIFICATION OF ALL RELEVANT AUTHORITIES SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA. DIAL BEFORE YOU DIG SERVICES (p1100) SHOULD BE CONTACTED.
- CONTOUR INTERVAL - 1 METRE. CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE ADOPTED FOR DESIGN AND CALCULATION PURPOSES. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- DO NOT SCALE FROM THIS PLAN. DIMENSIONS SHOULD BE USED.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.
- ORIGIN OF LEVELS: P.M.11664 R.L. 8.78 A.H.D. (SCIMS)
- COPYRIGHT © ADAM CLERKE SURVEYORS PTY LTD 2022
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF CLAIRE CAVANAUGH
- PLAN PREPARED BY REGISTERED SURVEYOR FOR DEVELOPMENT APPLICATION PURPOSES ONLY.

*Adam Clarke*

Adam Clarke  
Registered surveyor No.8490



LEGEND:

- TWL :: TOP OF WALL
- TF :: TOP OF FENCE
- --- / --- FENCE
- SW --- INDICATIVE POSITION OF SEWER MAIN (NOT VISIBLE). POSITION TO BE CONFIRMED BY SYDNEY WATER.
- SM --- INDICATIVE POSITION OF SEWER MAIN (NOT VISIBLE). POSITION TO BE CONFIRMED BY SYDNEY WATER.
- WINDOW, RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO  $\pm 0.05m$ .
- SUBJECT LAND AFFECTED BY COVENANT (B959215)



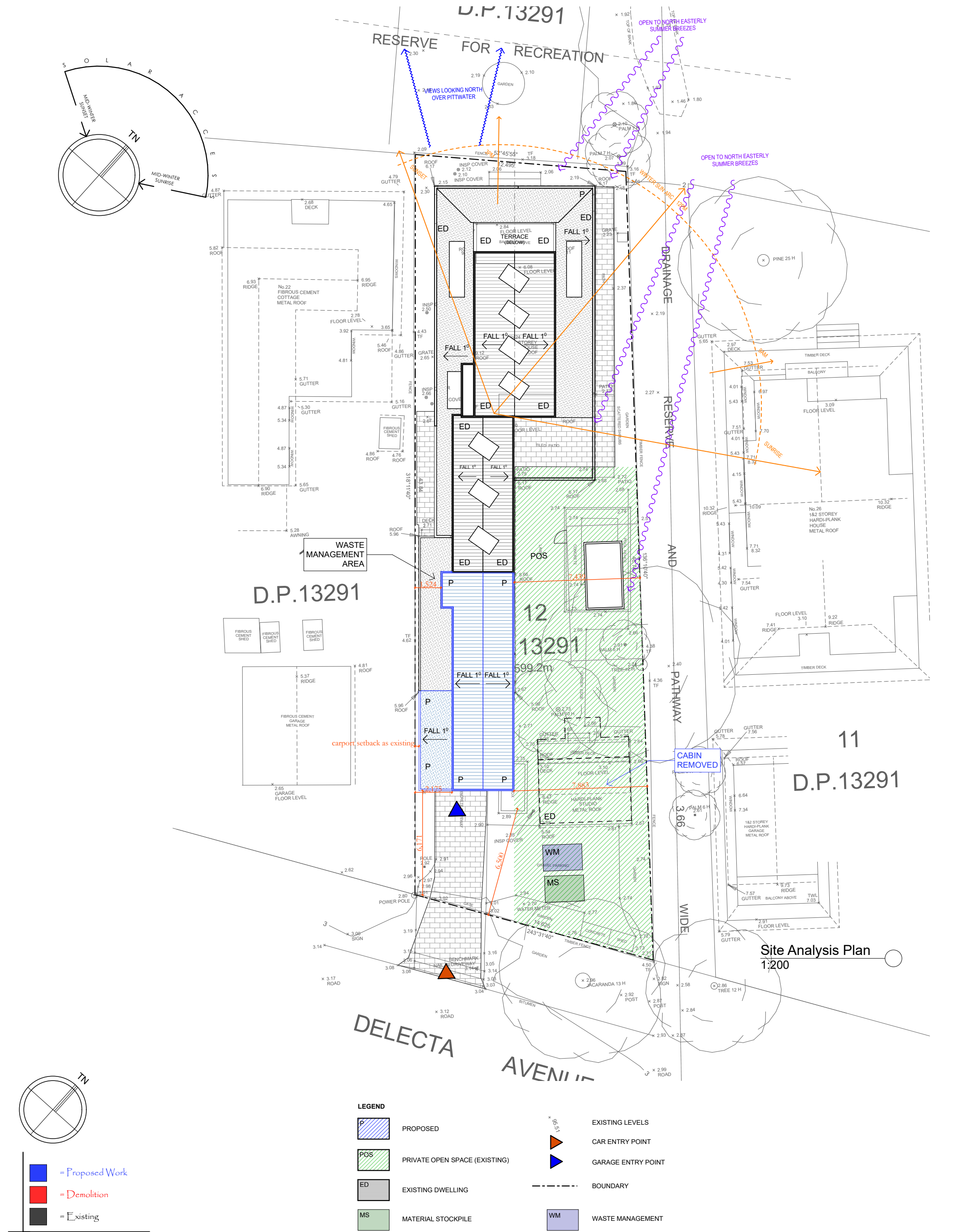
INDICATIVE TREE SPREAD AND TRUNK DIAMETERS

ADAM CLERKE SURVEYORS PTY LTD  
Incorporating PAUL KEEN & COMPANY  
LAND & ENGINEERING SURVEYORS  
P.O. BOX 175 NEWPORT NSW 2106  
TEL..9918 4111 E..adam@adamclerkesurvey.com.au

