

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Construction Certificate
 Modified Construction Certificate

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much detail as possible.

Mr. Mrs. Ms. Dr. Other

Given Names (or ACN) Family Name (or Company)

001 725 243 IPM PM LTD

Postal Address (we will post all mail to this address)

PO Box 42

BALMAIN Post code 2041

Daytime telephone Alternative no. Mobile no.

9555 1177 ALEK NOVAKOVIC 0402 276 963

2. Owner's consent

Every owner of the land must sign this form as an owner, or a company. The form must be signed by an authorised director and the common seal must be stamped on this form if the property is owned under the Strata title or a strata community title. Then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Owners Corporation or its appointed Managing Agent.

Owner(s)

BAYVIEW INVESTMENT GROUP P/L

Address

8/401 NEW SOUTH HEAD ROAD

DOUBUE BAY NSW 2028

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

[Signature] DIRECTOR/sec *[Signature]* DIRECTOR

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor's trustee, company director, etc).

3. Location of property

Unit/Street no. Street name

1925 PITTWATER RD

Suburb Post code

BAYVIEW 2104

Legal Property Description (these details are shown on your title notices, Property deeds, etc)

Lot no. DP no.

301 113 9238

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved

BASEMENT CONSTRUCTION AND ANCILLARY WORKS :-
Includes slab, walls, pool footings and stormwater management for basement only.

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work: \$ **800,000**

6. Development Consent

Development consent no: **616/2004**

Date of Determination: **15.3.07**

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification: **7a**

8. Builder's details

If known to be completed in the case of residential building work

Name: **INFINITY CONSTRUCTION GROUP PTY LTD**

Licence no: **173639 C**

Owner/builder permit no: **[Blank]**

9. Applicant's declaration

I apply for a construction certificate to carry out building works as described in this application. I declare that the above Development Consent is valid and that no building works associated with this application have commenced. To the best of my knowledge, all the information in this application and checks is true and correct.

Signature

[Handwritten Signature]

Date

15.10.10

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes No

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes No

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable	<u>In the case of an application for a Construction Certificate for building work.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Three (3) copies of detailed architectural plans and specifications
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to <ul style="list-style-type: none"> a) show a plan of each floor section b) show a plan of each elevation of the building c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground d) indicate the height, design and full construction details e) indicate the provision for fire safety and fire resistance (if any)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Where the proposed building work involves any alteration or addition to or rebuilding of an existing building all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3 copies of a specification <ul style="list-style-type: none"> a) to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply b) state whether the materials proposed to be used are new or second hand and give particular
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Except in the case of an application for or in respect of domestic building work <ul style="list-style-type: none"> a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated and b) if the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed c) This list must describe the extent, capability and basis of design of each of the measures concerned
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of BASIX Certificate & Schedule of BASIX Commitments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of signed BASIX Compliance Statement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12 000 require insurance as specified in the Home Building Act 1989

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5 000. In addition to this permit all projects valued in excess of \$12 000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21 Astra House 227 Elizabeth Street Sydney (ph 133220)

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25 000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)? 8495	Gross floor area of building (m ²) as proposed 6400
What are the current uses of all or parts of the building(s)/land? VACANT	Location Use N/A
Does the site contain a dual occupancy? NO	What is the gross floor area of the proposed addition or new building (sq metres)? SEE ABOVE
What are the proposed uses of all parts of the building(s) land? No	Number of pre-existing dwellings NIL
Number of dwellings to be demolished NIL	How many dwellings proposed? 40
How many storeys will the building consist of? Two	Will the new building be attached to the existing building? NO
	Will the new building be attached to any new building? YES

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS	FLOOR	ROOF	FRAME
Brick veneer <input type="checkbox"/>	Concrete <input checked="" type="checkbox"/>	Aluminium <input type="checkbox"/>	Timber <input type="checkbox"/>
Full brick <input checked="" type="checkbox"/>	Timber <input type="checkbox"/>	Concrete <input checked="" type="checkbox"/>	Steel <input type="checkbox"/>
Single brick <input type="checkbox"/>	Other <input type="checkbox"/>	Concrete tile <input type="checkbox"/>	Other <input checked="" type="checkbox"/>
Concrete block <input type="checkbox"/>	Unknown <input type="checkbox"/>	Fibrous cement <input type="checkbox"/>	Unknown <input type="checkbox"/>
Concrete/masonry <input type="checkbox"/>		Fibreglass <input type="checkbox"/>	
Concrete <input type="checkbox"/>		Masonry/terracotta shingle <input type="checkbox"/>	
Steel <input type="checkbox"/>		Tiles <input type="checkbox"/>	
Fibrous cement <input type="checkbox"/>		Slate <input type="checkbox"/>	
Hardiplank <input type="checkbox"/>		Steel <input checked="" type="checkbox"/>	
Timber/weatherboard <input type="checkbox"/>		Terracotta tile <input type="checkbox"/>	
Cladding aluminium <input type="checkbox"/>		Other <input type="checkbox"/>	
Curtain glass <input type="checkbox"/>		Unknown <input type="checkbox"/>	
Other <input type="checkbox"/>			
Unknown <input type="checkbox"/>			

PRINCIPAL CERTIFYING AUTHORITY (PCA) SERVICE AGREEMENT

Environmental Planning and Assessment Act 1979 (the Act)
Environmental Planning and Assessment Regulation 2000 (the Regulation)

This document is a Service Agreement between **Insight Building Certifiers Pty Ltd** and the undermentioned owner of the subject property

TERMS AND CONDITIONS

This document is a Service Agreement between **Insight Building Certifiers Pty Ltd** and the client' For the purposes of this Service Agreement, 'the client' is the person who appointed the PCA

OBLIGATIONS OF THE ACCREDITED CERTIFIER (AC) / PCA

- 1 Critical Stage Inspections
 - 1 1 The AC/PCA (or another AC agreed to by the PCA) shall carry out the critical stage inspections as are prescribed in the Regulations and other required inspections contained in the Notice to the client issued by the PCA under S 81A of the Act and Cl 103A of the Regulations
 - 1 2 The PCA shall issue an Inspection Result Sheet for each inspection undertaken
- 2 Issuing of Occupation Certificate
 - 2 1 The PCA shall issue an Occupation Certificate for the building works when satisfied that
 - 2 1 1 All conditions of the development consent required to be satisfied prior to the issue of the Occupation Certificate have been complied with
 - 2 1 2 The building works are in conformity with the issued Development Consent and Construction Certificate and the Act and Regulations
 - 2 1 3 The building works are suitable for occupation in accordance with their classification under the BCA
 - 2 1 4 All commitments listed within the BASIX Certificate (if applicable) have been fulfilled
 - 2 1 5 A fire safety certificate has been issued (unless a Class 1 or 10 building)
 - 2 1 6 An application for the issue of an Occupation Certificate has been received and the fee specified in the issued Fee Proposal for the issue of such certificate has been paid to the PCA
 - 2 1 7 The building does not pose any threat to the health or safety of the occupants in the case of an Interim Occupation Certificate and
 - 2 1 8 In the case of a Final Occupation Certificate all outstanding payments have been received (as per this Agreement)

OBLIGATIONS OF THE CLIENT

- 3 The client
 - 3 1 Shall ensure that the site/works are available for the PCA to carry out its contractual and statutory obligations,
 - 3 2 Shall ensure that competent people are used/engaged for all aspects of the building works,
 - 3 3 Agrees to attend any meetings if required by the PCA
 - 3 4 Agrees to comply with any Notices or Orders that the PCA issues
 - 3 5 Shall arrange for provision of additional professional reports/certificates as requested by the AC/PCA NB **Insight Building Certifiers** may rely upon various certification(s) from appropriately qualified persons to verify components of the project to demonstrate compliance with conditions of Development Consent This may also include Survey Reports
 - 3 6 Shall provide all information that can be reasonably obtained to enable the AC/PCA to fulfil its obligations
 - 3 7 Agrees to act in good faith, in accordance with the Act and Regulations and in a co-operative fashion,
 - 3 8 Shall comply with all terms and conditions of the issued Development Consent and statutory requirements
 - 3 9 Shall ensure no nuisance and/or damage is caused to any adjoining properties and/or adjacent public place and that no work (including excavation drainage and/or footings) is carried out on any adjoining property
 - 3 10 Shall ensure that the PCA receives the required notification of inspections in the manner and timeframe detailed in the PCA's notice to the client issued under S 81A(2)(b1)(ii) of the Act and Cl 103A of the Regulations
 - 3 11 Shall ensure that there is no occupation and/or use of the building until it is authorised by the issue of an Occupation Certificate under the relevant Development Consent and Construction Certificate, and

- 3 12 Shall not carry out permit and/or allow any development or work in breach of the Act Regulations or the Building Code of Australia (BCA) or that encroaches upon an adjoining property
- 3 13 Acknowledges that any application for the issue of an Interim Certificate or Modified Construction Certificate, is subject to a separate Fee Proposal" (and payment of such fees) prior to the issuing of the subject certificate(s)

COMMENCEMENT OF BUILDING WORK / PCA APPOINTMENT

- 4 The client shall
 - 4 1 Ensure no building work is commenced unless the required Construction Certificate has been issued
 - 4 2 Ensure no building work is commenced until the client has received the PCA's notice under S 81A(2)(b1)(ii) of the Act and Cl 103A of the Regulations, and
 - 4 3 Ensure no building work is commenced until the client has complied with the requirements of S 81A(2)(b2) of the Act,
 - 4 4 Ensure the Principal Certifying Authority (PCA) signage as provided is displayed in public view on the property and maintained for the duration of building works
- The client acknowledges that
 - 4 5 The statutory PCA appointment role under this Service Agreement is not accepted by the AC until the client has satisfied the requirements of 4 1 and 4 4 above, and the PCA has confirmed such appointment in writing to the client in the notice issued under S 81A(2)(b1)(ii) of the Act and Cl 103A of the Regulations

GENERAL MATTERS

- 5 If
 - 5 1 Any part of the building works are redesigned and/or constructed contrary to the issued Construction Certificate plans and/or this Agreement
 - 5 2 An amendment to the Act the BCA or any other law requires any aspect of the building works or the AC's/PCA's work to be varied
 - 5 3 The PCA is required to undertake more inspections than those paid for under the issued Fee Proposal
 - 5 4 The builder owner and/or client does anything that causes a delay to the building works or does anything that delays the ability of the AC/PCA to carry out its obligations under this Agreement,
 - 5 5 Written correspondence is received by the AC/PCA from the Council and/or an adjoining owner/occupant and/or other person/authority in regard to the development works and/or the subject property and such correspondence necessitates additional work by the AC/PCA (and/or others on behalf of the AC/PCA),
 - 5 6 Preparation is needed of additional reports letters photocopying etc, at the request of the client owner or builder
 - 5 7 Unauthorised building work is carried out on the property and/or any adjoining land,
 - 5 8 If any Notice or Order is issued by the PCA or Council or other authority or Court then the AC/PCA may charge additional fees at the rate of \$200 (plus GST) per additional hour of work incurred Notice of such additional fees is to be made by way of notice to the client in writing stating the reason/s for the additional fees the amount of the additional fees and the required payment time
- 6 Duration of Works

If the building work does not commence within 12 months of the date of issue of the Construction Certificate or if the building work is not completed (and a Final Occupation Certificate not issued) within 18 months of the date of issue of the Construction Certificate, then the AC/PCA may charge an additional fee of 10% of the total amount of the original Fee proposal"
- 7 Termination
 - 7 1 The AC/PCA may terminate this Agreement at any time by issuing a Notice of Termination in circumstances involving any breach of clauses 4 and/or 5 of this Agreement, and/or failure to pay any money owed to the AC/PCA or in circumstances where upon the AC/PCA's obligations are restrained by an Order of a court of law
 - 7 2 The client must pay all termination money to the AC/PCA within 14 days of receiving a Notice of Termination
 - 7 3 If the PCA or client terminates the Agreement the PCA is entitled to carry out a further inspection at the client's expense (such inspection being necessary to audit and document the works as at that time)
 - 7 4 This Agreement and PCA appointment automatically exhausts upon the issue of the Final Occupation Certificate
- 8 Effect of Contract
 - 8 1 This contract represents the entire contractual agreement between the parties and overrides any other documents or oral representations upon which the parties may seek to rely to generate any legal effect or to imply any contractual obligation

THIS DOCUMENT IS NOT AN AUTHORITY TO COMMENCE ANY BUILDING WORKS - NO BUILDING WORK MAY TAKE PLACE UNLESS A CONSTRUCTION CERTIFICATE AND REQUIRED PCA STATUTORY NOTICES HAVE BEEN ISSUED AND RECEIVED

OWNER'S ACCEPTANCE OF SERVICE AGREEMENT / APPOINTMENT OF PCA

Proposed Building Works

BASEMENT CONSTRUCTION AND ANCILLARY WORKS BEING PART OF 40 APARTMENTS, PARKING + LANDSCAPING

Council DA No

834/05

Property Address

1825 PITTLATER RD BAYVIEW

In accordance with the *Terms and Conditions* contained herein and the issued Fee Proposal document, I hereby agree to this Service Agreement with **Insight Building Certifiers Pty Ltd** including the associated payment of fees. In accordance with the Act and Regulations I hereby make application to appoint as the Principal Certifying Authority (the PCA) for the proposed building works under the subject development consent concluding upon the issuing of the Final Occupation Certificate or upon termination of this agreement. I acknowledge that **Insight Building Certifiers Pty Ltd** is not the PCA until it has accepted and confirmed its appointment to me in writing.


Owner's Name

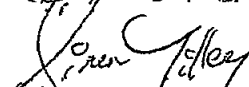
BAYVIEW INVESTMENT GROUP P/L

Owner's Address

8/401 NEW SOUTH HEAD RD, DOUBLE BAY NSW 2028

Owner's Signature


DIRECTOR/SEC


DIRECTOR

ACCREDITED CERTIFIER'S ACCEPTANCE OF SERVICE AGREEMENT

I hereby agree to provide the nominated services detailed in this Service Agreement and the issued Fee Proposal, subject to the terms and conditions attached.

Insight Building Certifiers Pty Ltd

Accredited Certifier No

(Building Professionals Board)

Date

Mr A Novakovic
C/-Bayview Investment Group Pty Ltd
8/401 New South Head Rd
Double Bay NSW 2028

Construction Certificate

Certificate

I certify that if the work is completed in accordance with the attached plans and specifications which have been approved it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979 This certificate is issued without any conditions for the following premises

Address of Property 1825 Pittwater Rd, Bayview

Plan Numbers Approved Drawings No A1 04 rev J prepared by Antoniadis Architects & dated Feb 10

NOTE REFER TO THE ATTACHED 'SCHEDULE A' LIST OF DETAILS TO BE READ IN CONJUNCTION WITH THIS CONSTRUCTION CERTIFICATE

Information attached to this decision



A Fire Safety Schedule

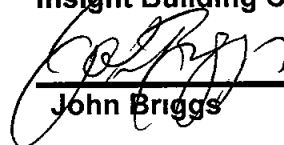


The Conditions of the Certificate

Construction Certificate No 1408CC3
Date of this Decision and Certificate 26th October 2010

Certifying Authority Insight Building Certifiers Pty Ltd

Signature
Name of accredited Certifier


John Briggs

Building Professionals Board Accreditation No BPB 0049

Proposal Basement slab, walls, pool piers & stormwater management

Development Consent No 834/05

Date of Determination 15 3 07

Council Area Pittwater

Applicant's right of appeal – If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision

Construction Certificate No 1408CC3

Address 1825 Pittwater Rd, Bayview

Applicant Mr A Novakovic

SCHEDULE A

The following is a list of details/plan references that should be read in conjunction with Construction Certificate No 1408CC3

- Structural Engineers drawings no 89022874 sheets 100-107, 110 & 115 all rev A & dated 28 9 10, Sheets 112 Rev B dated 6 10 10 & sheet 203 RevA dated 23 9 10 all prepared by Cardno (NSW/ACT) Pty Ltd

GENERAL

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
G2 THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR STRUCTURAL ENGINEERING PURPOSES ONLY. IN ALL OTHER MATTERS, THE APPROVED ARCHITECTS' DRAWINGS SHALL TAKE PRECEDENCE...

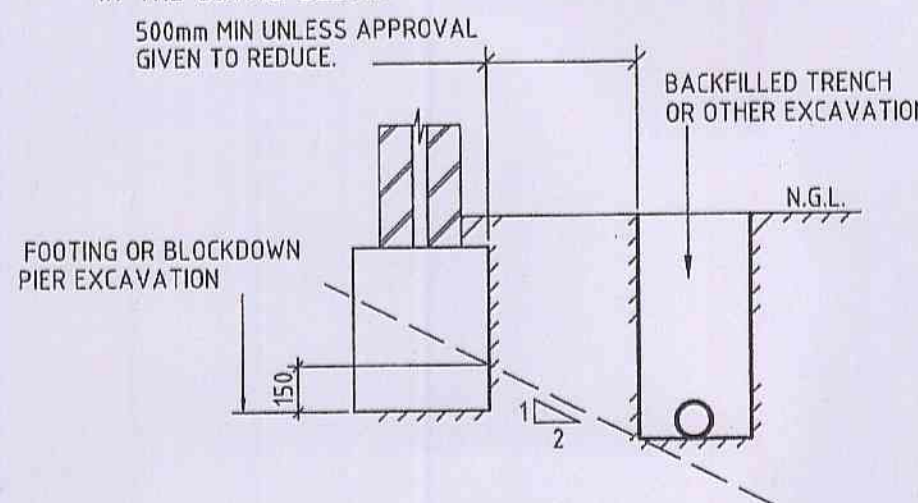
Table with 3 columns: FLOOR USAGE, LIVE LOAD kPa, SUPERIMPOSED DEADLOADS (kPa). Rows include STEEL ROOFS, ROOF SLAB, RES. UNITS, RES. BALCONIES, PODIUM AREAS, BMENT CARPARK.

Table with 2 columns: WIND LOADS ARE IN ACCORDANCE WITH AS/NZS 1170.2 AS FOLLOWS: BASIC WIND VELOCITY (V5000), REGION, TERRAIN CATEGORY.

THE RELEVANT PROVISIONS OF AS 1170.4 HAVE BEEN APPLIED FOR A HAZARD FACTOR (Z) OF 0.08 AND FOR A PROBABILITY FACTOR (K1) OF 1.0 AND A SUBSOIL CLASS Cc

FOUNDATIONS

- F1 FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING INTENSITY OF 250kPa ON V. STIFF CLAY. THIS FOUNDATION MATERIAL SHALL BE UNIFORM AND BE APPROVED BY THE ENGINEER FOR THIS PRESSURE BEFORE PLACING MEMBRANE, REINFORCEMENT OR CONCRETE.
F2 FOOTINGS SHALL BE CONCRETED ON THE DAY OF APPROVAL UNLESS PERMISSION IS GIVEN OTHERWISE.



PRIOR TO ANY EXCAVATION NEAR EXISTING FOOTINGS, THE BUILDER SHALL DETERMINE THE DEPTH OF FOUNDING OF EXISTING FOOTINGS BY LOCAL INVESTIGATORY EXCAVATION. GENERAL EXCAVATION SHALL NOT PROCEED BELOW A LEVEL 150mm ABOVE THE UNDERSIDE OF EXISTING FOOTINGS UNTIL INSTRUCTION IS OBTAINED FROM THE ENGINEER ON PROCEDURES & PRECAUTIONS TO BE TAKEN.

REINFORCEMENT

- R1 REINFORCEMENT SYMBOLS: N DENOTES GRADE 500 N BARS TO AS 4671, R DENOTES GRADE 250 R HOT ROLLED PLAIN BARS TO AS 4671, L DENOTES GRADE 500 L HARD-DRAWN WIRE REINFORCING FABRIC TO AS 4671, W DENOTES GRADE 450 W HARD-DRAWN PLAIN WIRE TO AS 4671.

