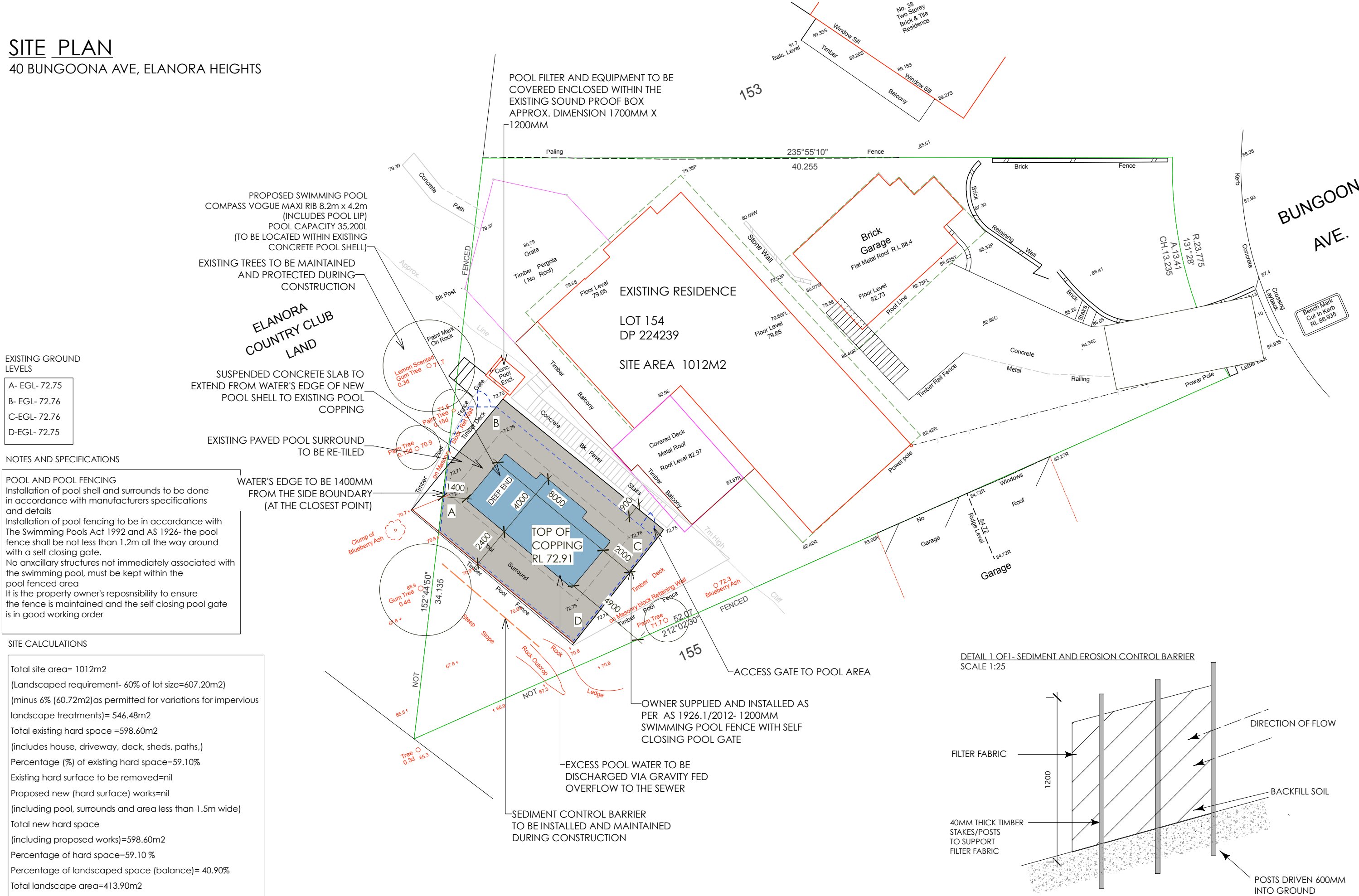


SITE PLAN  
40 BUNGOONA AVE, ELANORA HEIGHTS



EXISTING GROUND LEVELS

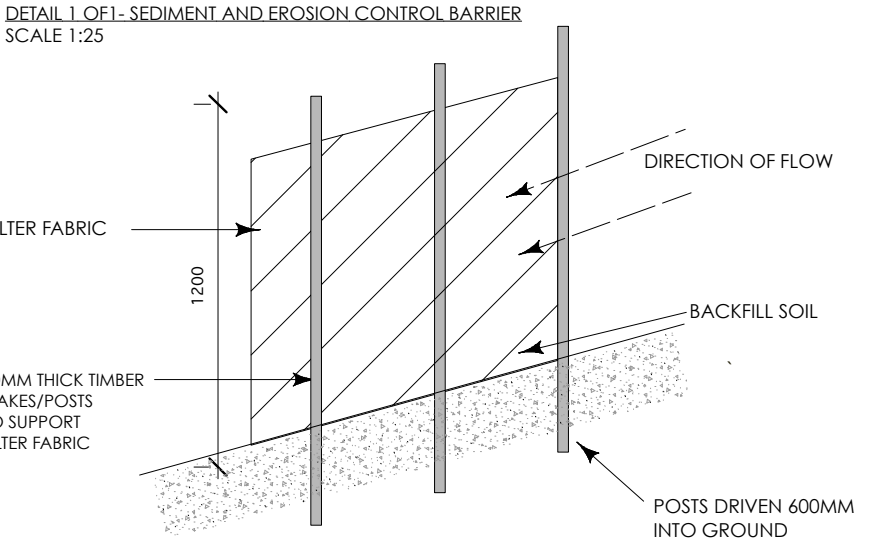
A- EGL- 72.75
B- EGL- 72.76
C-EGL- 72.76
D-EGL- 72.75

NOTES AND SPECIFICATIONS

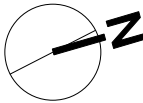
POOL AND POOL FENCING  
Installation of pool shell and surrounds to be done in accordance with manufacturers specifications and details  
Installation of pool fencing to be in accordance with The Swimming Pools Act 1992 and AS 1926- the pool fence shall be not less than 1.2m all the way around with a self closing gate.  
No ancillary structures not immediately associated with the swimming pool, must be kept within the pool fenced area  
It is the property owner's repsonsibility to ensure the fence is maintained and the self closing pool gate is in good working order

SITE CALCULATIONS

Total site area= 1012m2
(Landscaped requirement- 60% of lot size=607.20m2)
(minus 6% (60.72m2)as permitted for variations for impervious landscape treatments)= 546.48m2
Total existing hard space =598.60m2
(includes house, driveway, deck, sheds, paths,)
Percentage (%) of existing hard space=59.10%
Existing hard surface to be removed=nil
Proposed new (hard surface) works=nil
(including pool, surrounds and area less than 1.5m wide)
Total new hard space
(including proposed works)=598.60m2
Percentage of hard space=59.10 %
Percentage of landscaped space (balance)= 40.90%
Total landscape area=413.90m2



LANDSCAPER DESIGNER  
LANDSCAPE DESIGN BY JACQUI RAY  
PO Box 844, ST IVES, 2075  
M: 0417680228 F: 43771433 E: jacqui@jacquiray.com.au



NOTES  
1. Drawing not suitable for construction purposes.  
2. Do not scale from drawings- use written dimensions only.  
3. Contractor to verify location of all pipes and services prior to starting Works.  
4. All Works to carried out in accordance with the BCA.  
5. DA approved plans are required to be constructed as approved to obtain occupancy certificate.  
6. Plans are protected by Copyright Laws. No plan or part thereof may be used, copied or reproduced in any way without the prior written permission of Dig This