DETAILS AND LEVELS OVER  
LOT 12 IN D.P. 13291

24 DELECTA AVENUE, CLAREVILLE

DATE... 31/03/22 REF... 9015C  
SCALE...1:100(A1) DATUM...A.H.D



0 2 4

REV DATE DESCRIPTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

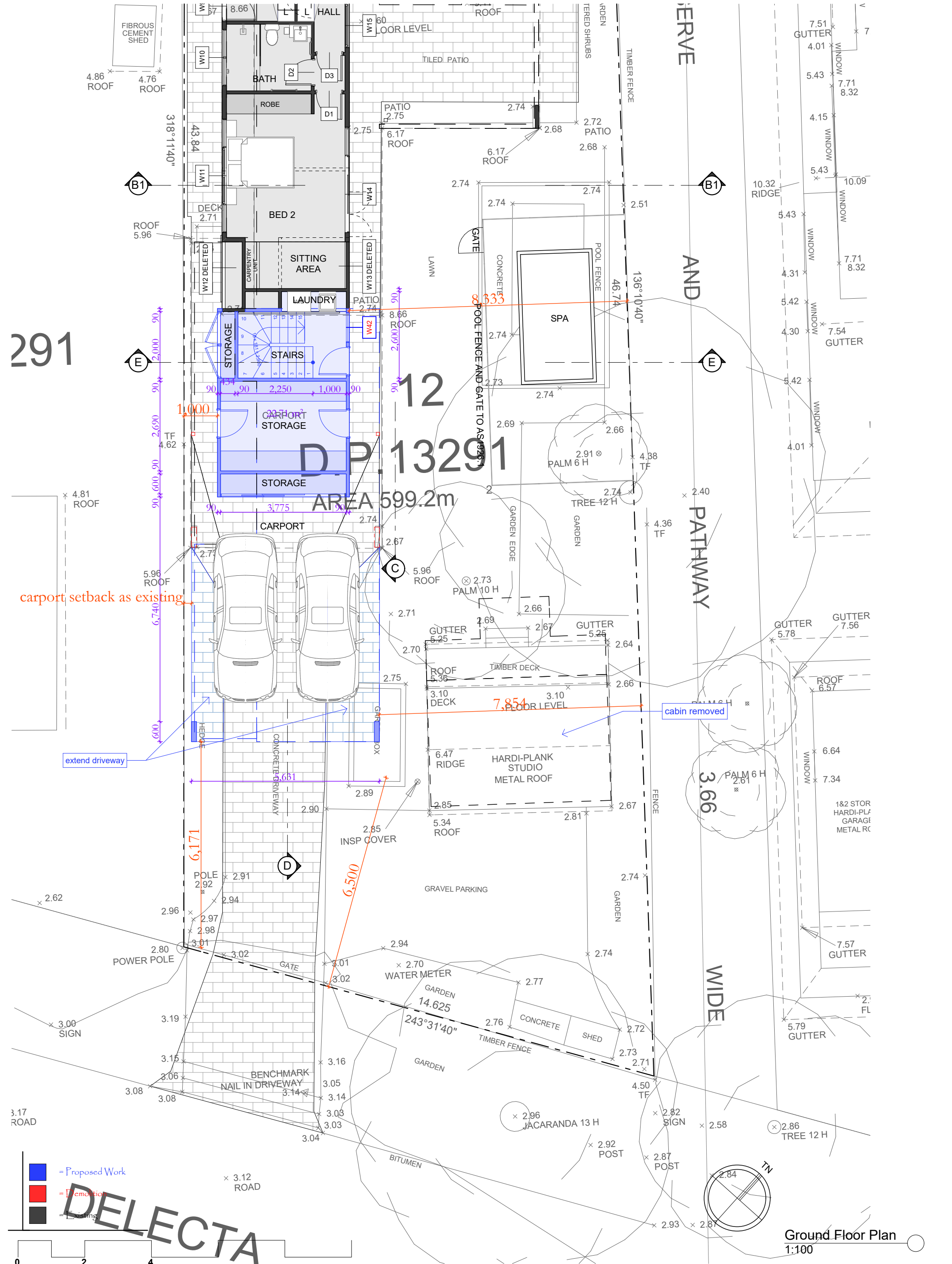
PROJECT: 24 Delecta Avenue, Clareville, 2107, NSW  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2

CLIENT: Private

STATUS: DA

|              |                         |                      |
|--------------|-------------------------|----------------------|
| DATE: 120522 | SCALE: 1:200@A3         | PROJECT NUMBER: 1531 |
| STAGE: DA    | DRAWN/DESIGNED: PB / MP | ISSUE:               |

DRAWING NO: DA3



- = Proposed Work
- = Demolition
- = Existing

DELECTA

Ground Floor Plan  
1:100



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

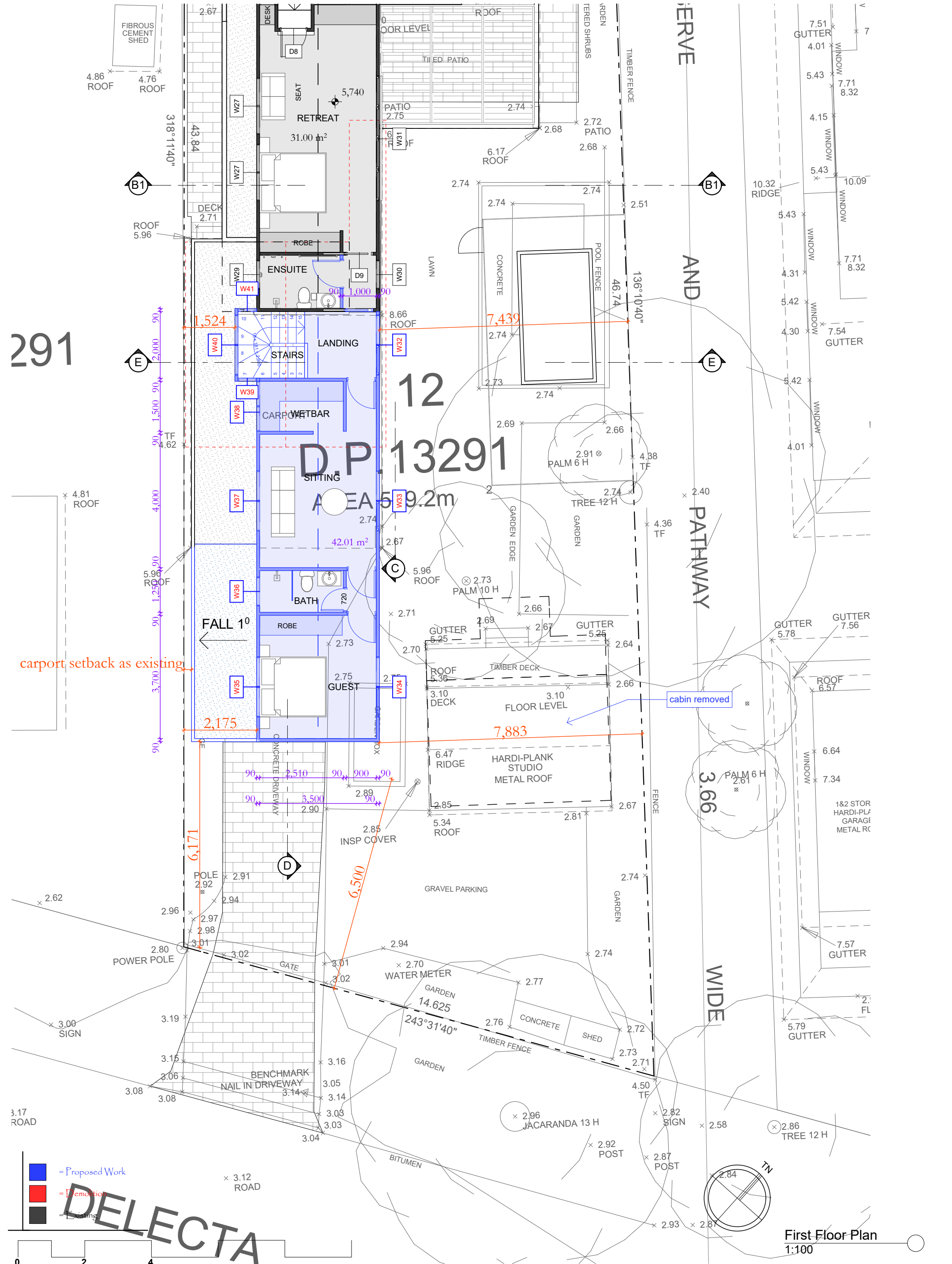
| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: **24 Delecta Avenue, Clareville, 2107, NSW**  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2

CLIENT: **Private**

|                        |                                |                             |
|------------------------|--------------------------------|-----------------------------|
| STATUS: <b>DA</b>      |                                |                             |
| DATE: <b>120522</b>    | SCALE: <b>1:100@A3</b>         | PROJECT NUMBER: <b>1531</b> |
| STAGE: <b>DA</b>       | DRAWN/DESIGNED: <b>PB / MP</b> | ISSUE: <b> </b>             |
| DRAWING NO: <b>DA4</b> |                                |                             |