Table with 2 columns: BAR SIZE, MINIMUM LAP. Rows include N10, N12, N16, N20, N24, N28, N32, N36.

BOTTOM BAR LAPPED @ SUPPORTS AND TOP BAR LAPPED AT MID SPAN.

- R4 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER.
R5 FABRIC SHALL BE LAPPED 2 TRANSVERSE WIRES PLUS 25 mm. BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETER CENTRES WITH 3 WRAPS OF THE WIRE.

FORMWORK

- CF1 THE DESIGN, CONSTRUCTION AND PERFORMANCE OF THE FORMWORK AND FALSEWORK IS THE RESPONSIBILITY OF THE BUILDER.
CF2 DESIGN AND CONSTRUCTION AND STRIPPING TIMES SHALL COMPLY WITH AS 3616 AND AS 3600 UNLESS OTHERWISE APPROVED BY THE ENGINEER.

CONCRETE

- C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600, AS 1379 & AS 3616 CURRENT EDITIONS WITH AMENDMENTS, EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
C2 CONCRETE QUALITY ALL CEMENT TO BE TYPE SL, SHRINKAGE LIMITED CEMENT IN ACCORDANCE WITH AS3972, EXCEPT THAT THE MAXIMUM SHRINKAGE OF THE CEMENT IN THE MORTAR TEST SAMPLE IN ACCORDANCE WITH AS2350 SHALL BE LESS THAN 600 MICROSTRAIN.

Table with 5 columns: ELEMENT, STRENGTH GRADE, SLUMP (mm), MAXIMUM AGGREG. SIZE (mm), MINIMUM CEMENT CONTENT (kg/cu.m). Rows include COLUMNS, GROUND F. SLAB, ROOF SLAB, FIRST F. SLAB, FOOTINGS, B'MENT SLAB.

PROJECT ASSESSMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379 CLAUSE B7.

- C3 (i) ALL CONCRETE IN SLABS AND BEAMS TO BE PROPORTIONED TO LIMIT DRYING SHRINKAGE TO 450 MICROSTRAIN AT 56 DAYS.
(ii) DETAILS OF THE PROPOSED MIX TO BE SUBMITTED & APPROVAL OBTAINED PRIOR TO POURING ANY CONCRETE.
(iii) SHRINKAGE TESTS SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY IN ACCORDANCE WITH AS 1012 PART 13.

Table with 5 columns: EXPOSURE CLASS, MINIMUM CONCRETE TO GRADE, MINIMUM CAST IN FORMS, CAST IN FORMS EXPOSED, CAST IN FORMS EXPOSED. Rows include A1 (INTERNAL), B2 (EXTERNAL), FOOTINGS.

NOTE: WHERE CONCRETE IS POURED ON A VAPOURPROOF MEMBRANE AGAINST GROUND MAY BE REDUCED BY 10mm.

- C6 CONCRETE SIZES SHOWN DO NOT INCLUDE THICKNESSES OF APPLIED FINISHES. NO FINISH WHICH DECREASES COVER IS ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
C7 DEPTHS OF BEAMS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS. FOR CHAMFERS, DRIP GROOVES, REGLETS, ETC. REFER TO ARCHITECT'S DETAILS, MAINTAIN COVER TO REINFORCEMENT AT THESE DETAILS.
C9 NO HOLES, CHASES, BLOCKOUTS, DUCTS OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.

STRUCTURAL STEEL

- S1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4700 AND AS 1554 EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
S2 UNLESS NOTED OTHERWISE ALL MATERIAL SHALL BE: - GRADE 250 HOT-ROLLED PLATES COMPLYING WITH AS 3678; - GRADE 250 HOT-ROLLED PLATS; - GRADE 300PLUS UB, UC, PFC, ANGLES, AND TFB; - GRADE 300 WB, WC COMPLYING WITH AS 3679.2; - GRADE C350 RHS, CHS COMPLYING WITH AS 1163;
S3 THREE(3) COPIES OF WORKSHOP FABRICATION DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AT LEAST 7 DAYS' PRIOR TO COMMENCEMENT OF FABRICATION AND PERMISSION TO USE OBTAINED PRIOR TO FABRICATION. PERMISSION TO USE DOES NOT RELIEVE THE BUILDER OF THE FULL RESPONSIBILITY FOR DIMENSIONS, FIT AND COMPLIANCE WITH ARCHITECTURAL AND ENGINEERING DRAWINGS.

Table with 3 columns: ELEMENT, SURFACE CLEANING, PROTECTIVE COATING. Rows include INTERNAL, BUILT INTO MASONRY, EXTERNAL.

- S11 THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER TO STEEL WHETHER OR NOT DETAILED ON THE DRAWINGS.
S12 THE FABRICATION AND ERECTION OF THE STRUCTURAL STEELWORK SHALL BE UNDERTAKEN BY A QUALIFIED PERSON EXPERIENCED IN SUCH SUPERVISION, IN ORDER TO ENSURE THAT ALL REQUIREMENTS OF THE DESIGN ARE MET. ALL BEAMS AND RAFTERS SHALL BE FABRICATED AND ERECTED WITH NATURAL CANTER UP.

PREPARATION UNDER SLABS ON GRADE

- PG1 THE SLAB DESIGN AS DETAILED ON THIS DRAWING ASSUMES A PROPERLY PREPARED UNIFORM AND STABLE SUBGRADE.
PG2 STRIP OFF ALL VEGETATION, RUBBISH & TOPSOIL CONTAINING ORGANIC OR ROOT MATTER FROM THE AREA OF THE WORKS AND REMOVE FROM SITE.
PG3 PRIOR TO ANY FILLING, THE EXPOSED SUBGRADE TO A DISTANCE OF 1.5 METRES BEYOND THE BUILDING WORKS SHALL BE PROOF ROLLED WITH A MINIMUM OF 10 PASSES OF A 5 TONNE (MIN) DEAD WEIGHT VIBRATING ROLLER. ANY SOFT OR YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED FILLING COMPACTED AS HEREAFTER SPECIFIED.

* WHERE NOTED ON DRAWINGS AS "FILL AS FORMWORK", FILLING SHALL BE COMPACTED SUFFICIENTLY TO PROVIDE A STABLE PLATFORM DURING CONCRETING. THIS WOULD NORMALLY BE PROVIDED BY COMPACTION TO AT LEAST 98% MAXIMUM STANDARD DRY DENSITY.

- PG6 BLIND WITH SAND SUFFICIENT ONLY TO ENSURE NO DAMAGE TO MEMBRANE (0 TO 10mm MAX.) AND LAY POLYTHENE VAPOURPROOF MEMBRANE.
PG7 VAPOURPROOF MEMBRANE SHALL BE POLYTHENE SHEETING OF 0.2mm THICKNESS LAPPED 200mm AT JOINTS AND TAPED AT PIPE PENETRATIONS ETC.
PG8 DENSITY TESTING OF FILLING (AND BASE COURSE WHERE APPLICABLE) SHALL BE CARRIED OUT AT THE RATE OF 1 TEST PER 200 SQ METRES EACH LAYER (MINIMUM 2 TESTS). TESTING SHALL BE BY A N.A.T. REGISTERED LABORATORY AND SHALL BE ALLOWED FOR BY THE BUILDER.

BRICKWORK AND BLOCKWORK

Table with 4 columns: ELEMENT, MATERIAL, CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH (F'c), CHARACTERISTIC MORTAR UNCONFINED COMPRESSIVE STRENGTH (F'c). Rows include BRICKS, CORE FILLED CONC BLOCKS, SOLID CONC.

- B3 THE LONG TERM UNRESTRAINED MOISTURE INDUCED EXPANSION OF CLAY BRICKS UTILISED IN THE WORKS SHALL BE LESS THAN 1mm/mETRE ONLY LOAD BEARING MASONRY WALLS ARE SHOWN UNDER CONCRETE SLABS.
B5 OTHER THAN REINFORCED CONCRETE BLOCKWORK, MASONRY SUPPORTING SLABS AND BEAMS SHALL BE TROWELLED SMOOTH WITH MORTAR FILLING ALL VOIDS. TWO LAYERS OF MALTHOID SHALL BE PLACED FULL WIDTH ACROSS SUCH LOAD BEARING SURFACES EXCEPT WHERE PROPRIETARY BEARING STRIP IS NOTED OR ALTERNATIVE DETAIL IS DOCUMENTED. THE HEADS OF LOAD BEARING WALLS SHALL NOT EXTEND ABOVE THE SOFFIT OF THE CONCRETE SLAB ABOVE.
B6 ALL DOUBLE SKIN SOLID WALLS SUCH AS 230mm THICK BRICKWORK SHALL BE BONDED BY A HEADER COURSE EVERY 4th COURSE.

- * BLOCKS SHALL BE STRENGTH GRADE 15 CONFORMING TO AS 2733.
* MORTAR SHALL COMPRISE 1 CEMENT:0.25 LIME:3 SAND.
* PROVIDE CLEANOUT HOLES 100 mm SQUARE MINIMUM AT BASE OF ALL WALLS AND ROD CORE HOLES TO REMOVE PROTRUDING MORTAR FINS PRIOR TO GROUTING.
* CORE FILLING GROUT SHALL BE - P/c = 20 MPa MINIMUM CEMENT CONTENT = 300 kg/m, SLUMP = 230 ± 30 mm.

NOTE: PLASTIC FORMWORK SPACERS AND BAR CHAIRS TO BE USED IN ALL EXPOSED CONCRETE WORK.

TERMITE PROTECTION: THE BUILDER IS TO PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S. 3660.1

Insight building certifiers pty ltd CONSTRUCTION CERT. NO. 1408cc3 CONSTRUCTION CERTIFICATE PLANS I certify that the work shown on this certificate was carried out in accordance with the relevant Australian Standards and the Building Code of Australia (BCA) 1999. J. Briggs Registration No. 6PB0049

DATE PLOTTED: 31 September, 2010 - 16:55m

SCALE: 1:100 (GENERAL), 1:20 (DETAILS) TITLE: J:\P\B\22274_The Masters Darley St Bayview\Acad\Structural\89022874_116-STRUCTURAL-NOTES.dwg

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CLIENT: DESIGNED: M.O'G DRAWN: N.D.K. CHECKED: M.O'G APPROVED: [Signature] DATE: 30/9/10 PROJECT MANAGER DATE: 30/9/10 PROJECT DIRECTOR DATE: 30/9/10

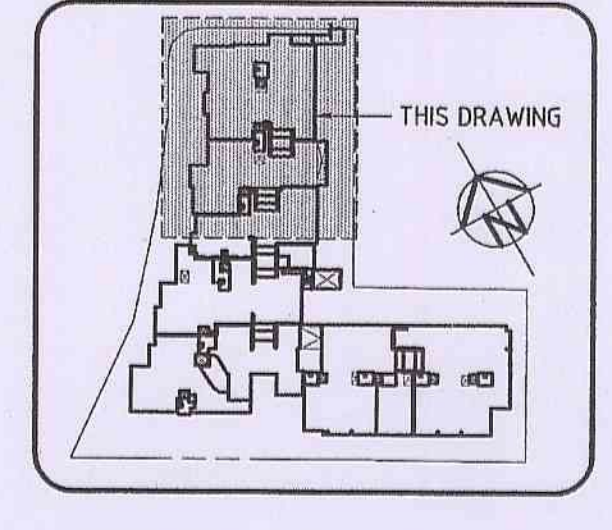
COORDINATE SYSTEM: AHD A1 Cardno Cardno (NSW/ACT) Pty Ltd ABN 95 001 145 035 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250 Phone (41) 21 432 2558 Fax (41) 21 432 3251 Email: cco@centralcardno.com.au Web: www.cardno.com.au

STRUCTURAL NOTES THE MASTERS DARLEY ST WEST BAYVIEW NSW For: BAYVIEW INVESTMENT GROUP PTY LTD DRAWING STATUS: CONSTRUCTION DRAWING NUMBER: 89022874-100 REV: A

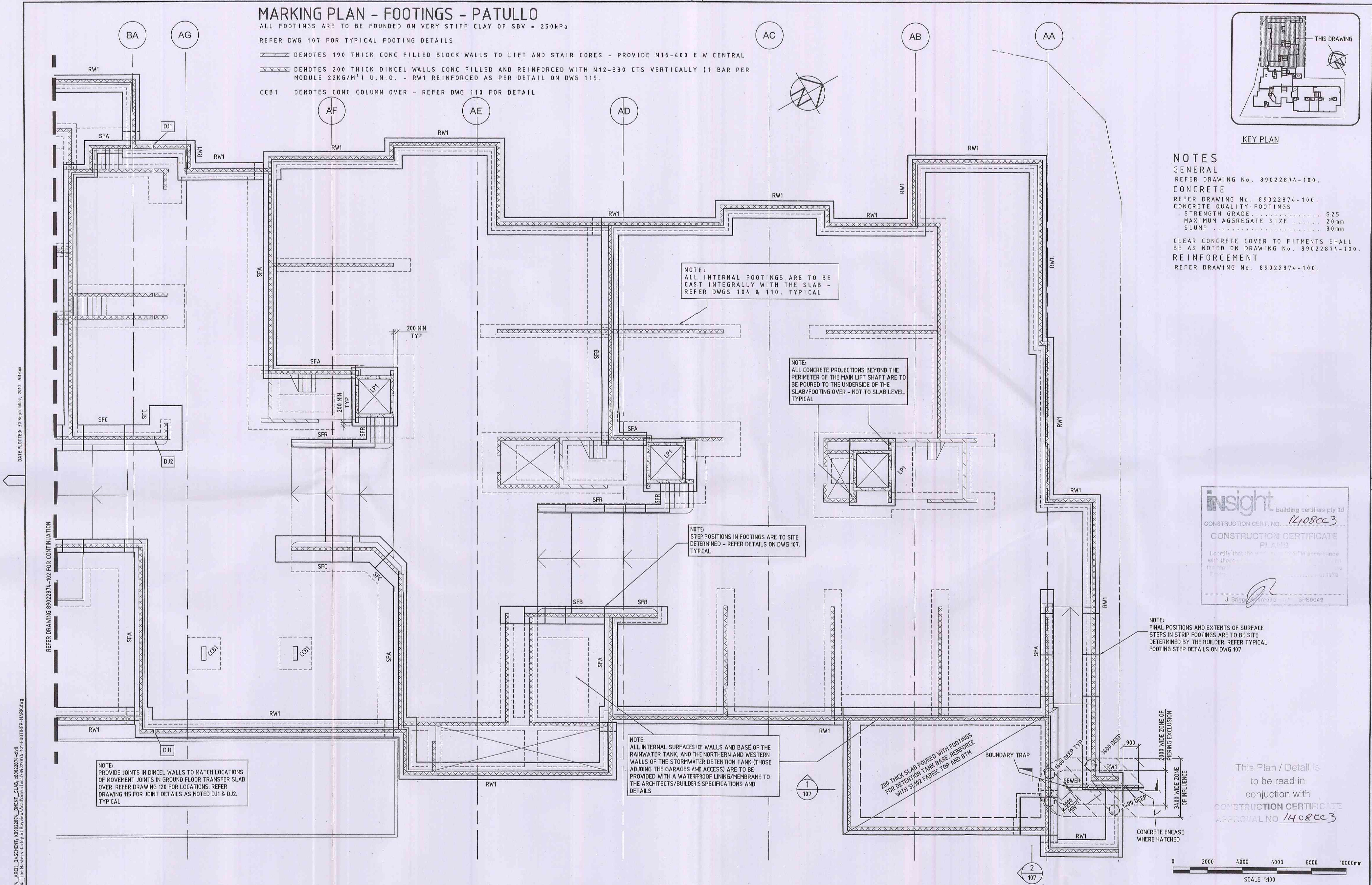
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm A1 ON ORIGINAL

MARKING PLAN - FOOTINGS - PATULLO

ALL FOOTINGS ARE TO BE FOUNDED ON VERY STIFF CLAY OF SBV = 250kPa
 REFER DWG 107 FOR TYPICAL FOOTING DETAILS
 // DENOTES 190 THICK CONC FILLED BLOCK WALLS TO LIFT AND STAIR CORES - PROVIDE N16-400 E-W CENTRAL
 --- DENOTES 200 THICK DINCEL WALLS CONC FILLED AND REINFORCED WITH N12-330 CTS VERTICALLY (1 BAR PER MODULE 22KG/M³) U.N.O. - RW1 REINFORCED AS PER DETAIL ON DWG 115.
 CCB1 DENOTES CONC COLUMN OVER - REFER DWG 110 FOR DETAIL



NOTES
 GENERAL
 REFER DRAWING No. 89022874-100.
 CONCRETE
 REFER DRAWING No. 89022874-100.
 CONCRETE QUALITY: FOOTINGS
 STRENGTH GRADE: S25
 MAXIMUM AGGREGATE SIZE: 20mm
 SLUMP: 80mm
 CLEAR CONCRETE COVER TO FITMENTS SHALL
 BE AS NOTED ON DRAWING No. 89022874-100.
 REINFORCEMENT
 REFER DRAWING No. 89022874-100.



insight building certifiers pty ltd
 CONSTRUCTION CERT. NO. 1408cc3
 CONSTRUCTION CERTIFICATE PLANS
 I certify that the construction certifier's permit was issued with these plans and in accordance with the provisions of the Building Act 2003 and Building Regulation 2006.
 J. Briggs
 8980008

This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO 1408cc3



REV	DATE	ISSUED FOR CONSTRUCTION	REVISIONS	N.D.K.	M.O'G
A	28/9/10	ISSUED FOR CONSTRUCTION			

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CLIENT:

DESIGNED: C.B.
 DRAWN: N.D.K.
 CHECKED: M.O'G
 RECOMMENDED: M.O'G 28/9/10
 APPROVED: [Signature] 28/9/10

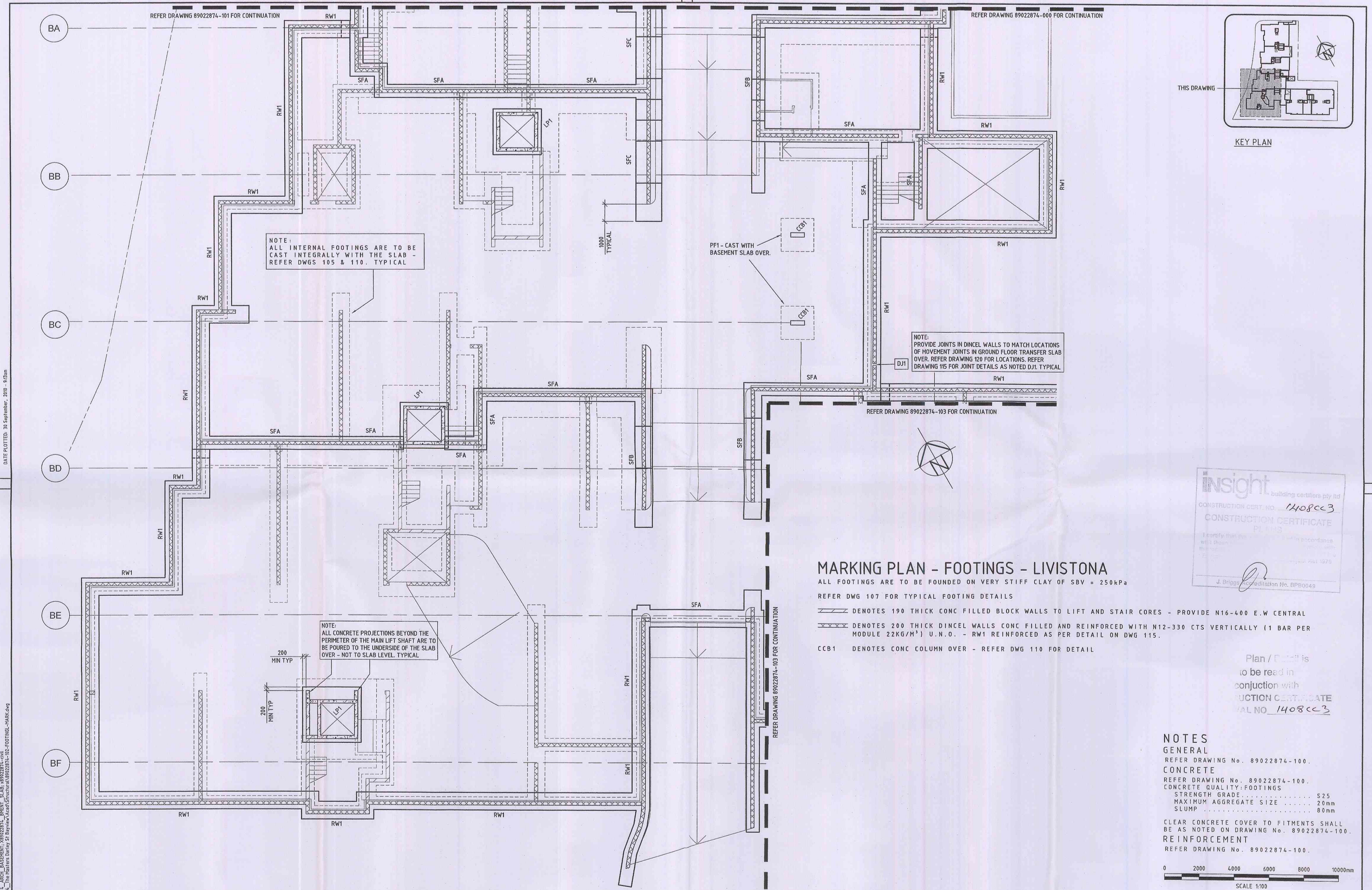
DATUM: AHD
 COORDINATE SYSTEM: A1
 Cardno (NSW/ACT) Pty Ltd
 ABN 95 601 145 935
 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250
 Phone (41) 21 4323 2550 Fax (41) 21 4324 3291
 Email: cc@central@cardno.com.au Web: www.cardno.com.au

FOOTING PLAN - MARKING - PATULLO
 THE MASTERS
 DARLEY ST WEST
 BAYVIEW NSW
 For: BAYVIEW INVESTMENT GROUP PTY LTD

DRAWING STATUS:
CONSTRUCTION
 DRAWING NUMBER:
89022874-101
 REV:
A

DATE PLOTTED: 21 September, 2006 - 9:03am

REF: 89022874_TITLE_89022874_ARCHL_BASEMENT_SLAB_89022874.dwg
 CADD FILE: P:\8902_2874_ARCHL\89022874_ARCHL\89022874_ARCHL_BASEMENT_SLAB_89022874.dwg



NOTE:
 ALL INTERNAL FOOTINGS ARE TO BE
 CAST INTEGRALLY WITH THE SLAB -
 REFER DWGS 105 & 110, TYPICAL

PF1 - CAST WITH
 BASEMENT SLAB OVER.

NOTE:
 PROVIDE JOINTS IN DINCEL WALLS TO MATCH LOCATIONS
 OF MOVEMENT JOINTS IN GROUND FLOOR TRANSFER SLAB
 OVER. REFER DRAWING 120 FOR LOCATIONS. REFER
 DRAWING 115 FOR JOINT DETAILS AS NOTED D.J1. TYPICAL

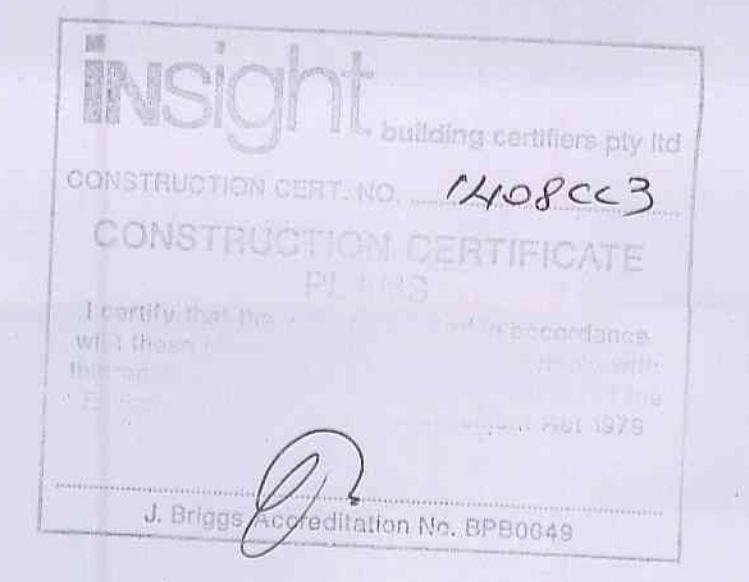
NOTE:
 ALL CONCRETE PROJECTIONS BEYOND THE
 PERIMETER OF THE MAIN LIFT SHAFT ARE TO
 BE POURED TO THE UNDERSIDE OF THE SLAB
 OVER - NOT TO SLAB LEVEL. TYPICAL

MARKING PLAN - FOOTINGS - LIVISTONA

ALL FOOTINGS ARE TO BE FOUNDED ON VERY STIFF CLAY OF SBV = 250kPa

REFER DWG 107 FOR TYPICAL FOOTING DETAILS

- ▨ DENOTES 190 THICK CONC FILLED BLOCK WALLS TO LIFT AND STAIR CORES - PROVIDE N16-400 E.W CENTRAL
- ▨ DENOTES 200 THICK DINCEL WALLS CONC FILLED AND REINFORCED WITH N12-330 CTS VERTICALLY (1 BAR PER MODULE 22KG/M³) U.N.O. - RW1 REINFORCED AS PER DETAIL ON DWG 115.
- CCB1 DENOTES CONC COLUMN OVER - REFER DWG 110 FOR DETAIL



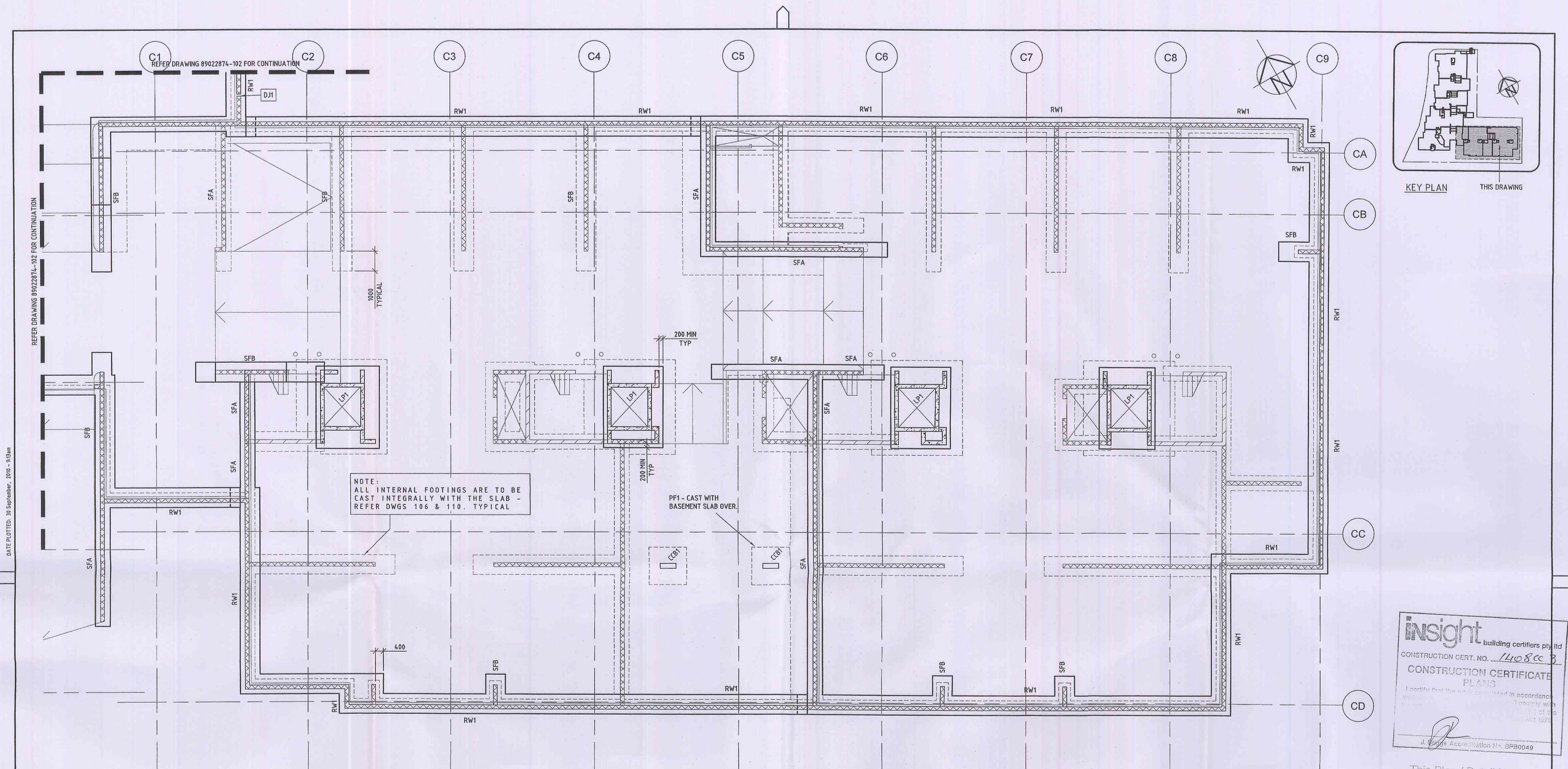
Plan / Detail is
 to be read in
 conjunction with
 CONSTRUCTION CERTIFICATE
 NO. 1408CC3

NOTES
 GENERAL
 REFER DRAWING No. 89022874-100.
 CONCRETE
 REFER DRAWING No. 89022874-100.
 CONCRETE QUALITY: FOOTINGS
 STRENGTH GRADE: S25
 MAXIMUM AGGREGATE SIZE: 20mm
 SLUMP: 80mm
 CLEAR CONCRETE COVER TO FITMENTS SHALL
 BE AS NOTED ON DRAWING No. 89022874-100.
 REINFORCEMENT
 REFER DRAWING No. 89022874-100.



DESIGNED: C.B. DRAWN: N.D.K. CHECKED: M.O'G PROJECT MANAGER: [Signature] 30/9/10		DATUM: AHD A1 COORDINATE SYSTEM:		Cardno (NSW/ACT) Pty Ltd ABN 95 081 145 035 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250 Phone (41) 21 4323 2558 Fax (41) 21 4324 3251 Email: cc@centralcoast.cardno.com.au Web: www.cardno.com.au		FOOTING PLAN - MARKING - LIVISTONA THE MASTERS DARLEY ST WEST BAYVIEW NSW For: BAYVIEW INVESTMENT GROUP PTY LTD		DRAWING STATUS: CONSTRUCTION DRAWING NUMBER: 89022874-102		REV A
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0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm A1 ON ORIGINAL



NOTE:
ALL INTERNAL FOOTINGS ARE TO BE CAST INTEGRALLY WITH THE SLAB - REFER DWGS 106 & 110. TYPICAL

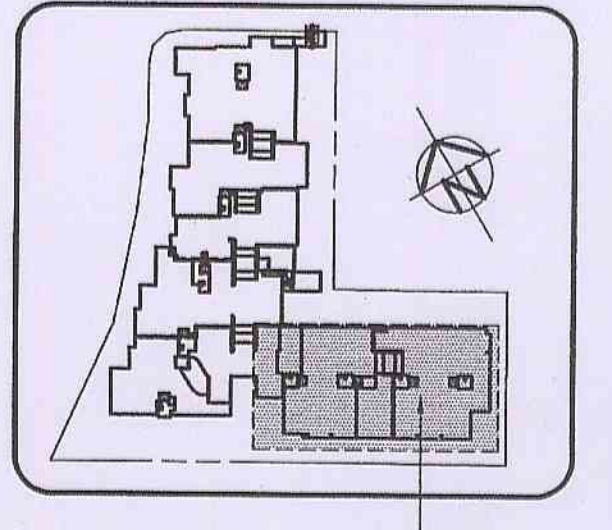
PF1 - CAST WITH BASEMENT SLAB OVER.

MARKING PLAN - FOOTINGS - CORNICHE

ALL FOOTINGS ARE TO BE FOUND ON VERY STIFF CLAY OF SBV = 250kPa

REFER DWG 107 FOR TYPICAL FOOTING DETAILS

- ▬ DENOTES 190 THICK CONC FILLED BLOCK WALLS TO LIFT AND STAIR CORES - PROVIDE N16-400 E.W CENTRAL
- ▬ DENOTES 200 THICK DINCEL WALLS CONC FILLED AND REINFORCED WITH N12-330 CTS VERTICALLY (1 BAR PER MODULE 22KG/M²) U.N.O. - RW1 REINFORCED AS PER DETAIL ON DWG 115.
- CCB1 DENOTES CONC COLUMN OVER - REFER DWG 110 FOR DETAIL



KEY PLAN THIS DRAWING

insight building certifiers pty ltd
 CONSTRUCTION CERT. NO. 1408CC3
CONSTRUCTION CERTIFICATE PLANS
 I certify that the work completed in accordance with the approved plans is in compliance with the Building Code of Australia and the Building Act 1975.
 J. Jones Accreditation No. SPB0049

This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO. 1408CC3

NOTES

- GENERAL**
 REFER DRAWING No. 89022874-100.
- CONCRETE**
 REFER DRAWING No. 89022874-100.
 CONCRETE QUALITY: FOOTINGS
 STRENGTH GRADE: S25
 MAXIMUM AGGREGATE SIZE: 20mm
 SLUMP: 80mm
- CLEAR CONCRETE COVER TO FITMENTS SHALL BE AS NOTED ON DRAWING No. 89022874-100.
- REINFORCEMENT**
 REFER DRAWING No. 89022874-100.



REF: 89022874 - TITLE: CORNICHE - PLAN - BAYVIEW - SLAB - 89022874 - A01 - 89022874 - 103 - FOOTING - MARK.dwg
 CAD FILE: P:\8902_2874_103_89022874.dwg
 DATE PLOTTED: 31 September, 2010 - 9:03am

REV	DATE	ISSUED FOR CONSTRUCTION	REVISIONS	DRN	CHK
A	28/9/10	ISSUED FOR CONSTRUCTION		N.D.K	M.O'G

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CLIENT:

DESIGNED: C.B.
 DRAWN: N.D.K.
 CHECKED: M.O'G.
 PROJECT MANAGER: [Signature] DATE: 20/9/10

DATUM: AHD A1
 COORDINATE SYSTEM:
 APPROVED: [Signature] DATE: 20/9/10
 PROJECT DIRECTOR

Cardno
 Cardno (NSW/ACT) Pty Ltd
 ABN: 95 011 545 835
 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250
 Phone: 644 21 4323 2558 Fax: 644 21 4324 3251
 Email: cco@centralcardno.com.au Web: www.cardno.com.au

FOOTING PLAN - MARKING - CORNICHE
 THE MASTERS
 DARLEY ST WEST
 BAYVIEW NSW
 For: BAYVIEW INVESTMENT GROUP PTY LTD

DRAWING STATUS:	CONSTRUCTION
DRAWING NUMBER:	89022874-103
REV:	A

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MARKING PLAN - BASEMENT SLAB - PATULLO

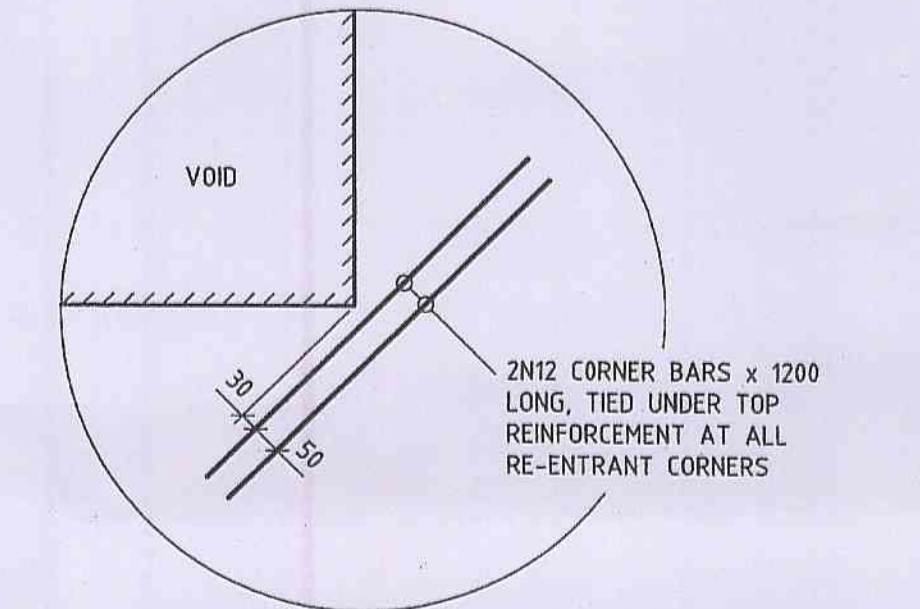
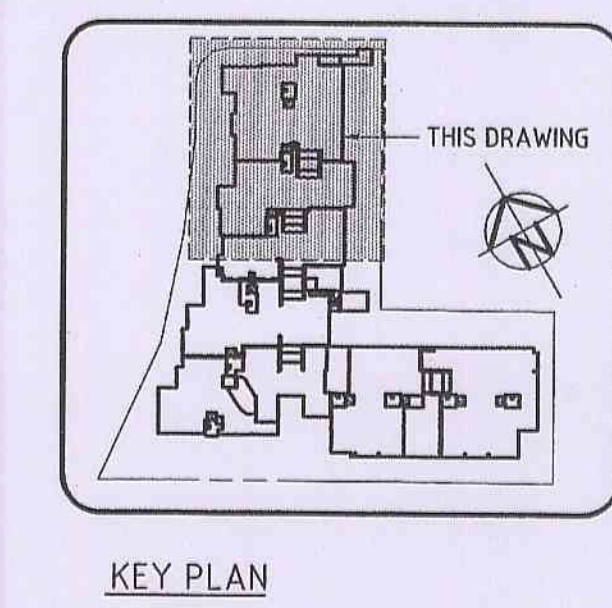
ALL SLABS ARE 120 MIN THICK REINFORCED WITH SL92 FABRIC TOP POURED OVER 0.2mm POLYTHENE VAPOUR BARRIER, 20 NOM SAND BLINDING, AND TO BE LAID OVER COMPACTED SUBGRADE WITH GEOTEXTILE SEPERATOR OVER COMPACTED 200mm CRUSHED COARSE GRANULAR MATERIAL (NO FINES).

REFER DWG 110 FOR TYPICAL SLAB DETAILS

A DENOTES N16-200 STAIR STARTERS

--- DENOTES 190 THICK CONC FILLED BLOCK WALLS TO LIFT AND STAIR CORES - PROVIDE N16-400 E.W CENTRAL

--- DENOTES 200 THICK DINCEL WALLS CONC FILLED AND REINFORCED AS PER DETAILS ON DWG 115.