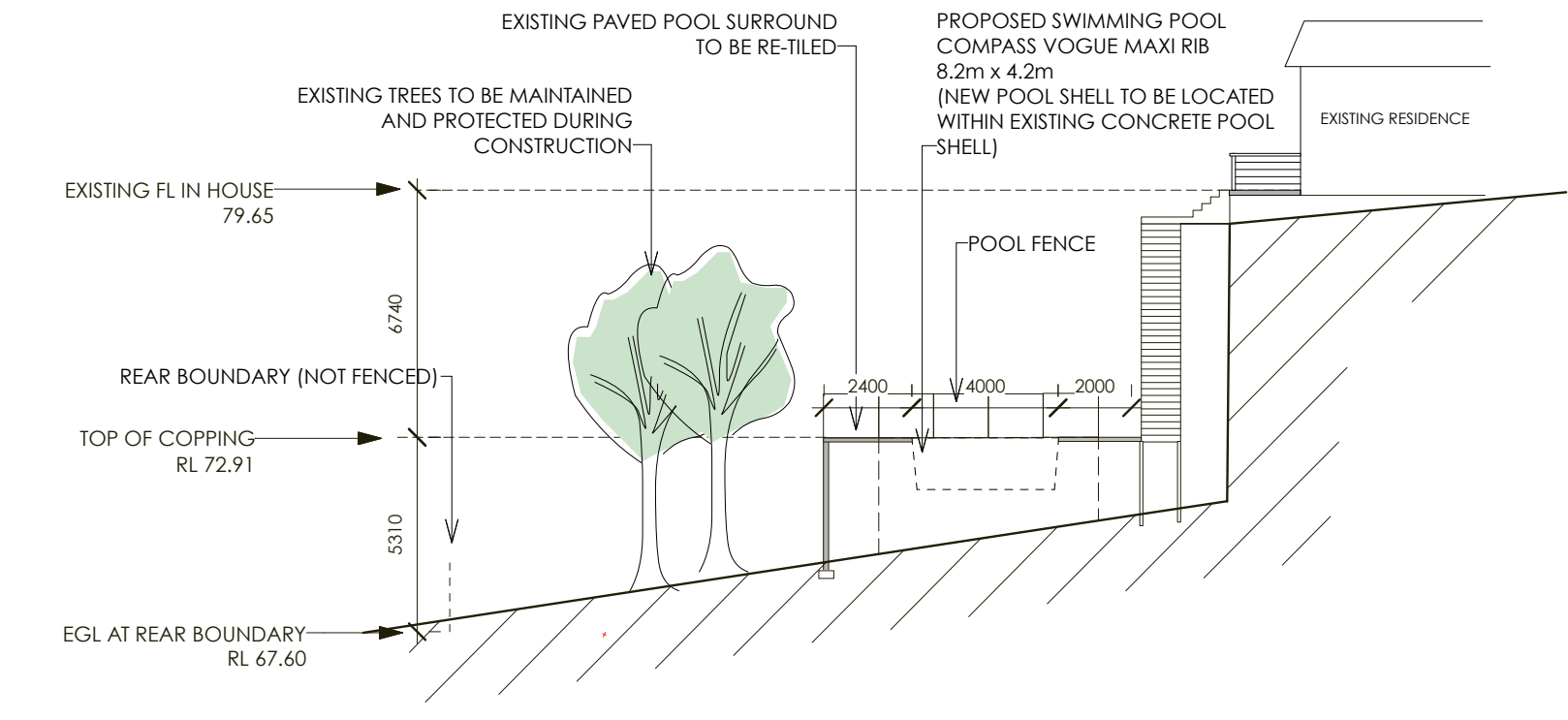
PROJECT  
SWIMMING POOL AND SURROUNDS  
LOCATION  
CHEESMAN RESIDENCE  
40 BUNGOONA AVE  
ELANORA HEIGHTS