= Proposed Work

= Demolition

= Existing

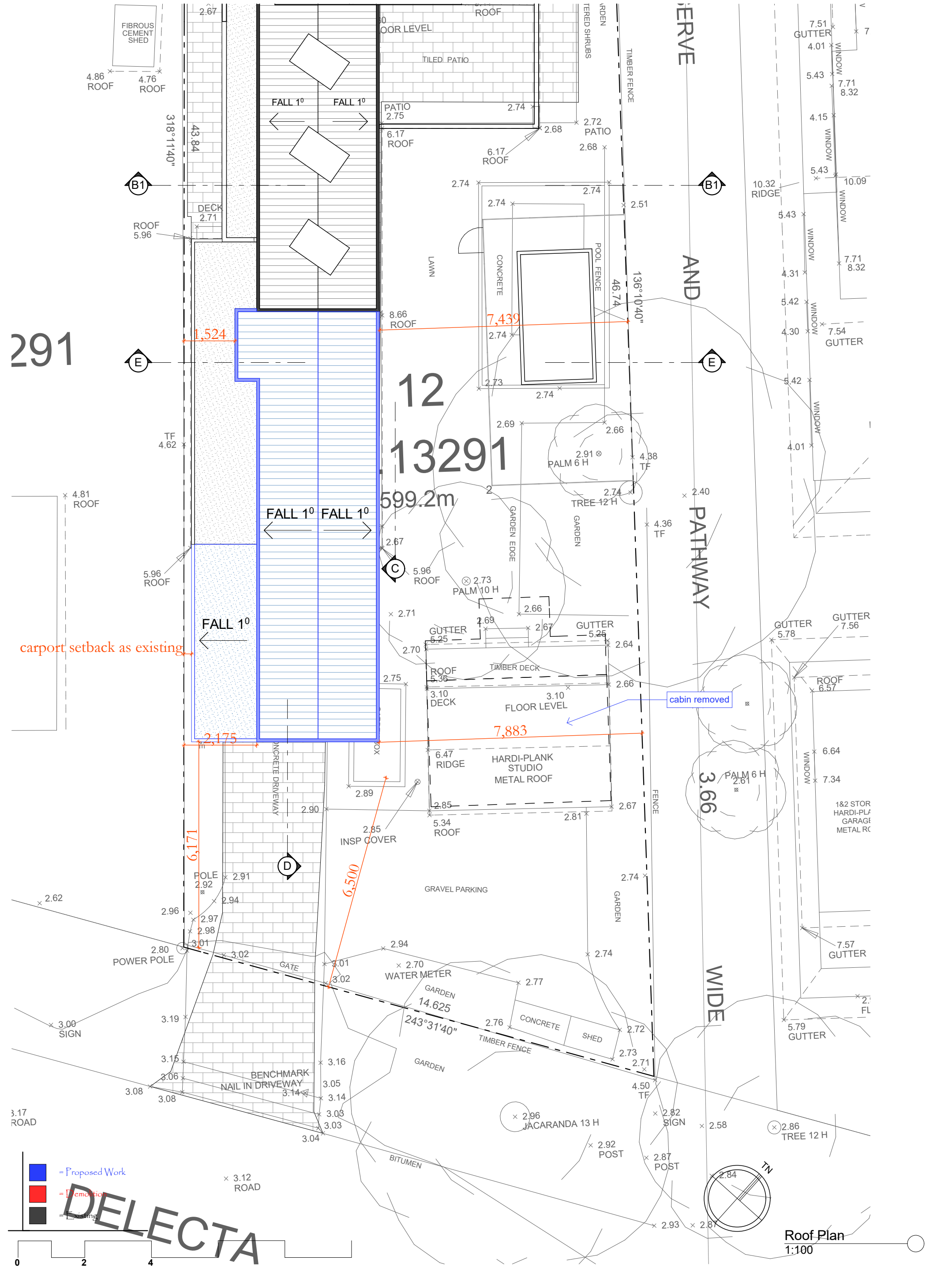
0

2

4

DELECTA

|                                                                                                                  |                                                                                                                                                                                                                                         |      |             |                                                                                                                                  |              |                         |
|------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------------|----------------------------------------------------------------------------------------------------------------------------------|--------------|-------------------------|
|                                                                                                                  | The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. |      |             | PROJECT: 24 Delecta Avenue, Clareville, 2107, NSW<br>Alterations & Additions<br>Lot 12 DP 13291 - 599.2m2<br><br>CLIENT: Private | STATUS: DA   |                         |
|                                                                                                                  | REV                                                                                                                                                                                                                                     | DATE | DESCRIPTION |                                                                                                                                  | DATE: 120522 | SCALE: 1:100@A3         |
|                                                                                                                  |                                                                                                                                                                                                                                         |      |             |                                                                                                                                  | STAGE: DA    | DRAWN/DESIGNED: PB / MP |
| sketchArc<br>Po Box 377 Manly 1655<br>m : 0422 521 871<br>e : power@sketcharc.com.au<br>w : www.sketcharc.com.au |                                                                                                                                                                                                                                         |      |             | PROJECT NUMBER: 1531<br>ISSUE:                                                                                                   |              |                         |
|                                                                                                                  |                                                                                                                                                                                                                                         |      |             | DRAWING NO: DA5                                                                                                                  |              |                         |



3.17 ROAD

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: **24 Delecta Avenue, Clareville, 2107, NSW**  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2

CLIENT: **Private**

STATUS: **DA**

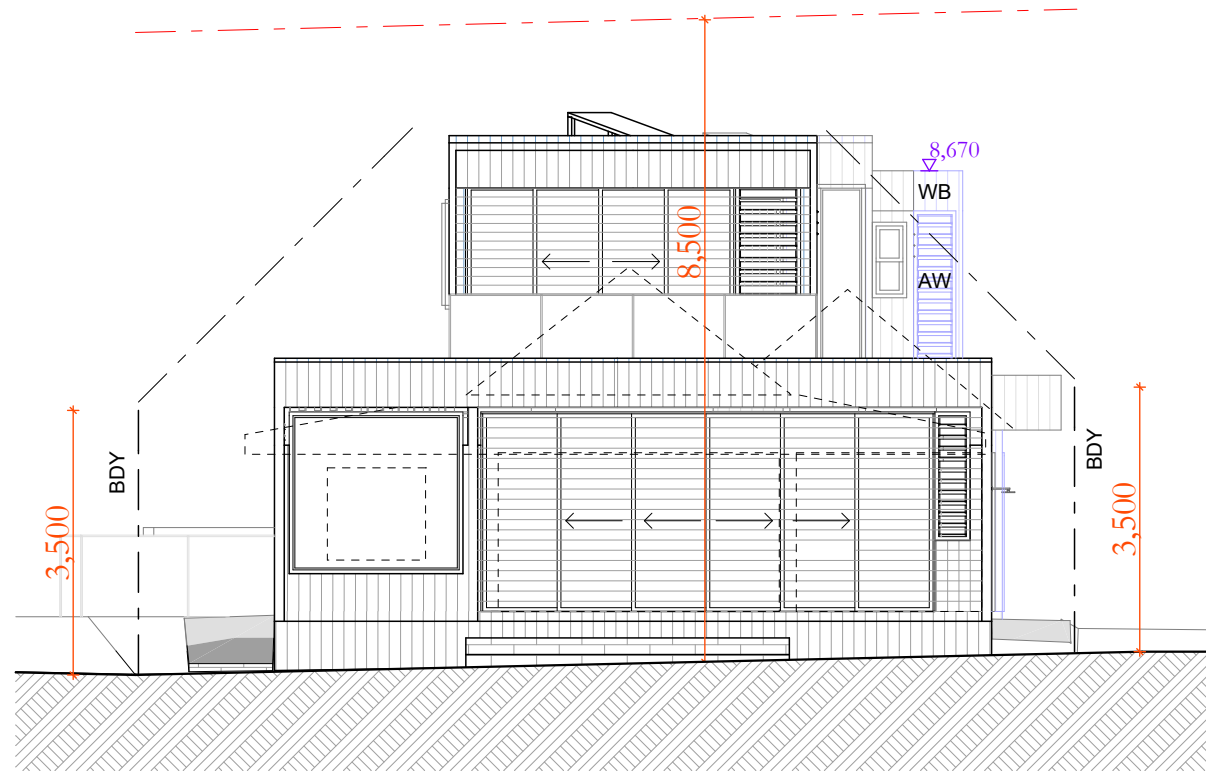
|                     |                                |                             |
|---------------------|--------------------------------|-----------------------------|
| DATE: <b>120522</b> | SCALE: <b>1:100@A3</b>         | PROJECT NUMBER: <b>1531</b> |
| STAGE: <b>DA</b>    | DRAWN/DESIGNED: <b>PB / MP</b> | ISSUE: <b> </b>             |