TYPICAL SLAB RE-ENTRANT CORNER DETAIL

This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO 1408CC3

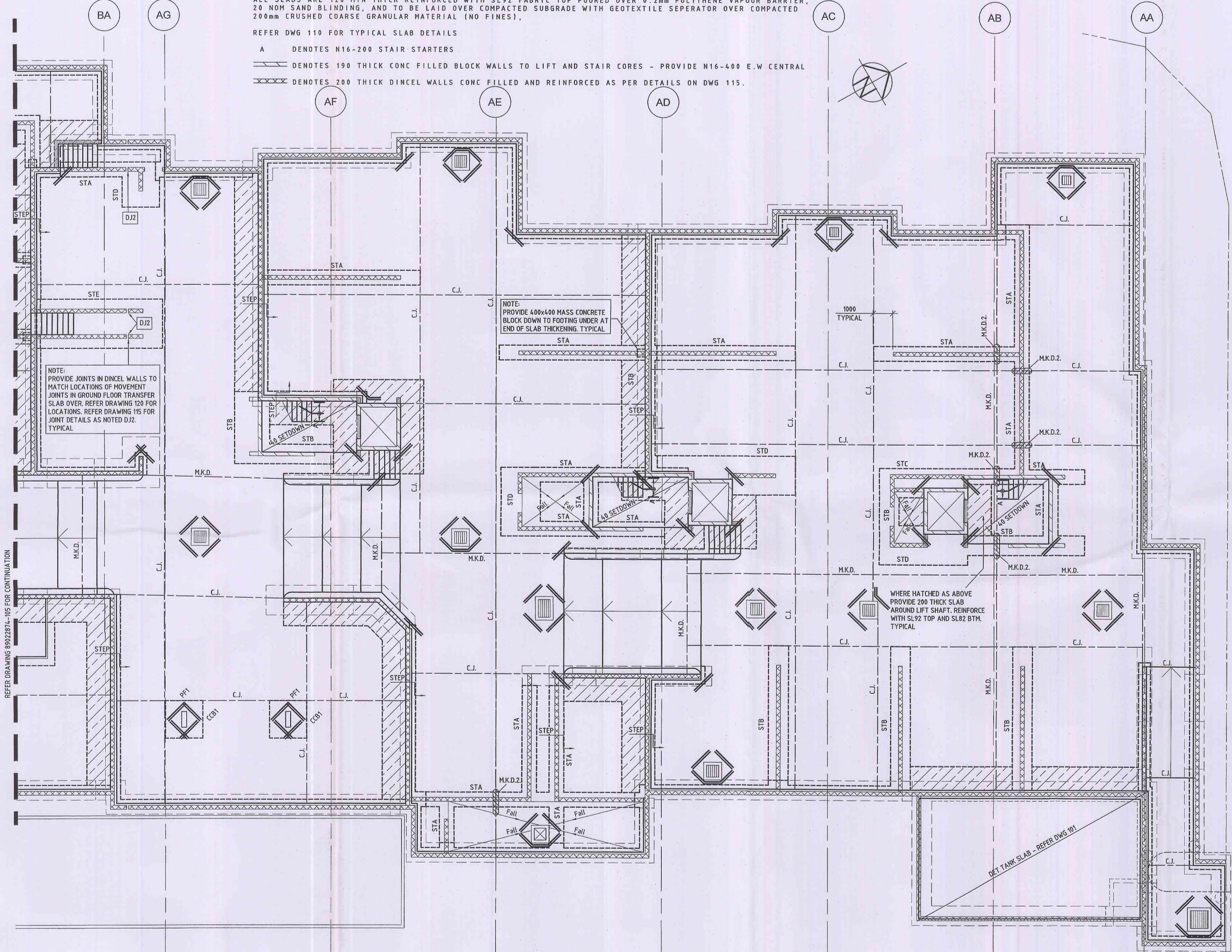
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GENERAL
REFER DRAWING NO. 89022874-100.

CONCRETE
REFER DRAWING NO. 89022874-100.
CONCRETE QUALITY: SLABS
STRENGTH GRADE: S25
MAXIMUM AGGREGATE SIZE: 20mm
SLUMP: 80mm

CLEAR CONCRETE COVER TO FITMENTS SHALL BE AS NOTED ON DRAWING NO. 89022874-100.

REINFORCEMENT
REFER DRAWING NO. 89022874-100.



REV	DATE	ISSUED FOR CONSTRUCTION	REVISIONS	N.D.K	M.O'G
A	28/9/10	ISSUED FOR CONSTRUCTION		N.D.K	M.O'G

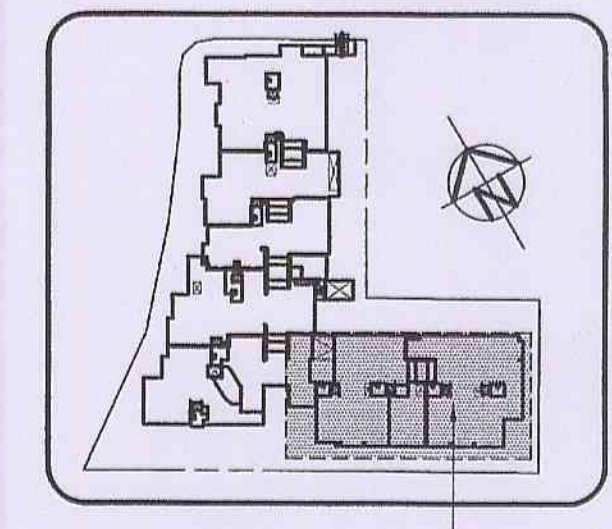
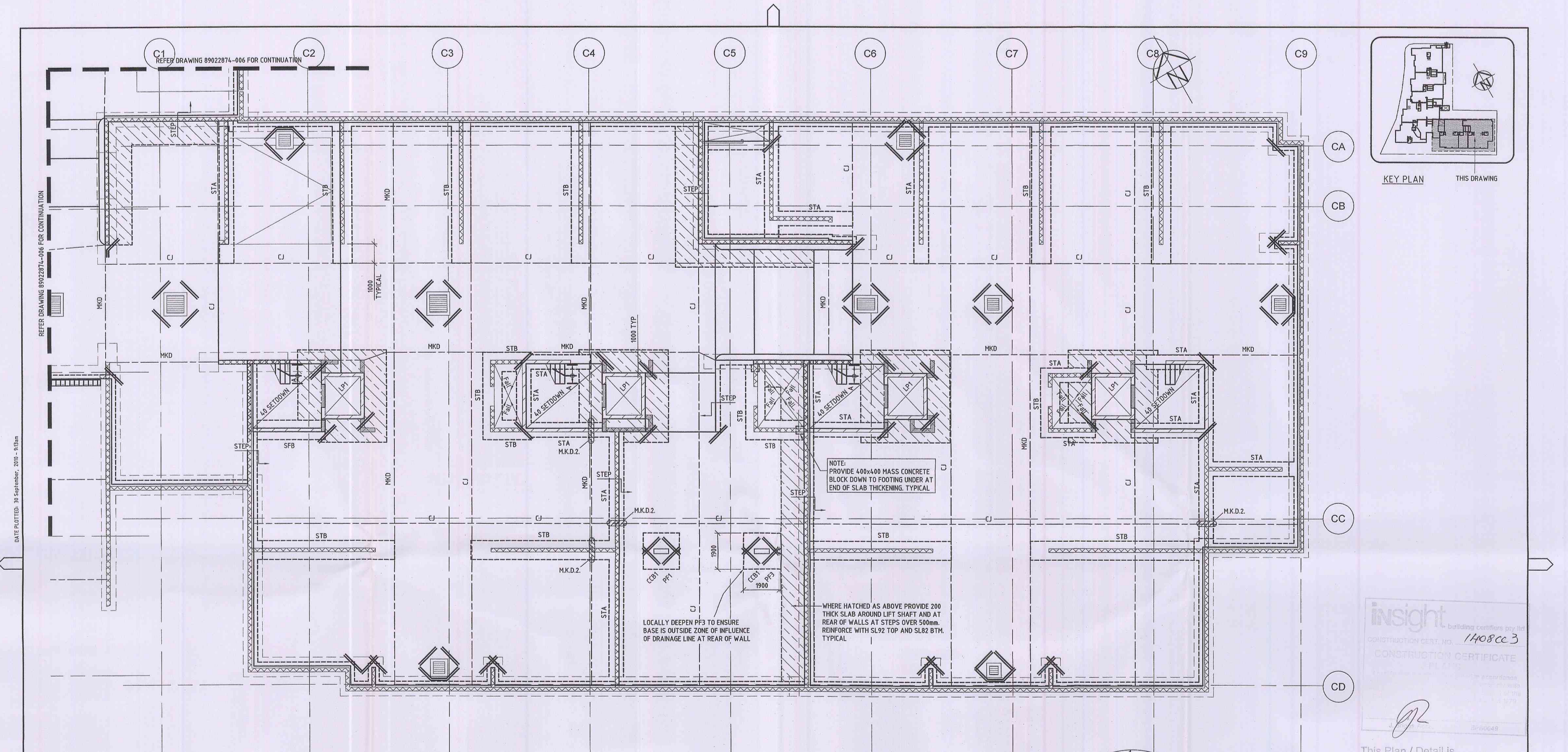
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DESIGNED: C.B.	DATUM: AHD A1
DRAWN: N.D.K.	COORDINATE SYSTEM:
CHECKED: M.O'G	
RECOMMENDED:	APPROVED:
PROJECT MANAGER	PROJECT DIRECTOR
DATE: 30/9/10	DATE: 30/9/10

 Cardno (NSW/ACT) Pty Ltd ABN: 95 001 145 035 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250 Phone: +61 612 639 2556 Fax: +61 612 636 3251 Email: coo@cardnocoast.cardno.com.au Web: www.cardno.com.au	BASEMENT SLAB PLAN - MARKING - PATULLO THE MASTERS DARLEY ST WEST BAYVIEW NSW FOR: BAYVIEW INVESTMENT GROUP PTY LTD
--	--

DRAWING STATUS: CONSTRUCTION	REV: A
DRAWING NUMBER: 89022874-104	



MARKING PLAN - BASEMENT SLAB - CORNICHE

ALL SLABS ARE 120 MIN THICK REINFORCED WITH SL92 FABRIC TOP POURED OVER 0.2mm POLYTHENE VAPOUR BARRIER, 20 NIM SAND BLINDING, AND TO BE LAID OVER COMPACTED SUBGRADE WITH GEOTEXTILE SEPERATOR OVER COMPACTED 200mm CRUSHED COARSE GRANULAR MATERIAL (NO FINES).

REFER DWG 110 FOR TYPICAL SLAB DETAILS

M.K.D DENOTES MOVEMENT KEYED AND DOWELED JOINT - REFER DETAIL ON DWG 110

C.J. DENOTES CONTROL JOINT - REFER DETAIL ON DWG 110

A DENOTES N16-200 STAIR STARTERS

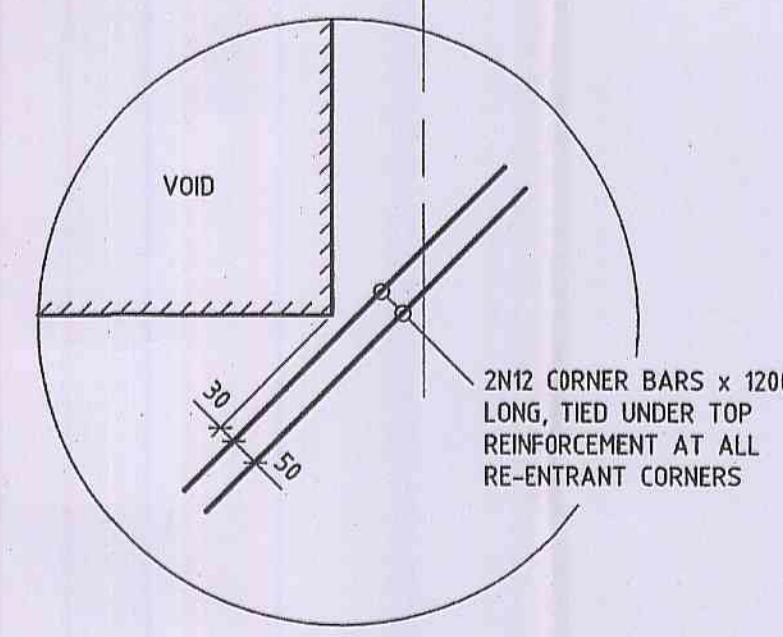
--- DENOTES 190 THICK CONC FILLED BLOCK WALLS TO LIFT AND STAIR CORES - PROVIDE N16-400 E.W CENTRAL

XXX DENOTES 200 THICK DINCEL WALLS CONC FILLED AND REINFORCED AS PER DETAIL ON DWG 115.

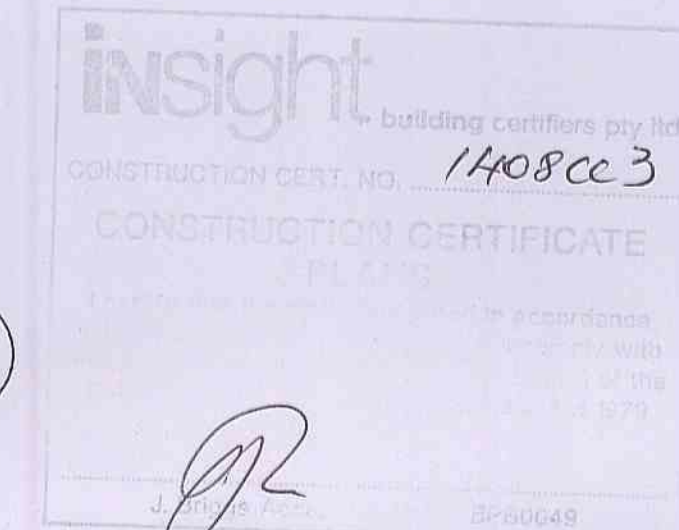
NOTE: PROVIDE 400x400 MASS CONCRETE BLOCK DOWN TO FOOTING UNDER AT END OF SLAB THICKENING. TYPICAL

LOCALLY DEEPEN PFS TO ENSURE BASE IS OUTSIDE ZONE OF INFLUENCE OF DRAINAGE LINE AT REAR OF WALL

WHERE HATCHED AS ABOVE PROVIDE 200 THICK SLAB AROUND LIFT SHAFT AND AT REAR OF WALLS AT STEPS OVER 500mm. REINFORCE WITH SL92 TOP AND SL82 BTH. TYPICAL



TYPICAL SLAB RE-ENTRANT CORNER DETAIL



This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO 1408CC3

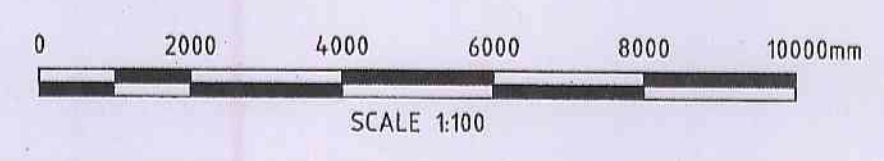
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GENERAL
REFER DRAWING No. 89022874-100.

CONCRETE
REFER DRAWING No. 89022874-100.
CONCRETE QUALITY: FOOTINGS
STRENGTH GRADE: S25
MAXIMUM AGGREGATE SIZE 20mm
SLUMP 80mm

CLEAR CONCRETE COVER TO FITMENTS SHALL BE AS NOTED ON DRAWING No. 89022874-100.

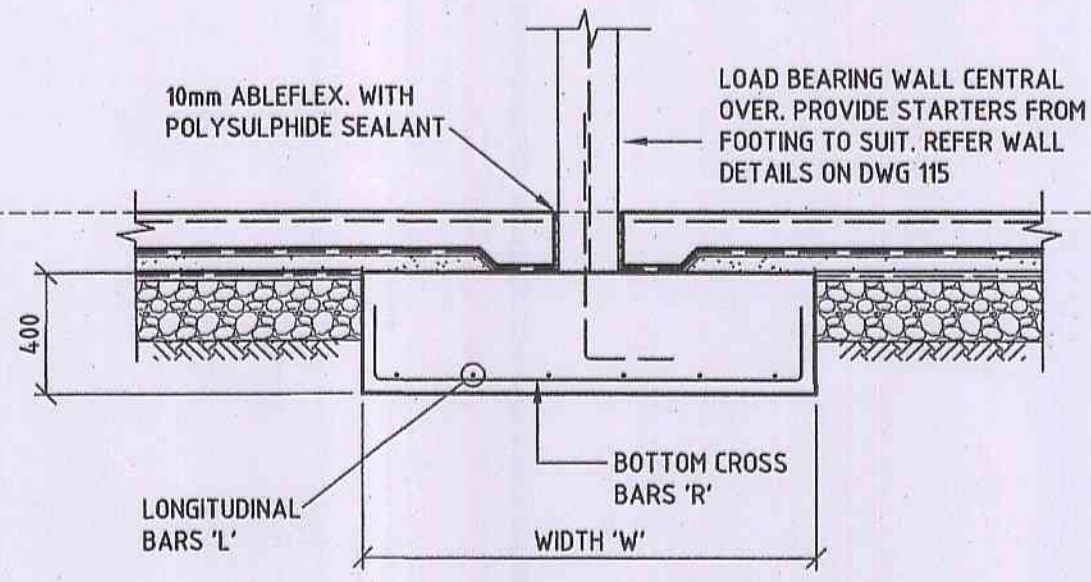
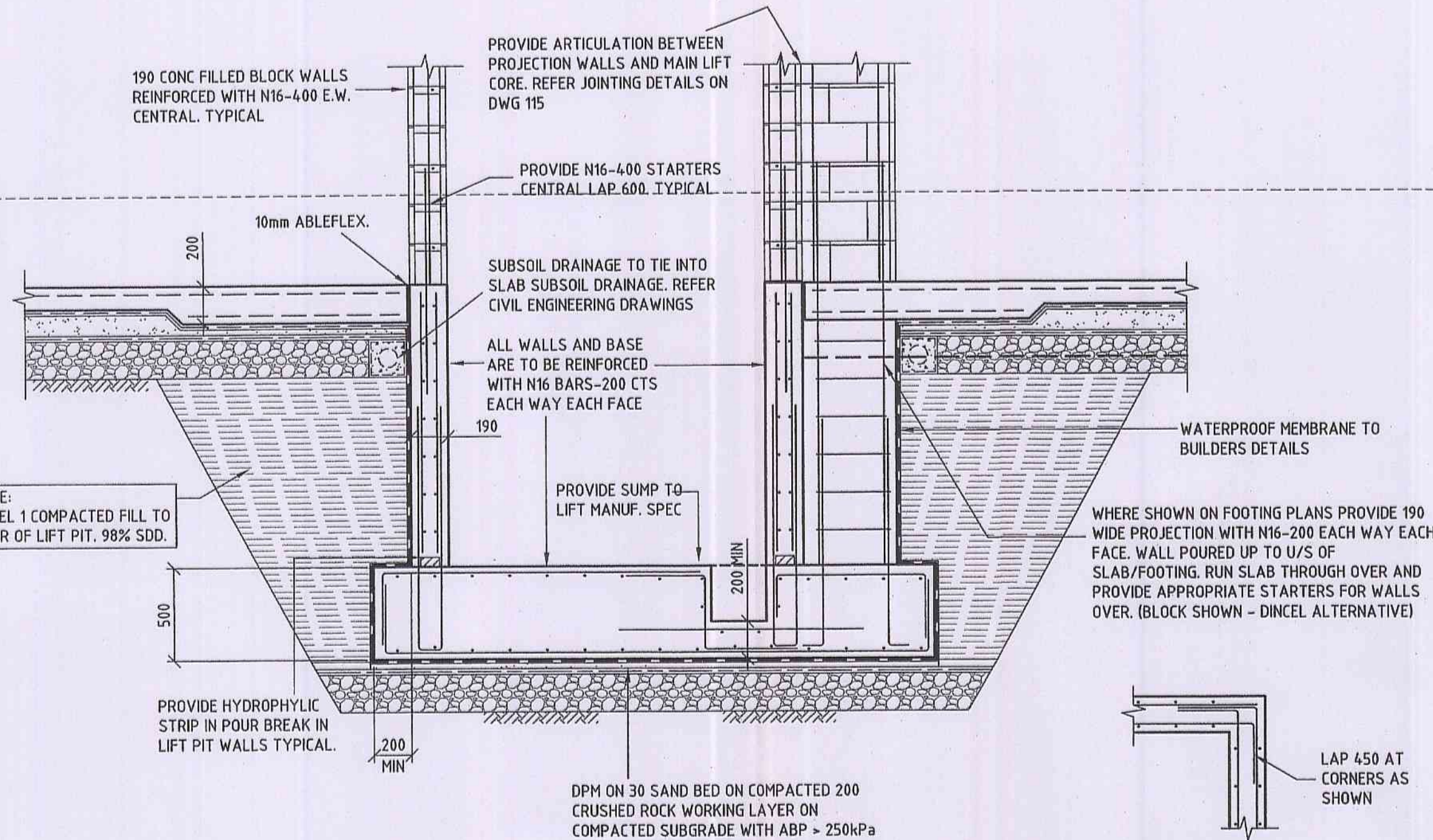
REINFORCEMENT
REFER DRAWING No. 89022874-100.