DRAWN JR	SCALE 1:200@A3	DATE 6/1/20	DWG NO 1 of 1	REV 3
TITLE SITE PLAN				

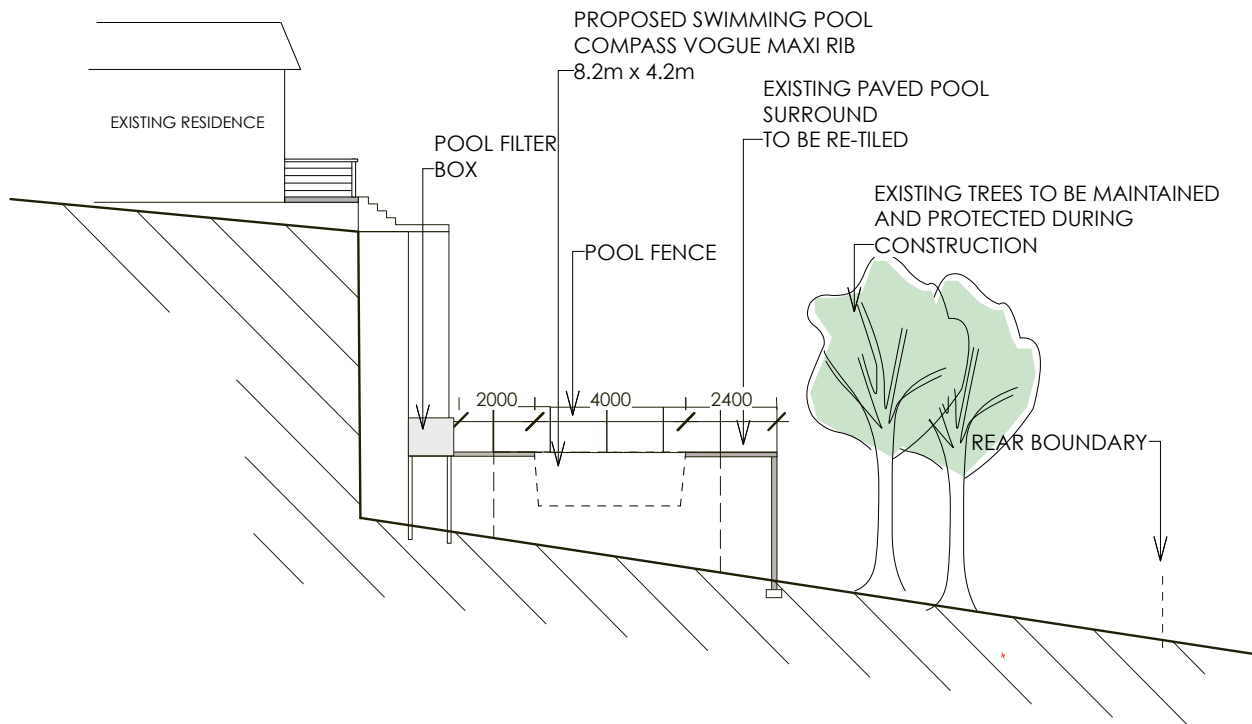
SECTION/ELEVATION PLAN

40 BUNGOONA AVE, ELANORA HEIGHTS

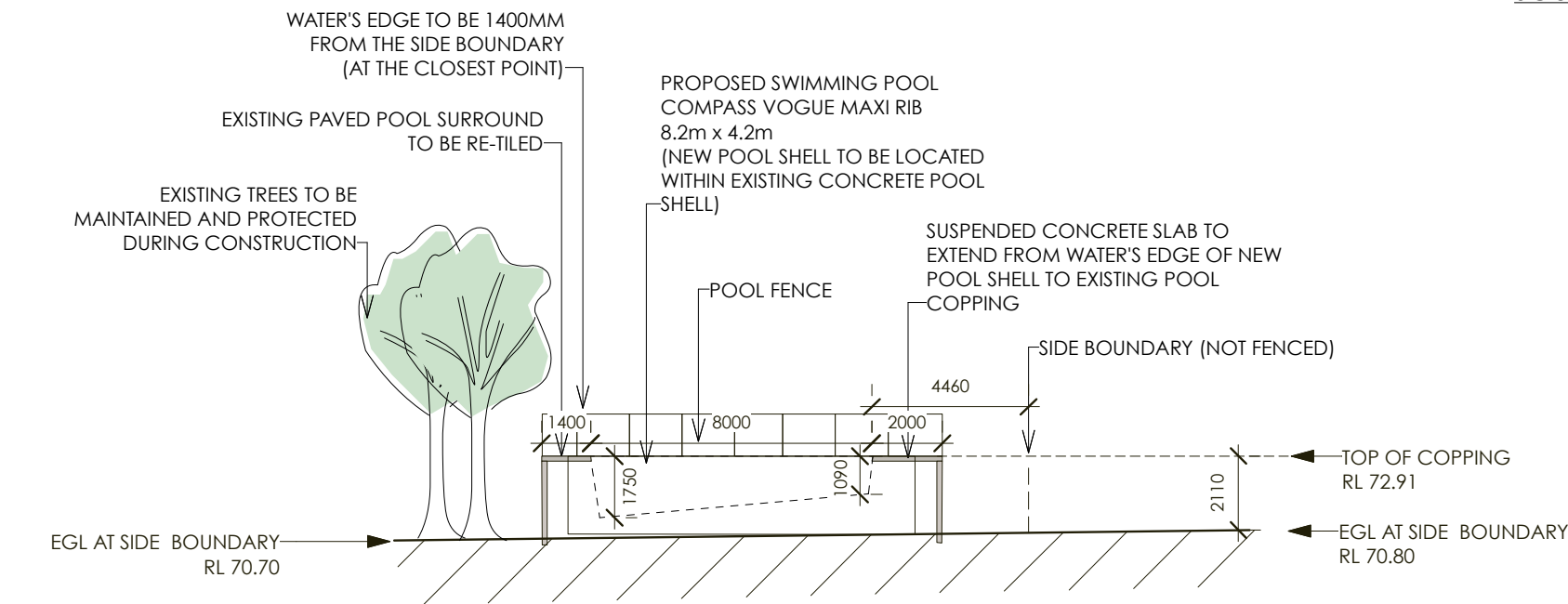
WESTERN ELEVATION



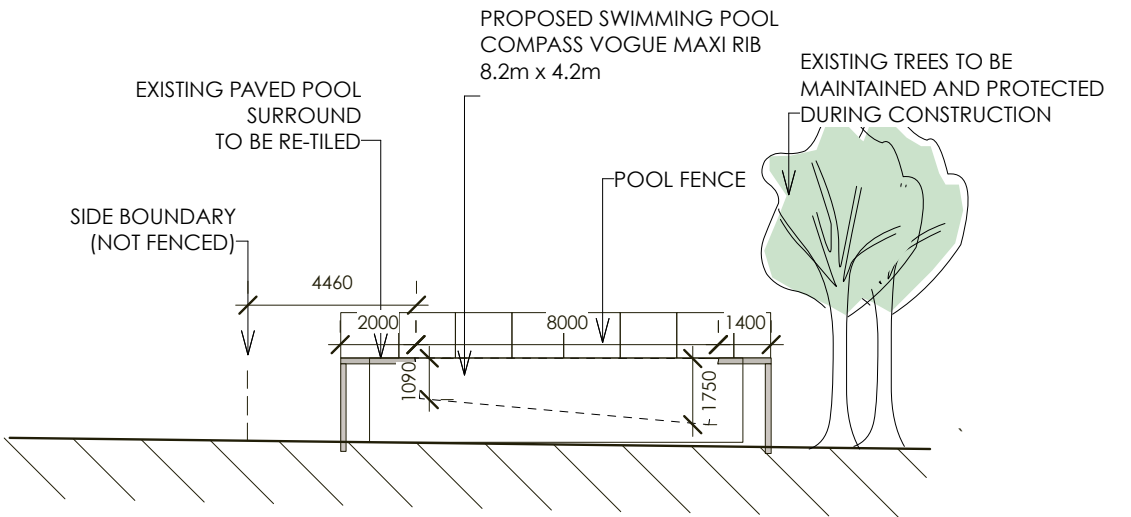
EASTERN ELEVATION



NORTHERN ELEVATION



SOUTHERN ELEVATION



LANDSCAPER DESIGNER

LANDSCAPE DESIGN BY JACQUI RAY

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PROJECT

SWIMMING POOL AND SURROUNDS

LOCATION

CHEESMAN RESIDENCE

40 BUNGOONA AVE

ELANORA HEIGHTS

DRAWN

JR

SCALE

1:200@A3

DATE

6/1/20

TITLE

SECTION/ELEVATION PLAN

DWG NO

2 OF 2

REV

3