DRAWING NO: **DA6**

RL + 9,135  
Parapet

RL + 5,740  
First Floor

RL +2,840  
Ground Floor



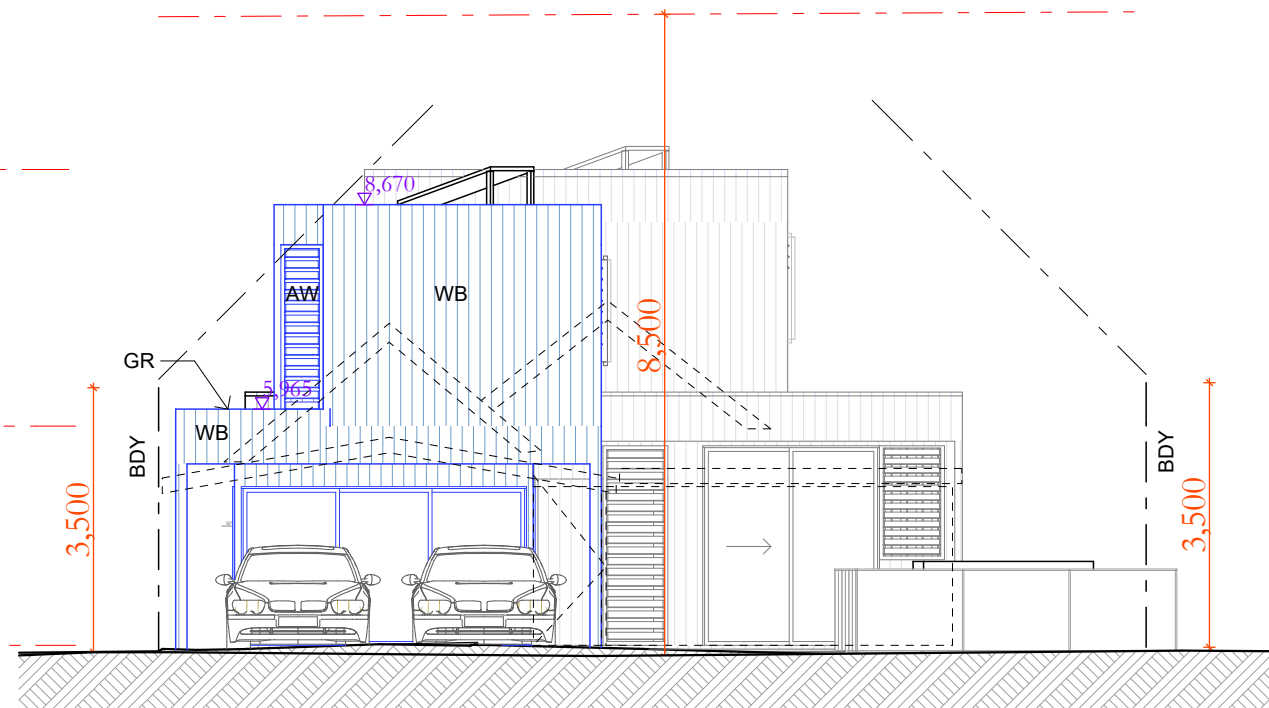
North Elevation  
1:100

- MR timber framed roof with metal cladding  
CR timber framed roof with Colorbond cladding  
GR gravel roof  
PR parapet roof  
WB timber framed wall with weatherboard cladding  
AW aluminium window  
RA rail to BCA/NCC  
PF pool fence and gate to AS1926.1-2012  
WT water tank to BASIX  
SP solar panels face west

RL + 9,135  
Parapet

RL + 5,740  
First Floor

RL +2,840  
Ground Floor



South Elevation  
1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.  
FIGURED DIMENSIONS TAKE PRECEDENCE.  
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: 24 Delecta Avenue, Clareville,  
2107, NSW  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2

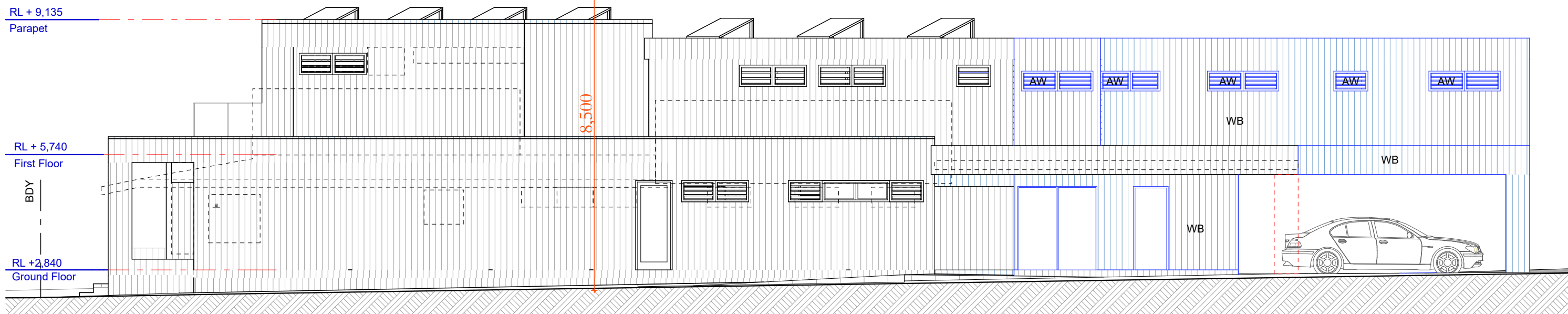
CLIENT:  
Private

- = Proposed Work  
■ = Demolition  
■ = Existing

|                    |                            |                         |
|--------------------|----------------------------|-------------------------|
| STATUS:<br>DA      |                            |                         |
| DATE:<br>120522    | SCALE:<br>1:100@A3         | PROJECT NUMBER:<br>1531 |
| STAGE:<br>DA       | DRAWN/DESIGNED:<br>PB / MP | ISSUE:                  |
| DRAWING NO:<br>DA7 |                            |                         |



East Elevation  
1:100



West Elevation  
1:100

- MR timber framed roof with metal cladding  
CR timber framed roof with Colorbond cladding  
GR gravel roof  
PR parapet roof  
WB timber framed wall with weatherboard cladding  
AW aluminium window  
RA rail to BCA/NCC  
PF pool fence and gate to AS1926.1-2012  
WT water tank to BASIX  
SP solar panels face west