DATE PLOTTED: 31 September, 2016 - 9:13am
REFER: 89022874 - TITLE: 89022874 - ASCE - BASIS/REF: 89022874 - REV: 0 - 08/2016 - 1408CC3
CAD FILE: P18192_20_115018322874 - The Masters Darley St Bayview, West Structural 89022874 - NSC-BAYVIEW-2C-SLAB-MARK-006

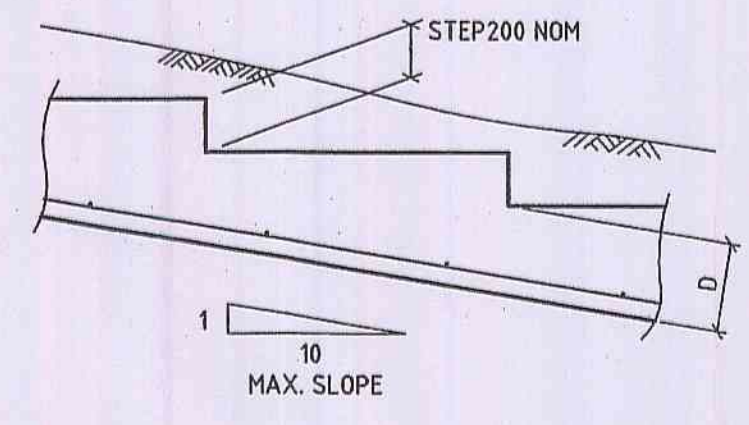
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<p>DESIGNED: C.B.</p> <p>DRAWN: N.D.K.</p> <p>CHECKED: M.O'G</p> <p>RECOMMENDED: <i>[Signature]</i> DATE: 30/9/10</p> <p>PROJECT MANAGER</p>	<p>DATUM: AHD A1</p> <p>COORDINATE SYSTEM:</p> <p>APPROVED: <i>[Signature]</i> DATE: 30/9/10</p> <p>PROJECT DIRECTOR</p>	<p>Cardno Cardno (NSW/ACT) Pty Ltd ABN: 95 001 145 035 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250 Phone: 443 232 3538 Fax: 443 232 3535 Email: cco@centralcoast.cardno.com.au Web: www.cardno.com.au</p>
<p>BASEMENT SLAB PLAN - MARKING - CORNICHE</p> <p>THE MASTERS DARLEY ST WEST BAYVIEW NSW For: BAYVIEW INVESTMENT GROUP PTY LTD</p>		<p>DRAWING STATUS: CONSTRUCTION</p> <p>DRAWING NUMBER: 89022874-106</p> <p>REV: A</p>

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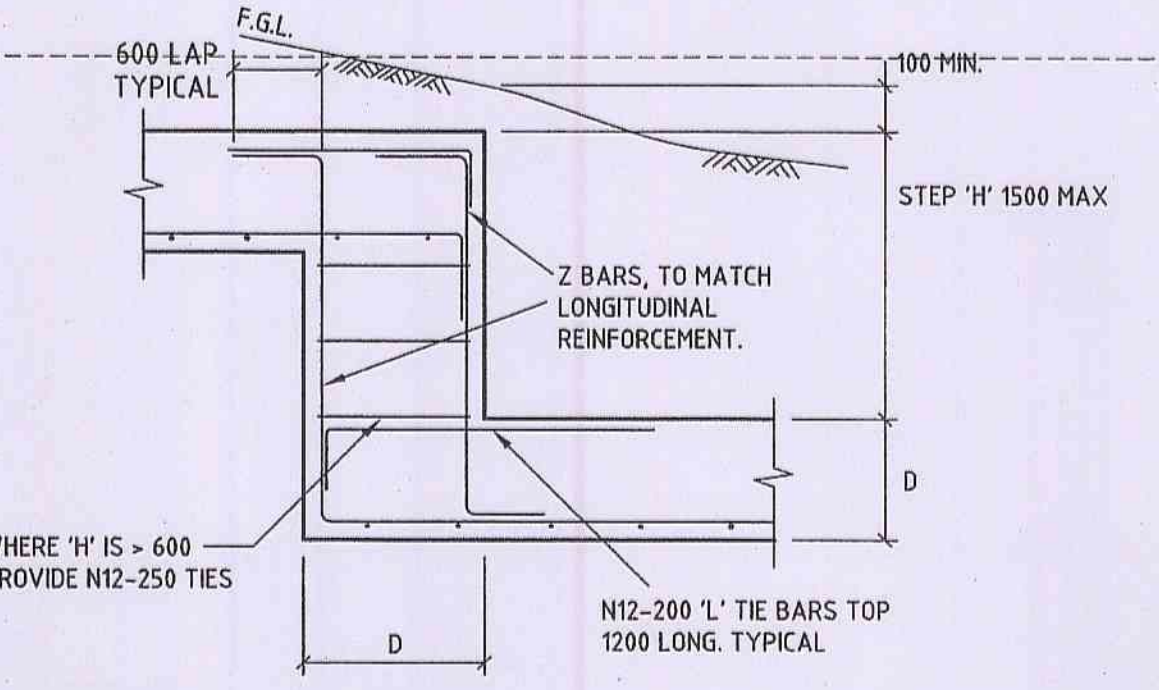


TYPICAL STRIP FOOTING DETAIL

FOOTING TABLE			
FOOTING TYPE	WIDTH 'W'	LONGITUDINALS 'L'	CROSS BARS 'R'
SFA	750	4-N16	N16-250
SFB	1000	6-N16	N16-250
SFC	1500	7-N16	N16-250
SFD	2000	10-N16	N16-150
SFE	2500	12-N16	N16-150
SFR	500	3-N16	N16-250



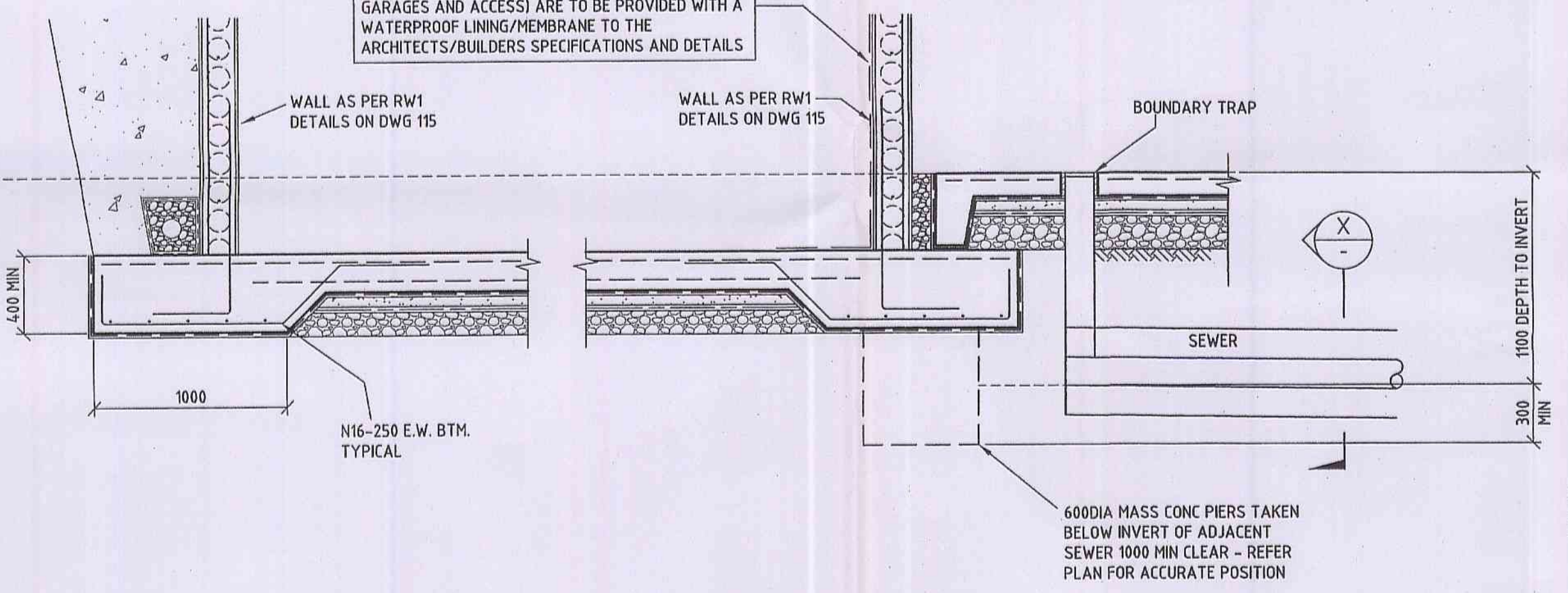
SLOPED STRIP FOOTING



STEPPED STRIP FOOTING

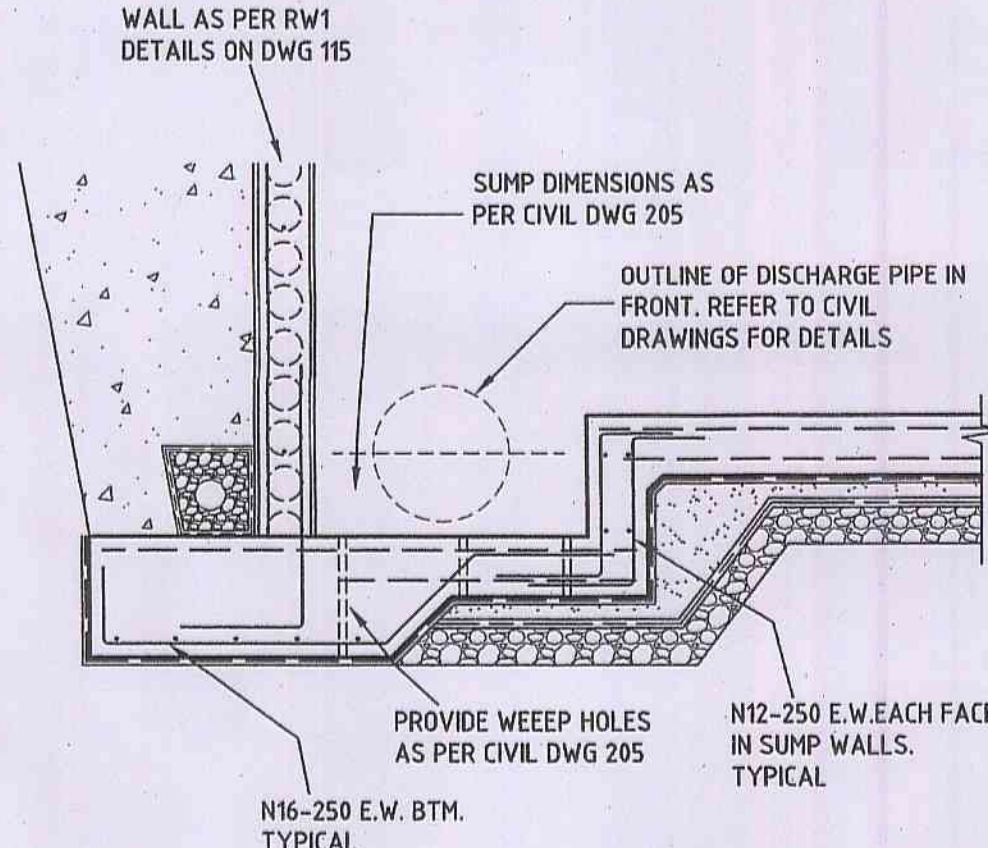
TYPICAL LIFT PIT DETAIL

TYPICAL LIFT PIT WALL CORNER DETAIL

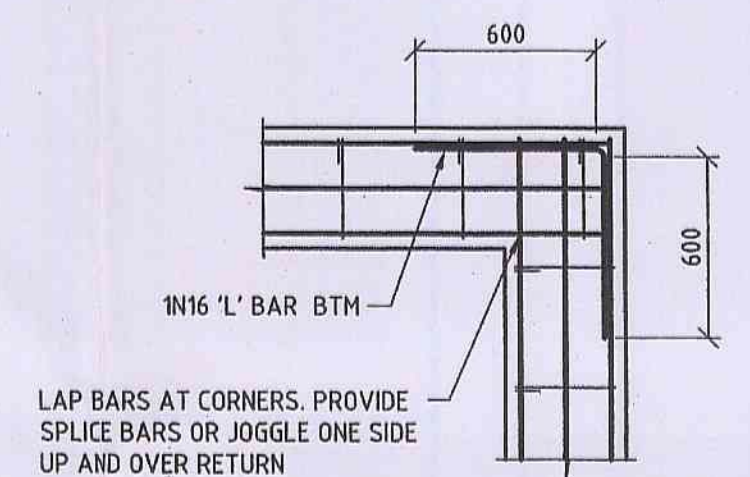


SECTION 1 SCALE 1:25

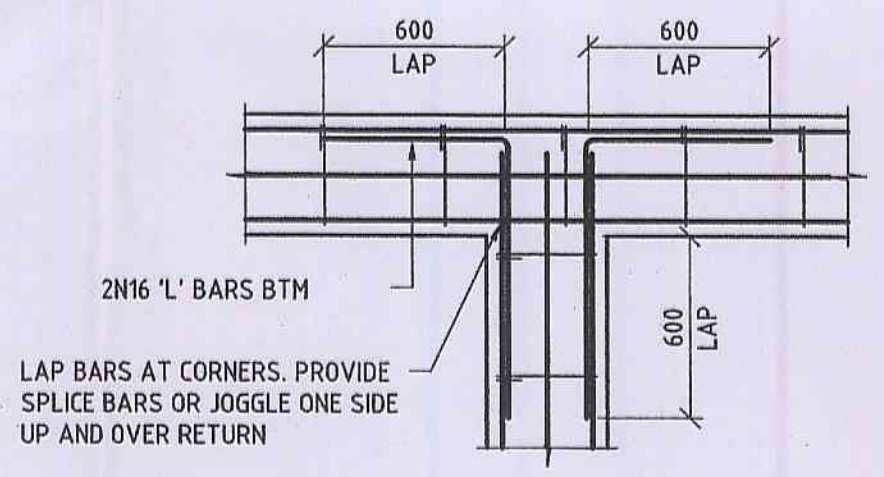
SECTION X SCALE 1:25



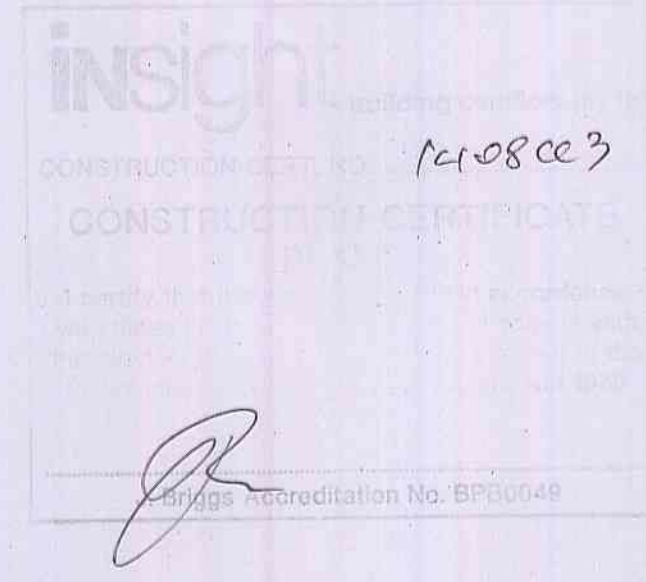
SECTION 2 SCALE 1:25



TYPICAL STRIP FOOTING CORNER



TYPICAL STRIP FOOTING 'T' INTERSECTION



This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO. 1408cc3

NOTES
GENERAL
 REFER DRAWING No. 89022874-100.
CONCRETE
 REFER DRAWING No. 89022874-100.
 CONCRETE QUALITY: FOOTINGS
 STRENGTH GRADE S25
 MAXIMUM AGGREGATE SIZE 20mm
 SLUMP 80mm
 CLEAR CONCRETE COVER TO FITMENTS SHALL BE AS NOTED ON DRAWING No. 89022874-100.
REINFORCEMENT
 REFER DRAWING No. 89022874-100.

NOTE:
 PLASTIC FORMWORK SPACERS AND BAR CHAIRS TO BE USED IN ALL EXPOSED CONCRETE WORK.