Signature

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.  
FIGURED DIMENSIONS TAKE PRECEDENCE.  
The builder shall check and verify all dimensions  
and verify all errors and omissions to the  
Architect. Do not scale the drawings.  
Drawings shall not be used for construction  
purposes until issued by the  
Architect for construction.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: 24 Delecta Avenue, Clareville,  
2107, NSW  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2

CLIENT:  
Private

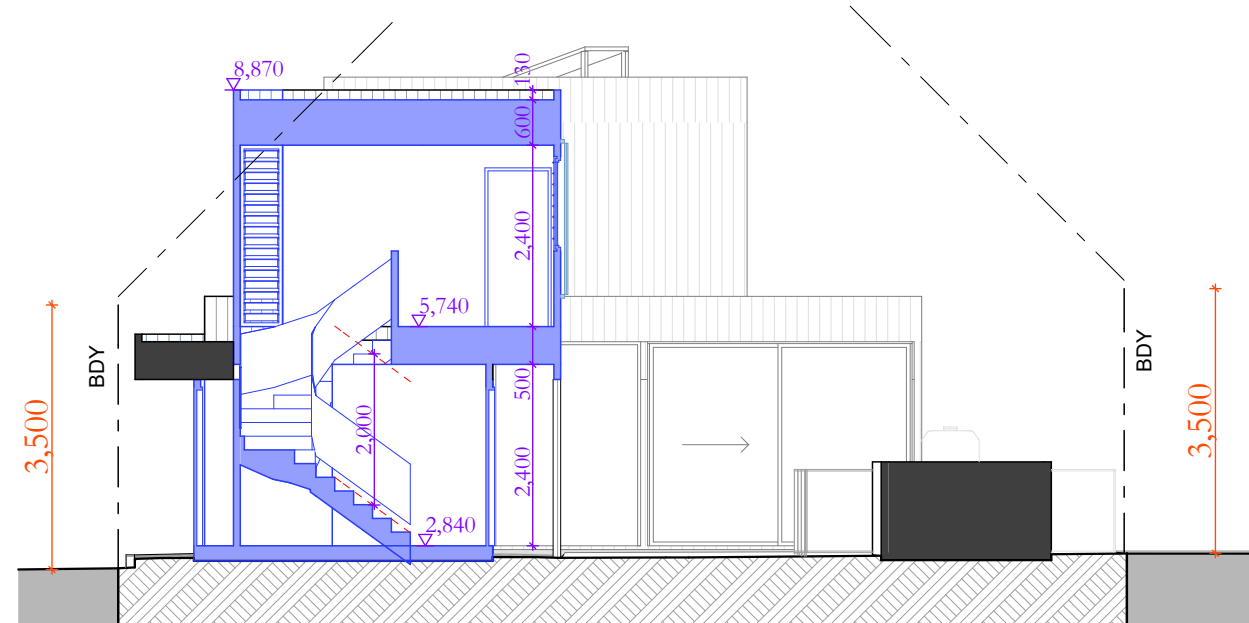
- = Proposed Work  
■ = Demolition  
■ = Existing

|                    |                            |                         |
|--------------------|----------------------------|-------------------------|
| STATUS:<br>DA      |                            |                         |
| DATE:<br>120522    | SCALE:<br>1:100@A3         | PROJECT NUMBER:<br>1531 |
| STAGE:<br>DA       | DRAWN/DESIGNED:<br>PB / MP | ISSUE:                  |
| DRAWING NO:<br>DA8 |                            |                         |

RL + 9,040  
Parapet

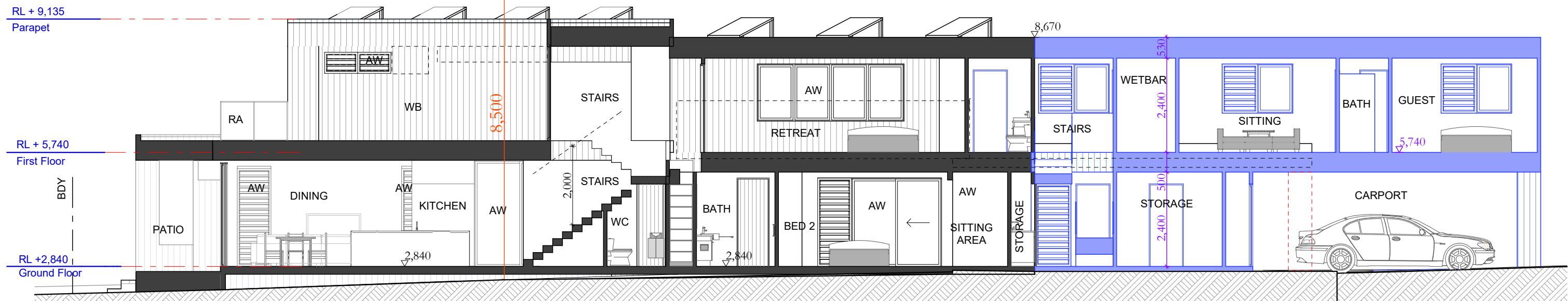
RL + 6,040  
First Floor

RL + 2,840  
Ground Floor



MR timber framed roof with metal cladding  
CR timber framed roof with Colorbond cladding  
GR gravel roof  
PR parapet roof  
WB timber framed wall with weatherboard cladding  
AW aluminium window  
RA rail to BCA/NCC  
PF pool fence and gate to AS1926.1-2012  
WT water tank to BASIX  
SP solar panels face west

Section E-E  
1:100



Section D-D  
1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.  
FIGURED DIMENSIONS TAKE PRECEDENCE.  
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.  
Drawings shall not be used for construction purposes until issued by the Architect for construction.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

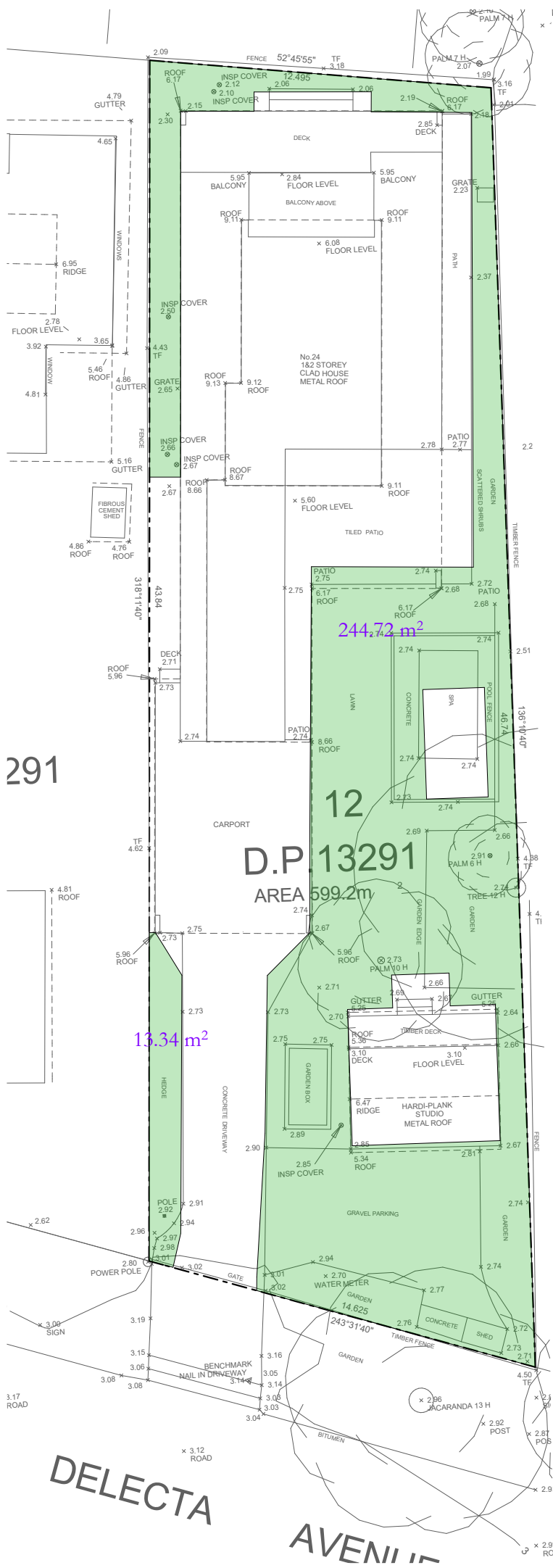
**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: 24 Delecta Avenue, Clareville,  
2107, NSW  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2