DATE PLOTTED: 30 September, 2010 - 8:31am
 XREF: 89022874-TITLE
 C:\P\1\89022874_01.dwg
 The Masters Darling St Bayview Area Structural 89022874-100-FOOTING_DETAILS.dwg

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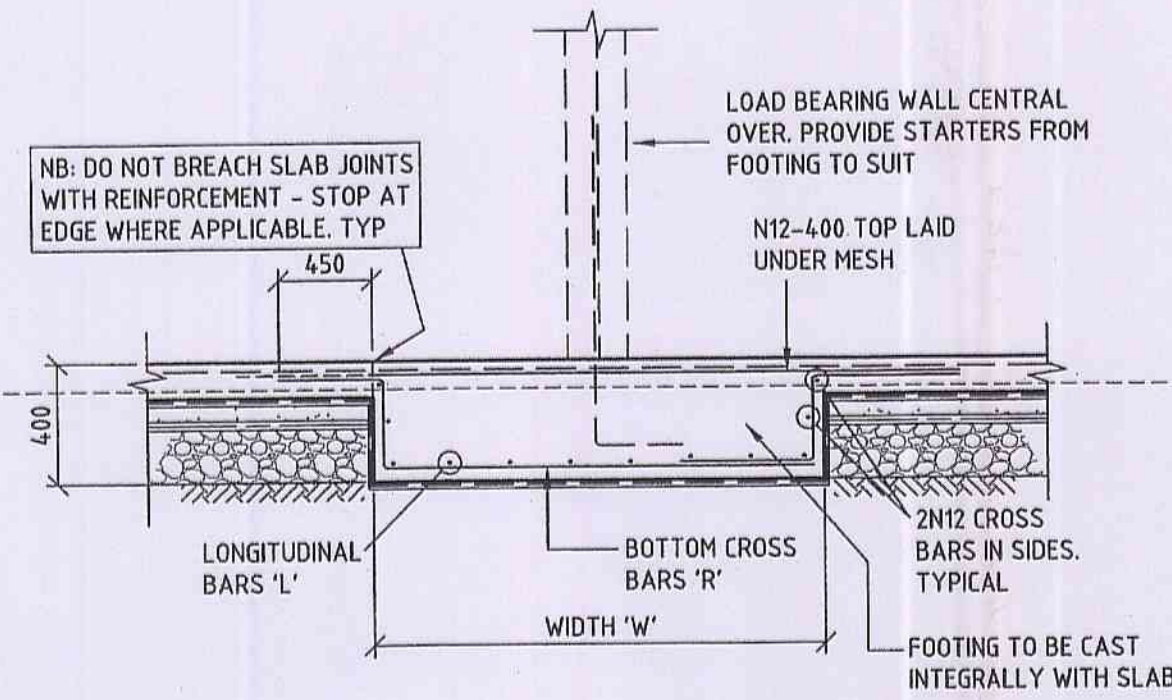
DESIGNED: C.B.	DATUM: AHD A1
DRAWN: N.D.K.	COORDINATE SYSTEM:
CHECKED: M.O'G	APPROVED: [Signature] 30/9/10
PROJECT MANAGER: [Signature]	PROJECT DIRECTOR: [Signature]

Cardno (NSW/ACT) Pty Ltd
 ABN: 95 001 145 035
 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250
 Phone: (+61) 2 4323 2258 Fax: (+61) 2 4324 3351
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FOOTING DETAILS - SHEET 1
 THE MASTERS
 DARLEY ST WEST
 BAYVIEW NSW
 For: BAYVIEW INVESTMENT GROUP PTY LTD

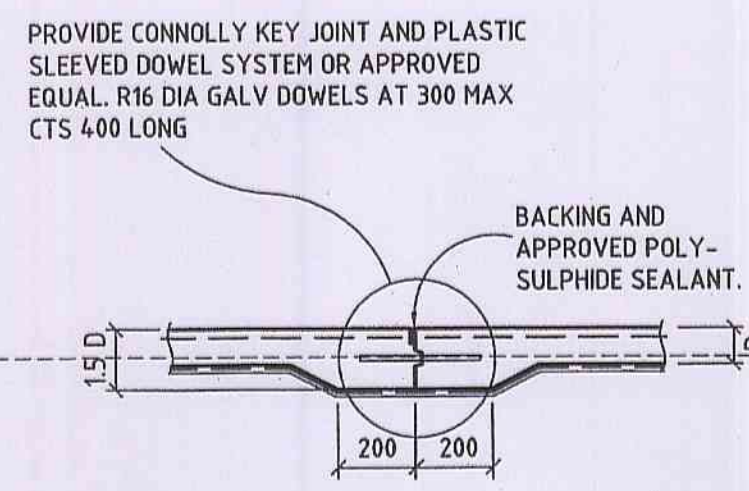
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DRAWING NUMBER: 89022874-107	A

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TYPICAL SLAB THICKENING DETAIL

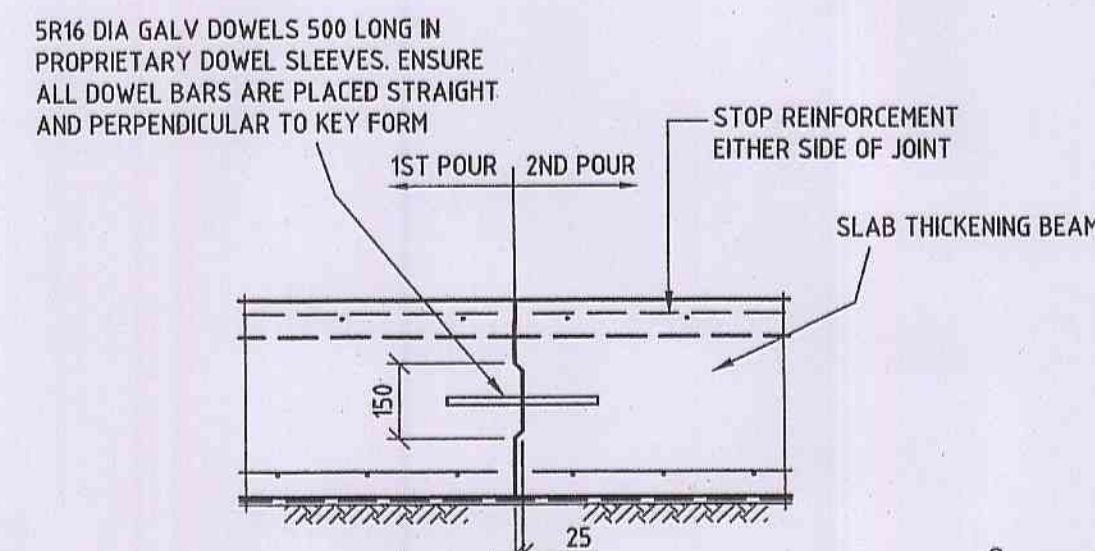
FOOTING TABLE			
FOOTING TYPE	WIDTH 'W'	LONGITUDINALS 'L'	CROSS BARS 'R'
STA	750	5-N16	N16-200
STB	1000	6-N16	N20-200
STC	1500	8-N16	N20-200
STD	2000	10-N16	N20-200
STE	2500	12-N16	N20-200



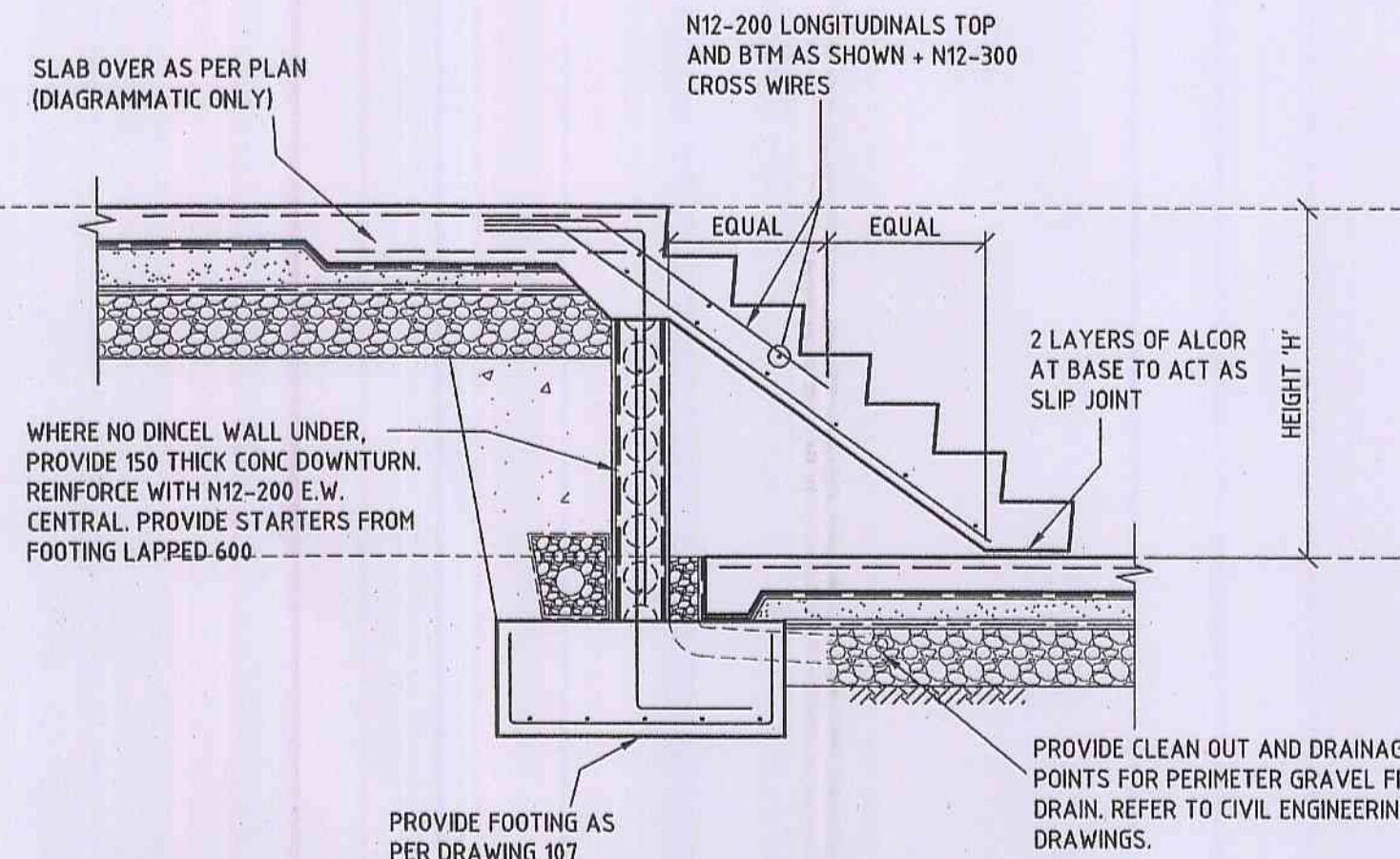
MOVEMENT KEYED JOINT (M.K.D.)



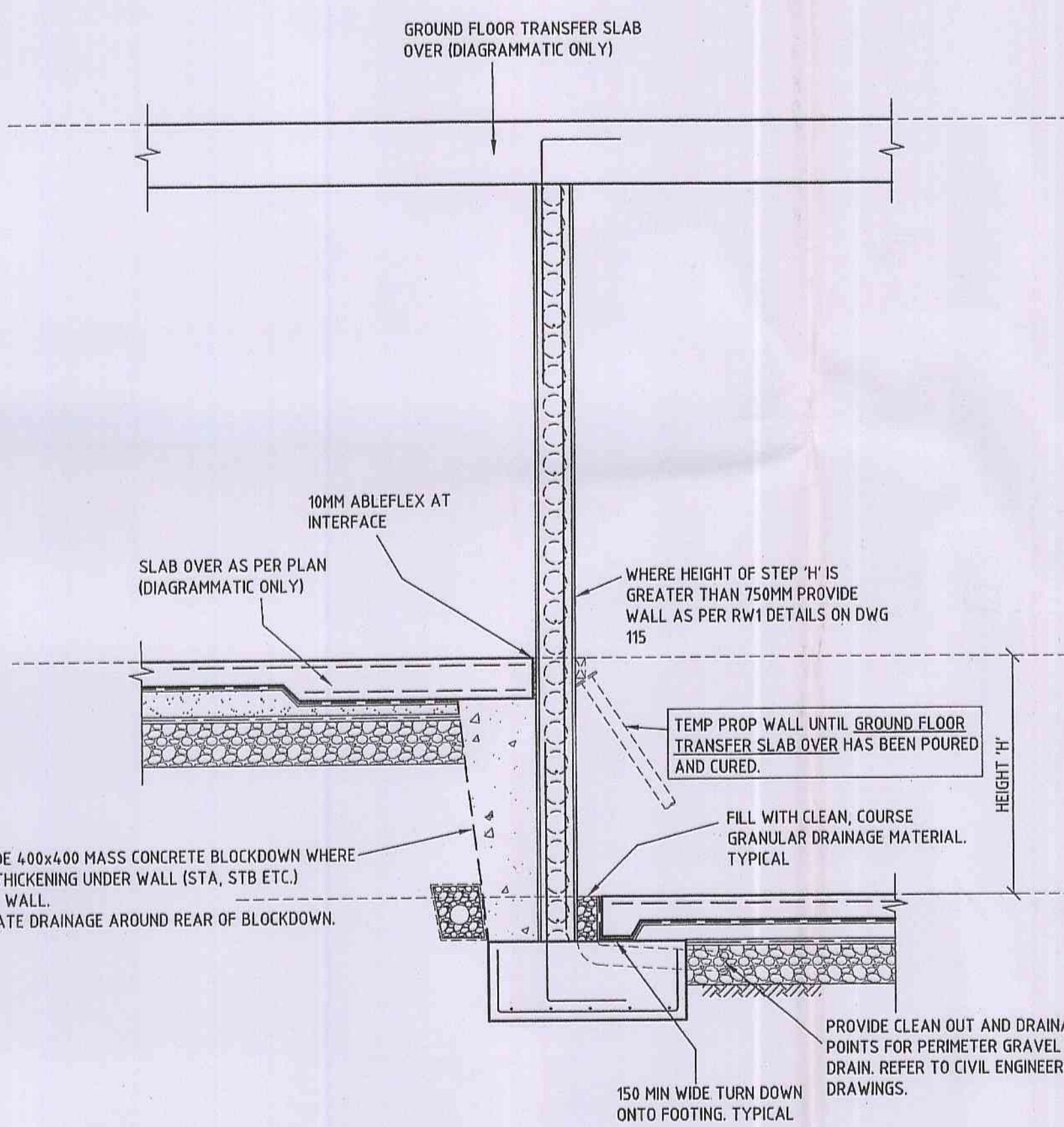
CONTRACTION JOINT DETAIL (C.J.)



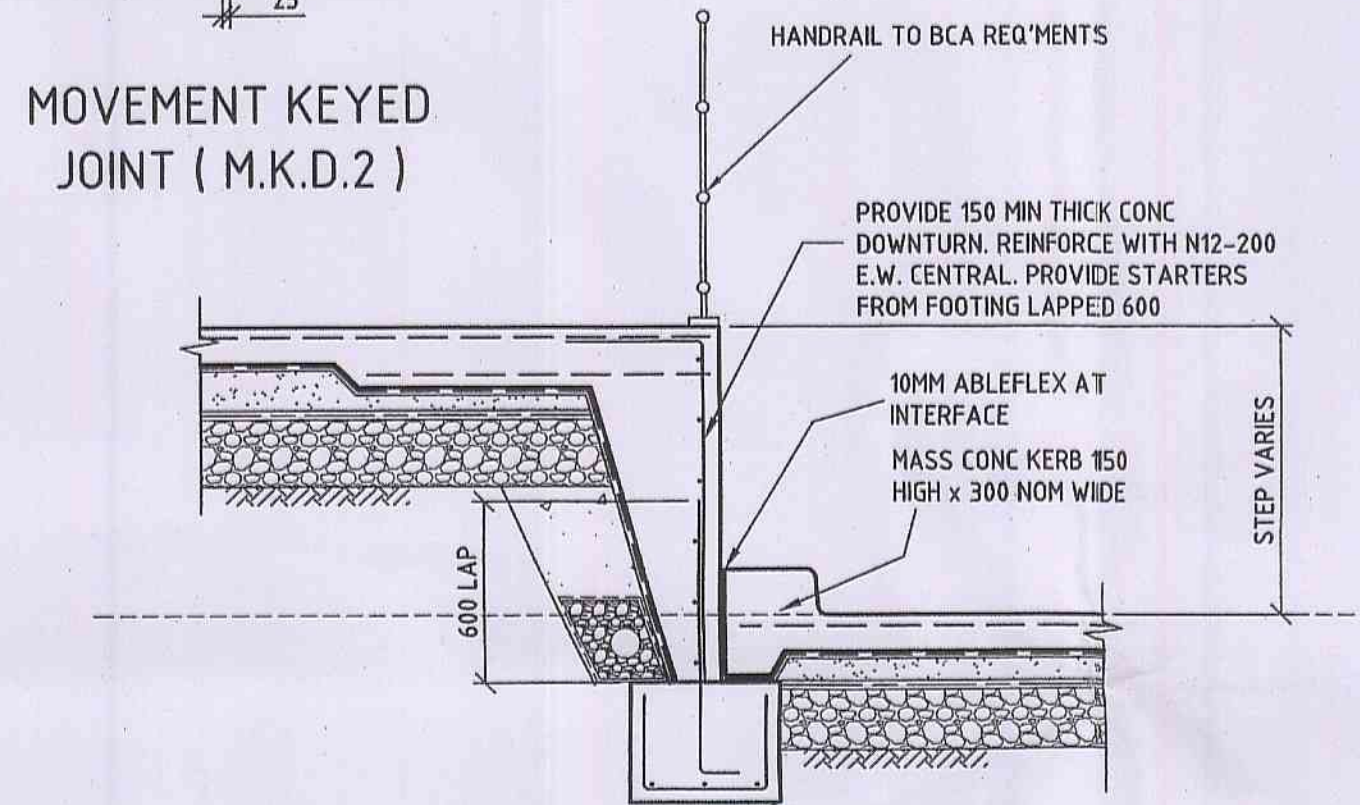
TYPICAL COL CCB1



TYPICAL INTERNAL STEP DETAIL AT POUR BREAK BETWEEN LEVELS

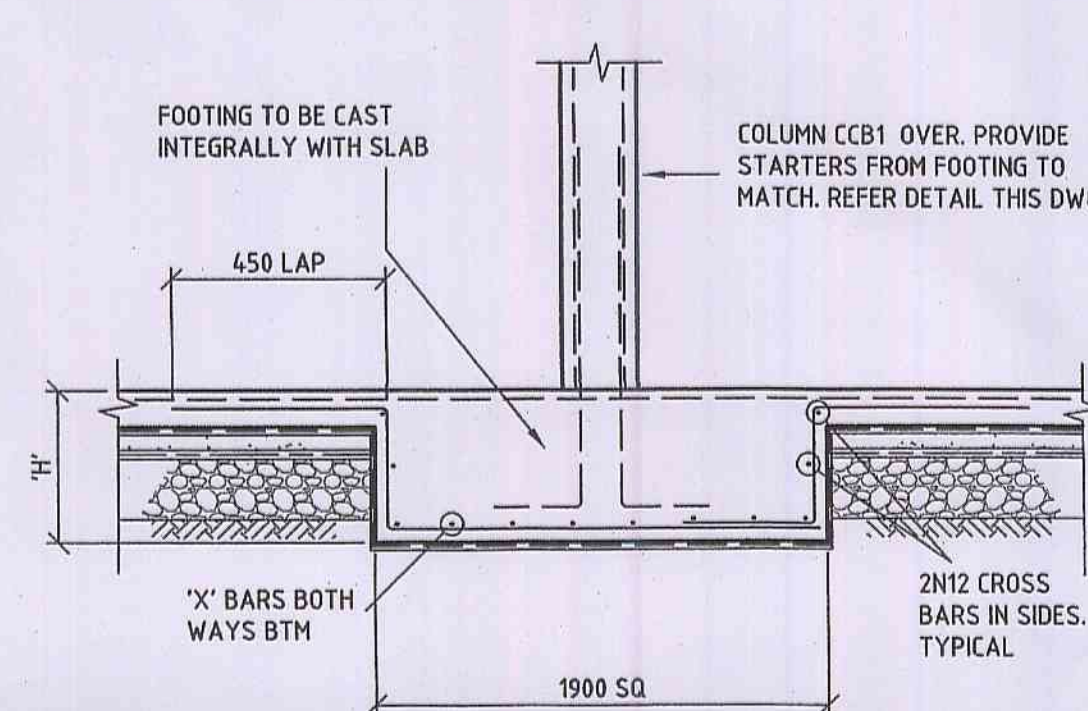


TYPICAL INTERNAL STEP DETAIL AT POUR BREAK BETWEEN LEVELS



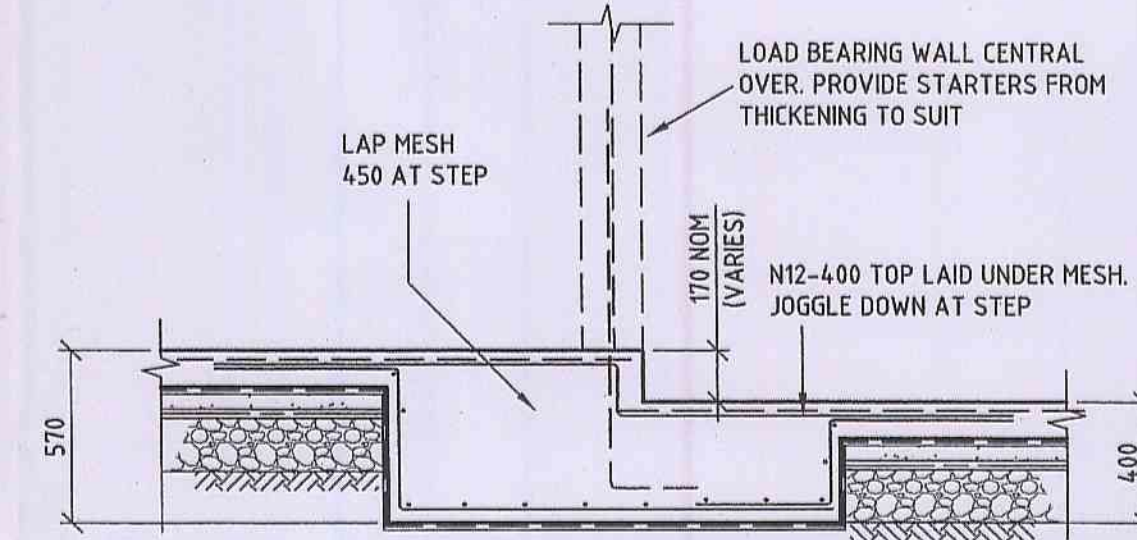
MOVEMENT KEYED JOINT (M.K.D.2)