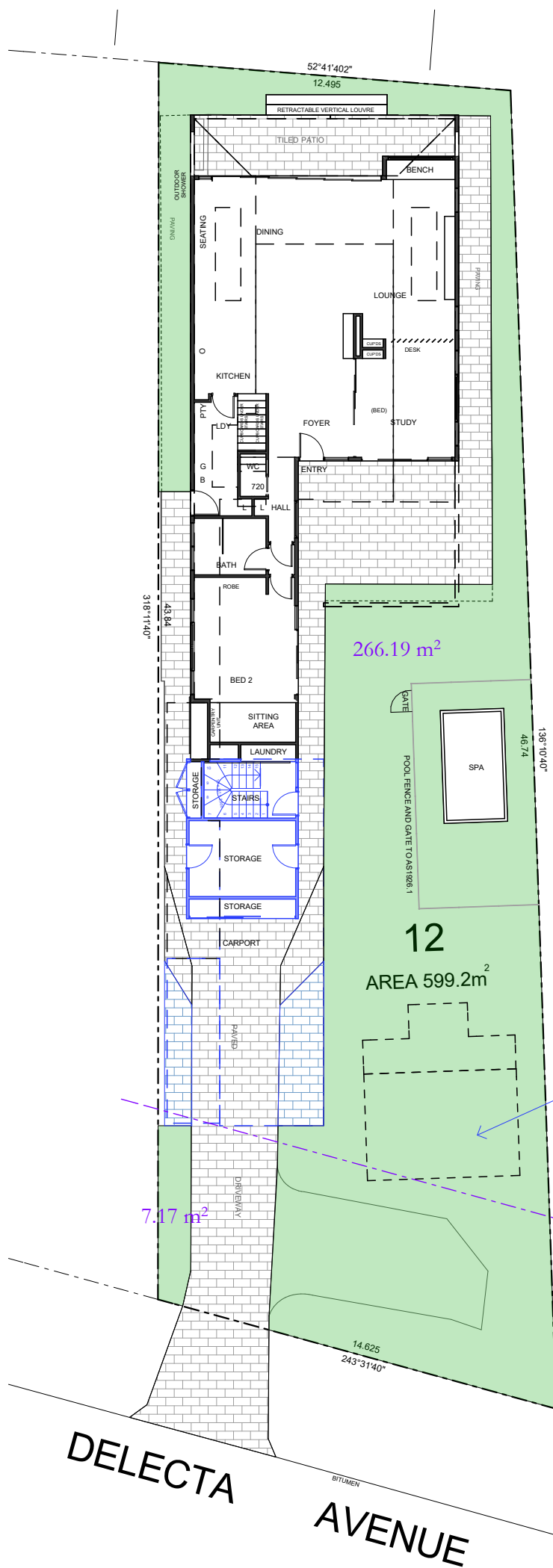
CLIENT:  
Private

 = Proposed Work  
 = Demolition  
 = Existing

STATUS:  
DA  
DATE:  
120522  
SCALE:  
1:100@A3  
PROJECT NUMBER:  
1531  
STAGE:  
DA  
DRAWN/DESIGNED:  
PB / MP  
ISSUE:  
DRAWING NO:  
DA9



LOS Existing  
1:200



LOS Proposed  
1:200

SITE AREA = 599.2m<sup>2</sup>

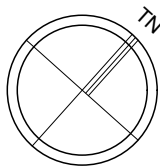
LANDSCAPED AREA MIN. 60% SITE AREA = 359.52m<sup>2</sup>



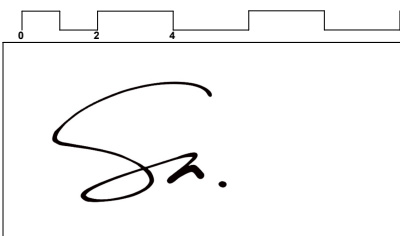
LANDSCAPED AREA EXISTING = 258.06m<sup>2</sup>



LANDSCAPED AREA PROPOSED = 273.36m<sup>2</sup>



■ = Proposed Work  
■ = Demolition  
■ = Existing



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

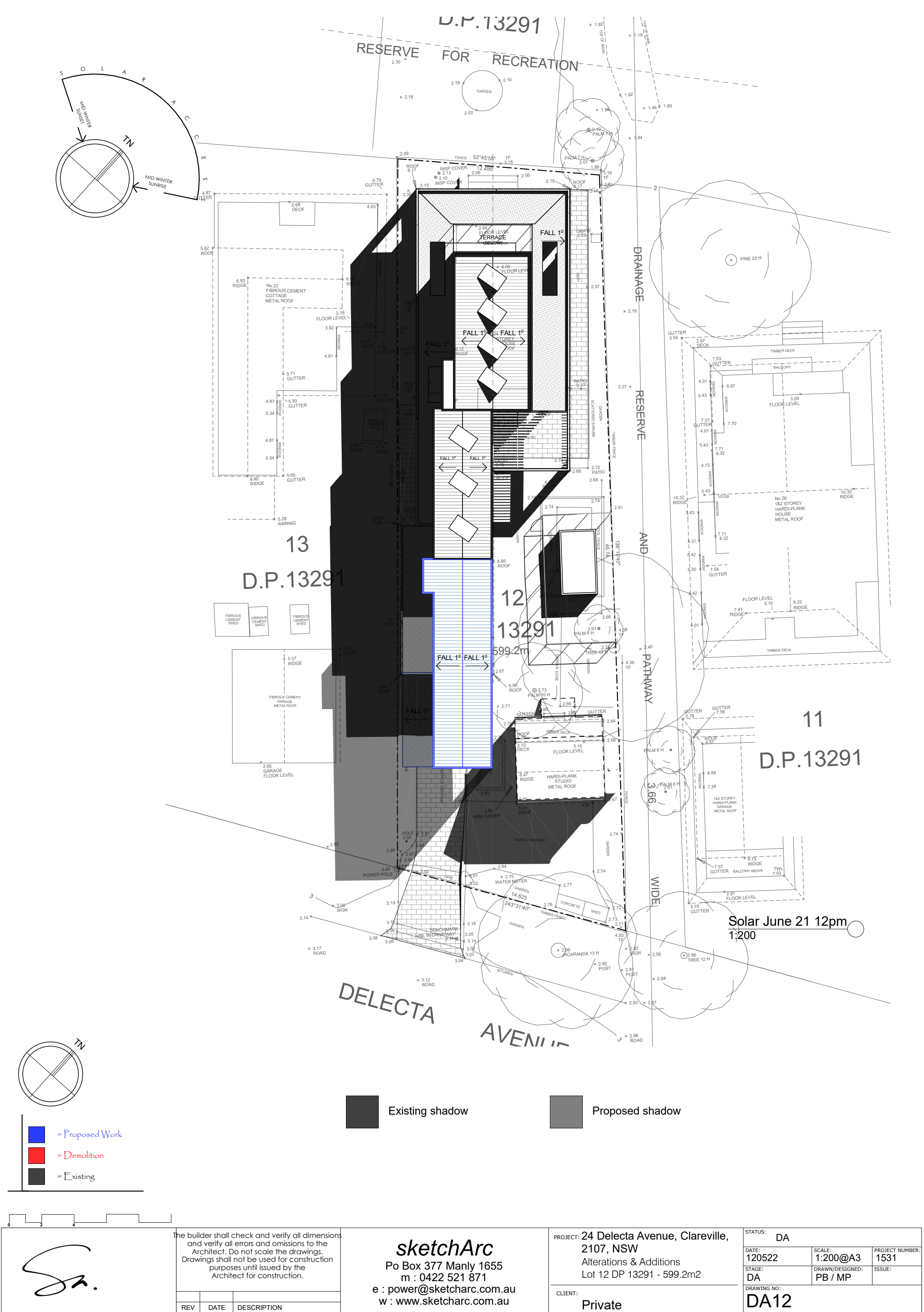
**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: 24 Delecta Avenue, Clareville,  
2107, NSW  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m<sup>2</sup>  
CLIENT: Private

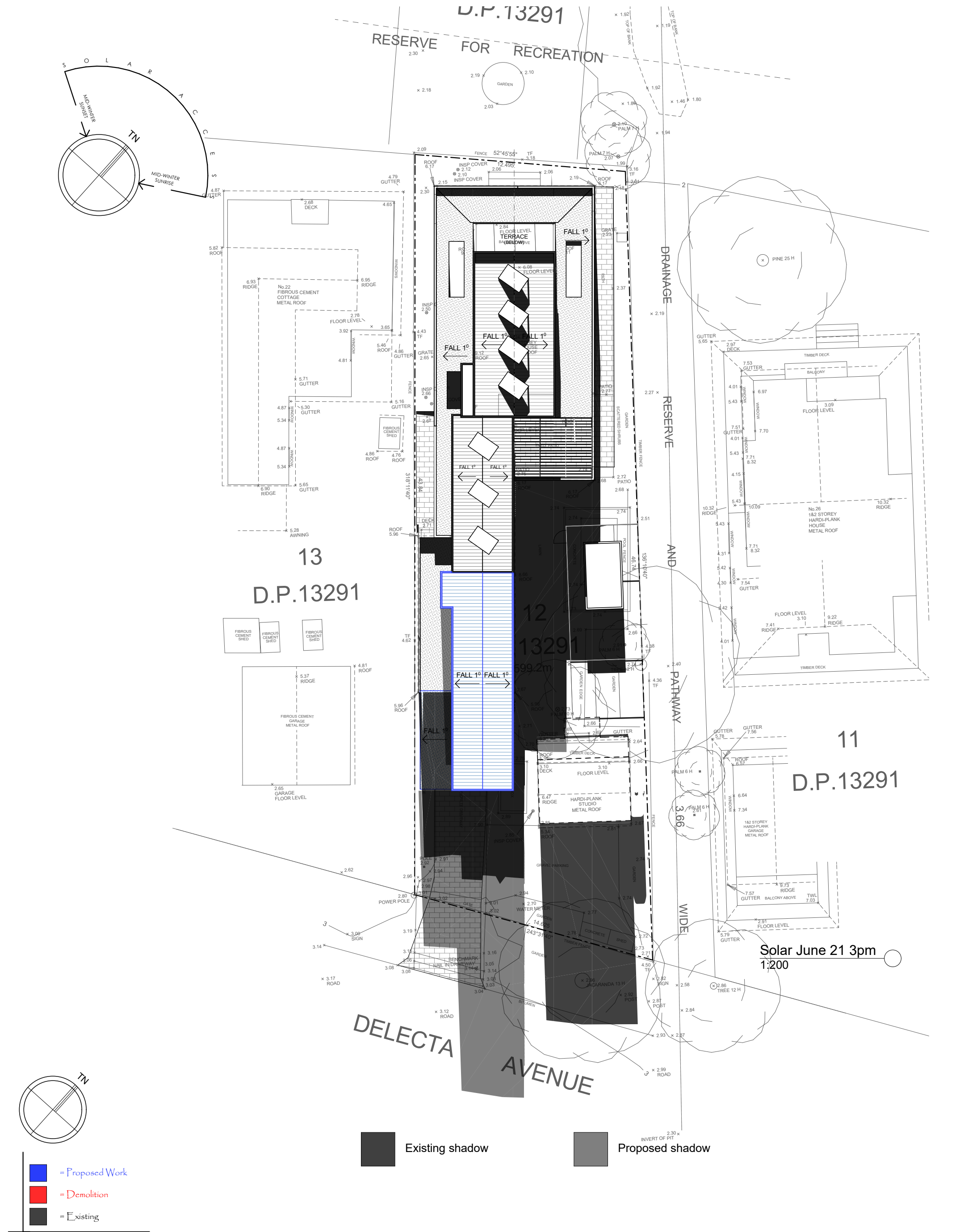
|                  |                         |                      |
|------------------|-------------------------|----------------------|
| STATUS: DA       |                         |                      |
| DATE: 120522     | SCALE: 1:200@A3         | PROJECT NUMBER: 1531 |
| STAGE: DA        | DRAWN/DESIGNED: PB / MP | ISSUE:               |
| DRAWING NO: DA10 |                         |                      |



|  |                                                                                                                                                                                                                                         |      |             |                                                                                                                         |                                                                                                                                  |              |                         |                      |
|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------------|-------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|--------------|-------------------------|----------------------|
|  | The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. |      |             | <b>sketchArc</b><br>Po Box 377 Manly 1655<br>m : 0422 521 871<br>e : power@sketcharc.com.au<br>w : www.sketcharc.com.au | PROJECT: 24 Delecta Avenue, Clareville, 2107, NSW<br>Alterations & Additions<br>Lot 12 DP 13291 - 599.2m2<br><br>CLIENT: Private | STATUS: DA   |                         |                      |
|  | REV                                                                                                                                                                                                                                     | DATE | DESCRIPTION |                                                                                                                         |                                                                                                                                  | DATE: 120522 | SCALE: 1:200@A3         | PROJECT NUMBER: 1531 |
|  |                                                                                                                                                                                                                                         |      |             |                                                                                                                         |                                                                                                                                  | STAGE: DA    | DRAWN/DESIGNED: PB / MP | ISSUE:               |



|  |                                                                                                                                                                                                                                         |      |             |                                                                                                                         |                                                                                                                                  |                  |                         |                      |
|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------------|-------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|------------------|-------------------------|----------------------|
|  | The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. |      |             | <b>sketchArc</b><br>Po Box 377 Manly 1655<br>m : 0422 521 871<br>e : power@sketcharc.com.au<br>w : www.sketcharc.com.au | PROJECT: 24 Delecta Avenue, Clareville, 2107, NSW<br>Alterations & Additions<br>Lot 12 DP 13291 - 599.2m2<br><br>CLIENT: Private | STATUS: DA       |                         |                      |
|  | REV                                                                                                                                                                                                                                     | DATE | DESCRIPTION |                                                                                                                         |                                                                                                                                  | DATE: 120522     | SCALE: 1:200@A3         | PROJECT NUMBER: 1531 |
|  |                                                                                                                                                                                                                                         |      |             |                                                                                                                         |                                                                                                                                  | STAGE: DA        | DRAWN/DESIGNED: PB / MP | ISSUE:               |
|  |                                                                                                                                                                                                                                         |      |             |                                                                                                                         |                                                                                                                                  | DRAWING NO: DA12 |                         |                      |