TYPICAL INTERNAL STEP DETAIL AT RAMP WHERE NO DIVIDING WALL



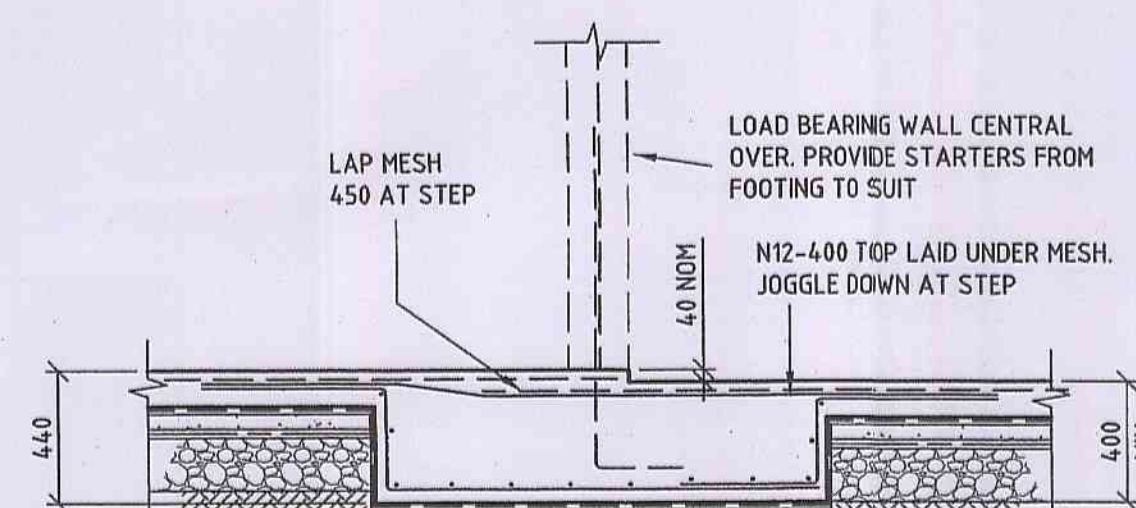
TYPICAL PAD FOOTING DETAIL

PAD FOOTING TABLE		
FOOTING TYPE	'H'	'X' BARS
PF1	500	N16-200
PF2	500	N20-200
PF3	650	N20-200



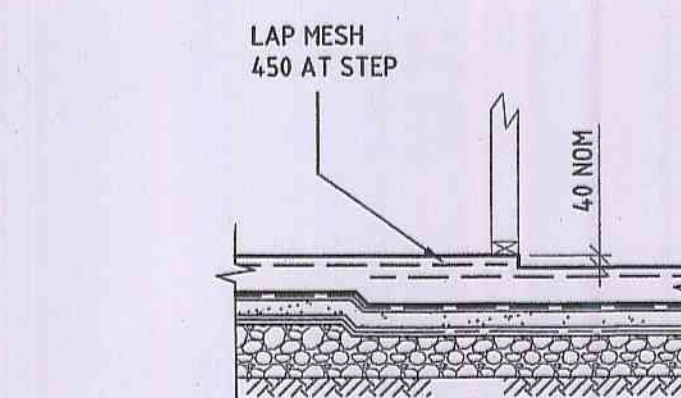
TYPICAL SLAB THICKENING AT STEP DETAIL

AS SLAB THICKENING DETAIL U.N.O.

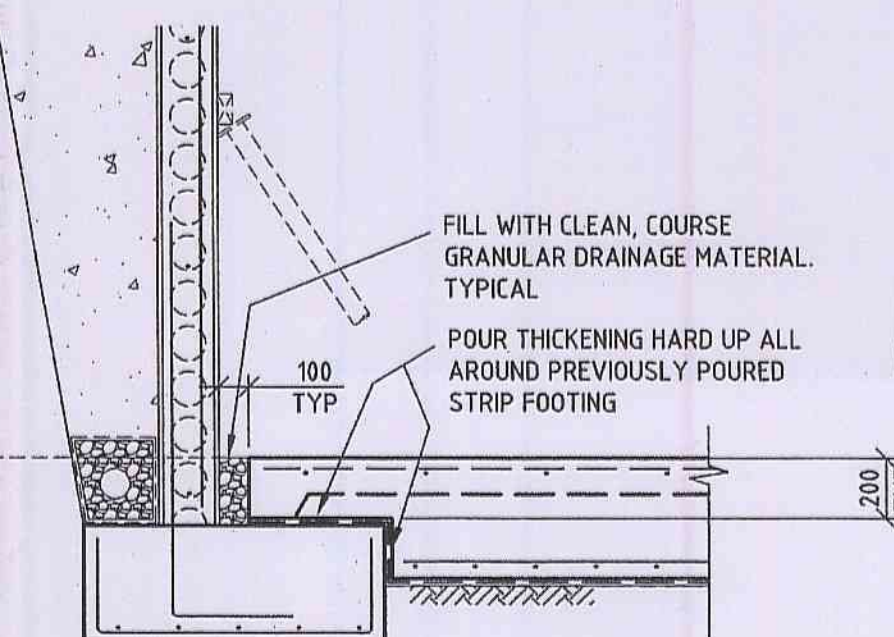


TYPICAL SLAB THICKENING AT SETDOWN DETAIL

AS SLAB THICKENING DETAIL U.N.O.



TYPICAL WET AREA SETDOWN DETAIL



TYPICAL SLAB THICKENING INTERFACE WITH STRIP FOOTING (LOWER LEVEL)

NOTES

- GENERAL
 REFER DRAWING No. 89022874-100.
 CONCRETE
 REFER DRAWING No. 89022874-100.
 CONCRETE QUALITY: SLABS
 STRENGTH GRADE S25
 MAXIMUM AGGREGATE SIZE 20mm
 SLUMP 80mm
 CLEAR CONCRETE COVER TO FITMENTS SHALL BE AS NOTED ON DRAWING No. 89022874-100.
 REINFORCEMENT
 REFER DRAWING No. 89022874-100.

NOTE:
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This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO. 12408cc3

DATE PLOTTED: 28 September, 2010 - 10:38am

XREF: \\K002874_1\BAYVIEW\A\Arch\Structural\89022874-100-BASEMENT_SLAB_DETAILS.dwg
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REV	DATE	DESCRIPTION	DRN	CHK
A	28/9/10	ISSUED FOR CONSTRUCTION	N.D.K.	M.O'G

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DATE: 30.9.10	DATE: 30/9/10	DATE: 30/9/10	DATE: 30/9/10

DATE: AHD	A1
COORDINATE SYSTEM:	

Cardno
 Cardno (NSW/ACT) Pty Ltd
 ABN: 95 001 145 035
 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250
 Phone: 641 91 4323 2558 Fax: 641 91 4324 3251
 Email: cco@centralcoast.cardno.com.au Web: www.cardno.com.au

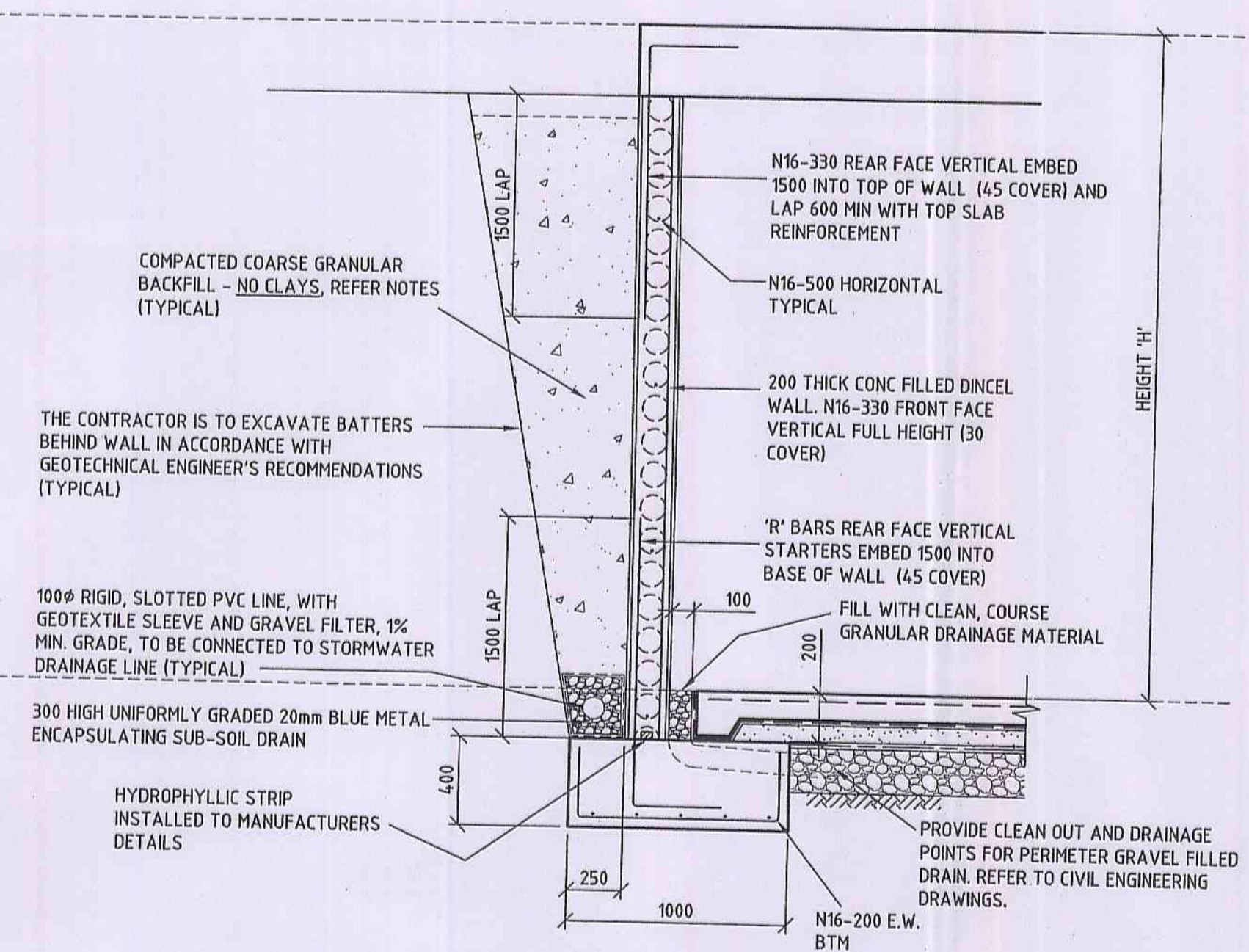
BASEMENT SLAB DETAILS - SHEET 1
 THE MASTERS
 DARLEY ST WEST
 BAYVIEW NSW
 For: BAYVIEW INVESTMENT GROUP PTY LTD

DRAWING STATUS:	CONSTRUCTION
DRAWING NUMBER:	89022874-110
REV	A

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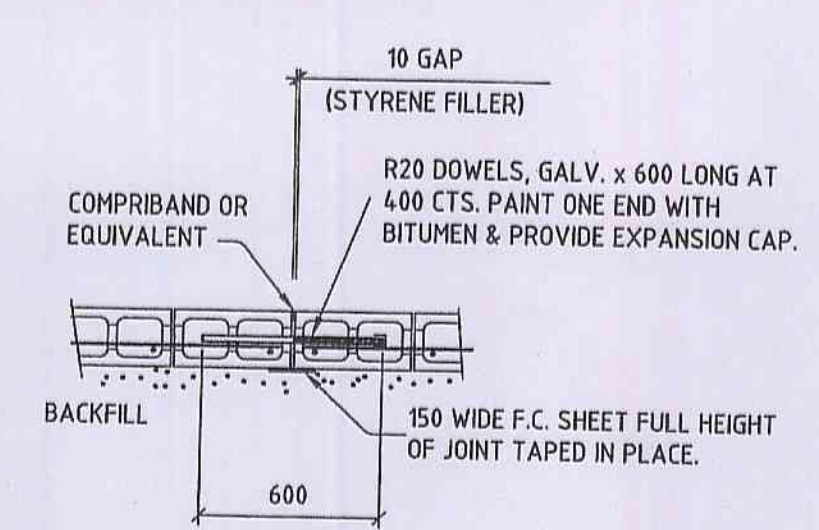
DATE PLOTTED: 28 September, 2010 - 9:02am

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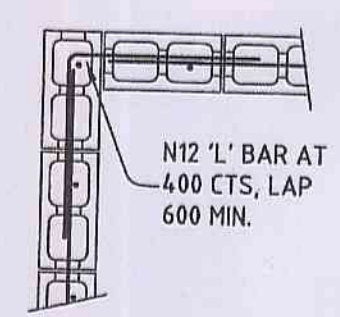


PERIMETER RETAINING WALL RW1

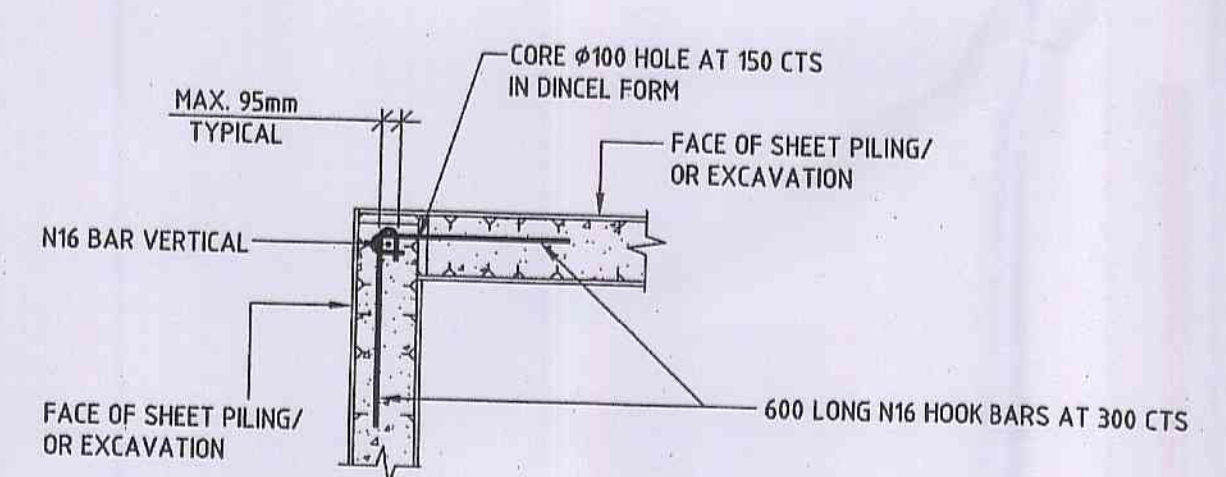
RW1 TABLE	
HEIGHT 'H'	REAR FACE BARS 'R'
3500 MAX	N16-330
4000 MAX	N16-165



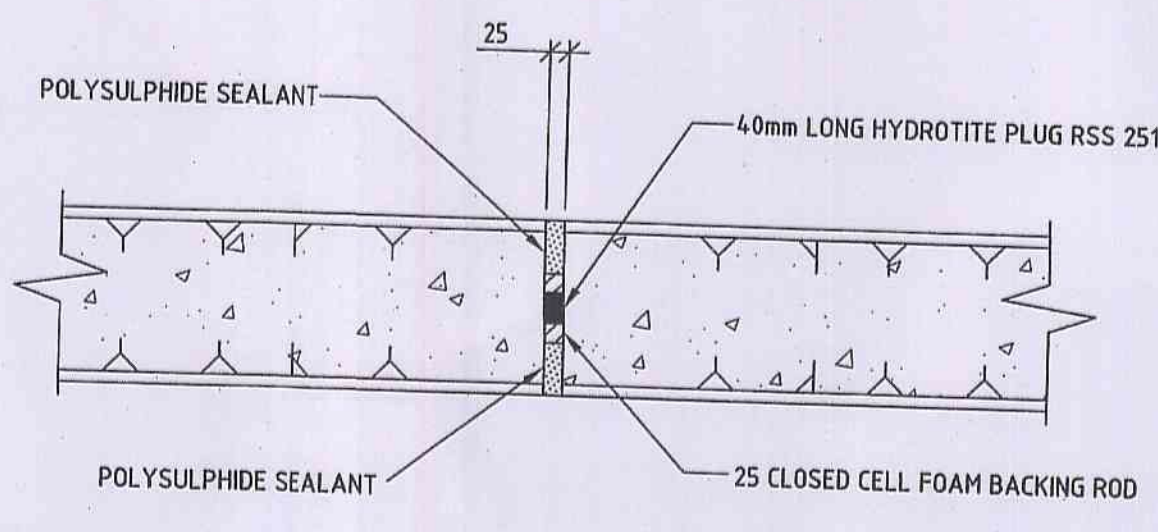
BLOCKWORK DOWEL JOINT
 PROVIDE JOINTS AT 10m MAX CTS.
 LAYOUT TO ARCHITECT'S SPECIFICATIONS



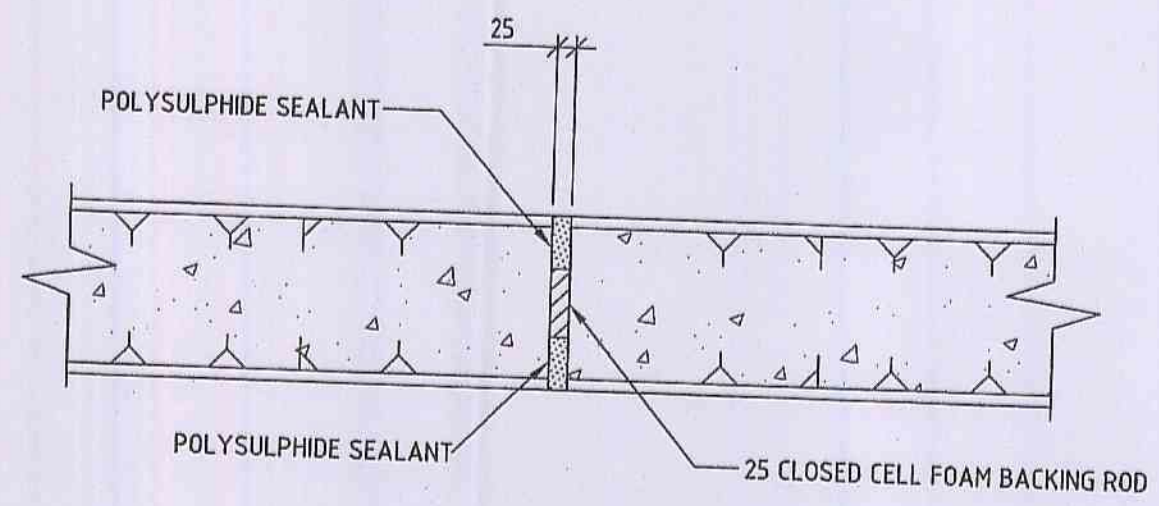
BLOCKWORK CORNER DETAIL



TYPICAL DINCEL CORNER DETAIL



JOINT IN DINCEL WALL AT MOVEMENT JOINT
 IN GROUND FLOOR SLAB (DJ1)



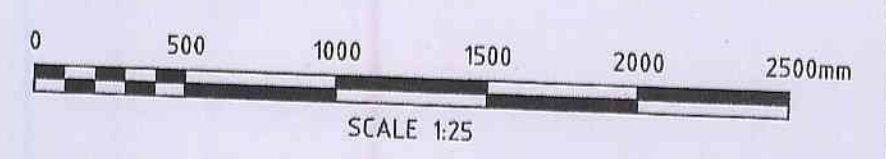
JOINT IN DINCEL WALL AT MOVEMENT JOINT
 IN GROUND FLOOR SLAB (DJ2)

insight building certifiers pty ltd
 CONSTRUCTION CERT. NO. 1408cc3
 CONSTRUCTION CERTIFICATE
 APPROVAL NO. 1408cc3

This Plan / Detail is
 to be read in
 conjunction with
 CONSTRUCTION CERTIFICATE
 APPROVAL NO. 1408cc3

- NOTES**
 GENERAL
 REFER DRAWING No. 89022874-100.
 CONCRETE
 REFER DRAWING No. 89022874-100.
 CONCRETE QUALITY: FOOTINGS
 STRENGTH GRADE S25
 MAXIMUM AGGREGATE SIZE 20mm
 SLUMP 80mm
 CLEAR CONCRETE COVER TO FITMENTS SHALL
 BE AS NOTED ON DRAWING No. 89022874-100.
 REINFORCEMENT
 REFER DRAWING No. 89022874-100.

NOTE:
 PLASTIC FORMWORK SPACERS AND BAR
 CHAIRS TO BE USED IN ALL EXPOSED
 CONCRETE WORK.



REV	DATE	ISSUED FOR CONSTRUCTION	REVISIONS	N.D.K.	M.O'G
A	28/9/10	ISSUED FOR CONSTRUCTION		N.D.K.	M.O'G

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CLIENT:
 THE MASTERS
 DARLEY ST WEST
 BAYVIEW NSW
 For: BAYVIEW INVESTMENT GROUP PTY LTD

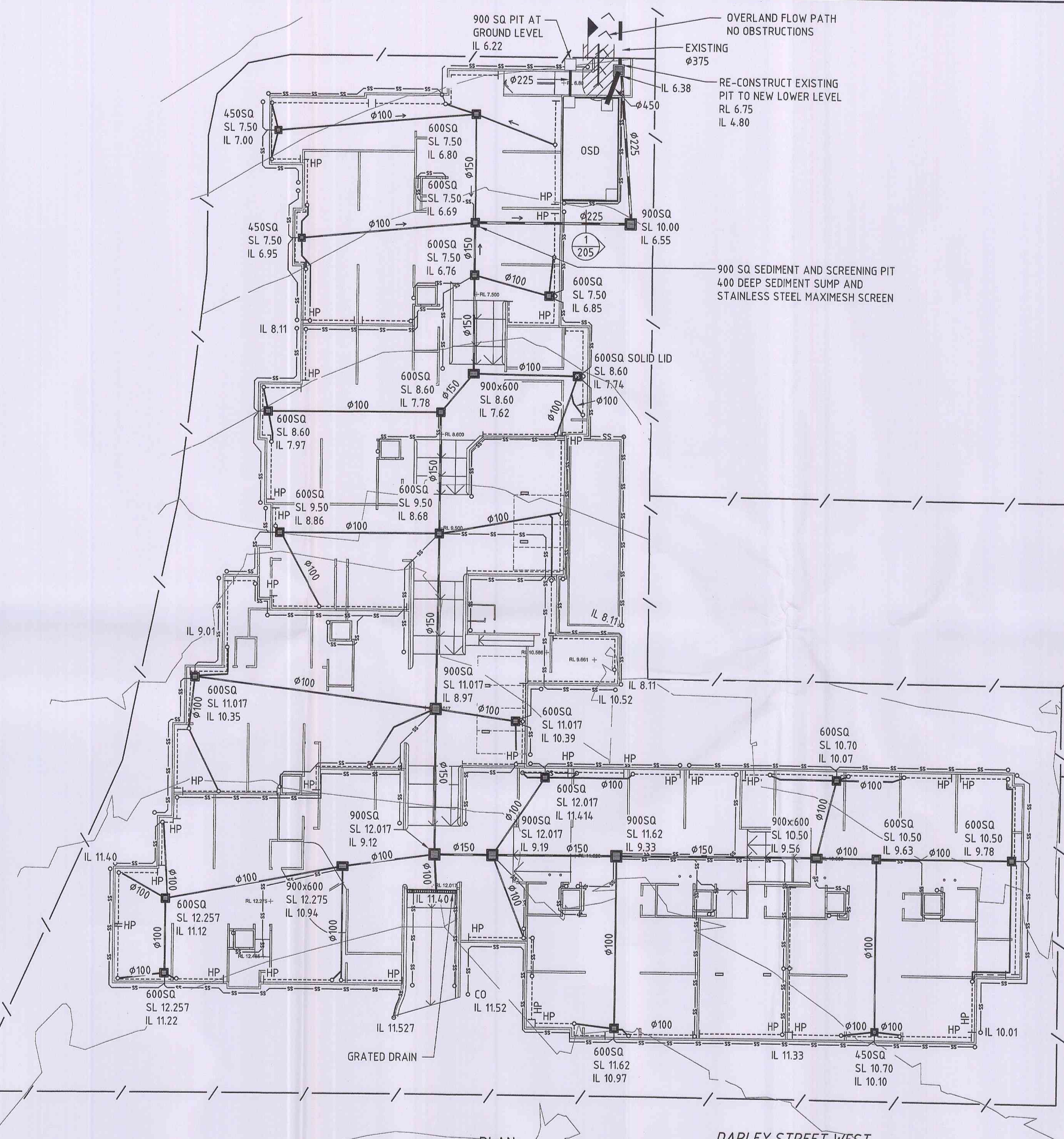
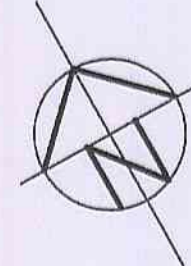
DESIGNED: C.B.
 DRAWN: N.D.K.
 CHECKED: M.O'G
 DATE: 30/9/10
 PROJECT DIRECTOR: [Signature] DATE: 30/9/10

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 Cardno (NSW/ACT) Pty Ltd
 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250
 Phone (+61 2) 4323 2558 Fax (+61 2) 4324 3251
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BASEMENT WALL DETAILS - SHEET 1
 THE MASTERS
 DARLEY ST WEST
 BAYVIEW NSW
 For: BAYVIEW INVESTMENT GROUP PTY LTD

DRAWING STATUS:
CONSTRUCTION
 DRAWING NUMBER:
89022874-115
 REV: **A**

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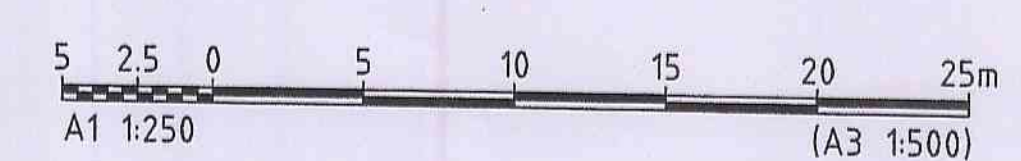
DARLEY STREET WEST

PLAN SCALE 1:250



LEGEND	
	PROPOSED STORMWATER PIT
	PROPOSED STORMWATER PIPE
	PROPOSED RECTANGULAR GRAVEL FILLED DRAIN AGAINST WALL WITH HIGH END NOTED
	PROPOSED OUTLET IN GRAVEL DRAIN
	PROPOSED SUBSOIL WITH CLEAN OUT

This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO. 1408cc3



CAD FILE: P:\89022874_203\DWG\89022874_203 (5) Baselevel.dwg
 PLOT: 23/09/10 11:52 AM
 PLOTTER: HP DesignJet 500
 DATE PLOTTED: 23 September 2010 - 10:32 AM

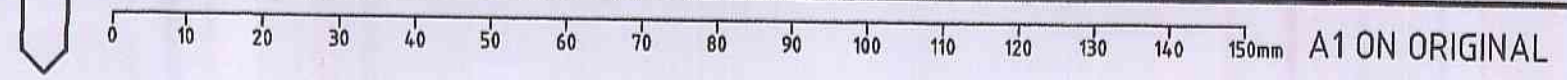
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DESIGNED: SB	DATUM: AHD
DRAWN: LDB	A1
CHECKED: CHECKED	COORDINATE SYSTEM:
RECOMMENDED: [Signature]	APPROVED: [Signature]
PROJECT MANAGER: [Signature]	DATE: 30/9/10
	PROJECT DIRECTOR: [Signature]
	DATE:

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 Suite 34, 207 Albany Street North, Gosford, NSW Australia 2250
 Phone (41) 21 4322 2559 Fax (41) 21 4324 3251
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STORMWATER MANAGEMENT PLAN-BASEMENT LEVEL
 THE MASTERS RESIDENTIAL DEVELOPMENT
 DARLEY STREET WEST
 BAYVIEW
 BAYVIEW INVESTMENT GROUP P/L

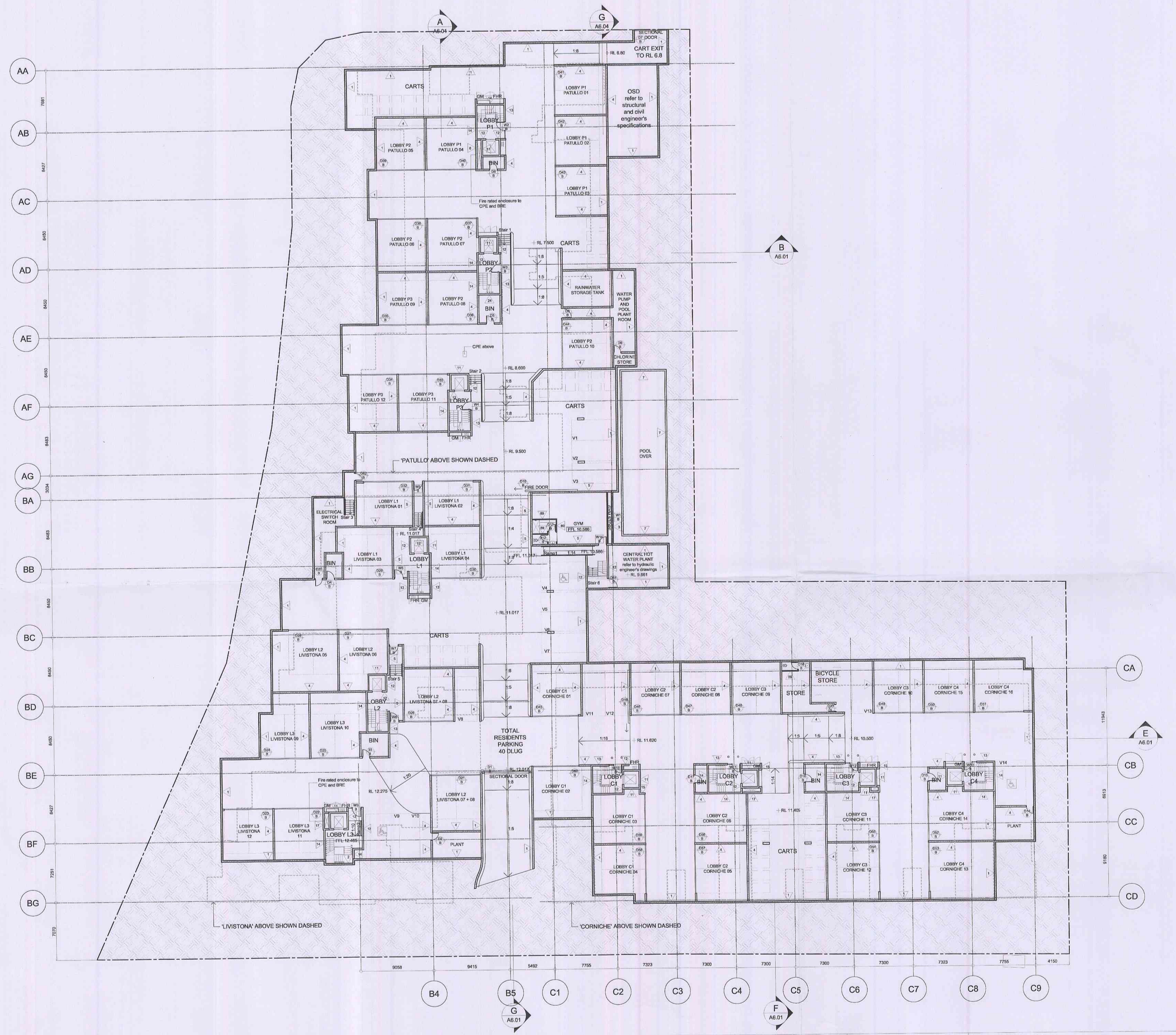
DRAWING STATUS:	CONSTRUCTION
DRAWING NUMBER:	89022874-203
REV	A



WALL SCHEDULE - BASEMENT			
60/90/90 DENOTES - 1 hr Structural Adequacy / Integrity / Insulation			
TYPE	FIRE RATING	DESCRIPTION	REMARKS
1	120 / 120 / 120	200 Dincel Retaining wall - Painted internally except for plant room or store room	--
2	120 / 120 / 120	200 Dincel Retaining wall with 25mm furring channel and PB one side	--
3	120 / 120 / 120	200 Dincel Retaining wall with PB or WPB one side (WPB in wet areas)	--
4	120 / 120 / 120	200 Internal Dincel Wall Painted except for plant room or store room	--
5	120 / 120 / 120	200 Internal Dincel Wall Painted with PB or WPB one side (WPB in wet areas)	--
6	120 / 90 / 90	200 Internal Dincel Wall	--
7	- / - / -	150 Shotcrete wall to pool consultant's specifications	--
11	120 / 120 / 120	CB wall - Painted except for plant room store room shaft	--
12	120 / 120 / 120	CB wall finished on one side with PB or Render (PB to lobby and render to carpark)	--
13	120 / 120 / 120	CB wall - R / CB / 25 furring channel / PB (PB to lobby and render to carpark)	--
14	120 / 120 / 120	CB wall finished on one side with 25 furring channel and PB	--
15	120 / 120 / 120	CB wall - Painted	--
16	60 / 60 / 36	CB wall - PB / CB / render external	--
17	120 / 90 / 90	CB wall	--
17	- / - / -	140 CB wall rendered externally	--
18	- / - / -	TS wall with PB or WPB both sides	--

WALL NUMBERING		WALL LEGEND	
1-10	Basement Dincel walls	RC	Reinforced Concrete (wall or column dimensions as per structural engineer's specifications)
11-20	Basement CB walls	CB	Concrete Blockwork (190 mm U.N.O)
21-30	Ground and First level CB walls	BR	Brickwork (110 mm U.N.O)
31-40	RC Walls	MS	Metal Stud (94 mm U.N.O)
41-50	Cavity or double brick wall	TS	Timber Stud (90 mm U.N.O)
61-80	Single brick	PB	Plasterboard (13 mm U.N.O)
81-100	Brick veneer and stud wall	WPB	Waterproof Plasterboard (13 mm U.N.O)
		FC	Fibre Cement sheets

DOOR SCHEDULE BASEMENT CARPARK											
MARK	LOCATION	DOOR LEAF			FRAME			FIRE RATING	REMARKS		
		WIDTH	HEIGHT	THK	TYPE	SWING	TYPE				
D1	Entrance	5500	2300	50	TG1	NA	Sectional door	- / - / -	Aluminium louvre		
D2	Plant	820	2040	35	T1	Left	FR204	B	- / 60 / 30	Self-closing/ Solid Core	
D3	Blind	920	2040	35	T1	Right	N204	B	- / - / -	Solid Core	
D4	Blind	920	2040	35	T1	Right	N204	B	- / - / -	Solid Core	
D5	Blind	920	2040	35	T1	Right	N204	B	- / - / -	Solid Core	
D6	Blind	920	2040	35	T1	Right	N204	B	- / - / -	Solid Core	
D7	Cart entrance	4000	2400	35	TG1	NA	Sectional door	- / - / -	Perforated steel		
D8	Pump	1120	2040	35	T1	Left	N204	B	- / - / -	Solid Core	
D9	Pump	820	2040	35	T1	Left	N204	B	- / - / -	Solid Core	
D10	Carpark	6500	2400	35	TG2	Sliding	Sliding	B	60 / 60 / 60	Solid steel	
D11	Gym	820	2040	35	T1	Left	N104	B	- / - / -	Hollow Core Waterproof	
D12	Gym	820	2040	35	T1	Left	N104	B	- / - / -	Hollow Core Waterproof	
D13	Store	820	2040	35	T1	Right	N204	B	- / - / -	Hollow Core Waterproof	
D14	Plant	820	2040	35	T1	Right	FR204	B	- / 60 / 30	Self-closing/ Solid Core	
D15	Blind	920	2040	35	T1	Left	N204	B	- / - / -	Solid Core	
D16	Blind	920	2040	35	T1	Left	N204	B	- / - / -	Solid Core	
D17	Blind	920	2040	35	T1	Left	N204	B	- / - / -	Solid Core	
D18	Toilet	820	2040	35	T1	Right	N204	B	- / - / -	Hollow Core Waterproof	
D19	Carpark	6000	2400	35	TG2	Sliding	Sliding	B	60 / 60 / 60	Solid steel	
D20	Electrical	820	2040	35	T1	Right	FR204	B	- / 60 / 30	Self-closing/ Solid Core	
D21-29	exc. D45	Garage	5955	2200	35	TG1	NA	Panel lift	- / - / -	Steel Mesh	
D45, D60	Garage	5605	2200	35	TG1	NA	Panel lift	- / - / -	Steel Mesh		
D61	Hot water plant	1120	2040	35	T1	Left	FR204	B	- / 60 / 30	Self-closing/ Solid Core	
D62	Electrical	820	2040	35	T1	Right	FR204	B	- / 60 / 30	Self-closing/ Solid Core	



insight building certifiers pty ltd
 CONSTRUCTION CERT. NO. 1408cc3
CONSTRUCTION CERTIFICATE PLANS
 I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979
 J. Briggs Accreditation No. BPP0049

TENDER
NOT FOR CONSTRUCTION

REV.	REVISION DESCRIPTION	CHK.	APPR.	DATE
A	Issued for Information	AA	AA	10.02.10
B	Issued for Tender	AA	AA	22.02.10
C	Issued for Tender	AA	AA	23.02.10
D	Issued for Information	AA	AA	12.08.10
E	Issued for Information	AA	AA	18.08.10
F	Issued for Information	AA	AA	27.08.10
G	Issued for Information	AA	AA	30.08.10
H	Issued for Information	AA	AA	01.09.10
J	Issued for Information	AA	AA	14.09.10

ANTONIADES ARCHITECTS
 Suite 1, L2, 24 Bay St, Double Bay NSW 2028
 Tel: 9328 3339 Fax: 9328 3369
 www.antonades.com.au ACN 129 731 559

PROJECT
THE MASTERS
 Darley Street West, Bayview
 The Masters Residences Pty Ltd
 DRAWING TITLE
BASEMENT PLAN

SCALE 1:250@A1
 0 2.5 5 12.5 25m
 DATE FEBRUARY 2010 DRAWN KM, EC
 PROJECT NO. AA.RES.0801 CHECKED
 DRAWING NO. A1.04 APPROVED AA
 REVISION
J