0 2 4

REV DATE DESCRIPTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

**sketchArc**  
Po Box 377 Manly 1655  
m : 0422 521 871  
e : power@sketcharc.com.au  
w : www.sketcharc.com.au

PROJECT: 24 Delecta Avenue, Clareville, 2107, NSW  
Alterations & Additions  
Lot 12 DP 13291 - 599.2m2  
CLIENT: Private

STATUS: DA  
DATE: 120522  
STAGE: DA  
DRAWING NO: DA13  
SCALE: 1:200@A3  
DRAWN/DESIGNED: PB / MP  
PROJECT NUMBER: 1531  
ISSUE:

Alterations and Additions

Certificate number: A444085\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is

|                                                                                                                                                                    |                  |                              |                 |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| Fixtures and systems                                                                                                                                               | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
| Lighting                                                                                                                                                           |                  | ✓                            | ✓               |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |                  |                              |                 |
| Fixtures                                                                                                                                                           |                  | ✓                            | ✓               |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.                                |                  |                              |                 |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.                     |                  | ✓                            | ✓               |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.                                 |                  | ✓                            |                 |

|                                                                                                                                                                                                                                                                                                                                                                                          |                                                        |                                         |                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------|-----------------------------------------|-----------------|
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Show on DA Plans                                       | Show on CC/CDC Plans & specs            | Certifier Check |
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                                        |                                         |                 |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | ✓                                                      | ✓                                       | ✓               |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value)               | Other specifications                    |                 |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                                    |                                         |                 |
| suspended floor with open subfloor: framed (R0.7).                                                                                                                                                                                                                                                                                                                                       | R0.8 (down) (or R1.50 including construction)          |                                         |                 |
| floor above existing dwelling or building.                                                                                                                                                                                                                                                                                                                                               | nil                                                    |                                         |                 |
| external wall: framed (weatherboard, fibro, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)                |                                         |                 |
| flat ceiling, flat roof: framed                                                                                                                                                                                                                                                                                                                                                          | ceiling: R2.08 (up), roof: foil backed blanket (55 mm) | medium (solar absorptance 0.475 - 0.70) |                 |

| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Show on<br>DA Plans | Show on<br>CC/CDC<br>Plans &<br>specs | Certifier<br>Check                          |                |                      |                                                               |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---------------------------------------|---------------------------------------------|----------------|----------------------|---------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |                                       |                                             |                |                      |                                                               |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                                                                                                                                                                                                                                                                            | ✓                   | ✓                                     | ✓                                           |                |                      |                                                               |
| The following requirements must also be satisfied in relation to each window and glazed door:                                                                                                                                                                                                                                                                                                                                                                                                                  |                     | ✓                                     | ✓                                           |                |                      |                                                               |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |                     | ✓                                     | ✓                                           |                |                      |                                                               |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.                                                                                                                                                                                                                                                                                 | ✓                   | ✓                                     | ✓                                           |                |                      |                                                               |
| For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.                                                                                                                                                                                                                                                                                                                             | ✓                   | ✓                                     | ✓                                           |                |                      |                                                               |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |                     | ✓                                     | ✓                                           |                |                      |                                                               |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |                     | ✓                                     | ✓                                           |                |                      |                                                               |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.                                                                                                                                                                                                                                                                                                            | ✓                   | ✓                                     | ✓                                           |                |                      |                                                               |
| Windows and glazed doors glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                     |                                       |                                             |                |                      |                                                               |
| Window / door no.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Orientation         | Area of glass inc. frame (m2)         | Overshadowing<br>Height (m)<br>Distance (m) | Shading device | Frame and glass type |                                                               |
| W32                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | NE                  | 2.2                                   | 12                                          | 2.7            | none                 | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W33                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | NE                  | 2.2                                   | 12                                          | 1.6            | none                 | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W34                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | NE                  | 2.2                                   | 12                                          | 2.7            | none                 | improved aluminium, single clear, (U-value:                   |

| Glazing requirements |             |                                           |               |                 |                                              |                                                                                       | Show on<br>DA Plans | Show on<br>CC/CDC<br>Plans &<br>specs | Certifier<br>Check |
|----------------------|-------------|-------------------------------------------|---------------|-----------------|----------------------------------------------|---------------------------------------------------------------------------------------|---------------------|---------------------------------------|--------------------|
| Window / door<br>no. | Orientation | Area of<br>glass<br>inc.<br>frame<br>(m2) | Overshadowing |                 | Shading device                               | Frame and glass type                                                                  |                     |                                       |                    |
|                      |             |                                           | Height<br>(m) | Distance<br>(m) |                                              |                                                                                       |                     |                                       |                    |
| W35                  | SW          | 0.9                                       | 0             | 0               | none                                         | 6.44, SHGC: 0.75)<br>improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75) |                     |                                       |                    |
| W36                  | SW          | 0.4                                       | 0             | 0               | none                                         | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |
| W37                  | SW          | 0.9                                       | 0             | 0               | none                                         | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |
| W38                  | SW          | 0.7                                       | 0             | 0               | none                                         | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |
| W39                  | SE          | 1.3                                       | 0             | 0               | none                                         | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |
| W40                  | SW          | 0.9                                       | 0             | 0               | none                                         | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |
| W41                  | NW          | 1.3                                       | 0             | 0               | projection/height above sill ratio<br>>=0.29 | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |
| W42                  | NE          | 1.9                                       | 0             | 0               | eave/verandah/pergola/balcony<br>>=900 mm    | improved aluminium, single clear, (U-value:<br>6.44, SHGC: 0.75)                      |                     |                                       |                    |

|                                                                                                                                                                                                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Legend                                                                                                                                                                                                                                                     |
| In these commitments, "applicant" means the person carrying out the development.                                                                                                                                                                           |
| Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).           |
| Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |
| Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.                                           |

|                                                                                    |                                                                                                                                                                                                                                                                                                                                  |      |             |                                                                                                                         |                                                                                                                  |                                                                                                              |                            |                            |                         |
|------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------------|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|----------------------------|----------------------------|-------------------------|
|  | DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. |      |             | <b>sketchArc</b><br>Po Box 377 Manly 1655<br>m : 0422 521 871<br>e : power@sketcharc.com.au<br>w : www.sketcharc.com.au | PROJECT: <b>24 Delecta Avenue, Clareville, 2107, NSW</b><br>Alterations & Additions<br>Lot 12 DP 13291 - 599.2m2 | <div><div></div> = Proposed Work</div> <div><div></div> = Demolition</div> <div><div></div> = Existing</div> | STATUS:<br>DA              |                            |                         |
|                                                                                    |                                                                                                                                                                                                                                                                                                                                  |      |             |                                                                                                                         |                                                                                                                  |                                                                                                              | DATE:<br>120522            | SCALE:<br>1:100@A3         | PROJECT NUMBER:<br>1531 |
|                                                                                    | REV                                                                                                                                                                                                                                                                                                                              | DATE | DESCRIPTION |                                                                                                                         |                                                                                                                  |                                                                                                              | STAGE:<br>DA               | DRAWN/DESIGNED:<br>PB / MP | ISSUE:                  |
|                                                                                    |                                                                                                                                                                                                                                                                                                                                  |      |             |                                                                                                                         |                                                                                                                  |                                                                                                              | DRAWING NO:<br><b>DA14</b> |                            |                         |